

Harwich Planning Board Agenda
Griffin Room, Town Hall, 732 Main Street, Harwich
Tuesday, February 11, 2020 – 6:30 PM

I. Call to Order - Recording & Taping Notification – *As required by law, the Town may audio or video record this meeting. Any person intending to either audio or video record this open session is required to inform the chair.*

II. Public Hearing

- A. **Continued PB2019-45 Royal Apartments LLC**, as owner, Alex Bardin, Representative, seeks approval of a Multi-Family Use Special Permits in the Harwich Center Overlay District and a Site Plan Review Special Permit for the proposed use and additional parking and other appurtenances pursuant to the Code of the Town of Harwich §§325-51.D and -51.O and 325-55. The property is located at 328 Bank Street, Map 41, Parcel N4 in the M-R-L, Harwich Center Overlay and Historic Districts. *Hearing continued from January 28, 2020. Please note: The applicant has requested a further continuance to March 10, 2020.*
- B. **Continued PB2019-47 525 Camelot, LLC** as owner, c/o Andrew Singer, Esq., representative, seeks approval of a Modification of a Site Plan Review Special Permit (PB2016-20 & 17-13) and a Restaurant / Fast Food Takeout Use Special Permit pursuant to the Code of the Town Harwich §§325-9, -14.O, -51 and 55. The use will be in association with a retail use and 24 seats (including 5 outdoor seats) are proposed. The property is located at 557 Route 28 (aka Harwich Port Commons), Map 14 Parcel V9 in the C-V and RH-1 zoning districts. *Continue from January 28, 2020.*
- C. **PB2019-48 554 Street Bar LLC**, c/o Michael Jacek, as applicant/tenant, HP Property Investment LLC, as owner, seeks approval of a Modification of a Site Plan Review Special Permit (PB2019-09) to add to and reconfigure the outdoor seating at the front of the building which includes an exterior bar takeout window. The property is located at 554 Route 28, Map 14, Parcel T7 in the C-V and R-M zoning districts. The application is pursuant to the Code of the Town of Harwich §325-55.
- D. **PB2020-01 Donna Smith, TR**, as owner, Michael Doucette, Officer, c/o Steven Haas, PLS, seeks approval of a Site Plan Review Special Permit and a Use Special Permit with waivers pursuant to the Code of Town of Harwich §§325-13, ¶IV Line 30 & 32A, -14.O, -55, -51 and -107 to renovate and expand the existing recreational use via a 4-station mobile bungee trampoline, construct and operate a new snack shack with Fast Food / Take Out and expand and improve the parking and vehicle access. The property is located at 296 Route 28, Map 12, Parcel H1, in the C-H-1 and R-R zoning districts and the A-E Special Flood Hazard Area overlay.
- E. **PB2020-02 Steve Gopoyan & Swavi Osev**, as applicant/tenant, c/o Andrew Singer, Esq., Emulous E Hall, et als., as owners, seeks approval of a Site Plan Review Special Permit and a Use Special Permit with waivers, pursuant to the Code of Town of Harwich §§325-13, ¶IV Line 30, -55 and -51 to construct a miniature golf course and expand and improve the parking and vehicle access. The property is located at 346 Route 28 and 0 Sisson Road, Maps 21, Parcels N1 & N2, respectively, in the C-H-1 and R-M zoning districts.

III. Public Meeting*

- A. New Business:
- B. Old Business:
- C. Briefings and Reports by Board Members

IV. Adjourn

*Per the Attorney General's Office – Boards/Commissions may hold an open session for topics not reasonably anticipated by the Chair 48 hours in advance of the meeting following "New Business".

Next Planning Board Meeting (Subject to Change) – Tuesday, February 25, 2020.

Requests for accommodations for any person having a disability can be made by contacting the Administration Office at 508-430-7513.

Authorized Posting Officer: Elaine Banta, ebanta@town.harwich.ma.us or 508-430-7511

Charleen Greenhalgh

From: Benjamin E. Zehnder <BZehnder@latanzi.com>
Sent: February 3, 2020 9:58 AM
To: Charleen Greenhalgh
Cc: Shelagh Delaney
Subject: RE: Harwich Planning Board Meeting January 28, 2020

Hello Charleen:

Would you please ask the Planning Board to continue the Royal Apartments LLC matter to its of March 10, 2020 meeting?

My thanks,

Ben

Benjamin E. Zehnder
La Tanzi, Spaulding & Landreth
8 Cardinal Lane; P.O. Box 2300
Orleans, MA 02653
(508) 255-2133
(508) 255-3786 (fax)
(508) 246-4064 (mobile)
bzehnder@latanzi.com
Orleans/Provincetown/Barnstable



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any wires sent by you to an incorrect bank account. Our wiring instructions never change and we will never send wiring instructions through an insecure email.



AGENDA ITEM # II.B

To: Planning Board
From: Charleen Greenhalgh, Town Planner
Date: February 4, 2020
Re: Staff Report #2– Site Plan Review Special Permit & Use Special Permit

PB2019-47 525 Camelot, LLC as owner, c/o Andrew Singer, Esq., representative, seeks approval of a Modification of a Site Plan Review Special Permit (PB2016-20 & 17-13) and a Restaurant / Fast Food Takeout Use Special Permit pursuant to the Code of the Town Harwich §§325-9, -14.O, -51 and 55. The use will be in association with a retail use and 24 seats (including 5 outdoor seats) are proposed. The property is located at 557 Route 28 (aka Harwich Port Commons), Map 14 Parcel V9 in the C-V and RH-1 zoning districts.

The Planning Board opened the public hearing on this matter on January 28, 2020. Testimony was taken and the hearing was continued to not earlier than at 6:30 pm on February 11, 2020.

Description

The applicant has approved site plans pursuant to cases PB2016-20 and PB2017-13 for a mix-use development. A minor modification to the site plan is proposed for a small outdoor seating area at the street front. In conjunction with a first floor, retail market, a use allowed by right, the applicant seeks a Use Special Permit for Restaurant, Fast Food/Take Out to allow for “take-out” foods, including but not limited to ice cream, deli sandwiches, coffee, etc. The application was filed with the Town Clerk on December 18, 2019 with subsequent information filed on January 17, 2020 and February 4, 2020 and include the following:

1. Form A – Special Permits & Site Plan Review
2. Municipal Lien Certificate
3. A brief written narrative, date stamped received December 18, 2019
4. A more detail written narrative, date stamped received January 17, 2020
5. Reduced Plan Showing Proposed Site Layout & Materials, dated 4-08-2016 with a latest revision date of 5-24-17, prepared for 525 Camelot LLC, prepared by Coastal Engineering, Co., Sheet C2.1.1
6. Set of Floor Plans prepared for Harwich Port Commons, Farmer’s Market, dated 11-25-19, scale 1/8” = 1’-0”, prepared by dBF Associates Architects:
 - a. Drawing No. 1 – Use Diagram
 - b. Drawing No. A1 – Floor Plans, **dated 2-3-20.**

MGL Reference and Planning Board Jurisdiction

Pursuant to MGL c.40 A, §9 the Planning Board must, within 65 days of submission of application for a special permit hold a public hearing. The decision of the Planning Board shall take place within 90 days following the close of the public hearing. Further, a special permit issued shall require a two-thirds vote of the Board. The Planning Board has jurisdiction to review the Restaurant, Fast Food/Take Out pursuant to the Code of the Town of Harwich §§ 325-13 (Use Table) Paragraph IV. 32A and 325-51 and the Site Plan Review Special Permit pursuant to §325-55.

The Planning Board has jurisdiction to review this application pursuant to the Code of Town of Harwich §325-55 for Site Plan Review Special Permit for the reconfiguration of an existing parking lot. Further, pursuant to §325-55.E.(1) ***“If the site plan meets the requirements of this By-law and the Planning Board Rules and Regulations Governing Subdivision of Land and Site Plan Review, as amended, the Planning Board shall approve it”***. However, **the Board cannot deny approval of a site plan for a use which is allowed by right** (not by special permit) in the district, but may impose reasonable conditions on the proposed use. Please refer to §325-55.E. for specific allowable conditions.

Waivers: No waivers requested at this time.

Comments from other Boards, Departments, Committees

Health: The Board of Health approved this proposal on July 11, 2017 with the following conditions: **1)** Construction and operation of the facility shall be as per the Environmental Impact Report dated May 31, 2017 – currently 4 retail spaces and 4, 3-bedroom apartments. Potential uses outlined provide for a nitrogen loading capacity of 22.62 mg/l utilizing 12 bedrooms and a 57 seat food service facility. **2)** Septic decision capacity allows for up to 3315 gallons per day although current proposal is for 1520 gallons per day. Applicant is aware that any change use must be pre-approved by applicant review boards. **3)** Septic system use is for non-industrial waste only.

