

Harwich Planning Board Agenda
Tuesday, December 1, 2020 – 6:30 PM

Town Hall, 732 Main Street, Harwich

This meeting will be held **VIA REMOTE PARTICIPATION ONLY**.
Access is available through GoToMeeting.com and live broadcast on Channel 18*

Please join my meeting from your computer, tablet or smartphone.

<https://global.gotomeeting.com/join/564272205>

You can also dial in using your phone.

United States: [+1 \(571\) 317-3112](tel:+15713173112)

Access Code: [564-272-205](tel:564272205)

I. Call to Order Pursuant to Governor Baker’s March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, G.L. c. 30A, §20, and the Governor’s March 15, 2020 Order imposing strict limitations on the number of people that may gather in one place, this meeting of the Harwich Planning Board is being conducted via remote participation. No in-person attendance of members of the public will be permitted, but every effort will be made to ensure that the public can adequately access the proceedings as provided for in the Order.

II. Public Hearings -

A. Continued: PB2020-24 195 Queen Anne Road, LLC, as applicant, George A. McLaughlin III, as manager, Daniel A. Ojala, P.E., P.L.S., as representative, seeks approval of a Site Plan Review Special Permit and a Special Permit for structures with a gross floor area > 7,500 SF and 20 or more new parking spaces pursuant to the Code of the Town of Harwich §325-55 and §§325-9 and -51 to construct an industrial warehouse/contractor structure (7 bays, 9,000 sf). The property is located at 195 Queen Anne Road, Map 58, Parcel F1-2, in the I-L zoning district. *Please note: the applicant has requested a continuance to January 12, 2021.*

B. PB2020-29 David & Kristen Kimball, owners, William D. Crowell, Esq., representative, seeks approval of a Use Special Permit with waivers for a residential accessory structure with bedrooms. The application is pursuant to the Code of the Town of Harwich §§325-09 and -51. The property is located at 452 Long Pond Drive, Map 104, Parcel E8-2, in the R-R zoning district.

C. PB2020-28 Cape Cod Oil Company, H. Tasha, TR. of M.J.T. Enterprises, as applicant, Jacobs Driscoll Engineering, Inc., as representative, seeks approval of a Site Plan Review Special Permit with waiver to establish and install two (2) 30,000 gallon propane tanks along with appurtenant equipment fixtures and site features pertinent to the establishment of a new Heating Fuel Resale and Storage use, which is an allowable use within the zoning district. The application is pursuant to the Code of the Town of Harwich §325-55. The property is located at 6 Station Avenue, Map 39, Parcel K3, in I-L zoning district. *Please note: the applicant has requested a continuance to Jan. 12, 2021*

III. Public Meeting**

A. New Business:

1. **Minutes:** November 10, 2020 and November 19, 2020
2. **Advisory Opinions:** Zoning Board of Appeals & Historic District Historical Commission

B. Old Business:

1. **PB2019-19 Freeman Ellis** – Endorsement of Covenant Agreement and Definitive Subdivision

C. Briefings and Reports by Board Members

IV. Adjourn

**PLEASE NOTE: We request all who are attending this meeting to please observe the same courtesies that would be observed if you were here in person. If you need to conduct unrelated business before your item on the agenda comes up, we request you mute your line –*

*Use *6 to mute and unmute your phone.*

****Per the Attorney General's Office – Boards/Commissions may hold an open session for topics not reasonably anticipated by the Chair 48 hours in advance of the meeting following “New Business”.**

***Next Planning Board Meeting (Subject to Change) – Thursday, December 17, 2020.
Requests for accommodations for any person having a disability can be made by contacting the
Administration Office at 508-430-7513.***

Authorized Posting Officer: Elaine Banta, ebanta@town.harwich.ma.us or 508-430-7511

*Memorandum from
Charleen Greenhalgh, Town Planner
Town of Harwich*

AGENDA ITEM #II.A

November 23, 2020

To: Planning Board
Cc: Joe Powers, Interim Town Administrator
From: Charleen Greenhalgh, Town Planner
Re: PB2020-24 195 Queen Anne Road LLC

The applicant's representative has requested a continuance to January 21, 2021.

Recommended Motion:

Move to continue the public hearing for PB2020-24 195 Queen Anne Road LLC to not early than 6:30pm on January 12, 2021.



AGENDA ITEM II.B

To: Planning Board
Cc: Joe Powers, Interim Town Administrator
From: Charleen Greenhalgh, Town Planner
Date: November 19, 2020
Re: Staff Report - Use Special Permit: Accessory Structure with Bedrooms

PB2020-29 David & Kristen Kimball, owners, William D. Crowell, Esq., representative, seeks approval of a Use Special Permit with waivers for a residential accessory structure with bedrooms. The application is pursuant to the Code of the Town of Harwich §§325-09 and -51. The property is located at 452 Long Pond Drive, Map 104, Parcel E8-2, in the R-R zoning district.

The hearing on this matter is scheduled for Tuesday, December 1, 2020, not sooner than 6:30 P.M. Abutters were notified via certified mail on November 13, 2020.

Description:

The applicant seeks approval for two (2) bedrooms within a detached accessory building. The applicant provided an application packet of the proposed project. The application and plans were filed with the Town Clerk on October 27, 2020 and includes the following:

1. Form A Planning Board Application.
2. A project description/narrative, with waiver request.
3. Owner Authorization.
4. Filing Fee - \$525.
5. Municipal Lien Certificate.
6. Proposed Plot Plan, 452 Long Pond Drive, Harwich, MA prepared for David and Kristen Kimball, scale 1" = 30', dated 10-21-2020, prepared by J.M. O'Reilly & Associates, Inc.
7. Set of Building Plans, prepared for Kimball Lesllie, 452 Long Pond Drive, Harwich, MA, prepared by Encore Design-Remodel, dated 10/9/2020, as follows:
 - a. Sheet A0.0 – Title Page
 - b. Sheet A1.1 – Existing Foundation and Roof Plan
 - c. Sheet A1.2 – Existing and Proposed First Floor Plans
 - d. Sheet A1.3 – Existing and Proposed Second Floor Plans and Door Schedule
 - e. Sheet A2.1 – Existing and Proposed Front and Left Elevations
 - f. Sheet A2.2 – Existing and Proposed Rear and Right Elevations
 - g. Sheet A2.3 – Existing and Proposed Sections Thru Stair
 - h. Sheet A3.1 – Proposed Finish Plans and Interior Elevations
 - i. Sheet S1 – Proposed Framing Plans
 - j. Sheet MEP1 – Proposed MEP Plans

MGL Reference and Planning Board Jurisdiction

Pursuant to MGL c.40 A, §9 the Planning Board must, within 65 days of submission of application for a special permit hold a public hearing. The decision of the Planning Board shall take place within 90 days following the close of the public hearing. Further, a special permit issued shall require a two-thirds vote of the Board. The Planning Board has jurisdiction to the review this application pursuant to the Code of the Town of Harwich §§ 325-13 (Use Table), 325-14(Q) and 325-51. The 65th day would be December 31, 2020.

For the Boards information, due to the emergency order issued March 10, 2020, there is a stay/toll on the time, which expires December 1, 2020. This does not effect this application.

Waivers Requested

The applicant seeks waivers of any and all commercial or residential requirements of the Bylaw that are not applicable to this Petition.

Comments from other Boards, Departments, Committees:

Conservation: As long as not work is occurring within 100' of the wetland, Conservation has no concerns.

Health Department: The Health Department has several requirements that must be completed prior to building permit approval, none which should negatively impact the Planning Boards decision. The items below will be handled at the staff level, and are meant to be an FYI for the applicant if the Planning Board grants their request.

1. The septic system is designed to accommodate 6 bedrooms maximum. Our records indicate that there are 5 existing bedrooms in the main dwelling, as offices are considered bedrooms. We would need accurate floor plans of the main dwelling in order to determine existing bedroom count. If we deem there are 5 bedrooms existing in the main dwelling, then either a bedroom needs to be eliminated, or a fully compliant 7 bedroom septic system needs to be installed. No variances from Title 5 or local requirements will be granted.
2. A passing Title 5 inspection is required prior to building permit approval. If the inspection finds that the driveway was placed over the leaching field as shown on this plot plan, then this must be corrected. A vent will also need to be added. The inspection may also determine that the chambers are H-20, and are rated for vehicular traffic.
3. A Disposal System Construction Permit must be applied for by a licensed septic installer to connect the dwelling to the tank. A site plan must be provided showing the sewer line connection, proposed water line, and elevations from the foundation to the tank.
4. If a kitchen is ever added, then either a two-compartment septic tank, or two septic tanks in series must be installed.

Water and Police Department: No issues

DPW and Fire: No concerns

Engineer: See Planning Staff Comments

Planning Staff Comments:

1. The Town Engineer and Town Planner met to review the application on November 3, 2020 and we had no issues or concerns with the application as submitted.
2. The following conditions are recommended:

- a. The accessory structure is not an accessory apartment pursuant to §325-2 Word Usage and Definitions “Dwelling, Single-family with Accessory Apartment” and shall not contain a kitchen.
- b. All Board of Health requirements shall be met.
- c. There shall be no rental or letting of these bedrooms.
- d. Any changes of the use or changes to the plan may be subject to further Planning Board review.
- e. The special permit decision shall be recorded at the Registry of Deeds.

BOARD VOTE

Continuance

If the Board will require additional information or wants to take the matter under advisement the following motion is recommended:

Move to continue the hearing for **PB2020-29 David & Kristen Kimball**, to no earlier than 6:30 pm on _____ (Next Meeting Dates: *Dec. 17, Jan. 12, Jan. 26*) for the following reason(s): *Need to provide reasons for the continuance...additional information...take under advisement.*

IF THE BOARD IS READY TO CLOSE THE HEARING AND VOTE

I. Motion to Close the Public Hearing

II. Vote on Waivers:

Motion to waive any and all commercial or residential requirements of the Bylaw that are not applicable to this Petition.

III. Vote on Findings of Facts

Motion to adopt the following findings of fact:

- 1. The property is located within the R-R Zoning District.
- 2. The use is consistent with the Zoning Code and will not adversely affect the neighborhood.
- 3. The site is an appropriate location for such use.
- 4. The accessory structure shall not contain a stove and therefore is not a kitchen and is not an accessory apartment as defined in §325-2 Word Usage and Definitions “Dwelling, Single-family with Accessory Apartment”.
- 5. The proposed parking area will provide sufficient off street parking which meets the minimum requirements of Town Code and as such, there will be no nuisance or serious hazard to vehicles or pedestrians.

IV. **Vote – Special Permit** - A vote by at least five members of the Planning Board is required.

A. Move to **approve with conditions** the Use Special Permit and waivers for **PB2020-29 David & Kristen Kimball** for a residential accessory structure with bedrooms pursuant to the Code of the Town of Harwich §§325-09 and -51 for the property located at 452 Long Pond Drive, Map 104, Parcel E8-2, in the R-R zoning district.. The approval is based on the fact that the application meets the necessary requirements and criteria for approval pursuant to the Code of Town of Harwich with the above findings and following conditions:

- a. The accessory structure is not an accessory apartment pursuant to §325-2 Word Usage and Definitions “Dwelling, Single-family with Accessory Apartment” and shall not contain a kitchen.
- b. All Board of Health requirements shall be met.
- c. There shall be no rental or letting of these bedrooms.
- d. Any changes of the use or changes to the plan may be subject to further Planning Board review.
- e. The special permit decision shall be recorded at the Registry of Deeds.

B. Move to **deny** the Use Special Permit and waivers for the Use Special Permit for PB2020-29 David & Kristen Kimball for a residential accessory structure with bedrooms pursuant to the Code of the Town of Harwich §§325-09 and -51 for the property located at 452 Long Pond Drive, Map 104, Parcel E8-2, in the R-R zoning district. The denial is based on the fact that the application does not meet the necessary requirements and criteria for approval pursuant to the Code of Town of Harwich, specifically: *(Need to list or note which requirements/criteria are not being met).*

TOWN OF HARWICH PLANNING DEPARTMENT

PLANNING BOARD APPLICATION



TO THE TOWN CLERK, HARWICH, MA

DATE 10/27/20

PART A - APPLICANT INFORMATION/AUTHORIZATION

Applicant Name(s)	DAVID KIMBALL + KRISTEN H. KIMBALL
Representative/Organization (Who will serve as the primary contact responsible for facilitating this application?)	William D. Crowell, Esq. 466 Main Street P.O. Box 185 Harwich Port, MA 02646
Mailing address	
Town, ST, Zip	
Phone	508-432-1643
Fax	508-430-0631
E-mail	WCROWELL.OFFICE1@COMCAST.NET

The applicant is one of the following: (please check appropriate box)

- Owner Prospective Buyer* Representative for Owner/Tenant/Buyer*
 Tenant* Other*

***Written permission of the owner(s) and a municipal lien certificate (where applicable) is required.**

All other forms and information as required in the Harwich Code Chapter 400, Rules and Regulations, shall be submitted as part of this application.

Authorization

Your signature hereby asserts, to the best of your knowledge, that the information submitted in this application is true and accurate; that you agree to fully comply with the Town of Harwich Zoning By-laws and the terms and conditions of any approval of this application by the Planning Board; and authorizes the Members of the Planning Board and/or Town Staff to visit and enter upon the subject property for the duration of the consideration of this application.

Applicant

SEE ATTACHED E-MAIL

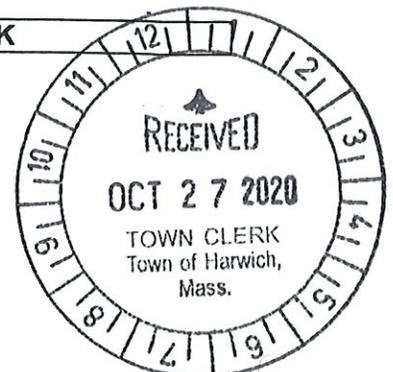
Owner(s) - Authorization must accompany application if the owner is not the applicant.

Official use only:

PLANNING DEPARTMENT

TOWN CLERK

Case # PB 2020-29



PART B – PROJECT LOCATION

Legal Street Address	452 LONG POND DRIVE	Village/Zip Code	02645
Title Book/Page or L.C.C. #	12821/130		
Map(s) / Parcel(s)	MAP 104 PCUSE 8-2+3		
Zoning & Overlay Districts	R-R	*Historic?	NO - 2013
Frontage (linear feet)	487.07		
Total land area (s.f.)	140,900 ±		
Upland (s.f.)	138,150 ±	Wetlands (s.f.)	≈ 2%

PART C – PROJECT DESCRIPTION

Existing Floor Area in Sq. Ft	Gross:	Net:
Proposed Floor Area in Sq. Ft	Gross:	Net:
Change in Sq. Ft + / -	Gross:	Net:
Existing # of parking spaces	Proposed # of parking spaces:	
Existing Use(s)		
Proposed Use(s)	SEE ATTACHED	
<i>Attach a separate narrative if necessary.</i>		

The undersign hereby files an application with the Harwich Planning Board for the following special permits as proposed under the provisions of the Harwich Zoning Code: **(check all that apply)**

Site Plan Review § 325-55:

- Any floor area expansion of any structure or expansion of exterior space, other than parking, serving any of the following: commercial, industrial, multi-family or educational use or personal wireless service facility or the creation of a drive-up or drive-through window
- Expansion or reconfiguration of an existing parking lot and/or driveway(s) serving said parking lot.
- Establishment of any new commercial, industrial, multi-family, educational, fast food/take out restaurant or personal wireless service facility.
- Establishment of any new retail use(s) in the Industrial (IL) Zone.
- Waiver of Site Plan § 325-55.F

Article V, Use Regulations:

- Paragraph I, sub-paragraph # 1b Paragraph _____, sub-paragraph # _____
- Paragraph _____, sub-paragraph # _____, supplemental regulation # _____ § 325-14

Article X, Special Permits:

- Structures w/ gross floor area of 7,500+ s.f. § 325-51
- Structures requiring 20 or more new parking spaces § 325-51
- Accessory Apt./Shared Elderly Housing § 325-51.H Mixed Use § 325-51.M
- Drinking Water Resource Protection § 325-51.C Two Family § 325-51.N
- Village Commercial, Harwich Port § 325-51.L *Harwich Center Overlay § 325-51.O
- Signage § 325-27.F Additional Cluster, Excess SF, Non-entry Facades

Other Special Permits:

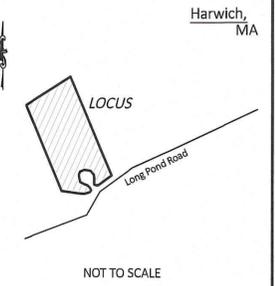
- Six Ponds Special District - Article XVI
- Wind Energy Systems - Article XVIII Large Scale Wind Generation – Article XIX
- Other (i.e. Alternate Access § 325-18.P, Special Cases § 325-44.B) **DETACHED RES. ACCESS. STRUCTURE**
- Repetitive Petition (MGL Ch 40A, §16): Proposed project evolved from a previously denied plan w/ BDRMS (2) submitted to the Planning Board on _____ Year/Case # _____

**Note: Projects within the Harwich Center Overlay District may also be within the Harwich Center Historic District. This requires separate filing with the Historic District and Historical Commission. Please inquire for forms and instructions.*

The Petitioners hereby request a Special Permit for a detached residential accessory building with two bedrooms pursuant to Table 1. Use Regulations, Paragraph I-Residential Uses, subparagraph 1b in R-R Zoning District as shown on the Certified Plot Plan by J.M. O'Reilly & Associates, Inc. dated 10/21/20 filed herewith and as shown on the Building and Elevation Plans dated 10/9/20 by Encore Construction filed herewith. The proposed use will not adversely affect the neighborhood, the site is an appropriate location for the use, there will be no nuisance or serious hazard to vehicles or pedestrians, and adequate and appropriate facilities are provided for the proper operation of the proposed use.