Building: Building Permit Required. Questioned the parking for off-loading delivery trucks.

Engineering, Fire and Police: No concerns.

Planning Staff Comments

1. A revised floor plan, dated 2-3-20, was submitted showing a slight change to the outdoor seating. The seating was moved and reconfigured for one additional seat, for a total of 6 outdoor seats.
2. Additionally, the revised plan also shows the relabeling of the some interior spaces. “Wine/Beer/Cheese” is now “Dairy/Beverages/Cold Storage”; “Ref/Freezer” is now “Produce/Dairy”; the “Checkout Counter” has been relocated to the rear of the store; and the “Ice Cream Counter” label has been removed; and the indoor seating has been reduced by one seat. The total number of seats, inside and out, remains at 24.
3. The application before the Planning Board is for a minor change to the Site Plan and for a Use Special Permit relative to the Restaurant, Fast Food/Take out. The proposed retail market is an allowable use by right and requires no approvals from the Planning Board.
4. The proposed use is allowable in the C-V zoning district through the special permit process.
5. The commercial use is restricted to the C-V zoning district.

6. No significant changes are proposed for the site plan; however a condition to the total number of outdoor seats is recommended, as is a condition that the outdoor seats not restrict sidewalk use or impede accessibility.
7. The parking as provided as adequate for the proposed uses.
8. Standard conditions are recommended.
9. Any signage will require a Sign Permit from the Building Department.

BOARD VOTE

Continuance

If the Board will require additional information or wants to take the matter under advisement the following motion is recommended:

Move to continue the hearing for **PB2019-47 525 Camelot, LLC**, to no earlier than 6:30 pm on _____ (*Feb. 11, Feb. 25, March 10*) for the following reason(s): *Need to provide reasons for the continuance...additional information.*

IF BOARD IS READY TO RENDER A DECISION, THE FOLLOWING MOTIONS ARE PROVIDED:

I. Vote to Close the Public Hearing

II. Vote on Finding of Facts for the Use Special Permit – Restaurant, Fast Food/Take Out

The following are suggested findings. Changes as determined by the Board may be in order.

Motion to adopt the following findings of fact:

1. Said parcel for the proposed use is primarily in the C-V Zoning District and the Village Commercial Overlay District. A small portion of the rear of the parcel is in the RH-1 zoning district.
2. The Restaurant, Fast Food/Take-out Use will be in conjunction with the Retail Market.
3. The Restaurant, Fast Food/Take-out Use is a ‘permitted use’ by the Planning Board as the Special Permit Granting Authority in the C-V zoning district.
4. The proposed use will not adversely impact traffic flow and safety.
5. The proposed use will be compatible with surrounding land uses.

Vote on the Use Special Permit – Restaurant, Fast Food/Take Out

The following are suggested motions. Changes as determined by the Board may be in order.

1. Motion to *approve* the Use Special Permit for PB2019-47 525 Camelot, LLC, for a Restaurant, Fast Food/Takeout pursuant to the Code of the Town Harwich §§325-9, -14.O, and -51, in association with a retail use, with 24 seats (including 6 outdoor seats) for property located at 557 Route 28 (aka Harwich Port Commons), Map 14 Parcel V9 in the C-V and RH-1 zoning districts. The decision is based on the above findings and the fact that the application meets the necessary requirements and criteria for approval pursuant to the Code of Town of Harwich

2. Motion to ***approve with conditions*** the Use Special Permit for PB2019-47 525 Camelot, LLC, for a Restaurant, Fast Food/Takeout pursuant to the Code of the Town Harwich §§325 9, -14.O, and -51, in association with a retail use, with 24 seats (including 5 outdoor seats) for property located at 557 Route 28 (aka Harwich Port Commons), Map 14 Parcel V9 in the C-V and RH-1 zoning districts. The decision is based on the above findings and the fact that the application meets the necessary requirements and criteria for approval pursuant to the Code of Town of Harwich with the following conditions:
 - (1) The total number of seats shall not exceed twenty-four (24).
 - (2) No more than six (6) outdoor seats are allowable at the Route 28 street side of the building and said seat shall not restrict sidewalk use or impede accessibility.
 - (3) All signage is subject to all Town of Harwich Code regulations and specifically Article VII.

3. Motion to ***deny*** the Use Special Permit for PB2019-47 525 Camelot, LLC, for a Restaurant, Fast Food/Takeout pursuant to the Code of the Town Harwich §§325 9, -14.O, and -51, in association with a retail use, with 24 seats (including 5 outdoor seats) for property located at 557 Route 28 (aka Harwich Port Commons), Map 14 Parcel V9 in the C-V and RH-1 zoning districts. The decision is based on the fact that the application does not meet the necessary requirements and criteria for approval pursuant to the Code of Town of Harwich, specifically (*need to provide the specifics as to why this does not comply*).

Vote to Adopt Proposed Findings for the Site Plan Special Permit:

The following are suggested findings. Changes as determined by the Board may be in order.

To adopt the following finding of fact:

1. The parcel is primarily in the C-V Zoning District and the Village Commercial Overlay District. A small portion of the rear of the parcel is in the RH-1 zoning district.
2. The Site Plan was scrutinized during the previous reviews pursuant to PB2016-20 and PB2017-13.
3. No significant changes are proposed from the previously approved site plans.
4. The only change to the site plan are the inclusion of six (6) outdoor seats are the front on the building.

Vote on Site Plan Review Special Permit: (*Please Note:* An affirmative vote by at least five Planning Board members is required.) The following is a suggested motion. Changes as determined by the Board may be in order.

To approve with conditions case number **PB2019-47 525 Camelot, LLC** for a Modification of a Site Plan Review Special Permit (PB2016-20 & 17-13) pursuant to the Code of the Town Harwich §325-55 for a retail use and a 24 seats (including 5 outdoor seats) Restaurant, Fast Food/Take-out for the property located at 557 Route 28 (aka Harwich Port Commons), Map 14 Parcel V9 in the C-V and RH-1 zoning districts. The decision is based on the aforementioned findings of fact, the fact that the application meets the necessary requirements and criteria for approval pursuant to the Code of Town of Harwich and the fact that the retail use is permitted in the zoning district and the Restaurant, Fast Food/Take out Use Special Permit has been approved. The following conditions are imposed:

1. The total number of seats shall not exceed twenty-four (24).
2. No more than six (6) outdoor seats are allowable at the street side of the building without review and approval by the Planning Board.
3. Said outdoor seating shall not restrict sidewalk use or impede accessibility.
4. All previous condition imposed by the Planning Board, pursuant to PB2016-20 and PB2017-13 shall be adhered to.
5. Signage shall comply with the requirements of the Code of the Town of Harwich and the Building Department.
6. This decision shall be recorded at the Barnstable Registry of Deeds.
7. Conformance with all review procedure requirements outlined pursuant to §400-18.G Inspection, certificate of completion and as-built plan, of the Code of the Town of Harwich shall be met.

Alternatively, the Planning Board may approve the site plan special permit with or without additional conditions.

Law Office of Singer & Singer, LLC

26 Upper County Road
P. O. Box 67
Dennisport, Massachusetts 02639

Andrew L. Singer
Marian S. Rose

Myer R. Singer
of counsel

Tel: (508) 398-2221
Fax: (508) 398-1568
www.singer-law.com

Harwich Planning Board

557 Route 28, Harwichport

SUMMARY OF REASONING

525 Camelot LLC [“Applicant”], owns the property at 557 Route 28 in Harwichport [“Property”]. The Property, which is shown as Parcel V9 on Harwich Assessor’s Map 14, is located in the C-V and RH-1 Zoning Districts and is improved with a recently-constructed, mixed-use building containing four dwelling units on the second floor and commercial space on the first floor. The Applicant previously sought and received a Site Plan Approval Special Permit and Use Special Permits from the Planning Board (PB2016-20, as modified in PB2017-13). The first-floor commercial space was discussed to be used for between one to four commercial tenants. At this time, the Applicant is proposing to have one commercial tenant in the entire space. There will be no change to the four residential units on the second floor.

The primary use of the commercial space will be a retail market, which is allowed by right and requires no further regulatory review. A component of the market, a deli with ice cream and coffee service, requires an additional Use Special Permit as a fast food/takeout restaurant business. Twenty-four (24) seats are proposed for this use (nineteen {19} inside and five {5} outside on the front sidewalk adjacent to the building). Although the commercial use of the inside space on the first floor of the building does not require additional site plan review, the outside seats do require review.

Based on all of the above, the Applicant is respectfully requesting an additional Use Special Permit in accordance with Sections 325-9, 325-13 (Table 1), 325-14.O, and 325-51 of the Harwich Zoning By-Law ["Zoning By-Law"], as well as a further Modification of Site Plan Review in accordance with Section 325-55, as necessary, to allow the proposed use in a portion of the retail business and seating. The Board is authorized to grant the requested relief if certain findings are made. The Applicant respectfully submits that the findings can be made in this instance because:

1. The proposed use will be compatible with surrounding land uses in this commercial downtown area of Harwichport Center and will not adversely affect the neighborhood;
2. The Property remains an appropriate location for the proposed use, including outside seating, and will enhance the commercial downtown of Harwichport Center;
3. There will be no nuisance or serious hazard to vehicles or pedestrians. The existing parking (62 spaces) located to the rear of the building will remain conforming for the proposal. In addition, all commitments made in the agreements and easements with the abutting neighbors concerning access to and use of the shared parking area will be met, and the Applicant suggests that this be a condition of approval. Based on the foregoing, the proposed use will not adversely impact traffic flow and safety;
4. Adequate and appropriate facilities are provided for the proper operation of the proposed site. All of the activity, with the exception of the outside seats, will be located within the approved building. An enclosed trash area is provided in the rear of the Property. The loading facility originally approved by the Planning Board has been constructed and will not change. The septic system for the Property has been installed and has sufficient design and capacity to handle the proposed use in accordance with the health regulations.
5. Lighting complies with the Harwich lighting regulations;

6. All necessary facilities and utilities are and will continue to be adequately and appropriately provided for the proper operation of the use. This includes water, electricity, heat, air conditioning, site drainage and landscaping to maintain the visual appearance of the site;
7. The proposal remains in compliance with (a) the Planning Board's Rules and Regulations governing Site Plan Review and (b) the Zoning By-Law; and
8. The Applicant agrees that Conditions 2 and 3 contained in the prior relief issued by the Board (PB2016-20, as modified in PB2017-13) be re-incorporated in this Application.

For all of the above reasons, the Applicant respectfully requests that the Board make findings that the criteria set forth in the Zoning By-Law have been met and grant approval of the Modification of Site Plan Review as necessary and a Use Special Permit for a fast food takeout restaurant business, to allow the proposal to be completed as shown on the plans.

**HARWICH PORT COMMONS -
FARMER'S MARKET**
HARWICH, MASSACHUSETTS

NO	DESCRIPTION	DATE
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REVISIONS

FLOOR PLANS



SCALE
1/8" = 1'-0"
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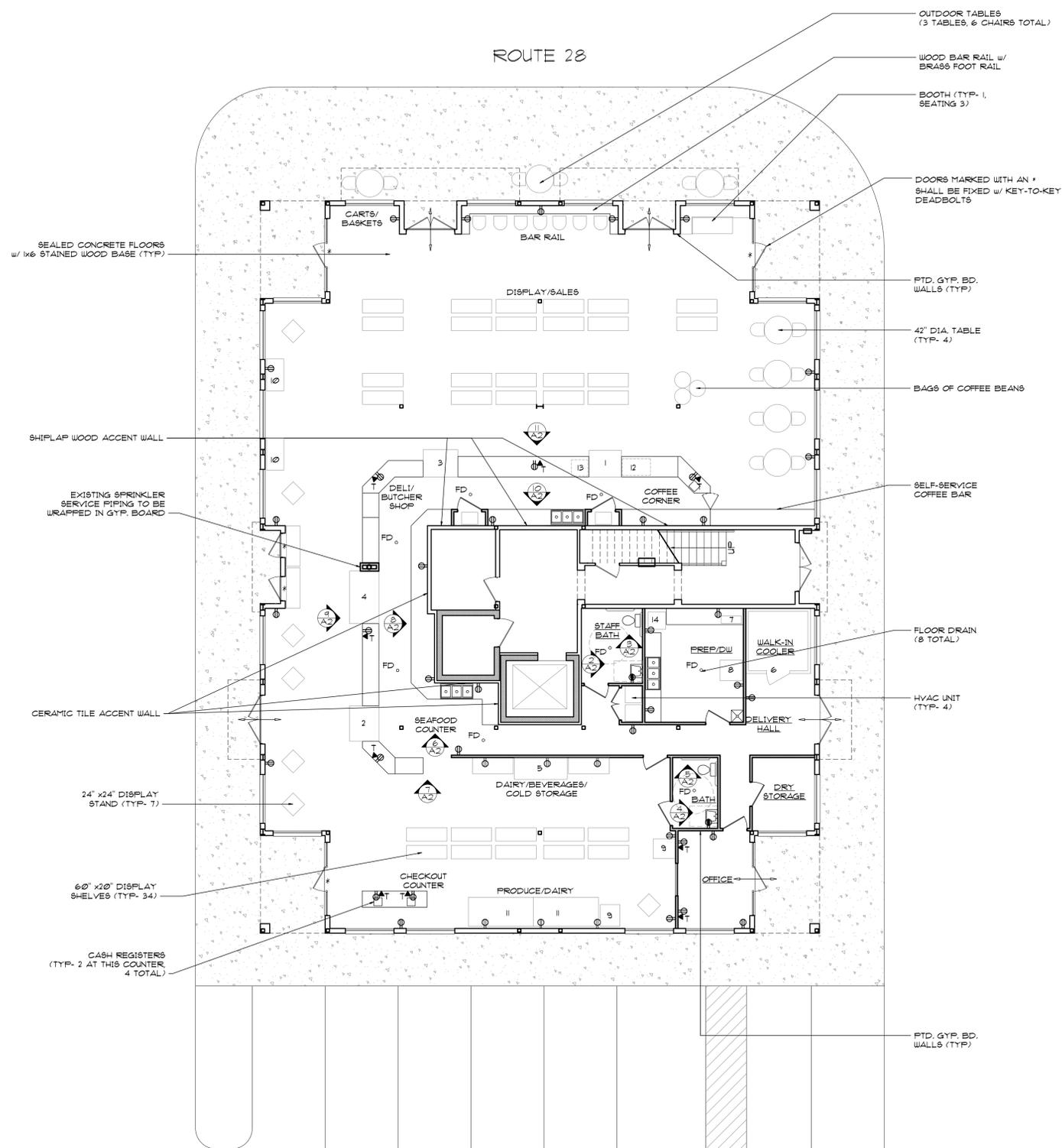
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CHECKED BY RJFJR

PROJECT NO
V1925

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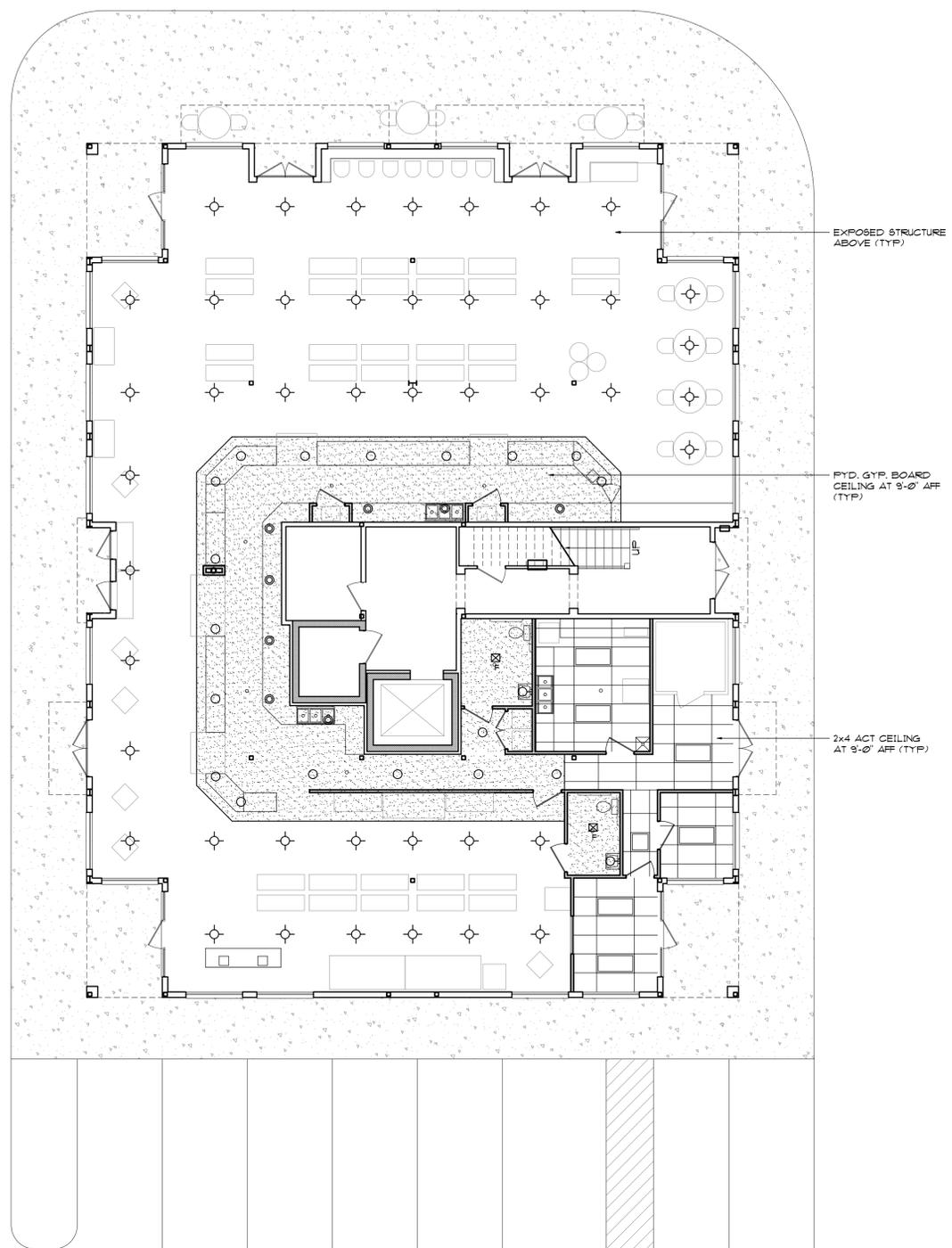
A1