The Petitioners hereby request Administrative Waivers of any and all commercial or residential requirements of the Bylaw that are not applicable to this Petition.

Plan Book 424 Page 71

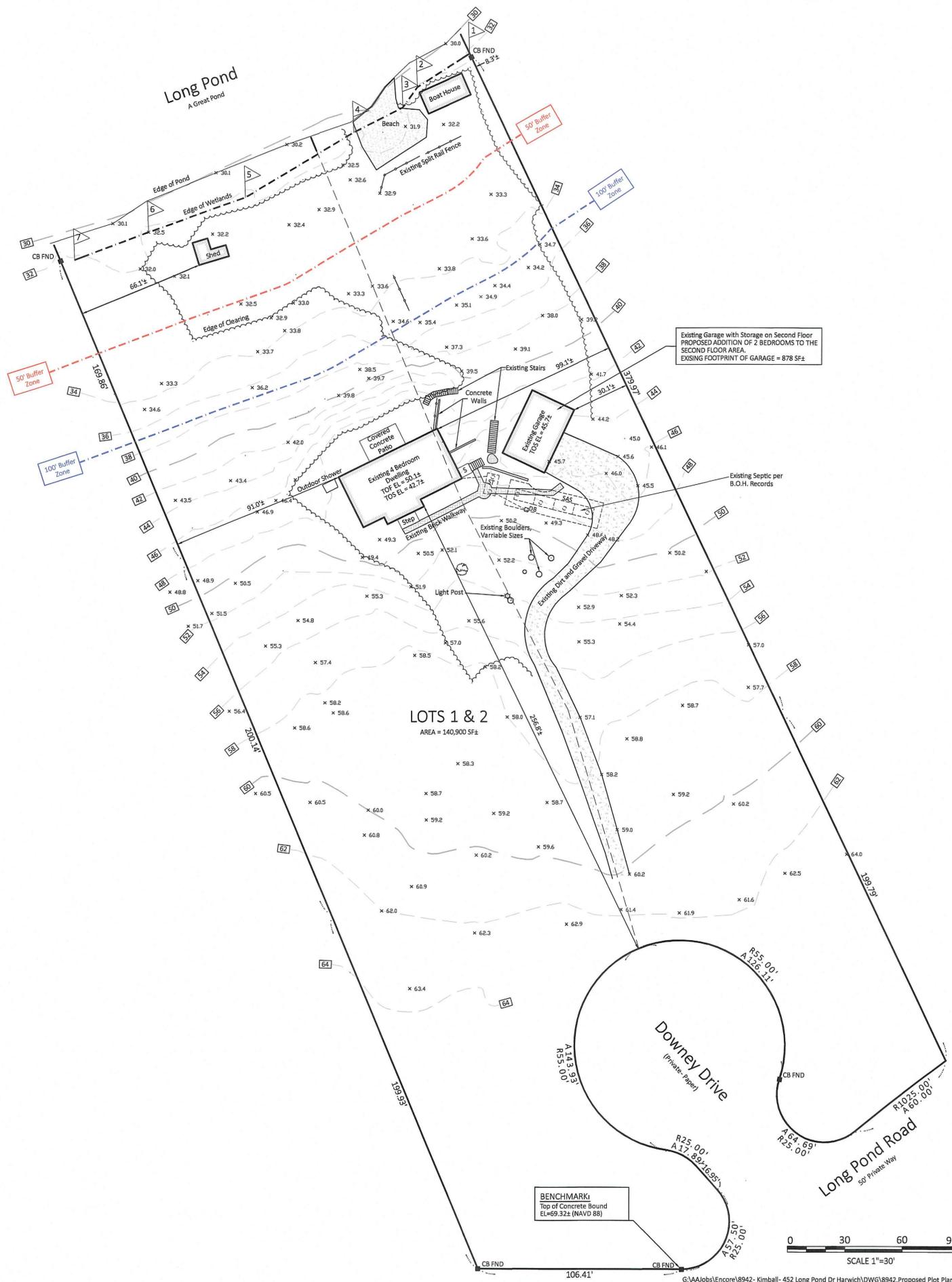


NOT TO SCALE

PLAN BOOK 424 PAGE 71
DEED BOOK 12821 PAGE 130
ASSESSORS' MAP 104 PARCEL EB-2

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- WATER SERVICE LINE
- OVERHEAD UTILITY SERVICE
- UNDERGROUND UTILITY SERVICE
- GAS SERVICE LINE
- TEST HOLE / BORING LOCATION
- SEPTIC TANK
- DISTRIBUTION BOX
- SOIL ABSORPTION SYSTEM
- RESERVED FOR FUTURE
- UTILITY POLE
- CATCH BASIN
- FIRE HYDRANT
- WELL
- DRAINAGE MANHOLE
- CONCRETE BOUND, FOUND
- LIMIT OF WORK
- FENCE
- EDGE OF CLEARING



Existing Garage with Storage on Second Floor
PROPOSED ADDITION OF 2 BEDROOMS TO THE
SECOND FLOOR AREA.
EXISTING FOOTPRINT OF GARAGE = 878 SF±

Existing Septic per
B.O.H. Records

LOTS 1 & 2
AREA = 140,900 SF±

BENCHMARK
Top of Concrete Bound
EL=69.32± (NAVD 88)

ZONING TABLE

ZONE: (RESIDENTIAL)	R-R (Residential)
FRONT YARD SETBACK	25 FEET
SIDE YARD SETBACKS	20 FEET
REAR YARD SETBACKS	20 FEET
BUILDING HEIGHT	30 FEET
BUILDING HEIGHT	30'
BUILDING COVERAGE	15%
SITE COVERAGE	25%
EXISTING LOT AREA (TOTAL)	140,900 SF
LOT AREA: UPLAND	138,150 SF
EXISTING BUILDING COVERAGE:	
HOUSE AREA:	1,770 SF±
GARAGE:	878 SF±
SHED:	150 SF±
BOATHOUSE:	290 SF±
TOTAL:	3,088 SF±
COVERAGE = (3088/138150) x 100% = 2.2 %±	



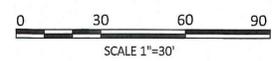
David and Kristen Kimball
26 Caspian Way Dorchester, MA 02125

PROPOSED PLOT PLAN
452 Long Pond Drive Harwich, MA

J.M. O'REILLY & ASSOCIATES, INC.
Professional Engineering & Land Surveying Services

1673 Main Street - Route 6A
P.O. Box 1773
Brewster, MA 02631 (508)898-8602 Fax

DATE:	SCALE:	CHECK:	JOB NUMBER:
10-21-2020	As Noted	BSH	JMO - 8942



DRAWING INDEX

GENERAL

A0.0 TITLE PAGE

CONSTRUCTION PLANS

- A1.1 EXISTING FOUNDATION AND ROOF PLANS
- A1.2 EXISTING AND PROPOSED FIRST FLOOR PLANS
- A1.3 EXISTING AND PROPOSED SECOND FLOOR PLANS AND DOOR SCHEDULE

ELEVATIONS AND SECTIONS

- A2.1 EXISTING AND PROPOSED FRONT AND LEFT ELEVATIONS
- A2.2 EXISTING AND PROPOSED REAR AND RIGHT ELEVATIONS
- A2.3 EXISTING AND PROPOSED BUILDING SECTIONS THRU STAIR

FINISH PLANS AND INTERIOR ELEVATIONS

- A3.1 PROPOSED 1ST AND 2ND FLOOR FINISH PLANS AND INTERIOR BATH ELEVATIONS

FRAMING/STRUCTURAL PLANS

- S1 PROPOSED FRAMING PLANS

MEP

- MEP1 PROPOSED MEP PLANS

APPLICABLE CODES

BUILDING CODE: 2015 IRC WITH 780 CMR NINTH EDITION MASSACHUSETTS AMENDMENTS

ENERGY CODE: BBRS STRETCH CODE

ZONING INFO.

ZONING DISTRICT
TOWN OF HARWICH, MA
R-R RESIDENTIAL - RURAL ESTATE
EFFECTIVE DATE: AUGUST 8, 2007

SCOPE OF WORK

FINISH SECOND FLOOR OF GARAGE WITH TWO BEDROOMS AND TWO BATHROOMS.
MOVE STAIRS TO CENTER AND CONSTRUCT HALLWAY FROM SIDE DOOR TO EXISTING STAIRS. PROPOSED WORK IS IN ACCORDANCE WITH SKETCH PLAN. AGREEMENT PRICE DOESN'T INCLUDE ANY UNSPECIFIED ITEMS REQUIRED BY THE LOCAL BUILDING, CONSERVATION OR BOARD OF HEALTH OFFICIALS.

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE AND FEDERAL CODES AND ORDINANCES.
2. GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES.
3. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES AND NOTIFY ARCHITECT/OWNER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. ALL EXISTING DIMENSIONS ARE TO THE FACE OF FINISHED SURFACE UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS.
4. GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS.
5. FOR THE PURPOSE OF THE DOCUMENTS, TO "INSTALL" SHALL MEAN TO PROVIDE ALL FASTENERS, MISCELLANEOUS HARDWARE, BLOCKING, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS, AND OTHER ITEMS REQUIRED FOR A COMPLETE AN OPERATION INSTALLATION, UNLESS OTHERWISE NOTED.

THE RENDERINGS ARE FOR VISUALIZATION PURPOSES ONLY - MAY DIFFER SLIGHTLY FROM ACTUAL



PROPOSED FRONT RENDERING



PROPOSED REAR RENDERING

**PROPOSED SITE: 452 LONG POND DRIVE,
HARWICH, MA 02645**

Assumptions & Design Criteria

To be applied as needed on a member by member basis

1. Building Design Code Reference
 - a. Massachusetts Building Code – 9th Edition + Amendments
2. Building Design Loads Used
 - a. Dead Loads
 - i. Roof Framing - 20 psf
 - ii. Attic Framing - 10 psf
 - iii. Floor Framing - 15 psf
 - iv. Wall Framing - 15 psf
 - b. Live Loads (Per ASCE 07 and Mass Bldg Code 9th Edition)
 - i. Attic Loading - 20 psf
 - 1. Minimum no storage - 10 psf
 - ii. Floor Loading - 40 psf
 - iii. Rafter loading (Pg) - 25 psf
 - 1. .
3. Design Criteria Used
 - a. Deflection
 - i. Total Load Deflection - L/360
 - ii. Live Load Deflection - L/480 or L/360 as noted
4. Specified Materials
 - a. Misc. Members and Posts (if specified)
 - i. Sawn Lumber: Spruce Pine Fir #1/2
 - ii. Engineered Lumber: VersaLAM or Equal
 - iii. Support Posts: As Noted

DESIGN/BUILD CONTRACTOR:



encore
DESIGN | REMODEL

DESIGN/BUILD CONTRACTOR

103 Main Street
Dennisport, MA 02639
encoreco.com
(508) 760-6900 Office

TITLE PAGE

SHEET TITLE:

PROJECT ADDRESS:
Kimball Leslie
452 Long Pond Drive
Harwich, MA 02645

REV. DATE:

10/9/2020

SHEET:

A0.0

WALL LEGEND:

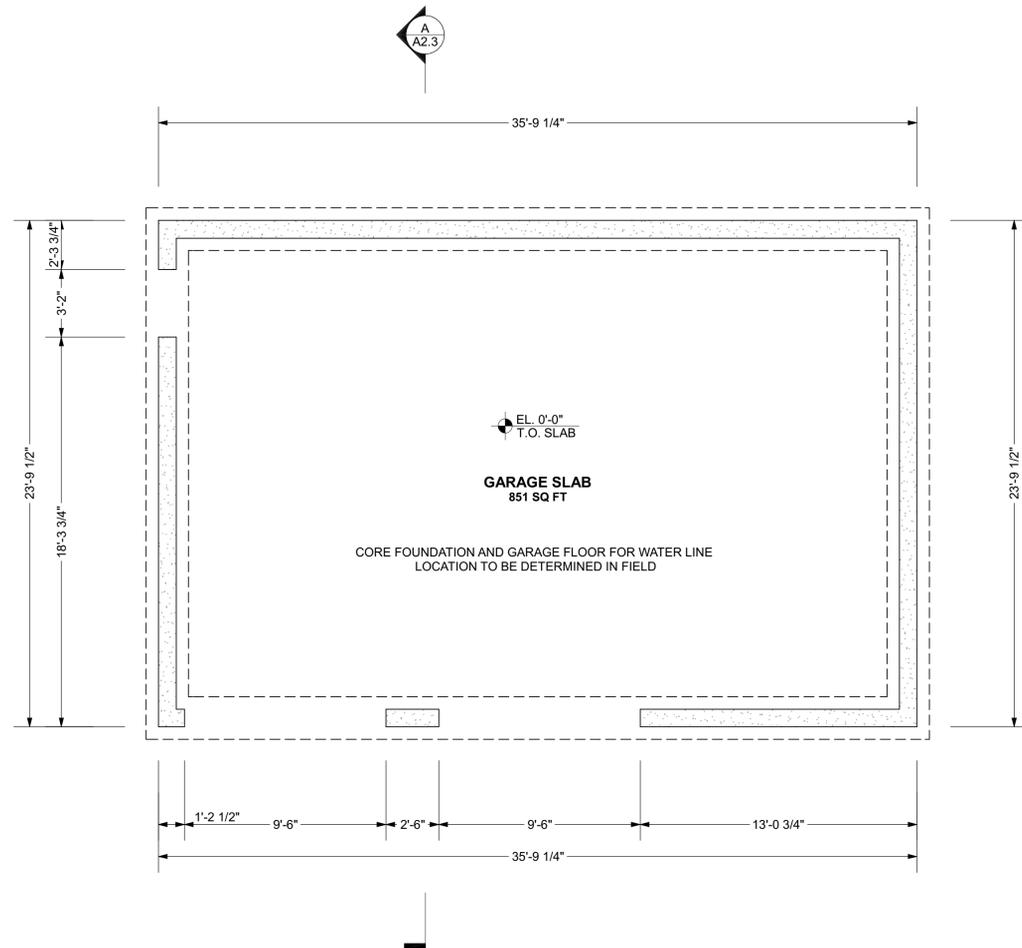
 CONCRETE FOUNDATION, EXISTING

DEMOLITION NOTES: FOUNDATION

- CORE FOUNDATION AND GARAGE FLOOR FOR WATER LINE
- REMOVE ALL DEMOLITION AND CONSTRUCTION DEBRIS FROM SITE

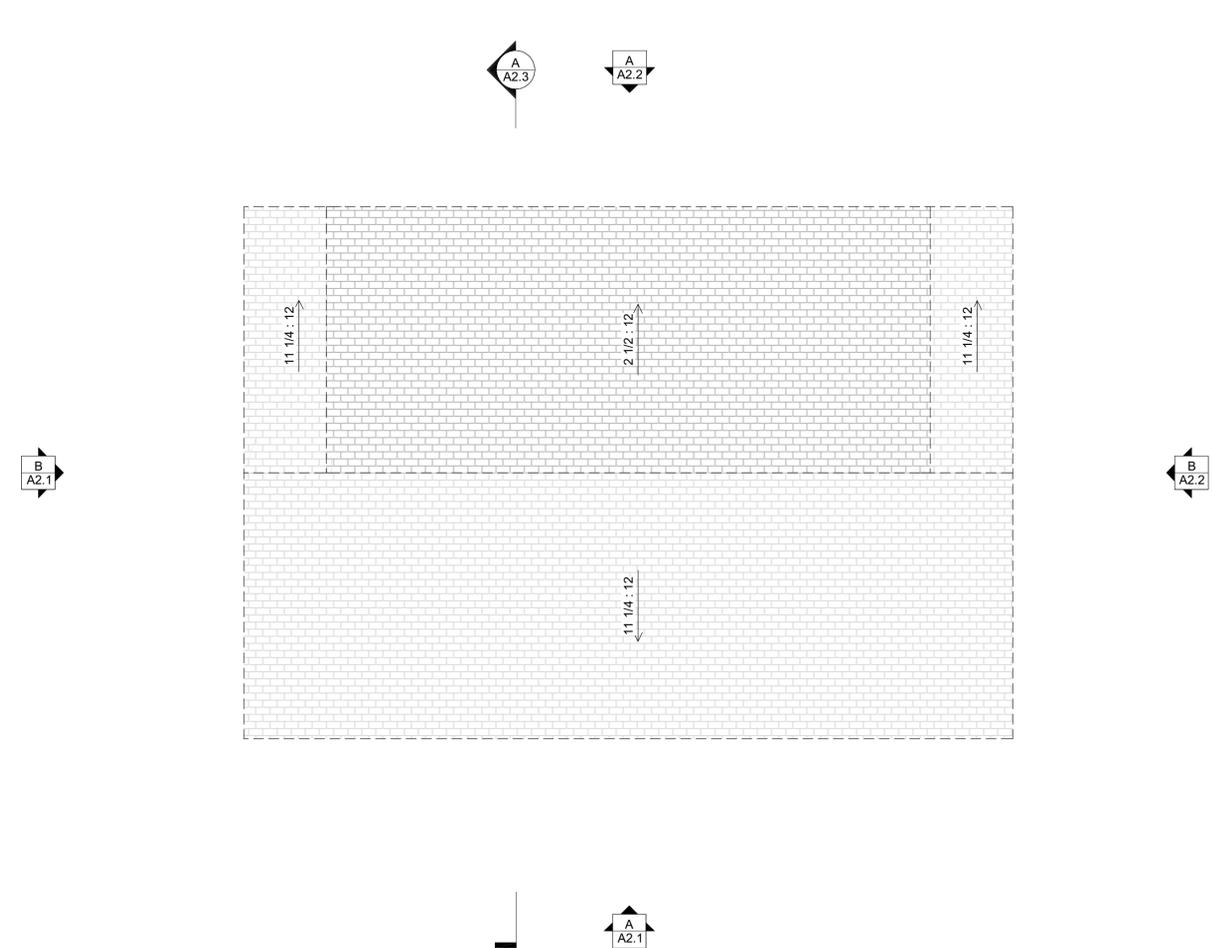
DIMENSIONS:

- ALL EXTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE OF STUD TO OUTSIDE OF STUD
- ALL INTERIOR DIMENSIONS ARE TAKEN FROM STUD TO STUD UNLESS OTHERWISE NOTED



A
A1.1 **EXISTING FOUNDATION PLAN**
SCALE: 1/4" = 1'-0"

NO WORK ON ROOF PLAN,
SHOWN FOR REFERENCE



B
A1.4 **EXISTING ROOF PLAN**
SCALE: 1/4" = 1'-0"

WALL LEGEND:

-  EXTERIOR 2X4 WALL, EXISTING
-  EXTERIOR 2X4 WALL, EXISTING WITH NEW INTERIOR FINISH
-  INTERIOR 2X4 WALL, PROPOSED
-  INTERIOR 2X4 FIRE-RATED WALL, PROPOSED

DEMOLITION NOTES: FIRST FLOOR

- REMOVE STAIRS AND PLATFORM
- REMOVE OVERHEAD TRACK IN ORDER TO CHANGE STAIR OPENING AND INSULATE AND PLASTER GARAGE CEILING AND REINSTALL WHEN COMPLETED
- REMOVE ALL DEMOLITION AND CONSTRUCTION DEBRIS FROM SITE

CONSTRUCTION NOTES: FIRST FLOOR

FRAME:
 GARAGE LEVEL
 INTERIOR WALLS – 2X4 STUDS 16" ON CENTER WITH PRESSURE TREATED SOLE PLATES TO CREATE HALLWAY AND ENCLOSE STAIRS
 STRAPPING – 1X3 SPRUCE STRAPPING 16" ON CENTER ON GARAGE CEILING
 SECOND FLOOR
 EXTERIOR WALLS – 2X4 STUDS AS NEEDED FOR TWO SLIDER OPENINGS WITH 1/2" CDX EXTERIOR SHEATHING AND NEW HEADERS
 INTERIOR WALLS – 2X4 STUDS 16" ON CENTER

BLUEBOARD & PLASTER: 1/2" BLUEBOARD ON WALLS AND CEILING WITH SMOOTH SKIM COAT OF PLASTER EXCEPT WHERE 5/8" FIRE CODE IS REQUIRED. INCLUDES GARAGE CEILING.

INSULATION:
 EXTERIOR ENVELOPE INSULATION TO CODE

EXTERIOR DOOR
 GARAGE DOORS
 REMOVE OVERHEAD TRACK IN ORDER TO CHANGE STAIR OPENING AND INSULATE AND PLASTER GARAGE CEILING AND REINSTALL WHEN COMPLETED

EXTERIOR PAINTING
 PREP, CAULK AND TWO COATS OF FINISH ON NEW AZEK TRIM, AND NEW CLAPBOARD PATCHING.

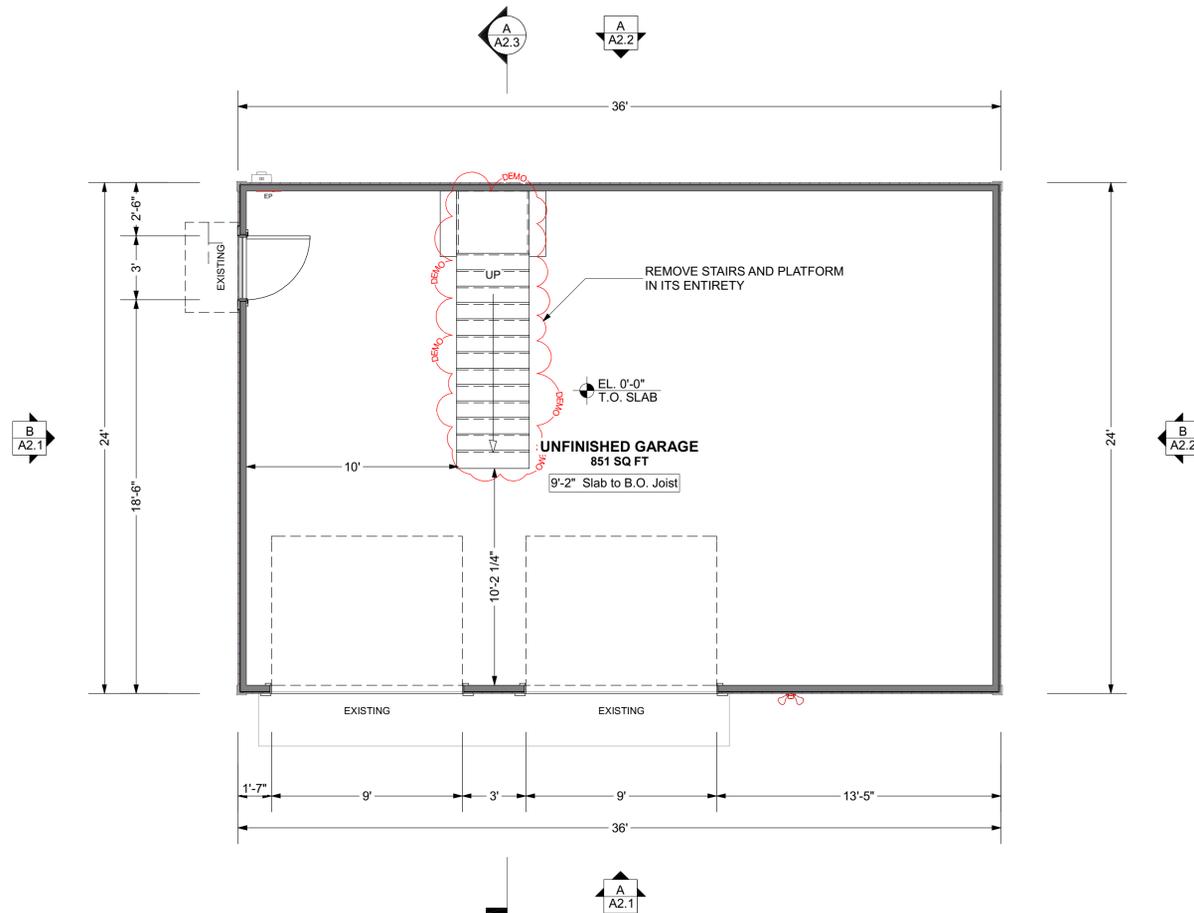
DIMENSIONS:

- ALL EXISTING INTERIOR DIMENSIONS ARE FROM PLASTERED SURFACE TO SURFACE
 - ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR WALL SURFACES

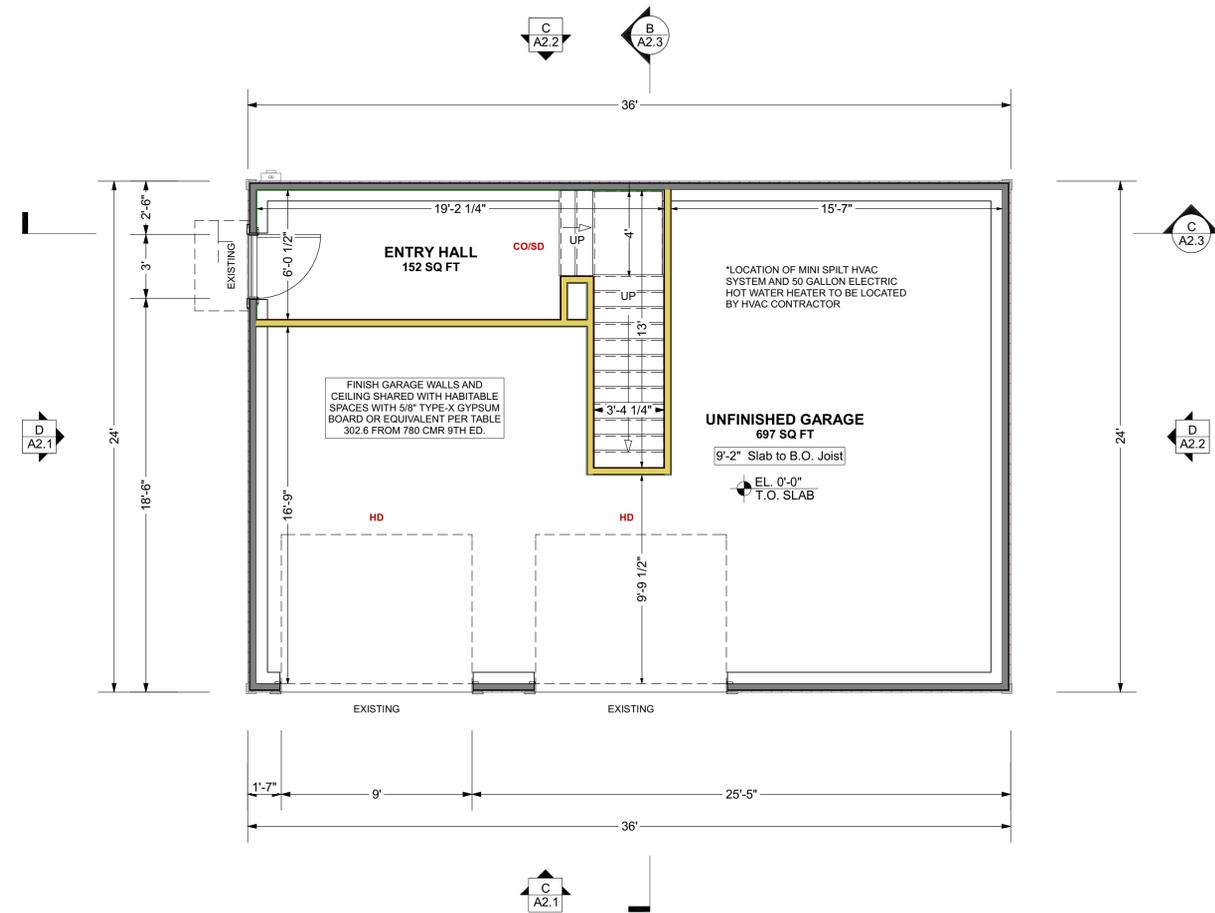
- ALL PROPOSED DIMENSIONS ARE TAKEN FROM STUD TO STUD

SPECIAL NOTE:

ALL EXISTING FRAMING MEMBERS SIZES AND DIRECTION OF JOISTS TO BE CONFIRMED IN FIELD



A EXISTING FIRST FLOOR PLAN
 A1.2 SCALE: 1/4" = 1'-0"



B PROPOSED FIRST FLOOR PLAN
 A1.2 SCALE: 1/4" = 1'-0"

WALL LEGEND:

-  EXTERIOR 2X4 WALL, EXISTING
-  EXTERIOR 2X4 WALL, EXISTING WITH NEW INTERIOR FINISH
-  INTERIOR 2X4 WALL, PROPOSED
-  INTERIOR 2X4 FIRE-RATED WALL, PROPOSED

DIMENSIONS:

- ALL EXISTING INTERIOR DIMENSIONS ARE FROM PLASTERED SURFACE TO SURFACE
- ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR WALL SURFACES

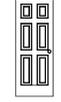
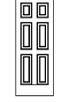
- ALL PROPOSED DIMENSIONS ARE TAKEN FROM STUD TO STUD

SPECIAL NOTE:

ALL EXISTING FRAMING MEMBERS SIZES AND DIRECTION OF JOISTS TO BE CONFIRMED IN FIELD

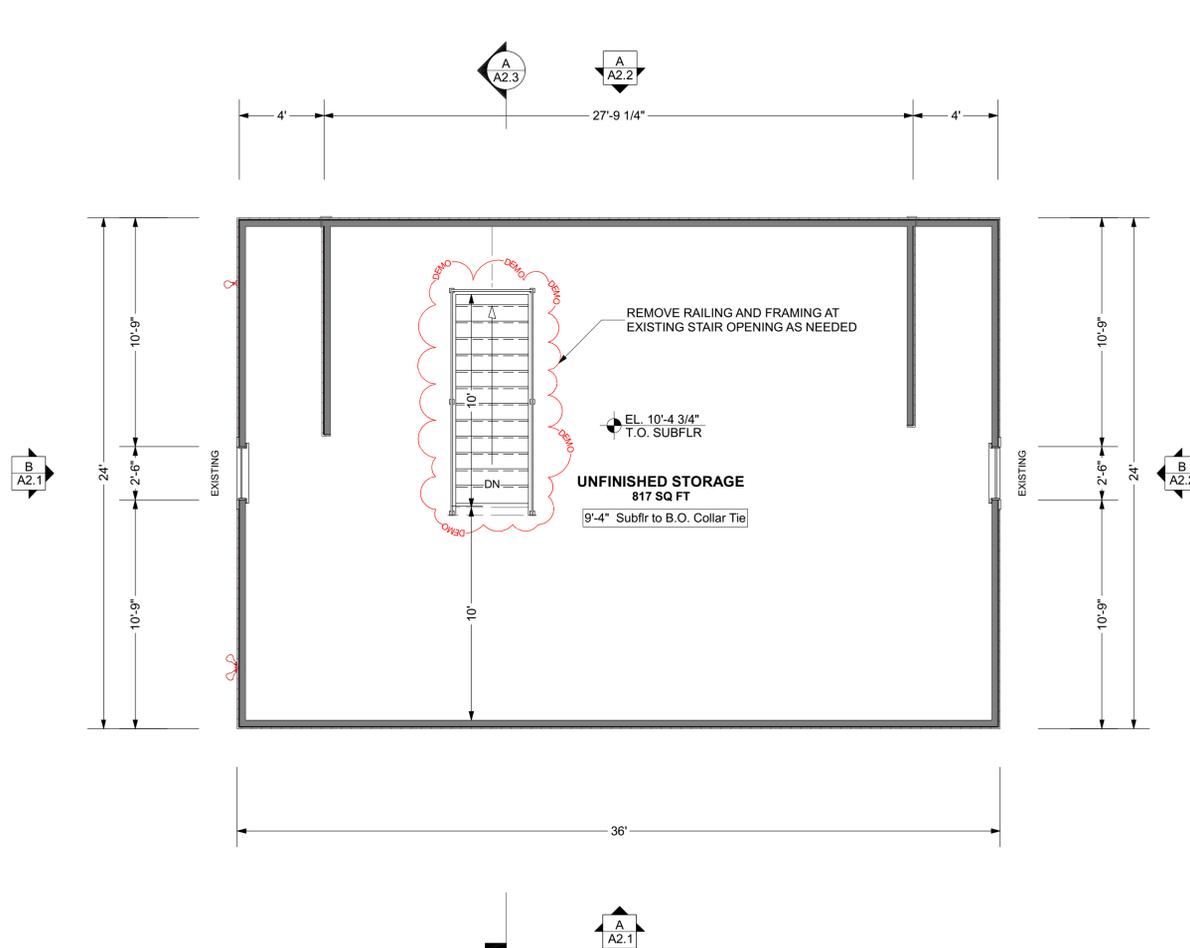
DEMOLITION NOTES: SECOND FLOOR

- CUT OPENINGS FOR TWO SLIDERS AND NEW STAIR HOLE
- REMOVE ALL DEMOLITION AND CONSTRUCTION DEBRIS FROM SITE

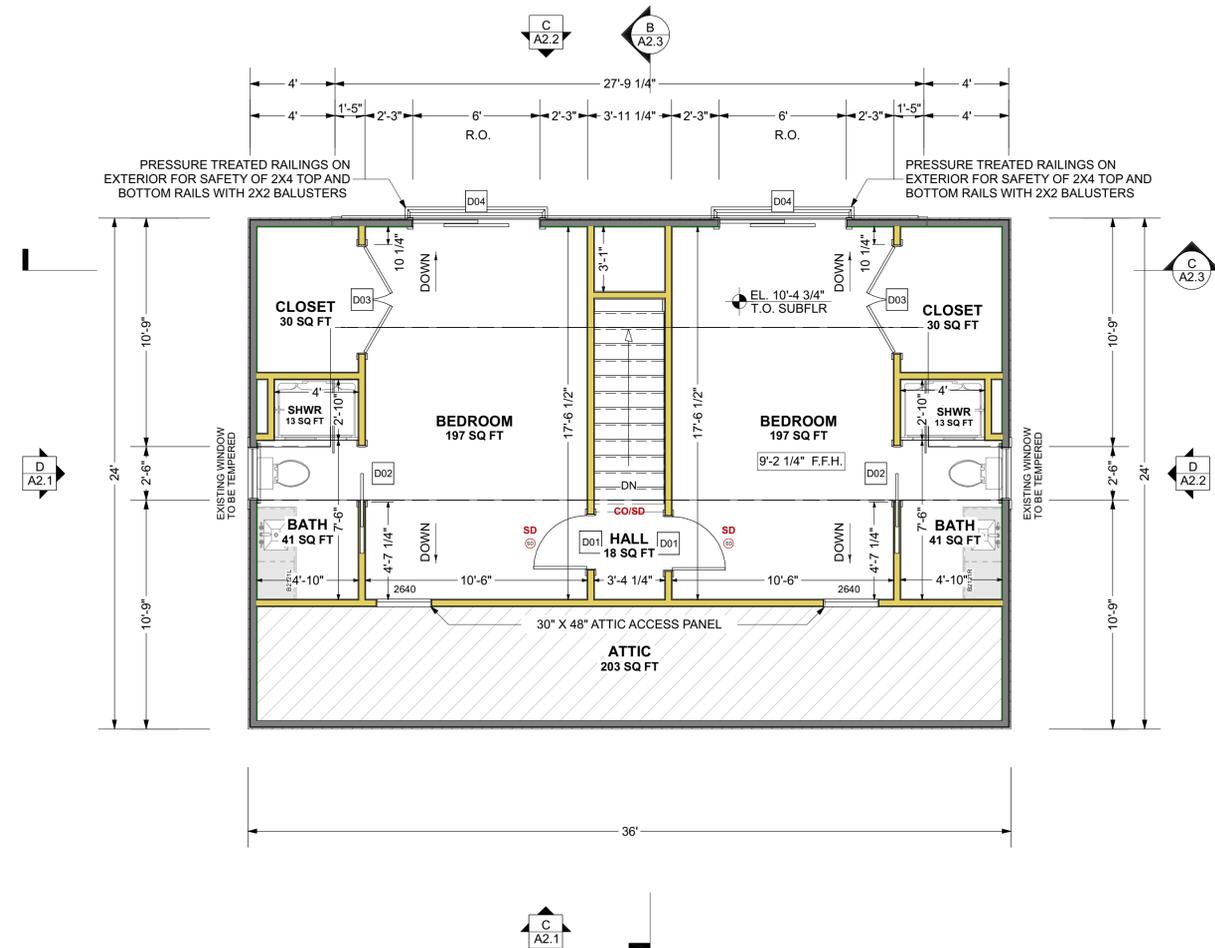
3D EXTERIOR ELEVATION		NUMBER	LABEL	FLOOR	QTY	WIDTH	HEIGHT	DESCRIPTION	MANUFACTURER	COMMENTS
	D01	2666	2	2	30"	78"		HINGED-DOOR P09	MASONITE	BEDROOM BATH
	D02	2666	2	2	30"	78"		POCKET-DOOR P09	MASONITE	BEDROOM BATH
	D03	5066	2	2	60"	78"		DOUBLE HINGED-DOOR P09	MASONITE	BEDROOM BATH
	D04	FWG6068	2	2	71 1/4"	79 1/2"		EXT. SLIDER-GLASS PANEL	FRENCHWOOD GLIDING PATIO DOORS	BEDROOM

CONSTRUCTION NOTES: SECOND FLOOR

- FRAME:**
SECOND FLOOR
EXTERIOR WALLS – 2X4 STUDS AS NEEDED FOR TWO SLIDER OPENINGS WITH 1/2" CDX EXTERIOR SHEATHING AND NEW HEADERS
INTERIOR WALLS – 2X4 STUDS 16" ON CENTER
- EXTERIOR TRIM**
1X12 KICKS UNDER DOORS AND 1X4 CASINGS ON DOORS
- EXTERIOR DOOR AND WINDOWS**
TWO ANDERSEN FWG6068 SLIDERS WITH CLAD WHITE EXTERIOR, PRE-FINISHED WHITE INTERIOR, NO GRILLES, SLIDING SCREEN, OAK THRESHOLD AND NEWBURY STYLE HARDWARE. TEMPERED SASH ON TWO EXISTING WINDOWS THAT WILL BE IN BATHROOM
SLIDERS WILL HAVE PRESSURE TREATED RAILINGS ON EXTERIOR FOR SAFETY OF 2X4 TOP AND BOTTOM RAILS WITH 2X2 BALUSTERS
- EXTERIOR PAINTING**
PREP, CAULK AND TWO COATS OF FINISH ON NEW AZEK TRIM, AND NEW CLAPBOARD PATCHING.
- SIDEWALL:** WESTERN RED CEDAR FJP CLAPBOARDS WITH COURSING TO MATCH EXISTING OVER HOUSEWRAP UNDERLAY WITH WHITE ALUMINUM DRIP CAPS DOOR HEAD CASINGS. SIDEWALL WORK IS LIMITED TO PATCHING AT NEW SLIDER LOCATIONS.
- INSULATION:**
 - EXTERIOR ENVELOPE INSULATION TO CODE
 - UN-FACED SOUND INSULATION IN BEDROOM AND BATHROOM INTERIOR WALLS



A EXISTING SECOND FLOOR PLAN
A1.3 SCALE: 1/4" = 1'-0"



B PROPOSED SECOND FLOOR PLAN
A1.3 SCALE: 1/4" = 1'-0"

DESIGN/BUILD CONTRACTOR

enCORE
DESIGN | REMODEL

encoresco.com
(508) 760-6900 Office

103 Main Street
Dennisport, MA 02639

SHEET TITLE:
EXISTING AND PROPOSED SECOND FLOOR PLANS AND DOOR SCHEDULE

PROJECT ADDRESS:
Kimball Leslie
452 Long Pond Drive
Harwich, MA 02645

REV. DATE:
10/9/2020

SHEET:
A1.3

DEMOLITION NOTES: EXTERIOR

NO DEMOLITION ON FRONT AND LEFT SIDES OF GARAGE

EXISTING CONDITIONS: EXTERIOR

SIDING: WOOD CLAPBOARD SIDING, 4 1/2"
 ROOF: ARCHITECTURAL SHINGLES, GREY
 CORNER BOARD: 1x5/1x6 WHITE
 CASING, FRIEZE, SOFFIT: 1x6 WHITE
 RAKES: 1x8 WHITE



A EXISTING FRONT ELEVATION
 A2.1 SCALE: 1/4" = 1'-0"

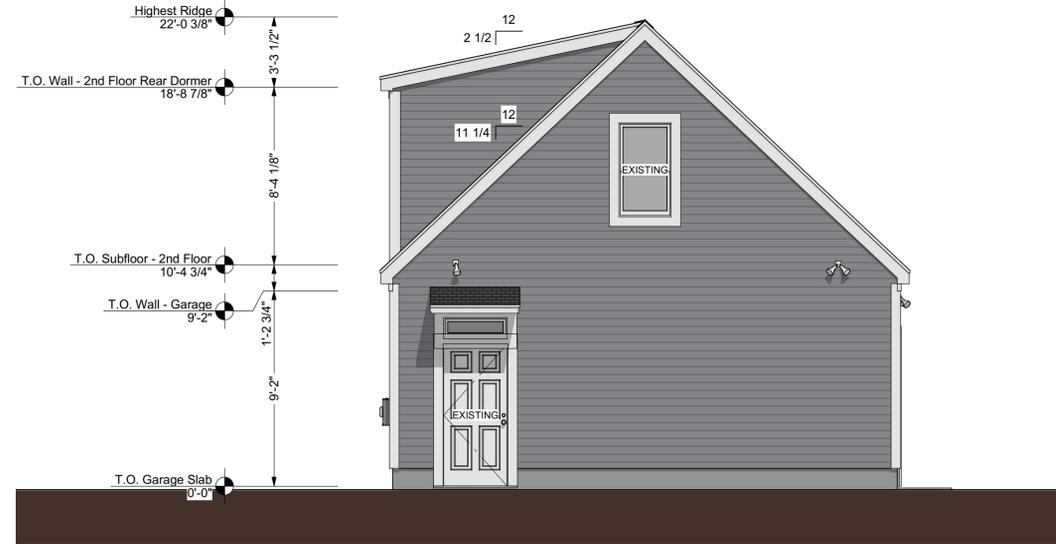
CONSTRUCTION NOTES: EXTERIOR

EXTERIOR TRIM
 1X12 KICKS UNDER DOORS AND 1X4 CASINGS ON DOORS
 EXTERIOR DOOR

EXTERIOR WINDOWS AND DOORS
 TWO ANDERSEN FWG6068 SLIDERS WITH CLAD WHITE EXTERIOR, PRE-FINISHED WHITE INTERIOR, NO GRILLES, SLIDING SCREEN, OAK THRESHOLD AND NEWBURY STYLE HARDWARE.
 TEMPERED SASH ON TWO EXISTING WINDOWS THAT WILL BE IN BATHROOM
 SLIDERS WILL HAVE PRESSURE TREATED RAILINGS ON EXTERIOR FOR SAFETY OF 2X4 TOP AND BOTTOM RAILS WITH 2X2 BALUSTERS

EXTERIOR PAINTING
 PREP, CAULK AND TWO COATS OF FINISH ON NEW AZEK TRIM, AND NEW CLAPBOARD PATCHING.

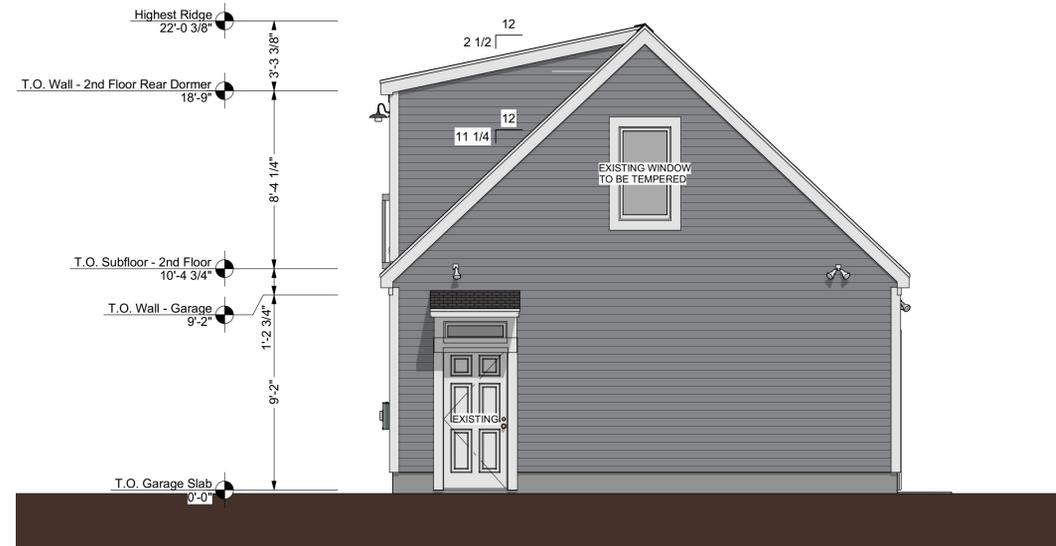
SIDEWALL: WESTERN RED CEDAR FJP CLAPBOARDS WITH COURSING TO MATCH EXISTING OVER HOUSEWRAP UNDERLAY WITH WHITE ALUMINUM DRIP CAPS DOOR HEAD CASINGS. SIDEWALL WORK IS LIMITED TO PATCHING AT NEW SLIDER LOCATIONS.



B EXISTING LEFT ELEVATION
 A2.1 SCALE: 1/4" = 1'-0"



C PROPOSED FRONT ELEVATION
 A2.1 SCALE: 1/4" = 1'-0"



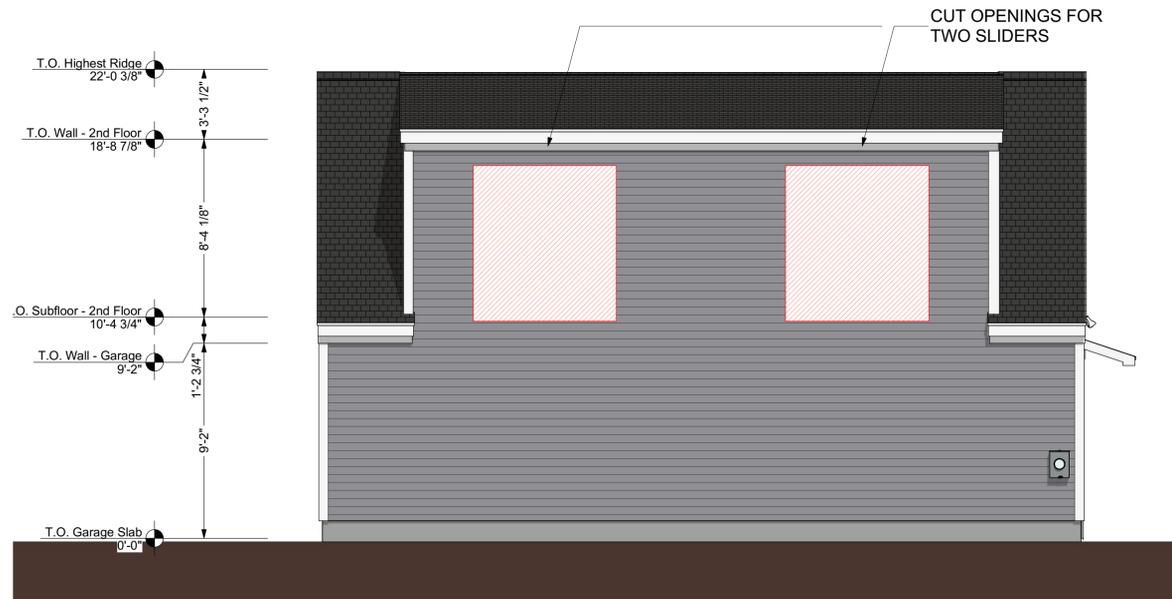
D PROPOSED LEFT ELEVATION
 A2.1 SCALE: 1/4" = 1'-0"

DEMOLITION NOTES: EXTERIOR

- CUT OPENINGS FOR TWO SLIDERS
- REMOVE ALL DEMOLITION AND CONSTRUCTION DEBRIS FROM SITE

EXISTING CONDITIONS: EXTERIOR

SIDING: WOOD CLAPBOARD SIDING, 4 1/2"
 ROOF: ARCHITECTURAL SHINGLES, GREY
 CORNER BOARD: 1x5/1x6 WHITE
 CASING, FRIEZE, SOFFIT: 1x6 WHITE
 RAKES: 1x8 WHITE



A EXISTING REAR ELEVATION
 A2.2 SCALE: 1/4" = 1'-0"

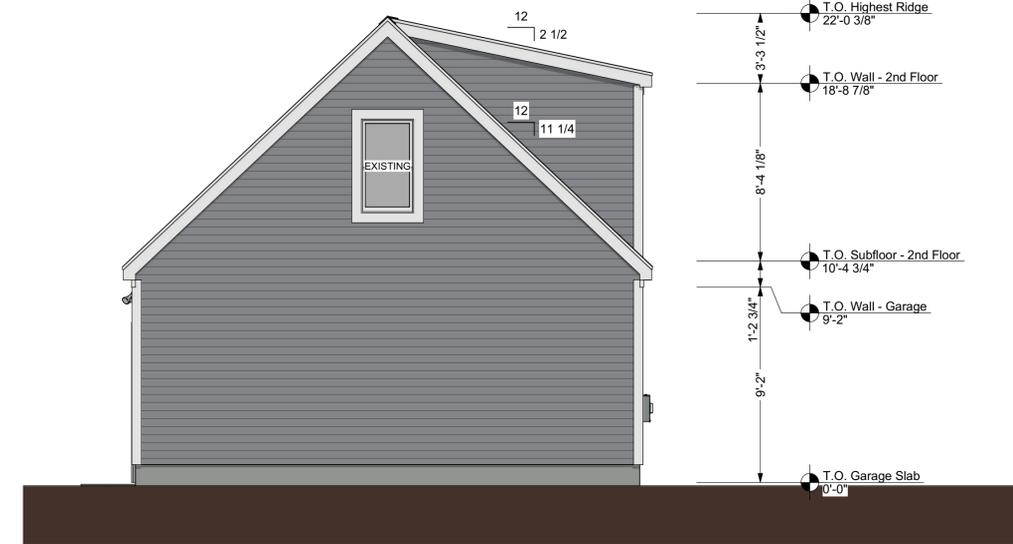
CONSTRUCTION NOTES: EXTERIOR

EXTERIOR TRIM
 1X12 KICKS UNDER DOORS AND 1X4 CASINGS ON DOORS
 EXTERIOR DOOR

EXTERIOR WINDOWS AND DOORS
 TWO ANDERSEN FWG6068 SLIDERS WITH CLAD WHITE EXTERIOR, PRE-FINISHED WHITE INTERIOR, NO GRILLES, SLIDING SCREEN, OAK THRESHOLD AND NEWBURY STYLE HARDWARE.
 TEMPERED SASH ON TWO EXISTING WINDOWS THAT WILL BE IN BATHROOM
 SLIDERS WILL HAVE PRESSURE TREATED RAILINGS ON EXTERIOR FOR SAFETY OF 2X4 TOP AND BOTTOM RAILS WITH 2X2 BALUSTERS

EXTERIOR PAINTING
 PREP, CAULK AND TWO COATS OF FINISH ON NEW AZEK TRIM, AND NEW CLAPBOARD PATCHING.