OF 1



1 MAIN FLOOR PLAN
5736 GROSS SF.

#	EQUIPMENT	MODEL #
1	DISPLAY CASE, REFRIGERATED BAKERY (HARRIS-WARREN)	TRUE MANUFACTURING Co TGM-R-48-SC/SC-B-W
2	DISPLAY CASE, DELI SEAFOOD/POULTRY (HARRIS-WARREN)	MVP GROUP LLC KPM-SC-50-S
3	DISPLAY CASE, DELI SEAFOOD/POULTRY (HARRIS-WARREN)	HOWARD-MCCRAY SC-CF840E-4CBE-LED
4	DISPLAY CASE, RED MEAT DELI (HARRIS-WARREN)	MVP GROUP LLC KPM-CG-80-S
5	REFRIGERATED MERCHANDISER (HARRIS-WARREN)	TURBO AIR TGM-72SD-N
6	8'x8' WALK IN COOLER, MODULAR, REMOTE (HARRIS-WARREN)	U.S. COOLER C102NFA10
7	NUGGET ICE MAKER (HARRIS-WARREN)	HOSHIZAKI FS-100ML-C
8	ICE BIN FOR ICE MACHINES (HARRIS-WARREN)	HOSHIZAKI B-500FF
9	GLASS DOOR FREEZER	KITCHEN MONKEY KHFZ-ID-G
10	AHT GLASS DOOR MERCHANDISER	AHT GD XLS

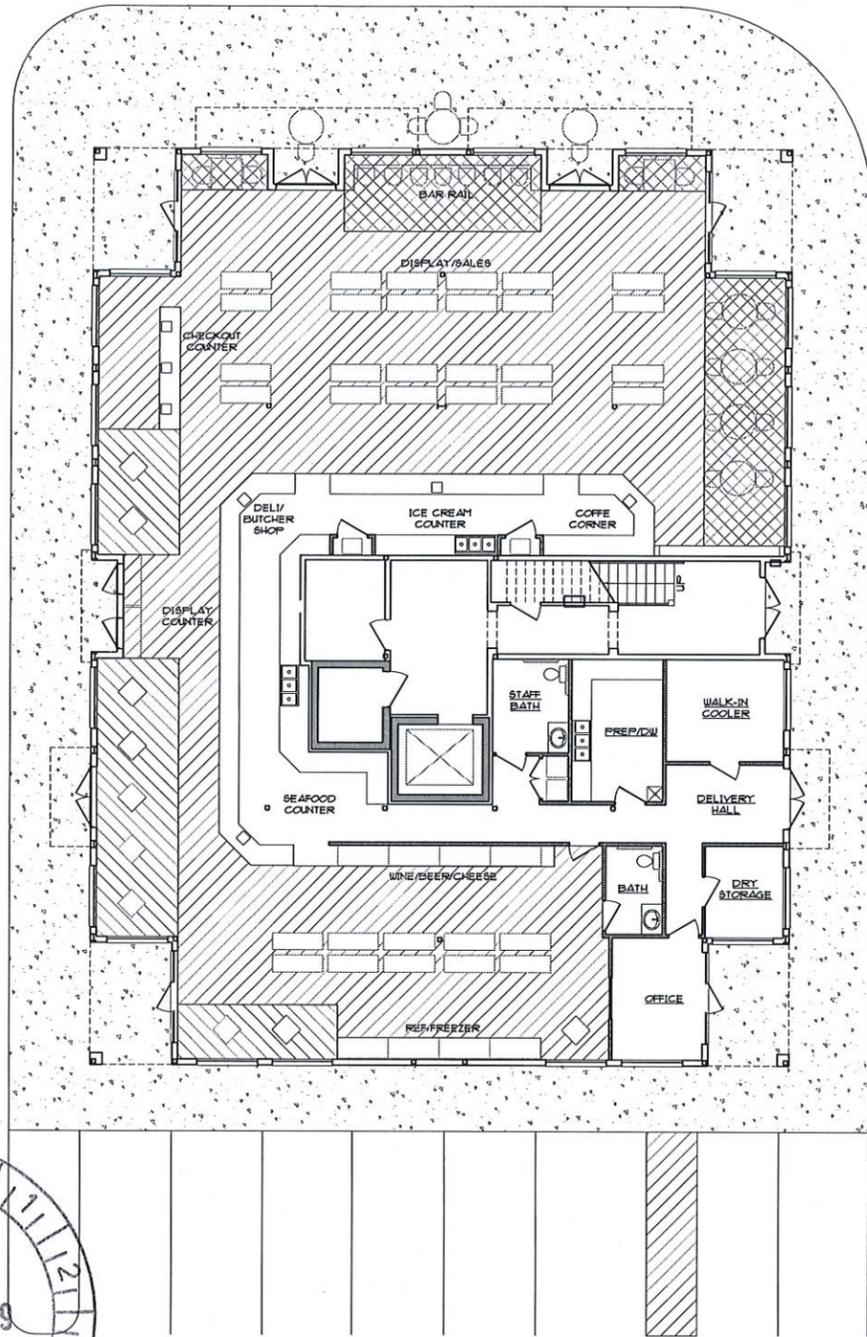


2 REFLECTED CEILING PLAN

11	8' PRODUCE UNIT	KYSOR WARREN CX4LN
12	UNDERBAR REFRIGERATOR	TRUE MANUFACTURING Co TBB-24-48G-SD-HC-LD
13	DISHWASHER (COFFE/BAKERY AREA)	INSINGER GU-40 BARMASTER
14	DISHWASHER (PREP ROOM)	CMA DISH-MACHINES EST-C

ELECTRICAL LEGEND

- 2x2 LED LIGHTING FIXTURE
- 2x4 LED LIGHTING FIXTURE
- WALL MOUNTED LED FIXTURE
- LED PENDANT FIXTURE
- LED RECESSED WALL-WASHER CAN LIGHT
- LED RECESSED CAN LIGHT
- ⊕ GENERAL PURPOSE DUPLEX RECEPTACLE
- ⊕ 220V OUTLET
- ⊕ GFI OUTLET
- TELEPHONE AND/OR DATA
- F EXHAUST FAN



	FOOD STORES/ SUPERMARKET- 2,400 SF -300 SF (DISPLAY CASES) -14 SF (DISPLAY STAND) 2,104 SF TOTAL	1 / 700 SF + EMPLOYEE AT MAX SHIFT	• 11 • 5	• 16 CARS
	GEN MERCHANDISE- 402 SF -36 SF (DISPLAY STANDS) 366 SF TOTAL	1 / 150 SF		• 3 CARS
	LUNCH ROOM/ RESTAURANT- 19 SEATS INDOOR 5 OUTDOOR SEATS	1 / 4 SEATS, INCL. OUTDOOR SEATS + EMPLOYEE AT MAX SHIFT	• 6 • 2	• 8 CARS
				27 CARS

dbf
Associates
Architects

P.O. Box 78
Charlottesville, VA 22902
(434) 977-2791
(434) 977-0593 (FAX)

HARWICH PORT COMMONS -
FARMER'S MARKET
HARWICH, MASSACHUSETTS

NO	DESCRIPTION	DATE
REVISIONS		
USE DIAGRAM		

USE DIAGRAM



SCALE
1/8" = 1'-0"
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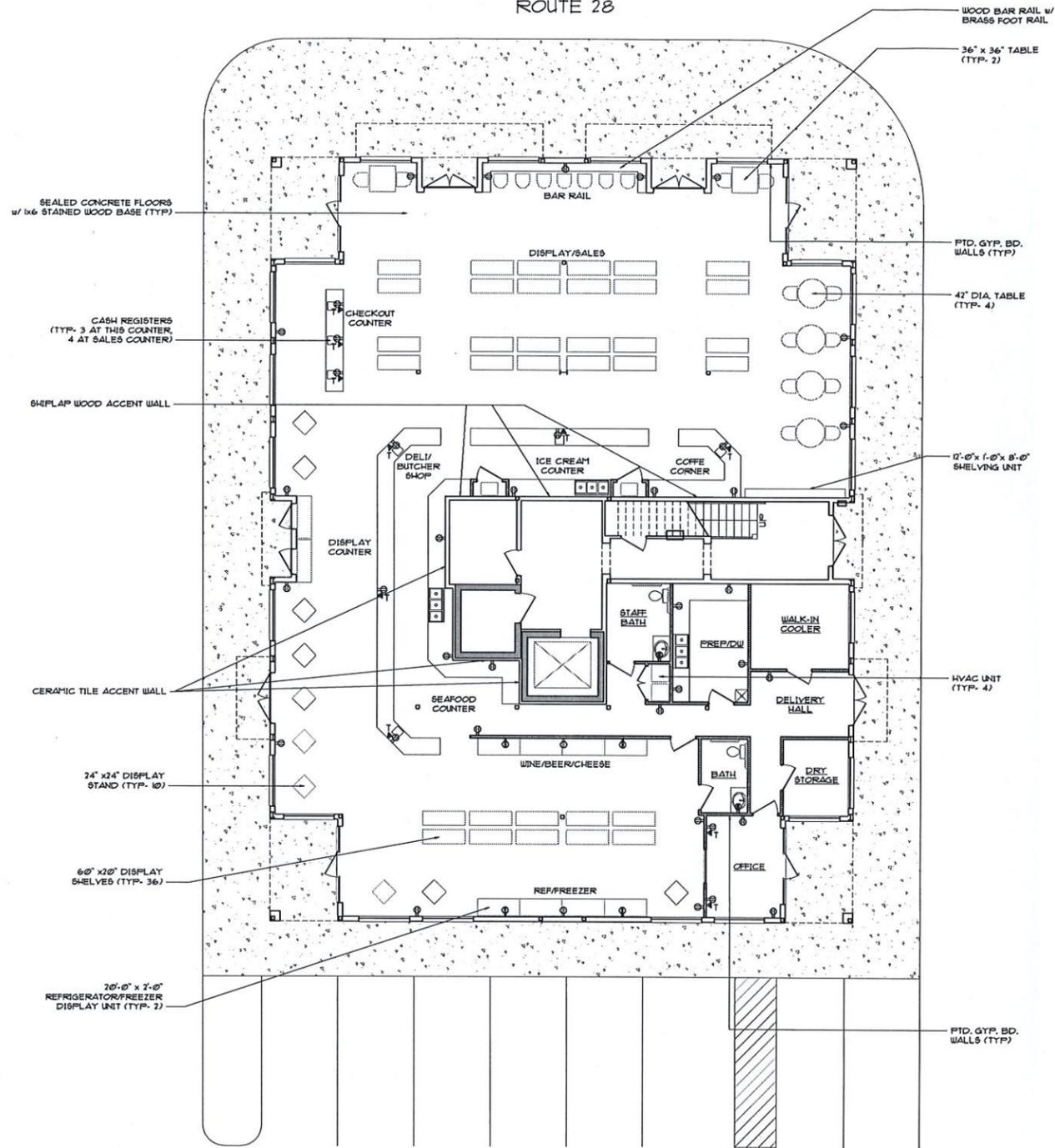
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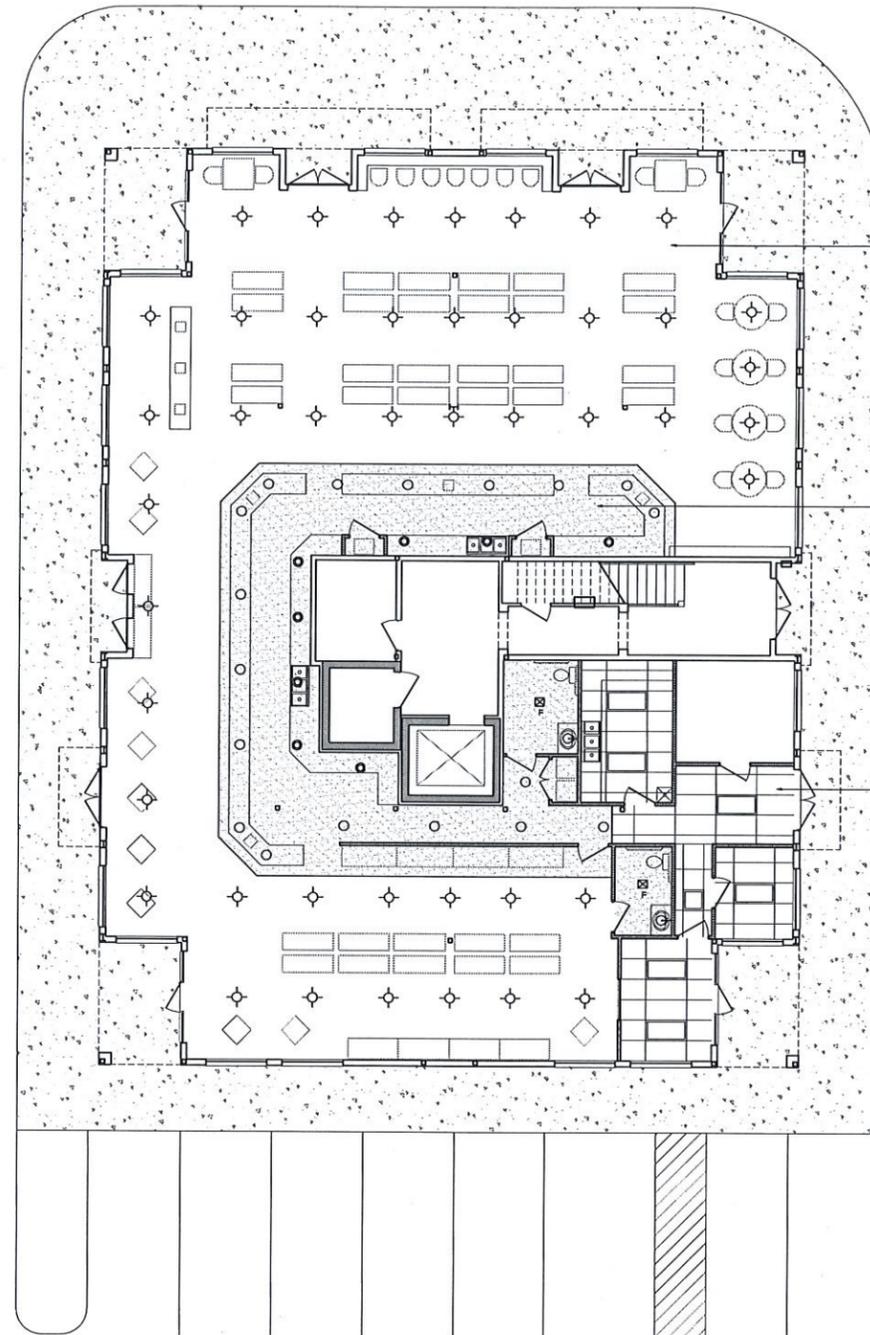
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OF 1

ROUTE 28



① MAIN FLOOR PLAN
9736 GROSS SF.