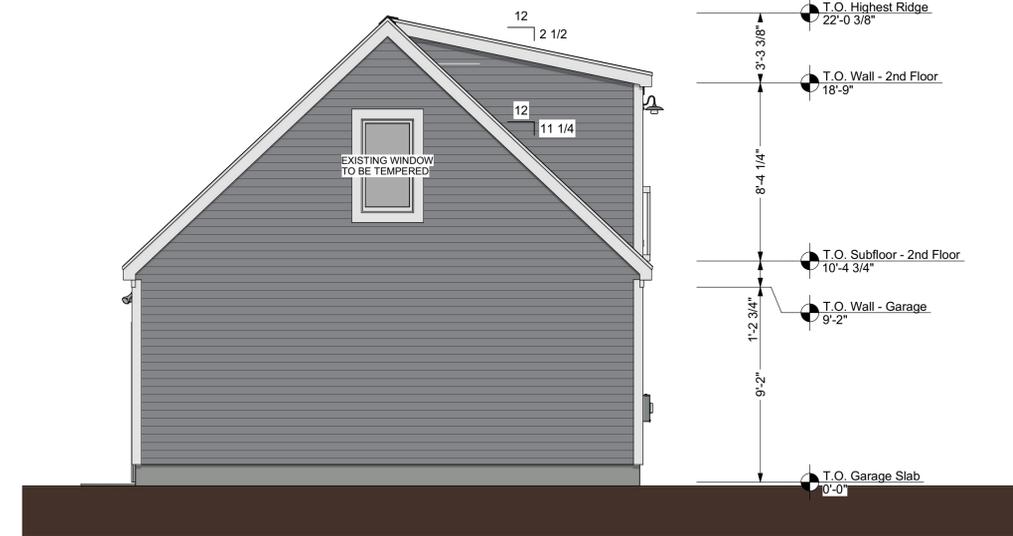
SIDEWALL: WESTERN RED CEDAR FJP CLAPBOARDS WITH COURSING TO MATCH EXISTING OVER HOUSEWRAP UNDERLAY WITH WHITE ALUMINUM DRIP CAPS DOOR HEAD CASINGS. SIDEWALL WORK IS LIMITED TO PATCHING AT NEW SLIDER LOCATIONS.



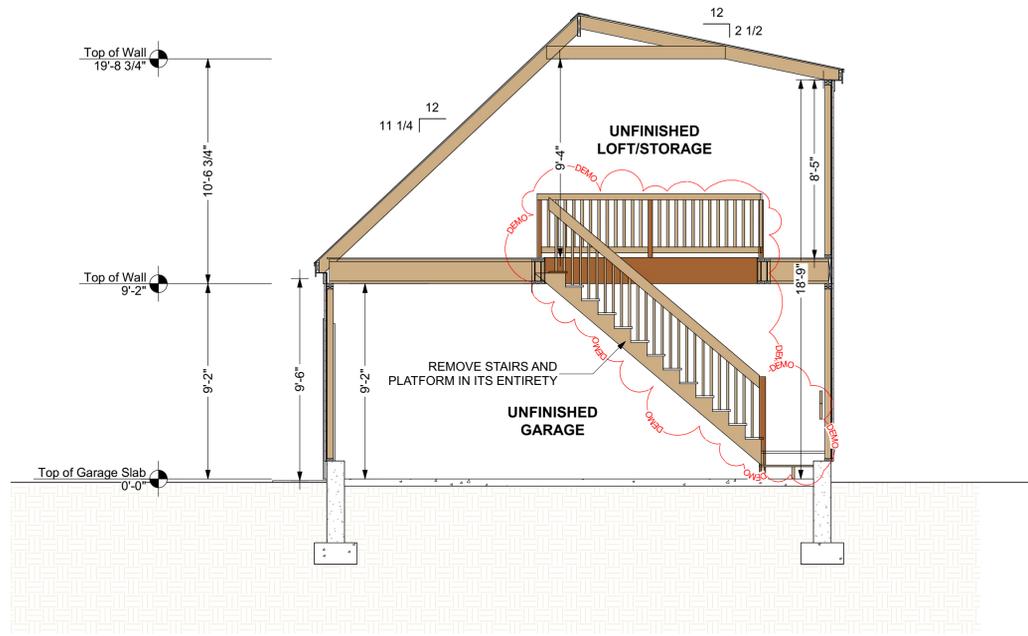
B EXISTING RIGHT ELEVATION
 A2.2 SCALE: 1/4" = 1'-0"



C PROPOSED REAR ELEVATION
 A2.2 SCALE: 1/4" = 1'-0"



D PROPOSED RIGHT ELEVATION
 A2.2 SCALE: 1/4" = 1'-0"



A
A2.3 **EXISTING SECTION THRU STAIR**
SCALE: 1/4" = 1'-0"

DEMOLITION NOTES:

- REMOVE STAIRS AND PLATFORM
- REMOVE OVERHEAD TRACK IN ORDER TO CHANGE STAIR OPENING AND INSULATE AND PLASTER GARAGE CEILING AND REINSTALL WHEN COMPLETED
- CUT OPENINGS FOR TWO SLIDERS AND NEW STAIR HOLE
- REMOVE ALL DEMOLITION AND CONSTRUCTION DEBRIS FROM SITE

CONSTRUCTION NOTES: FRAMING

R602.3 DESIGN AND CONSTRUCTION. EXTERIOR WALLS OF WOOD-FRAME CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CHAPTER AND FIGURES R602.3(1) AND R602.3(2) OR IN ACCORDANCE WITH AF&PA'S NDS. COMPONENTS OF EXTERIOR WALLS SHALL BE FASTENED IN ACCORDANCE WITH TABLES R602.3(1) THROUGH R602.3(4). STRUCTURAL WALL SHEATHING SHALL BE FASTENED DIRECTLY TO STRUCTURAL FRAMING MEMBERS. EXTERIOR WALL COVERINGS SHALL BE CAPABLE OF RESISTING THE WIND PRESSURES LISTED IN TABLE R301.2(2) ADJUSTED FOR HEIGHT AND EXPOSURE USING TABLE R301.2(3). WOOD STRUCTURAL PANEL SHEATHING USED FOR EXTERIOR WALLS SHALL CONFORM TO THE REQUIREMENTS OF TABLE R602.3(3).

STUDS SHALL BE CONTINUOUS FROM SUPPORT AT THE SOLE PLATE TO A SUPPORT AT THE TOP PLATE TO RESIST LOADS PERPENDICULAR TO THE WALL. THE SUPPORT SHALL BE A FOUNDATION OR FLOOR, CEILING OR ROOF DIAPHRAGM OR SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.

EXCEPTION: JACK STUDS, TRIMMER STUDS AND CRIPPLE STUDS AT OPENINGS IN WALLS THAT COMPLY WITH TABLES R502.5(1) AND R502.5(2).

CONSTRUCTION NOTES: SECTIONS

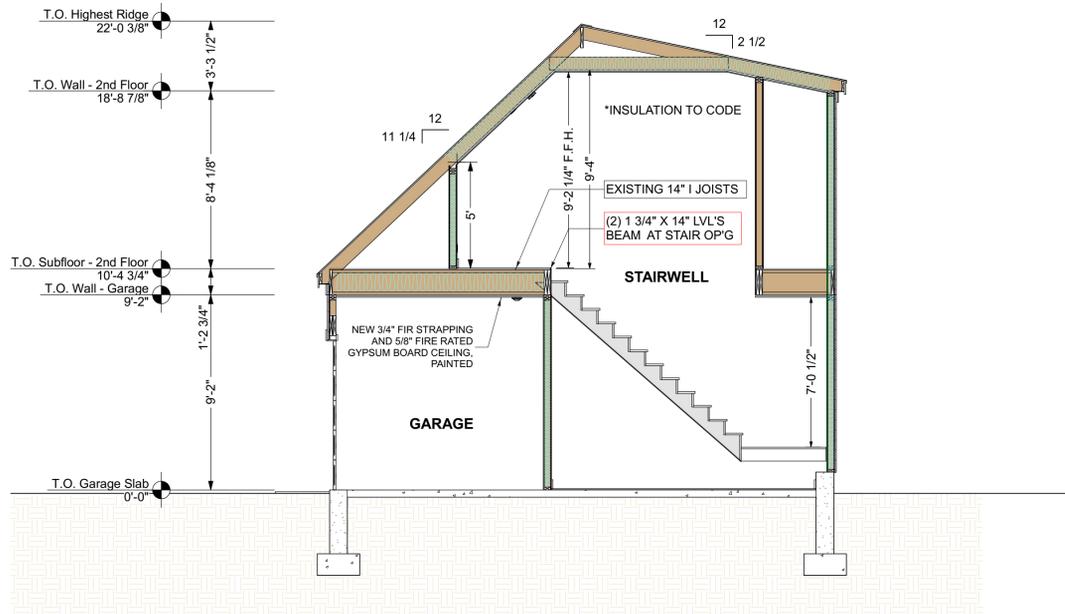
FRAME:
GARAGE LEVEL
INTERIOR WALLS – 2X4 STUDS 16" ON CENTER WITH PRESSURE TREATED SOLE PLATES TO CREATE HALLWAY AND ENCLOSE STAIRS
STRAPPING – 1X3 SPRUCE STRAPPING 16" ON CENTER ON GARAGE CEILING
SECOND FLOOR
EXTERIOR WALLS – 2X4 STUDS AS NEEDED FOR TWO SLIDER OPENINGS WITH 1/2" CDX EXTERIOR SHEATHING AND NEW HEADERS
INTERIOR WALLS – 2X4 STUDS 16" ON CENTER

BLUEBOARD & PLASTER: 1/2" BLUEBOARD ON WALLS AND CEILING WITH SMOOTH SKIM COAT OF PLASTER EXCEPT WHERE 5/8" FIRE CODE IS REQUIRED. INCLUDES GARAGE CEILING.

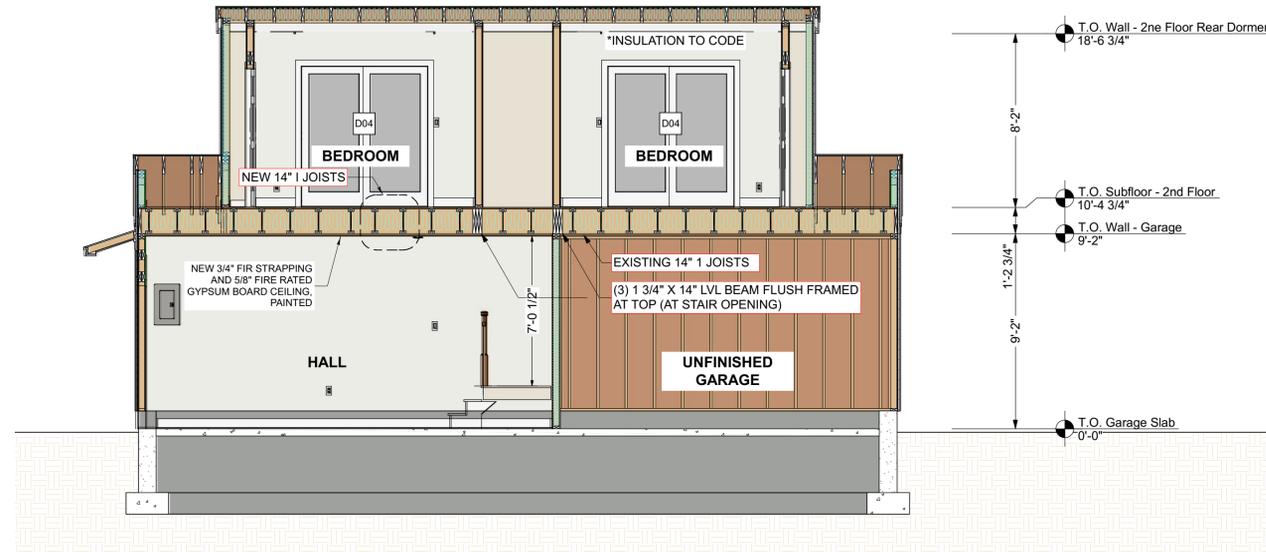
INSULATION:
• EXTERIOR ENVELOPE INSULATION TO CODE

SPECIAL NOTE:

ALL EXISTING FRAMING MEMBERS SIZES AND DIRECTION OF JOISTS TO BE CONFIRMED IN FIELD



B
A2.3 **PROPOSED SECTION THRU STAIR**
SCALE: 1/4" = 1'-0"



C
A2.3 **PROPOSED SECTION THRU LANDING**
SCALE: 1/4" = 1'-0"

WALL LEGEND:

-  EXTERIOR 2X4 WALL, EXISTING
-  EXTERIOR 2X4 WALL, EXISTING WITH NEW INTERIOR FINISH
-  INTERIOR 2X4 WALL, PROPOSED
-  INTERIOR 2X4 FIRE-RATED WALL, PROPOSED

DIMENSIONS:

- ALL PROPOSED DIMENSIONS ARE TAKEN FROM STUD TO STUD

INTERIOR NOTES:

TILE: TILE FLOORING IN BATHROOM.

FLOORING:

- WOOD FLOORING: 2-1/4" RED OAK SELECT FLOORING INSTALLED, SANDED, AND FINISHED WITH THREE COATS OF POLYURETHANE ON LOWER STAIR PLATFORM. FINISH STAIR TREADS IN SAME MANNER.
- LAMINATE FLOORING: VINYL LAMINATE PLANK FLOORING INSTALLED IN UPPER HALLWAY AND BOTH BEDROOMS

BLUEBOARD & PLASTER: 1/2" BLUEBOARD ON WALLS AND CEILING WITH SMOOTH SKIM COAT OF PLASTER EXCEPT WHERE 5/8" FIRE CODE IS REQUIRED. INCLUDES GARAGE CEILING.

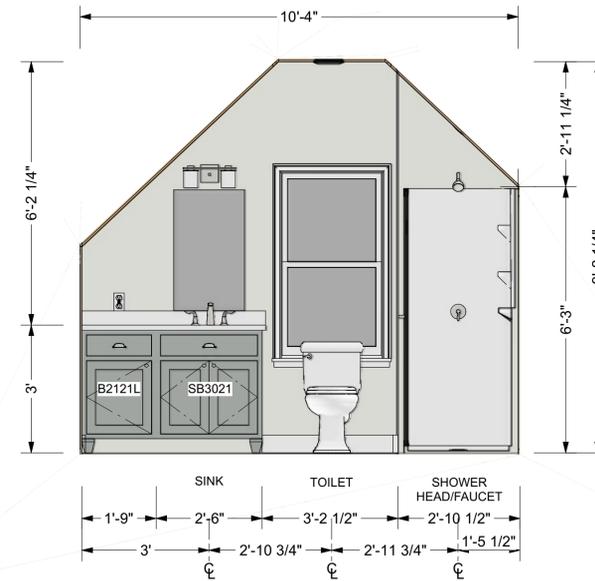
TILE BACKER BOARD: TILE BACKER BOARD ON BATHROOM FLOORS AGE CEILING.

TOILET AND BATH ACCESSORIES: ALL TOILET AND BATH ACCESSORIES INSTALLED BY ENCORE.

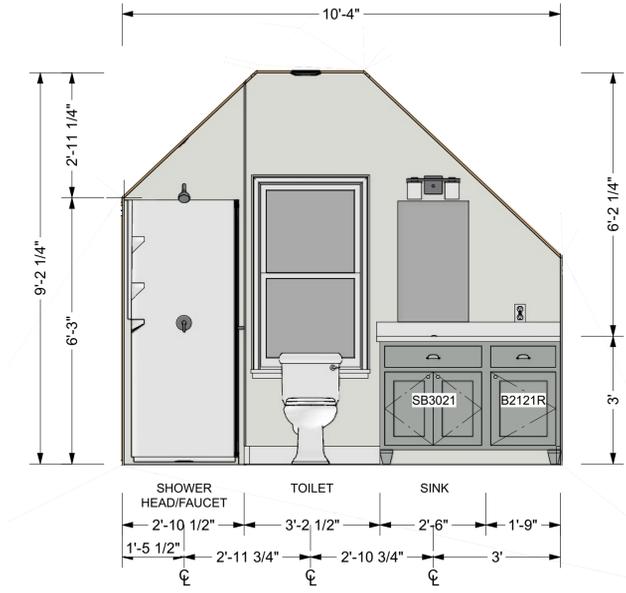
MIRRORS: TWO MIRRORS 42" TALL BY THE WIDTH OF EACH VANITY WITH POLISHED EDGES FURNISHED AND INSTALLED

INTERIOR FINISH:

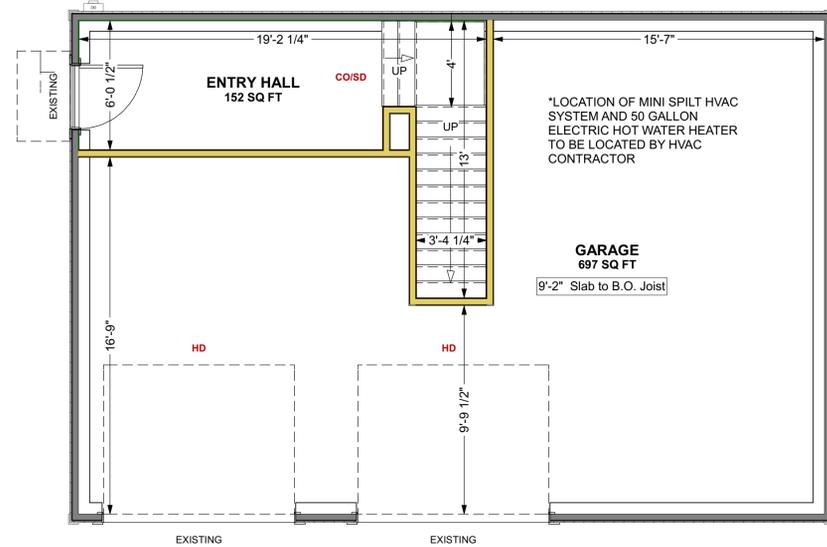
- INTERIOR DOORS TO BE 6-PANEL SOLID CORE MASONITE.
- INTERIOR TRIM TO BE 1X4 POPLAR CASINGS WITH 1X5 POPLAR BASE.
- STAIR PARTS: RED OAK RAILING. TREADS TO BE RED OAK WITH POPLAR SKIRT AND RISERS.
- VANITIES: TO BE SELECTED BY OWNER
- VANITY TOPS: TO BE SELECTED BY OWNER
- CABINETY HARDWARE: KNOBS AND PULLS TO BE SELECTED BY OWNER
- INTERIOR PAINTING TO BE TWO COATS OF FINISH ON PRE-PRIMED WOOD AND ONE COAT PRIMER AND TWO COATS OF FINISH ON UNPRIMED WOOD. PRIMER AND TWO COATS OF FINISH ON PLASTER WALLS AND CEILINGS. SPRAY ONE COAT OF PRIMER AND ONE COAT OF FINISH ON GARAGE CEILING.
- FINISH HARDWARE: TO BE SELECTED BY OWNER
- CLOSET SHELVING: TO BE SELECTED BY OWNER



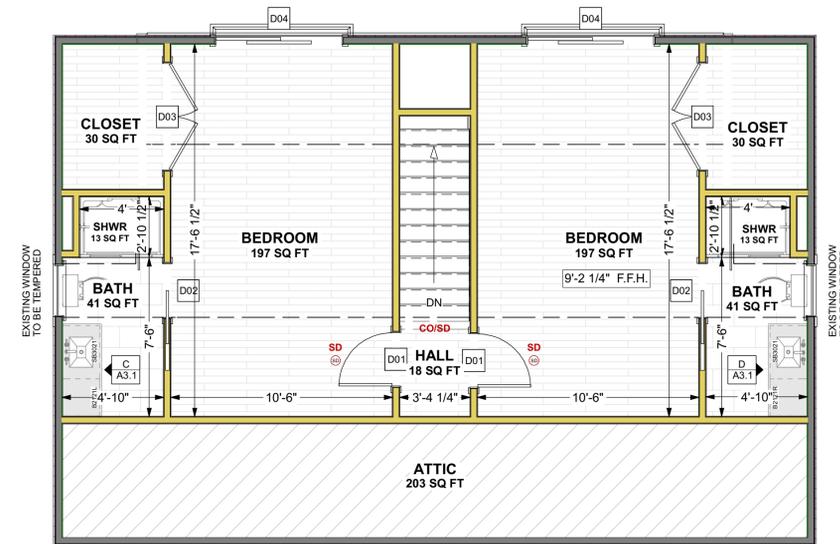
C BATH ELEVATION
A3.1 SCALE: 1/2" = 1'-0"



D BATH ELEVATION
A3.1 SCALE: 1/2" = 1'-0"



A PROPOSED FIRST FLOOR FINISH PLAN
A3.1 SCALE: 1/4" = 1'-0"



B PROPOSED SECOND FLOOR FINISH PLAN
A3.1 SCALE: 1/4" = 1'-0"

R602.3 DESIGN AND CONSTRUCTION.
 EXTERIOR WALLS OF WOOD-FRAME CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CHAPTER AND FIGURES R602.3(1) AND R602.3(2) OR IN ACCORDANCE WITH AF&PA'S NDS. COMPONENTS OF EXTERIOR WALLS SHALL BE FASTENED IN ACCORDANCE WITH TABLES R602.3(1) THROUGH R602.3(4). STRUCTURAL WALL SHEATHING SHALL BE FASTENED DIRECTLY TO STRUCTURAL FRAMING MEMBERS. EXTERIOR WALL COVERINGS SHALL BE CAPABLE OF RESISTING THE WIND PRESSURES LISTED IN TABLE R301.2(2) ADJUSTED FOR HEIGHT AND EXPOSURE USING TABLE R301.2(3). WOOD STRUCTURAL PANEL SHEATHING USED FOR EXTERIOR WALLS SHALL CONFORM TO THE REQUIREMENTS OF TABLE R602.3(3).

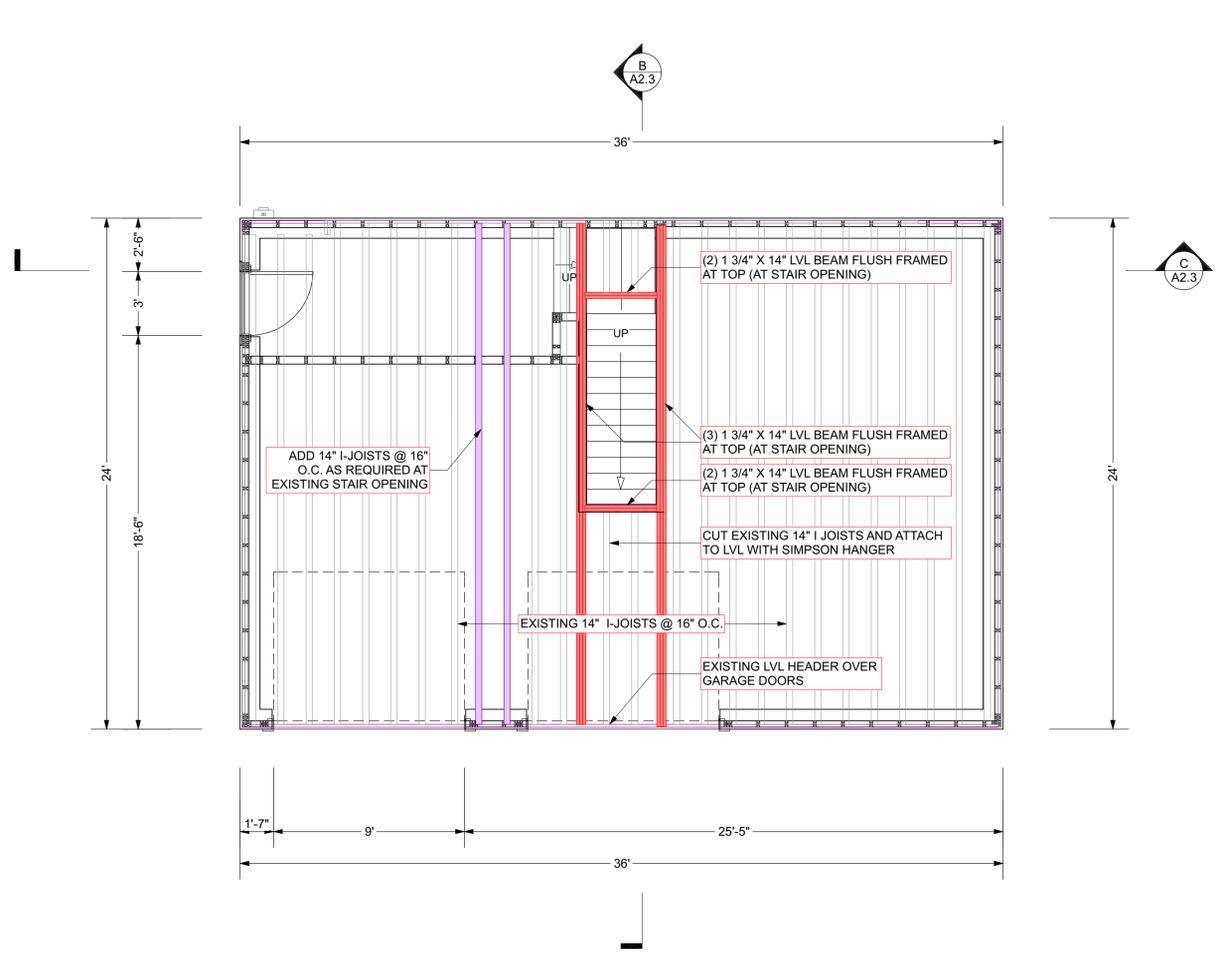
STUDS SHALL BE CONTINUOUS FROM SUPPORT AT THE SOLE PLATE TO A SUPPORT AT THE TOP PLATE TO RESIST LOADS PERPENDICULAR TO THE WALL. THE SUPPORT SHALL BE A FOUNDATION OR FLOOR, CEILING OR ROOF DIAPHRAGM OR SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.

EXCEPTION: JACK STUDS, TRIMMER STUDS AND CRIPPLE STUDS AT OPENINGS IN WALLS THAT COMPLY WITH TABLES R502.5(1) AND R502.5(2).

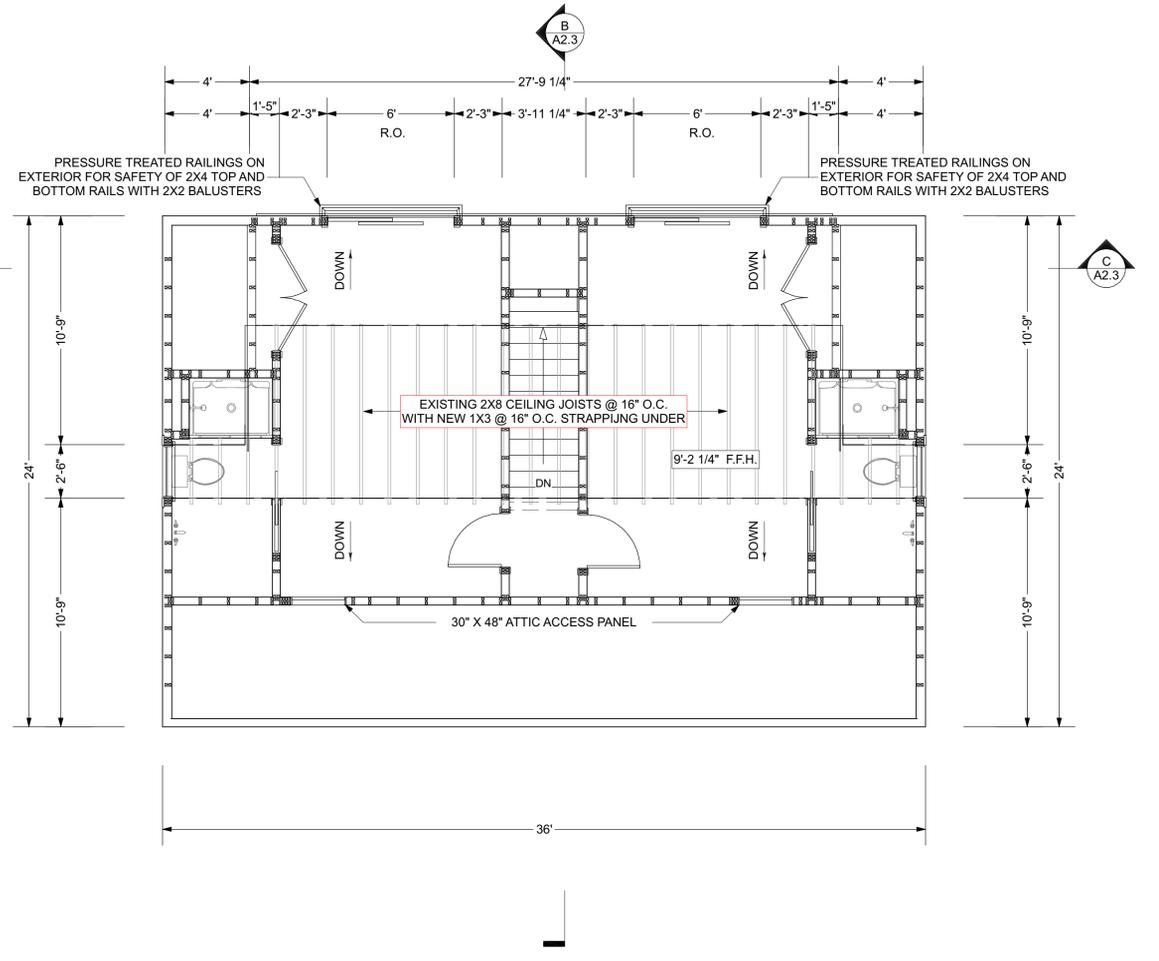
CONSTRUCTION NOTES: FRAMING

FRAME:
GARAGE LEVEL
 INTERIOR WALLS – 2X4 STUDS 16" ON CENTER WITH PRESSURE TREATED SOLE PLATES TO CREATE HALLWAY AND ENCLOSE STAIRS
 STRAPPING – 1X3 SPRUCE STRAPPING 16" ON CENTER ON GARAGE CEILING
SECOND FLOOR
 EXTERIOR WALLS – 2X4 STUDS AS NEEDED FOR TWO SLIDER OPENINGS WITH 1/2" CDX EXTERIOR SHEATHING AND NEW HEADERS
 INTERIOR WALLS – 2X4 STUDS 16" ON CENTER
 STRAPPING – 1X3 SPRUCE STRAPPING 16" ON CENTER ON 2ND FLOOR CEILING

SPECIAL NOTE:
 ALL EXISTING FRAMING MEMBERS SIZES AND DIRECTION OF JOISTS TO BE CONFIRMED IN FIELD



A
S1 PROPOSED SECOND FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"



B
S1 PROPOSED SECOND FLOOR CEILING FRAMING PLAN
 SCALE: 1/4" = 1'-0"

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 ENCORECO.COM
 (508) 760-6900 Office

DESIGN/BUILD CONTRACTOR
 103 Main Street
 Dennisport, MA 02639

PROPOSED FRAMING PLANS

SHEET TITLE:

PROJECT ADDRESS:
 Kimball Leslie
 452 Long Pond Drive
 Harwich, MA 02645

REV. DATE:
 10/9/2020

SHEET:
S1

SPECIAL NOTE: RECOMMEND A WALK-THRU AFTER ROUGH FRAMING IS COMPLETE TO DETERMINE FINAL LOCATION OF OUTLETS, SWITCHES, AND LIGHTS WITH OWNERS, GENERAL CONTRACTOR REP AND ELECTRICIAN.

SECTION R315 - CARBON MONOXIDE ALARMS

R315.1 GENERAL. CARBON MONOXIDE ALARMS SHALL COMPLY WITH SECTION R315
 R315.1.1 LISTINGS. CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 2034. COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 2034 AND UL 217.
 R315.2 WHERE REQUIRED. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R315.2.1 AND R315.2.2.
 R315.2.1 NEW CONSTRUCTION. FOR NEW CONSTRUCTION, CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN DWELLING UNITS WHERE EITHER OR BOTH OF THE FOLLOWING CONDITIONS EXIST.
 THE DWELLING UNIT CONTAINS A FUEL-FIRED APPLIANCE. THE DWELLING UNIT HAS AN ATTACHED GARAGE WITH AN OPENING THAT COMMUNICATES WITH THE DWELLING UNIT.
 R315.3 LOCATION. CARBON MONOXIDE ALARMS IN DWELLING UNITS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM.
 R315.4 COMBINATION ALARMS. COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF CARBON MONOXIDE ALARMS.