② REFLECTED CEILING PLAN

ELECTRICAL LEGEND

- 2x2 LED LIGHTING FIXTURE
- 2x4 LED LIGHTING FIXTURE
- H WALL MOUNTED LED FIXTURE
- ◇ LED PENDANT FIXTURE
- LED RECESSED WALL-WASHER CAN LIGHT
- LED RECESSED CAN LIGHT
- ⊕ GENERAL PURPOSE DUPLEX RECEPTACLE
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- ☎ TELEPHONE AND/OR DATA
- ☎ EXHAUST FAN

dbf
Associates
Architects

P.O. Box 78
Charlottesville, VA 22902
(434) 977-2791
(434) 977-0593 (FAX)

HARWICH PORT COMMONS -
FARMER'S MARKET
HARWICH, MASSACHUSETTS

NO	DESCRIPTION	DATE
REVISIONS		
FLOOR PLANS		

FLOOR PLANS



SCALE
1/8" = 1'-0"
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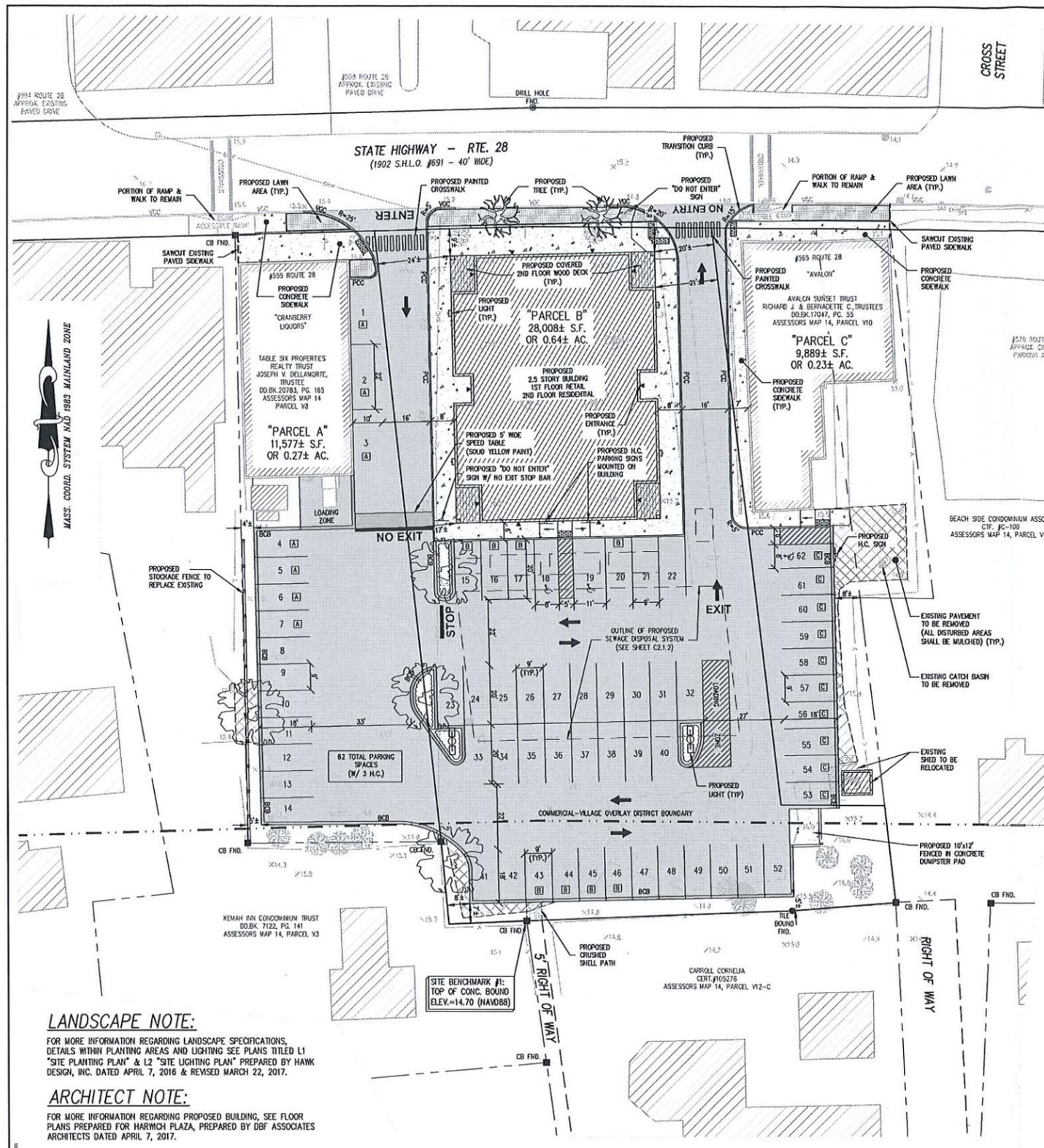
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V1925

DRAWING NO

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OF 1



ZONING COMPLIANCE TABLE - PARCEL "B"

ZONING DISTRICT: CV (COMMERCIAL VILLAGE) & (RH-1 RESIDENTIAL HIGH DENSITY AT REAR OF PROPERTY)
USE GROUP: MIXED USE

SUBJECT	REQUIRED	EXISTING	PROPOSED
LOT AREA	40,000 S.F.	28,008± S.F.	28,008± S.F.
FRONTAGE	150 FT.	114± FT.	114± FT.
FRONT SETBACK (BUILDING)	25 FT.	118± FT.	8± FT.
SIDE SETBACK (BUILDING)	20 FT.	10± FT. (EAST) 12± FT. (WEST)	17± FT. (WEST) 20± FT. (EAST)
REAR SETBACK (BUILDING)	20 FT.	47± FT.	135± FT.
STREET PARKING SETBACK	20 FT.	5± FT.	16± FT.
SIDE PARKING SETBACK	10 FT.	0± FT.	0 FT.
REAR PARKING SETBACK	10 FT.	2± FT.	5± FT.
BUILDING COVERAGE	50% MAX. (14,004± S.F.)	17.7% (4,959± S.F.)	20.4% (5,718± S.F.)
SITE COVERAGE	80% MAX. (22,406± S.F.)	91.2% (25,808± S.F.)	92.5% (25,898± S.F.)
BUILDING HEIGHT	30 FT. & 2 1/2 STORIES	< 30 FT.	SEE ARCHITECTURALS

* SITE COVERAGE INCLUDES GRAVEL PARKING AREAS
** REFER TO EXISTING CONDITIONS PLAN DATED 5/29/2013 FOR ADDITIONAL INFORMATION
*** BUILDING EAVES AND OVERHANGS NOT INCLUDED

EXISTING PARKING SCHEDULE

PARKING REQUIREMENTS GENERATOR	QUANTITY OR RATED CAPACITY	BASIS FOR PARKING CALCULATION PER ZONING BY LAW	NUMBER OF SPACES
PARCEL "A" - WEST ABUTTER: EXISTING BUILDING #555 "CRANBERRY LIQUORS"			
RETAIL	1,865± S.F.	1 SPACE PER EACH 150 S.F. OF FLOOR AREA DEVOTED TO CUSTOMER USE (NOT LESS THAN 20% OF TOTAL AREA)	13
PARCEL "B" - PROJECT SITE: EXISTING BUILDINGS #557, 559, 561 & 563 (TO BE DEMOLISHED)			
RETAIL	1,159± S.F.	1 SPACE PER EACH 150 S.F. OF FLOOR AREA DEVOTED TO CUSTOMER USE	8
OFFICE	1,575± S.F.	1 SPACE PER EMPLOYEE MAX. SHIFT, PLUS 1 PER 250 S.F. OF FLOOR AREA	11
RESTAURANT	35 SEATS + EMPLOYEES	1 PER 4 SEATS PLUS 1 PER EMPLOYEE MAX. SHIFT	10
TOTAL REQUIRED PARKING SPACES - PARCEL "B"			34
PARCEL "C" - EAST ABUTTER: EXISTING BUILDING #565 "TEAM WAYSTACK REALTY & BY&D INSURANCE"			
OFFICE	3,347± S.F.	1 SPACE PER EMPLOYEE MAX. SHIFT, PLUS 1 PER 250 S.F. OF FLOOR AREA	20 (ASSUMING 6 EMPLOYEES)
TOTAL EXISTING PARKING SPACES - PARCELS "A", "B" & "C" COMBINED			67 SPACES
			42 SPACES (WITH 2 H.C.)
			REQUIRED
			EXISTING

PROPOSED PARKING SCHEDULE

PARKING REQUIREMENTS GENERATOR	QUANTITY OR RATED CAPACITY	BASIS FOR PARKING CALCULATION PER ZONING BY LAW	NUMBER OF SPACES
PARCEL "A" - WEST ABUTTER: EXISTING BUILDING #555 "CRANBERRY LIQUORS"			
RETAIL	1,865± S.F.	1 SPACE PER EACH 150 S.F. OF FLOOR AREA DEVOTED TO CUSTOMER USE (NOT LESS THAN 70% OF LOT AREA)	13
PARCEL "B" - PROJECT SITE: PROPOSED 2 STORY BUILDING			
RETAIL	4,002± S.F.	1 SPACE PER EACH 150 S.F. OF FLOOR AREA DEVOTED TO CUSTOMER USE	27
3 BEDROOM UNITS	4	1.5 PER UNIT	6
TOTAL PARKING - PARCEL "B"			33 SPACES
PARCEL "C" - EAST ABUTTER: EXISTING BUILDING #565 "TEAM WAYSTACK REALTY & BY&D INSURANCE"			
OFFICE	3,347± S.F.	1 SPACE PER EMPLOYEE MAX. SHIFT, PLUS 1 PER 250 S.F. OF FLOOR AREA	20 (ASSUMING 6 EMPLOYEES)
TOTAL PARKING SPACES - PARCELS "A", "B" & "C" COMBINED			66 SPACES
			62 SPACES (WITH 3 H.C.)
			REQUIRED
			PROPOSED