VENTILATION NOTES:

ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR

ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 150 SQ. FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN AND SHALL BE COVERED WITH GALVANIZED WIRE SCREEN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

SECTION R314 - SMOKE ALARMS

R314.1 GENERAL. SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND SECTION R314.
 R314.1.1 LISTINGS. SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034.
 R314.2 WHERE REQUIRED. SMOKE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH THIS SECTION.
 R314.2.1 NEW CONSTRUCTION. SMOKE ALARMS SHALL BE PROVIDED IN DWELLING UNITS.
 R314.3 LOCATION. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
 IN EACH SLEEPING ROOM.
 OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AND NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
 4. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET (914 MM) HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY SECTION R314.3.

HVAC NOTES:

TWO 1-TON MINI-SPLIT WALL MOUNTED HEAT AND COOLING UNITS

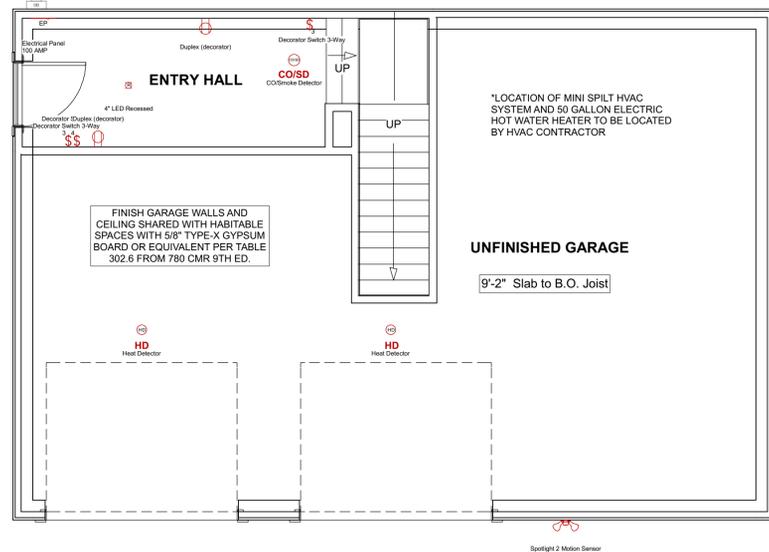
PLUMBING NOTES:

PROVIDE NEW WATER PIPING, DRAINS AND VENTS AS REQUIRED. INSULATION OF EXPOSED HOT WATER PIPING INCLUDED.
 BATHROOM 1
 ONE FIBERGLASS SHOWER UNIT
 ONE SHOWER ROUGH-IN VALVE WITH TRIM
 ONE STANDARD SHOWER DRAIN WITH STRAINER
 ONE UNDERMOUNT LAV
 ONE LAV FAUCET
 ONE ELONGATED WATER CLOSET WITH SEAT
 BATHROOM 2
 ONE FIBERGLASS SHOWER UNIT
 ONE SHOWER ROUGH-IN VALVE WITH TRIM
 ONE STANDARD SHOWER DRAIN WITH STRAINER
 ONE UNDERMOUNT LAV
 ONE LAV FAUCET
 ONE ELONGATED WATER CLOSET WITH SEAT
 MISCELLANEOUS
 ONE 50-GALLON ELECTRIC HOT WATER HEATER
 DOMESTIC WATER PIPING FROM HOUSE UNDERGROUND TO GARAGE FOR THE NEW BATHROOMS
 TRENCHING
 NOTE
 ALL DRAIN WASTE AND VENT TO BE SCHEDULE 40 PVC. ALL WATER PIPING TO BE TYPE L COPPER TUBING WITH LEAD FREE SOLDER OR PEX TUBING.

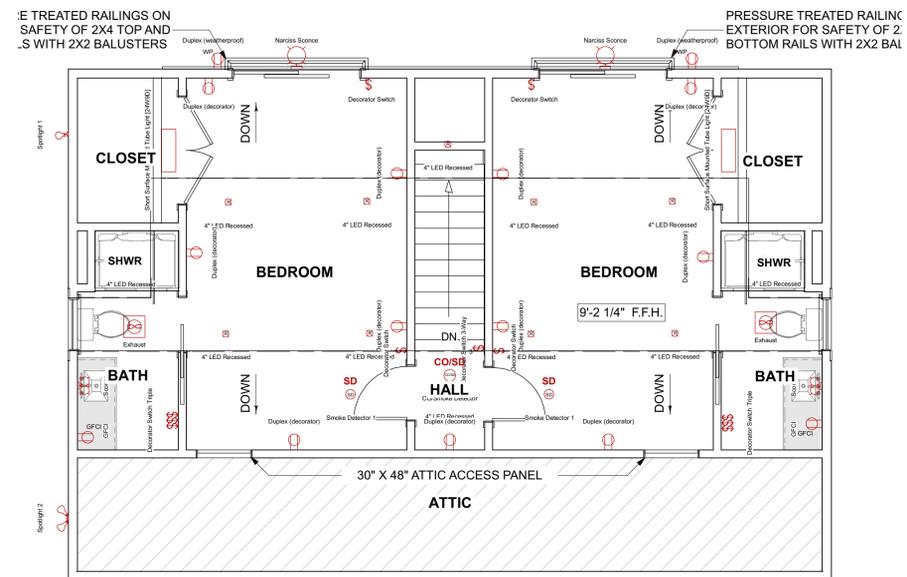
ELECTRICAL NOTES:

PERMIT AND INSPECTIONS DISCONNECTS/RECONNECTS
 GARAGE
 - TWO RATE-OF-HEAT-RISE DETECTORS
 STAIRS / LOWER & UPPER HALLS
 THREE 3-WAY SWITCHES
 ONE 4-WAY SWITCH
 TWO 4" LED WAFER RECESSED CEILING LIGHTS
 ONE 15 AMP OUTLET
 TWO COMBINATION SMOKE/CARBON MONOXIDE DETECTORS
 BEDROOMS (2)
 TWO SINGLE POLE SWITCHES
 EIGHT 4" LED WAFER RECESSED CEILING LIGHTS
 TWELVE 15 AMP OUTLETS
 TWO 15 AMP HOME RUN CIRCUITS
 TWO 15 AMP ARC/FAULT BREAKERS
 TWO PHOTOELECTRIC SMOKE DETECTORS
 TWO SINGLE POLE SWITCHES FOR CLOSET LIGHTS
 TWO 2" LED CLOSET LIGHTS
 TWO EXTERIOR WALL LIGHT OUTLETS AND INSTALLATION OF OWNER-PROVIDED FIXTURES
 TWO WEATHERPROOF GFI OUTLETS WITH COVERS
 BATHROOMS (2)
 SIX SINGLE POLE SWITCHES
 TWO VANITY LIGHT OUTLETS AND INSTALLATION OF OWNER-PROVIDED FIXTURES
 TWO 4" LED WAFER RECESSED CEILING LIGHTS IN SHOWERS
 TWO PANASONIC WHISPER QUIET BATH EXHAUST FANS VENTED TO EXTERIOR
 ONE 20 AMP HOME RUN CIRCUIT
 ONE 20 AMP AFC/GFI BREAKER
 TWO 20 AMP GFI-PROTECTED OUTLETS
 UTILITIES
 WIRING FOR TWO MINI-SPLIT INDOOR UNITS WITH OUTDOOR CONDENSERS
 WIRING FOR ONE ELECTRIC WATER HEATER

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel



A PROPOSED FIRST FLOOR MEP PLAN
 MEP1 SCALE: 1/4" = 1'-0"



B PROPOSED SECOND FLOOR MEP PLAN
 MEP1 SCALE: 1/4" = 1'-0"

en core
 DESIGN | RENOVEL
 ENCORECO.COM
 (508) 760-6900 Office

DESIGN/BUILD CONTRACTOR
 103 Main Street
 Dennisport, MA 02639

PROPOSED MEP PLANS

SHEET TITLE:

PROJECT ADDRESS:
 Kimball Leslie
 452 Long Pond Drive
 Harwich, MA 02645

REV. DATE:
 10/9/2020

SHEET:
 MEP1

*Memorandum from
Charleen Greenhalgh, Town Planner
Town of Harwich*

AGENDA ITEM # II.C

November 19, 2020

To: Planning Board
Cc: Joe Powers, Interim Town Administrator
From: Charleen Greenhalgh, Town Planner
Re: PB2020-28 Cape Cod Oil Co. – 6 Station Avenue

This is a new public hearing, therefore the hearing must be opened and the legal notice must be read into the record.

The applicant's representative, Gregory Driscoll, has requested a continuance:

On behalf of the Applicant, Mr. Hurst Tasha of M.J.T. Trucking, Inc., we hereby request a continuance from the next scheduled Planning Board hearing on December 1, 2020 to the following hearing on January 12, 2021. This request is in reference to the Site Plan Approval filing for the proposed propane tank installation at 6 Station Avenue in Harwich.

RECOMMENDED MOTION:

Move to continue the public hearing for PB2020-28 Cape Cod Oil Co. to Tuesday, January 12, 2021, not earlier than 6:30pm.

**HARWICH PLANNING BOARD
HARWICH TOWN HALL - 732 MAIN STREET, HARWICH
VIA REMOTE PARTICIPATION GoToMeeting.com
TUESDAY NOVEMBER 10, 2020 – 6:30 PM
MEETING MINUTES**

BOARD MEMBERS PRESENT: Chairman, Duncan Berry; Vice-Chairman, Allan Peterson; David Harris; Arthur Rouse; Joe McParland; Mary Maslowski; and Craig Chadwick, were all present via remote participation.

BOARD MEMBERS ABSENT: William Stoltz.

OTHERS PRESENT: Charleen Greenhalgh; Katie O'Neill; Sarah Korjeff; Elisabeth Kellam; and Cyndi Williams.

CALL TO ORDER - 6:30 PM by Chairman Berry with a quorum present.

Pursuant to Governor Baker's March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, G.L. c. 30A, §20, and the Governor's March 15, 2020 Order imposing strict limitations on the number of people that may gather in one place, this meeting of the Harwich Planning Board is being conducted via remote participation. No in-person attendance of members of the public will be permitted, but every effort will be made to ensure that the public can adequately access the proceedings as provided for in the Order. A reminder that persons who would like to listen or view this meeting while in progress may do so by logging in or calling in as specified above on this agenda.

MEETING MINUTES: October 27, 2020

Mr. McParland made the motion to adopt the minutes from October 27, 2020, seconded by Mr. Chadwick, unanimously so voted via roll call.

WEST HARWICH SPECIAL DISTRICT:

The discussion began with Mrs. Greenhalgh presenting the draft guideline zoning document. Ms. Korjeff provided that there would be an addition to the zoning by law that passed in September at Town Meeting. It touches upon historic structures and new construction, and a separate document would give specific examples. Mrs. Greenhalgh gave credit to Chairman Berry for creating the second document presented in the packet. Mrs. Greenhalgh continued to work through the draft zoning document. A lengthy discussion ensued as the board discussed section by section.

Ms. Maslowski raised a concern that the document needed to match the demolition delay bylaw for the historic commission. Mrs. Greenhalgh believed that a previous section of the by-law indicates that language. Ms. Korjeff stated it makes sense to reiterate that in this section, but also that section A.2H is intended to address new construction, which could be moved to the new construction section. A lengthy discussion ensued on both documents. The Board made

recommendations on changes to both documents, and will review the changes at a later date. Board members were encouraged to send any comments or suggestions to Mrs. Greenhalgh.

OLD BUSINESS: None.

BRIEFINGS AND REPORTS BY BOARD MEMBERS:

Mrs. Greenhalgh will be the part time planner post retirement for 90 days. Her main focus will be the Planning Board. Chairman Berry stated that he spoke to three different Selectmen about this, so he did not end up submitting a letter, as it would be redundant.

Ms. Maslowski stated that CPC review has begun. She will update the Board at the next meeting on the applications.

ADJOURNMENT:

Mr. McParland made the motion to adjourn at 7:44 PM, seconded by Mr. Chadwick, unanimously so voted via roll call (6-0-0).

Respectfully Submitted,
Kathleen A. O'Neill

Adopted:

**HARWICH PLANNING BOARD
HARWICH TOWN HALL - 732 MAIN STREET, HARWICH
VIA REMOTE PARTICIPATION GoToMeeting.com
THURSDAY NOVEMBER 19, 2020 – 6:30 PM
MEETING MINUTES**

BOARD MEMBERS PRESENT: Chairman, Duncan Berry; David Harris; William Stoltz; Arthur Rouse; Mary Maslowski; and Craig Chadwick, were all present via remote participation. Vice-Chairman, Allan Peterson arrived remotely at 6:35 PM.

BOARD MEMBERS ABSENT: Joe McParland.

OTHERS PRESENT: Charleen Greenhalgh; Diane Rinkacs; Mary Moody; Cyndi Williams; Linda Cebula; Jeanne Mongillo; Ben Zehnder; Alex Bardin; David Reid; James McGrath; Gregory Winston; Noreen Kennedy; Steven Clark; and others.

CALL TO ORDER - 6:30 PM by Chairman Berry with a quorum present.

Pursuant to Governor Baker's March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, G.L. c. 30A, §20, and the Governor's March 15, 2020 Order imposing strict limitations on the number of people that may gather in one place, this meeting of the Harwich Planning Board is being conducted via remote participation. No in-person attendance of members of the public will be permitted, but every effort will be made to ensure that the public can adequately access the proceedings as provided for in the Order. A reminder that persons who would like to listen or view this meeting while in progress may do so by logging in or calling in as specified above on this agenda.

PB2020-26 Royal Apartments, 328 Bank Street, Special Permit for Multifamily Use and Site Plan Review

Chairman Berry opened the hearing at 6:33 PM by reading the legal notice into the record. The Royal Apartments LLC, as owner, Benjamin E. Zehnder, Esq, Representative, seeks approval of Special Permits for Multifamily Use and Site Plan Review for the proposed use and additional parking and other appurtenances pursuant to the Code of the Town of Harwich §§325-51.Q (approved at the 9-26-2020 Town Meeting) and 325-55. The property is located at 328 Bank Street, Map 41, Parcel N4 in the M-R-L zoning district.

The applicant through Attorney Zehnder, requested the Planning Board to continue its hearing of this matter until December 17 in order to allow it to be heard with an amended application to include the request for a special permit under the Harwich Center Overlay District Provision and the request is that the Planning Board vote to permit the applicant to amend the application to include this relief.

Mr. Chadwick made the motion based on the request to continue the hearing to December 17, 2020 no earlier than 6:30 PM, seconded by Mr. Harris, unanimously so voted via roll call (6-0-0).

Vice-Chairman Peterson arrived at 6:35 PM.

PB2020-27 NextGrid, 0 Depot Road, Site Plan Review Special Permit

Chairman Berry opened the hearing at 6:36 PM by reading the legal notice into the record. NextGrid, Inc., as applicant, Brian G. Yergatian, P.E., as representative, and Steven Clark, as owner, seek approval of a Site Plan Review Special Permit pursuant to the Code of the Town of Harwich §325-55, in conjunction with §325, Article XXIII to establish a Large Scale Photovoltaic Array at property located at 0 Depot Road, Map 64, Parcel S-1 in the R-R zoning district. The property is only accessible via Mill Hill Road, Chatham.

The applicant, through their representative requested a continuance to December 17, 2020.

Mr. Chadwick made the motion to continue the hearing to December 17, 2020 no earlier than 6:30 PM, seconded by Mr. Harris, unanimously so voted via roll call (7-0-0).

Mrs. Greenhalgh reminded the Board members to keep these packets for the December 17th meeting. She will not be at the December 1st meeting, but the interim Town Administrator will be in attendance to cover.

Mr. Berry announced that this is Mrs. Greenhalgh's last official meeting as the Town Planner, but she will be back as a consultant. As the Chairman, he expressed his enormous amount of gratitude for everything that she has done. She has a wealth of knowledge and has always made sure the Board is always completely prepared. Board members each continued to praise and thank Mrs. Greenhalgh for all the hard work she has put into the board, and expressed all of their sincerest gratitude, and well wishes for her retirement.

OLD BUSINESS: Continued review and discussion on West Harwich Special District Design Guidelines. Mrs. Greenhalgh asked that if any Board Member had any comments or suggestions they should send them along to her and Mr. Berry.

BRIEFINGS AND REPORTS BY BOARD MEMBERS: None.

ADJOURNMENT:

Mr. Harris made the motion to adjourn at 6:46 PM, seconded by Mr. Stoltz, unanimously so voted via roll call (7-0-0).

Respectfully Submitted,
Kathleen A. O'Neill

Adopted:

*Memorandum from
Charleen Greenhalgh, Town Planner
Town of Harwich*

AGENDA ITEM III.A.2

November 20, 2020

To: Planning Board
Cc: Joe Powers, Interim Town Administrator
From: Charleen Greenhalgh, Town Planner
Re: Board of Appeals Cases for December 9, 2020

Below are the Board of Appeals Cases for December 9, 2020. Staff has no comments or recommendation on any of these cases; however, please note that Case #2020-41, if approved by the Appeals Board would then file for a Site Plan Special Permit with the Planning Board.

If the Board would like to comment on any of these cases they may do so.

Case # 2020-40 Jonathan & Sarah Vanica, Trustees of the Vanica Living Trust through their agent, Attorney Sarah Turano-Flores have applied for a Special Permit (or in the alternative, a Variance) to demolish and replace a pre-existing, non-conforming single family dwelling and residential accessory structure on a pre-existing, non-conforming lot. The application is pursuant to the Code of the Town of Harwich, §325-22 and Table 2, Area Regulations and §325-14(Q) as set forth in MGL Chapter 40A §6. The property is located at 2 Quason Lane, Map 7, Parcel A50-0-R in the RH-1 Zoning District.

Case # 2020-41 Craig LeBlanc of Cool Change LLC through his agent, Robert O'Neill of GenCon has applied for a Variance from the requirements of §325-16 and §325-42 (L) to create a lot for boat maintenance and repair with a structure to house these activities. The application pursuant to the requirements of MGL Chapter 40A §10. The property is located at 282 Route 28, Map 12, Parcel G2-1 in the CH-1 Zoning Districts.

Case # 2020-42 Alfred P. Quirk, Jr. and Sheila Quirk, through their agent, Attorney William Crowell have applied for a Special Permit or in the alternative, a Variance to renovate an existing garage to create habitable space within the west side setback. The application is pursuant to the Code of the Town of Harwich, Table 2, Area Regulations as set forth in MGL Chapter 40A §6. The property is located at 11 Prince Charles Drive, Map 110, Parcel S26 in the RL Zoning District.

Case # 2020-43 Manijeh Lawrence, through her agent, Attorney William Crowell has applied for a Special Permit or in the alternative, a Variance to renovate an existing garage to create habitable space within the west side setback. The application is pursuant to the Code of the Town of Harwich, Table 2, Area Regulations and Table 3, Height & Bulk Regulations as set forth in MGL Chapter 40A §6. The property is located at 24 Central Ave, Map 6B, Parcel L91 in the RH-2 Zoning District

Case # 2020-44 Andrew and Karrin Plotner through their agent, Brian Wall of Cape Coastal Builders have applied for a Special Permit (or in the alternative, a Variance) to demolish and replace a pre-existing, non-conforming single family dwelling. The application is pursuant to the Code of the Town of Harwich, §325-54 and Table 2, Area Regulations as set forth in MGL Chapter 40A §6. The property is located at 11 Hiawatha Road, Map 6, Parcel G5-2 in the RH-1 Zoning District.

*Memorandum from
Charleen Greenhalgh, Town Planner
Town of Harwich*

AGENDA ITEM III.A.2

November 20, 2020

To: Planning Board
Cc: Joe Powers, Interim Town Administrator
From: Charleen Greenhalgh, Town Planner
RE: Historic District & Historical Commission (“HDHC”) December 16, 2020

Below is a notice from the HDHC seeking comments from the Planning Board:

HH2020-13 Notice of Intent (NOI) has been received for 68 Snow Inn Road, Map 15, Parcel N9-2, in the C-V zoning district. The application is pursuant to the Code of the Town of Harwich Chapter 131, Historic Preservation, Article II, for a partial demolition the certain portions of southerly side of the structure described as squaring off the octagonal room, adding to the existing deck, construct a 3rd floor deck and a 1st floor patio and construct a new, full foundation. Additionally, the application proposes an interior gut. Michael and Michaela Diverio, owners.

Staff has no recommendations or comments relative to this application before the HDHC. However, if the Planning Board would like to make a comment the Board may do so.

AGENDA ITEM #III.B.2

To: Planning Board
Cc: Joe Powers, Interim Town Administrator
From: Charleen Greenhalgh, Town Planner
Re: PB2019-19 Gary Darman, Trustee of the Freeman Ellis Family Realty Trust

Definitive Subdivision Plan and Covenant Endorsement

The Planning Board approved the definitive subdivision plan for PB2019-19 Gary Darman, Trustee of the Freeman Ellis Family Realty Trust on July 30, 2019. This was a 2 lot, 1 parcel subdivision off Route 39 near Thompson's Field. The 20-day appeal period expired long ago and the decision was recorded at the Barnstable County Registry of Deeds.

The surveyor, Thadd Eldredge, is now seeking endorsement of the definitive subdivision and the Planning Board Covenant Agreement. All the required changes have been made to the plan, per the decision letter.

Some of you may be questioning the delay in time to have this plan and covenant endorsed. There is no timeline requirement for when a plan is approved and then endorsed. There have been no changes in zoning or the subdivision rules and regulations which would make or require changes to the plan.

Staff recommends endorsement of both documents; which will require that Board Members come to Town Hall to sign. Elaine Banta, Planning Assistant will coordinate this with you all.

A reminder, only the regular members of the Board can act on this request, Mr. Rouse as an alternate is not eligible.

Recommended Motion:

Move to approve endorsement of the Definitive Plan and Planning Board Covenant Agreement for case PB2019-19 Gary Darman, Trustee of the Freeman Ellis Family Realty Trust.

TOWN OF HARWICH PLANNING DEPARTMENT

PLANNING BOARD FORM B-2



AGREEMENT AND COVENANT

Date: *August 23, 2019*

KNOW ALL PEOPLE by these present that the undersigned has submitted an application dated M, 2019, to the Harwich Planning Board for approval of a definitive plan of a subdivision of land entitled "Definitive Subdivision Plan" for Freeman Ellis Family Realty Trust, Route 39, Harwich, Massachusetts, dated 04-01-2019, revised 06-17-2019, scale 1" = 40', Sheet 1 of 2, prepared by East-SouthEast, LLC, Thaddeus Eldredge, P.L.S., showing two (2) buildable lots and (1) parcel for land located at 0 Orleans Road, Assessor's Map(s) 52 and 62, with no Parcel ID, and owned by Gary Darman, Trustee of the Freeman Ellis Family Realty Trust, of 500 Atlantic Avenue, #15F, Boston, MA 02210. The undersigned has requested that the Planning Board approve such plan without requiring a performance bond.

IN CONSIDERATION of said Planning Board of Harwich in the county of Barnstable, Massachusetts, approving said plan without requiring a performance bond, the undersigned hereby covenants and agrees to the following:

1. The undersigned is the owner of record of the premises.
2. This covenant shall run with the land and be binding upon the undersigned and the executor, administrators, heirs and assigns of the undersigned and their successors in title to the premises shown on said plan.
3. The construction of ways and the installation of municipal services shall be provided to serve any lot in accordance with the Rules and Regulations of said Board as modified and amended by the plans and profiles submitted by the undersigned and approved by the said Board on the 25th day of June 2019, and by the agreement made by the covenantor(s) dated day of, 2019 before such lot may be built upon or conveyed, other than by mortgage deed provided that a mortgagee who acquires title to the mortgaged premises by foreclosure or otherwise and any succeeding owner of the mortgage premises or part thereof may sell any such lot, subject to that portion of this covenant which provided that no lot shall be built upon until such ways and services have been provided to serve such lot.

4. Nothing herein shall be deemed to prohibit a conveyance by a single deed subject to this covenant, or either the entire parcel or land shown on said subdivision plan or of all lots not previously released by the Planning Board.
5. This covenant shall take effect upon endorsement of said plan by the Planning Board.
6. Reference to this covenant shall be entered upon said plan and this covenant shall be recorded at the Registry of Deeds or the Land Court when said plan is recorded. A copy of the recorded covenant shall be returned to the Planning Board.

The following are further agreements and/or conditions of approval:

1. Board of Health requirements/conditions shall be added to the Definitive Plan prior to the endorsement of the plan.
2. Test pits shall be performed at the time of construction and prior to the installation of the proposed drainage system. Any revisions to the drainage system resulting from the test pit exploration shall be submitted to the Town Engineer for review and approval.
3. Waivers approved by the Planning Board shall be added to the Definitive Plan prior to the endorsement of the plan.
4. A Planning Board Covenant and Agreement shall be required.
5. The Natural Heritage and Endangered Species Program deed reference shall be noted on the plan prior to endorsement and all requirements shall be met.
6. The Special Permit for the alternative access deed reference shall be noted on the plan prior to endorsement and all conditions shall be met

Witness our hands and seals this 23RD day of AUGUST, 2019

Signature of Owner(s)

Gary Darman

Signature of Owner(s)

GARY DARMAN, TRUSTEE
OF THE FREEMAN ELLIS
REALM TRUST

COMMONWEALTH OF MASSACHUSETTS

County of **Barnstable**

On this 23RD of AUGUST, 2019
Day Month Year

Before me, the undersigned Notary public, personally appeared GARY DARMAN, AS

TRUSTEE OF THE FREEMAN ELLIS REALM TRUST Name of Document Signer

Proved to me through satisfactory evidence of identification, which was ~~were~~ a Mass Driver's License.

Description of Evidence of Identification

To be the person whose name is signed on the preceding or attached document, and acknowledged to me that he/she signed it voluntarily for its stated purpose.



DAVID L. ARONS, ESQ.
Notary Public
Commonwealth of Massachusetts
My Commission Expires
October 8, 2021

David L. Arons

Signature of Notary Public

DAVID L. ARONS ESQ.

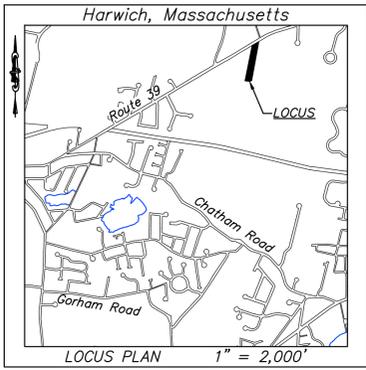
Printed Name of Notary Public

10/8/2021

My Commission Expires (Date)

Planning Board Signatures:

Date: _____



PLAN NOTES AND APPROVALS:
Please refer to the Planning Board Approval.

1. Covenant to be filed with plan.
2. Alternative Access Special Permit.
3. Panhandle Approval.

BOARD OF HEALTH CONDITIONS:
1. No variance will be considered from Title 5 or the Board of Health Regulations for any of the lots.
2. The subdivision must be served by Town Water.

GENERAL:
1. The entire property contains 137,300 S.F.± or 3.15 Ac.
2. The entire area is in Zone II / Harwich Drinking Water Protection District.
3. There are no wetlands on or within 100 feet of the property.

WAIVERS
1. Municipal Lien Certificate submittal.
2. Length of Panhandle to allow 325 feet where a maximum of 300 feet is required.
3. Vertical curve of 80 feet where 100 feet is required.

□ ... denotes CB to be Set

Assessors' MAP: 52 and 62, No Parcel

OWNER OF RECORD:

Gary Darman, Trustee of the
Freeman Ellis Family Realty Trust
500 Atlantic Avenue, #15F
Boston, Massachusetts 02210
Deed Book 31,356, Page 92
Plan Book 676, Page 83

ZONING REQUIREMENTS

Zone	R-R, Rural Residential
Minimum Area	40,000 S.F.
Minimum Frontage	150 Ft.
Front Yard Setback	25 Ft.
Side and Rear Yard Setback	20 Ft.
Maximum Site Coverage	25%
Maximum Building Coverage	15%

I, Anita Doucette, Clerk of the Town of Harwich, hereby certify that notice of approval of this plan by the Planning Board has been received and recorded at this office and no notice of appeal was received during the twenty days next after such receipt and recording of said notice.

Date _____

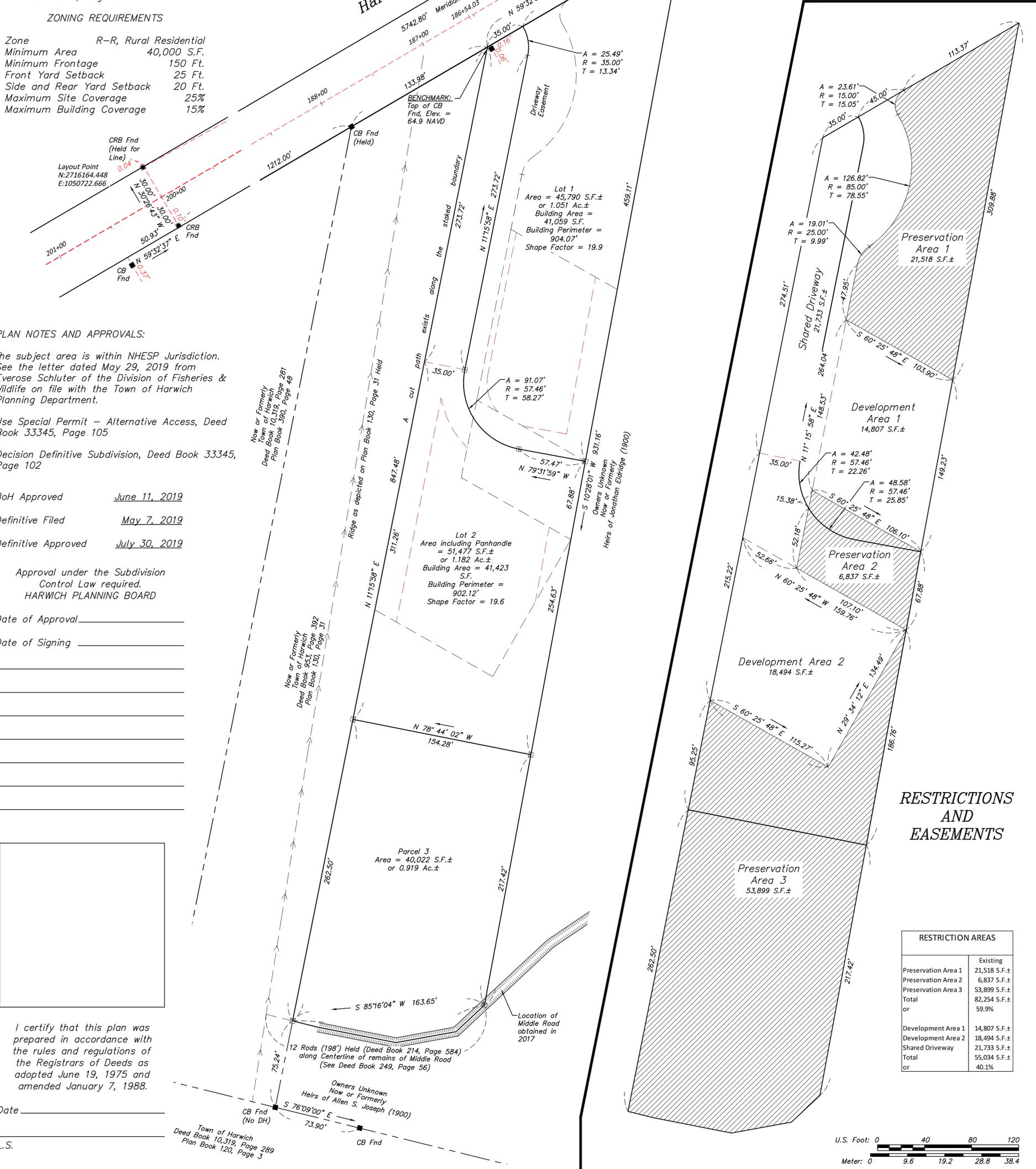
Town Clerk

County Road Bound
N: 2718947.846
E: 1055745.811

CRB Fnd (Held)

142+28.17 142+00

141+00



PLAN NOTES AND APPROVALS:

The subject area is within NHESP Jurisdiction. See the letter dated May 29, 2019 from Everose Schluter of the Division of Fisheries & Wildlife on file with the Town of Harwich Planning Department.

Use Special Permit - Alternative Access, Deed Book 33345, Page 105

Decision Definitive Subdivision, Deed Book 33345, Page 102

BoH Approved June 11, 2019

Definitive Filed May 7, 2019

Definitive Approved July 30, 2019

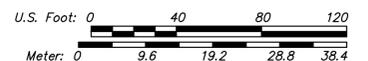
Approval under the Subdivision Control Law required.
HARWICH PLANNING BOARD

Date of Approval _____

Date of Signing _____

RESTRICTIONS AND EASEMENTS

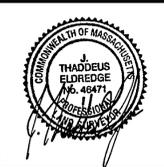
RESTRICTION AREAS	
Preservation Area 1	Existing 21,518 S.F.±
Preservation Area 2	6,837 S.F.±
Preservation Area 3	53,899 S.F.±
Total	82,254 S.F.±
or	59.9%
Development Area 1	14,807 S.F.±
Development Area 2	18,494 S.F.±
Shared Driveway	21,733 S.F.±
Total	55,034 S.F.±
or	40.1%



X:\ARCHIVED DRAWINGS\4425 Don Smith\4425 10 Freeman Ellis 2020-11-10.dwg

© Copyright 2019 by East-SouthEast, LLC

Date: 04-01-2019
Scale: 1" = 40'
Project No.: H-4425-10.0
Sheet No.: 1



FREEMAN ELLIS FAMILY REALTY TRUST
EAST SOUTH-EAST, LLC
1038 Main Street, Chatham, MA; (508) 945-3965; Fax: (508) 945-5885

DEFINITIVE SUBDIVISION PLAN
Route 39, Harwich, Massachusetts

Rev. #	Description of Revision	Date
1	See memo from Town Engineer	06-17-2019
2	Added approval dates and recording references	11-10-2020