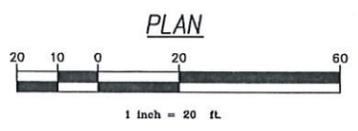
- ### LEGEND
- | | | | |
|--|-------------------------|--|-----------------------------------|
| | EXISTING BOUND | | PROPOSED STOCKADE FENCE |
| | EXISTING CATCH BASIN | | PROPOSED BITUMINOUS CONCRETE BERM |
| | EXISTING DRAIN MANHOLE | | PROPOSED PRECAST CONCRETE CURB |
| | EXISTING SEWER MANHOLE | | PROPOSED VERTICAL GRANITE CURB |
| | EXISTING MANHOLE | | PROPOSED UNIT DESIGNATED SPACE |
| | EXISTING HYDRANT | | PROPOSED LIGHTS |
| | EXISTING GAS VALVE | | PROPOSED CHANTICLEER PEAR TREE |
| | EXISTING WATER VALVE | | PROPOSED RED SUNSET MAPLE TREE |
| | EXISTING ELECTRIC METER | | PROPOSED BUILDING ENTRANCE |
| | EXISTING GAS METER | | PROPOSED OVERHEAD UTILITY LINE |
| | EXISTING MISC. SIGN | | PROPOSED CONTOUR |
| | EXISTING POST | | PROPOSED SPOT GRADE |
| | EXISTING UTILITY POLE | | PROPOSED VERTICAL GRANITE CURB |
| | EXISTING TREE | | |
| | EXISTING FENCE | | |

LANDSCAPE NOTE:
FOR MORE INFORMATION REGARDING LANDSCAPE SPECIFICATIONS, DETAILS WITHIN PLANTING AREAS AND LIGHTING SEE PLANS TITLED L1 "SITE PLANTING PLAN" & L2 "SITE LIGHTING PLAN" PREPARED BY HAWK DESIGN, INC. DATED APRIL 7, 2016 & REVISED MARCH 22, 2017.

ARCHITECT NOTE:
FOR MORE INFORMATION REGARDING PROPOSED BUILDING, SEE FLOOR PLANS PREPARED FOR HARMICH PLAZA, PREPARED BY DBF ASSOCIATES ARCHITECTS DATED APRIL 7, 2017.

SITE COVERAGE TABLE

SITE COVERAGE	PARCEL "A"	PARCEL "B" (PROJECT SITE)	PARCEL "C"	TOTAL ("A", "B" & "C")
EXISTING	10,403± S.F.	25,808± S.F.	7,401± S.F.	43,612± S.F.
PROPOSED	10,478± S.F.	25,898± S.F.	6,544± S.F.	42,920± S.F.
CHANGE	75± S.F. INCREASE	90± S.F. INCREASE	857± S.F. REDUCTION	692± S.F. REDUCTION



PLAN REFERENCES:
ASSESSORS MAP 14, PARCEL V9
DEED BOOK 127767, PAGE 21
DEED BOOK 20783, PAGE 165
CIT. #169418
PLAN BOOK 123, PAGE 15
PLAN BOOK 470, PAGE 50
L.C.P.L. 23643



"PARCEL A"
#555 ROUTE 28
ASSESSORS MAP 14 PARCEL V8
TABLE SIX PROPERTIES
REALTY TRUST
JOSEPH Y. DELLAMORTE, TRUSTEE
D.B.K. 20783, PG. 165

"PARCEL B"
#557 ROUTE 28
ASSESSORS MAP 14 PARCEL V9
525 CAMELOT LLC
D.B.K. 27767, PG. 21
D.B.K. 20783, PG. 165
CIT. #169418
PLAN BOOK 123, PAGE 15
PLAN BOOK 470, PAGE 50
L.C.P.L. 23643

"PARCEL C"
#565 ROUTE 28
AVALON SUNSET TRUST
RICHARD J. & BERNADETTE C. TRUSTEES
D.B.K. 17047, PG. 55
ASSESSORS MAP 14, PARCEL V10

DATUM NOTE:
ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 1988)

NO.	DATE	REVISION	BY
7	5-24-17	REVISE PARKING ARROWS & REMOVE TWO TREES	MJB
6	4-10-17	ISSUED FOR REGULATORY REVIEW	MJB
5	1-11-17	MODIFY PROPOSED ENTRANCE AND EXIT	MJB
4	11-29-16	ISSUED FOR PRICING	MJB
3	10-5-16	MODIFY PROPOSED PARKING STRIPING/CURBING & DUMPSTER PAD	MJB
2	9-1-16	REVISED PER PLANNING DEPARTMENT COMMENTS	MJB
1	8-9-16	ISSUED FOR REGULATORY REVIEW	MJB



PROJECT: 525 CAMELOT LLC
SHEET TITLE: PLAN SHOWING PROPOSED SITE LAYOUT & MATERIALS
SCALE: AS NOTED
DRAWING FILE: C17990-C3D.dwg
DATE: 04-08-2016
DRAWN BY: JLH/MJB
CHECKED BY:
PROJECT NO.: C17990.00
2 OF 11 SHEETS

ISSUED FOR REGULATORY REVIEW 05-24-2017

C2.11



Agenda Item II.C

To: Planning Board
From: Charleen Greenhalgh, Town Planner
Date: February 3, 2020
Re: Staff Report - Site Plan Review Special Permit

PB2019-48 554 Street Bar LLC, c/o Michael Jacek, as applicant/tenant, HP Property Investment LLC, as owner, seeks approval of a Modification of a Site Plan Review Special Permit (PB2019-09) to add to and reconfigure the outdoor seating at the front of the building which includes an exterior bar takeout window. The property is located at 554 Route 28, Map 14, Parcel T7 in the C-V and R-M zoning districts. The application is pursuant to the Code of the Town of Harwich §325-55.

The Planning Board will hold a public hearing on this matter on Tuesday, February 11, 2020 not sooner than 6:30 P.M.

Description

The applicant seeks approval to modify a previously approved Site Plan Special Permit (PB2013-14 and PB2019-09). The applicant seeks to modify the outdoor eating space on the portion of sidewalk that is part of the 554 Route 28 property and to add an exterior bar with a takeout window. Other than tables, chairs and an enclosure, there are no structures involved, but this would trigger a modification of the Site Plan as the site is changing. The application, related documents and plans were filed with the Town Clerk on December 20, 2019, unless otherwise noted. The following documents were submitted:

- A. Form A Planning Board Application dated 2/19/2019.
- B. Narrative related to the request, date stamped January 6, 2020.
- C. Municipal Lien Certificate showing tax paid are up to date.
- D. A floor plan of the restaurant, including the outside patio seating (28 seats), the exterior bar seating (6 seats) and the exterior bar window, RLQ Interior Designs, 554 Main Street, Harwich Port, MA, dated 12/18/19, 1'4" – 1'-0", Sheet ID 0.0.
- E. Two (2) exterior perspective drawings showing the proposed seating and exterior bar and takeout window.
- F. Site Plan, 554 Route 28, Harwichport, Massachusetts, Michael Jacek, Ten Yen Three Monkeys, dated December 19, 2019, revised 01-02-2020, scale 1" = 20', by East-SouthEast, LLC.

MGL Reference and Planning Board Jurisdiction

Pursuant to MGL c.40 A, §9 the Planning Board must, within 65 days of submission of application for a special permit, hold a public hearing, and render a decision within 90-days of the close of the hearing.

The Planning Board has jurisdiction to review this application pursuant to the Code of Town of Harwich §325-55 for Site Plan Review Special Permit and MGL c. 40A §9.

Pursuant to §325-55.E.(1) “If the site plan meets the requirements of this By-law and the Planning Board Rules and Regulations Governing Subdivision of Land and Site Plan Review, as amended, the Planning Board shall approve it”. However, the Board cannot deny approval of a site plan for a use which is allowed by right (not by special permit) in the district, but may impose reasonable conditions on the proposed use. Please refer to §325-55.E. for specific allowable conditions.

Waivers pursuant to §400 (Rules and Regulations)

No waivers have been requested at this time. This site has received prior reviews and approvals.

Comments from Other Boards/Committee/Departments

Health: Prior to use of the additional seating, a septic system installer must apply for a permit to install an additional exterior grease collection tank. With the addition of this tank, the property will be able to accommodate the proposed 71 seats (14 full service seats inside 10 Yen, 34 outdoor seats and 23 interior seats utilizing disposable tableware at the newly named 3 Monkeys.

Plan review of the interior including the kitchen and bar is required prior to the issuance of Health Department Food Service permits, however this should not interfere with the Planning Board approval process.

Fire: No concerns. Great plan.

Police Department: No concerns.

Planning Staff Comments

- A. The proposed outdoor seating is located entirely on the subject property.
- B. There is no change in the required number of parking spaces, as a retail space is being eliminated.
- C. General conditions, including a reference to prior conditions relative to PB2013-14 and PB2019-09, shall continue to be adhered to.
- D. Board of Health conditions are recommended as part of the conditions of approval.
- E. The request before the Board appears to be appropriate.

VOTES

Continuance

If the Board will require additional information or wants to take the matter under advisement the following motion is recommended:

Move to continue the hearing for PB2019-48 10 554 Street Bar LLC, to no earlier than 6:30 pm on _____ for the following reasons: *(need to state reason or purpose)*.
Date

IF BOARD IS READY TO RENDER A DECISION, THE FOLLOWING MOTIONS ARE PROVIDED:

I. Vote to close the public hearing.

II. Vote to Adopt Proposed Findings:

To adopt the following finding of fact:

1. The property is located within the C-V, V-C Overlay and R-M zoning districts.
2. The proposed outdoor patio is located entirely within the C-V and V-C Overlay districts.
3. The site has changed little, except for the outdoor patio seating, since approvals were received for the site in 2013 and 2019.
4. No nuisance or hazards relative to pedestrian or vehicular travel will be created.

III. Vote on Site Plan Review Special Permit: (*Please Note:* An affirmative vote by at least five Planning Board members is required.)

To approve with conditions case number PB2019-48 554 Street Bar LLC, c/o Michael Jacek, as applicant/tenant, HP Property Investment LLC, as owner, a Modification of a Site Plan Review Special Permit (PB2019-09) to add to and reconfigure the outdoor seating at the front of the building which includes an exterior bar takeout window for property located at 554 Route 28, Map 14, Parcel T7 in the C-V and R-M zoning districts pursuant to the Code of the Town of Harwich §325-55. The decision is based on the aforementioned findings of fact and the fact that the application meets the necessary requirements and criteria for approval pursuant to the Code of Town of Harwich and following conditions:

1. Prior to use of the additional seating, a septic system installer must apply for a permit to install an additional exterior grease collection tank.
2. All prior conditions pursuant to PB2013-14 and PB2019-09 shall continue to be adhered to.
3. This decision shall be recorded at the Barnstable Registry of Deeds prior to the issuance of a building permit.
4. Conformance with all review procedure requirements outlined pursuant to §400-18.G Inspection, certificate of completion and as-built plan, of the Code of the Town of Harwich shall be met.

Alternatively, the Planning Board may approve the site plan special permit with or without additional conditions.

To Whom it May Concern,

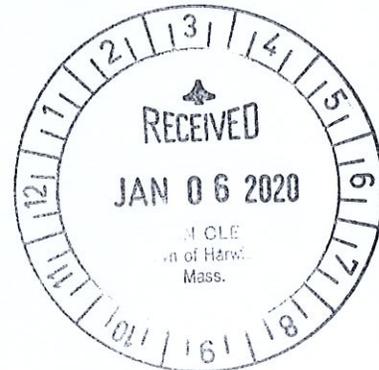
At 10 Yen of 554 Route 28, in Harwich Port, we are looking to complete our initial design. It is our hope to do things in a thoughtful, proper way, true to both our vision of the space and the progression of the Harwich Port community. Through design, cuisine, style, and service, we are trying to enjoy each season and make ourselves better each go around.

In this 2020 season, we plan to do business in a similar way to the seasons of 2018 and 2019, with a seating capacity of 71 total in both the interior of the space as well as the exterior front patio. The ^{previous} current design presented shows 20 seats on the interior and 20 seats on the exterior, separated from the sidewalk by both hard and softscape. The proposed seating increases the patio seating to 34 disposable-use seats, the new '3 Monkeys' interior space to 23, and 10 Yen remaining at 14 full-service seats.

In terms of construction, the structural exterior changes of window and door adjustment are presented (in nascent stage) in the renderings provided.

We hope to continue to add to the sought after food culture in Harwich, with a sushi inspired craft kitchen, open to the center of town. It's our desire that guests will get the full experience of Harwich Port. After a day on Bank Street beach, and shopping in town, they'll be able to sit al fresco style on the front patio or sip a glass of wine in a big window seat on 28, really enjoying what this great community has to offer.

Thanks for the opportunity to be a part of it all.



§325-39 Off-street parking schedule

A. These standards are the minimum requirement. The Planning Board, under site plan review, may vary the required number of spaces if the nature and scale of a proposed use warrant such a change. In determining the number of spaces required, only actual or delineated spaces shall be calculated. In the case of multiple uses on a single lot, the required number of parking spaces will be equal to the combined total of parking spaces for each use.

USE	PARKING SPACES
Single-family dwelling with accessory apartment, multifamily or mixed-use development	1.5 per unit
Auction galleries, gift shops, arts and crafts, antique shops, general merchandise, apparel and accessories, other retail sales and customer service	1 per 150 square feet of floor area dedicated to customer use or display, but not less than 70% of the total area
Restaurant, luncheon, bar, tavern, private club or other similar use	1 per 4 seats, including outdoor seating, plus 1 per employee maximum shift
Restaurant, fast-food/takeout	1 per employee maximum shift, plus 6, plus 1 per 4 seats, indoor or outdoor

Use	Area, Seats or Employees	Parking Spaces Required
Apartment	1	1.5
Retail space (Closed)	1,608 S.F.	11
Restaurant (Mad Minnow) Full Service	60 seats	15
Employees	11	11
Restaurant - (10 Yen) Full Service	14 Seats	4
Employees	2	2
Restaurant - (Three Monkeys) Paper Service / Takeout	57 Seats	15
Employees	5	5
Pilates Studio		4
TOTAL		69
Existing		43
Parking Deficient		26

§325-44 Special Cases

Parking space may be provided on lots separate from a nonresidential use they are to serve, and be credited to such use in meeting the requirements of this bylaw, provided that they are legally available, are not designated as off-site parking for another use, and are within 300 feet of the principal structure, measured within street rights-of-way. Proof of legal availability shall be required, and failure to retain the availability of such parking spaces for the need they are required to serve shall be sufficient cause to deny or revoke a special permit until such spaces are restored or replaced. When such parking spaces are part of Town-owned and Town-operated parking lots, the Planning Board shall determine availability based on Town need and the applicant shall not be required to furnish proof of such availability.

ZONING COMPLIANCE TABLE			
Lot Area	Required/Permitted	Existing	Proposed
RM zoning district	40,000 S.F.	13,562 S.F.	13,562 S.F.
CV zoning district	40,000 S.F.	25,339 S.F.	25,339 S.F.
TOTAL		38,901 S.F.	38,901 S.F.
Frontage in the RM and CV zoning districts	150'	127.34'	127.34'
Building Setbacks			
Front			
CV	25'	12.5'	12.5'
VCOD	§325-51.1(b)(1) ... shall be determined at time of site plan review based on existing development patterns and the elements of the proposed project.		
Side - Left			
RM and CV	20'		
VCOD	10'	49.1'	49.1'
Side - Right			
RM and CV	20'		
VCOD	10'	2.7'	2.7'
Rear			
RM	20'	166.9'	166.9'
VCOD	20'		
Building Coverage			
RM	20%		
CV	50%	8,078 S.F.	8,078 S.F.
Site Coverage			
RM	25%	7,209 S.F.	7,209 S.F.
CV	80%	22,267 S.F.	22,267 S.F.
Building Height in the RM and CV zoning districts			
	30'	existing	existing
Parking Setbacks			
Street			
CV	20'	22.6'	22.6'
VCOD	§325-51.1(c) ... shall be permitted at the side or rear of the property.		
Side			
RM and CV	10'	0.7'	0.7'
VCOD	§325-51.1(c) ... shall be permitted at the side or rear of the property.		
Rear			
RM	10'	38.1'	38.1'
VCOD	§325-51.1(c) ... shall be permitted at the side or rear of the property.		
From intersecting streets	50'	Existing	Existing
From other driveways	50'	Existing	Existing
Driveway Width for parking at 90°	24'	20'	20'
Parking width	9'	9'	9'
Parking length	20'	17.5' / 20.5'	17.5' / 20.5'
Parking Spaces	See parking calculations		
Landscape Islands	10%	<10%	<10%

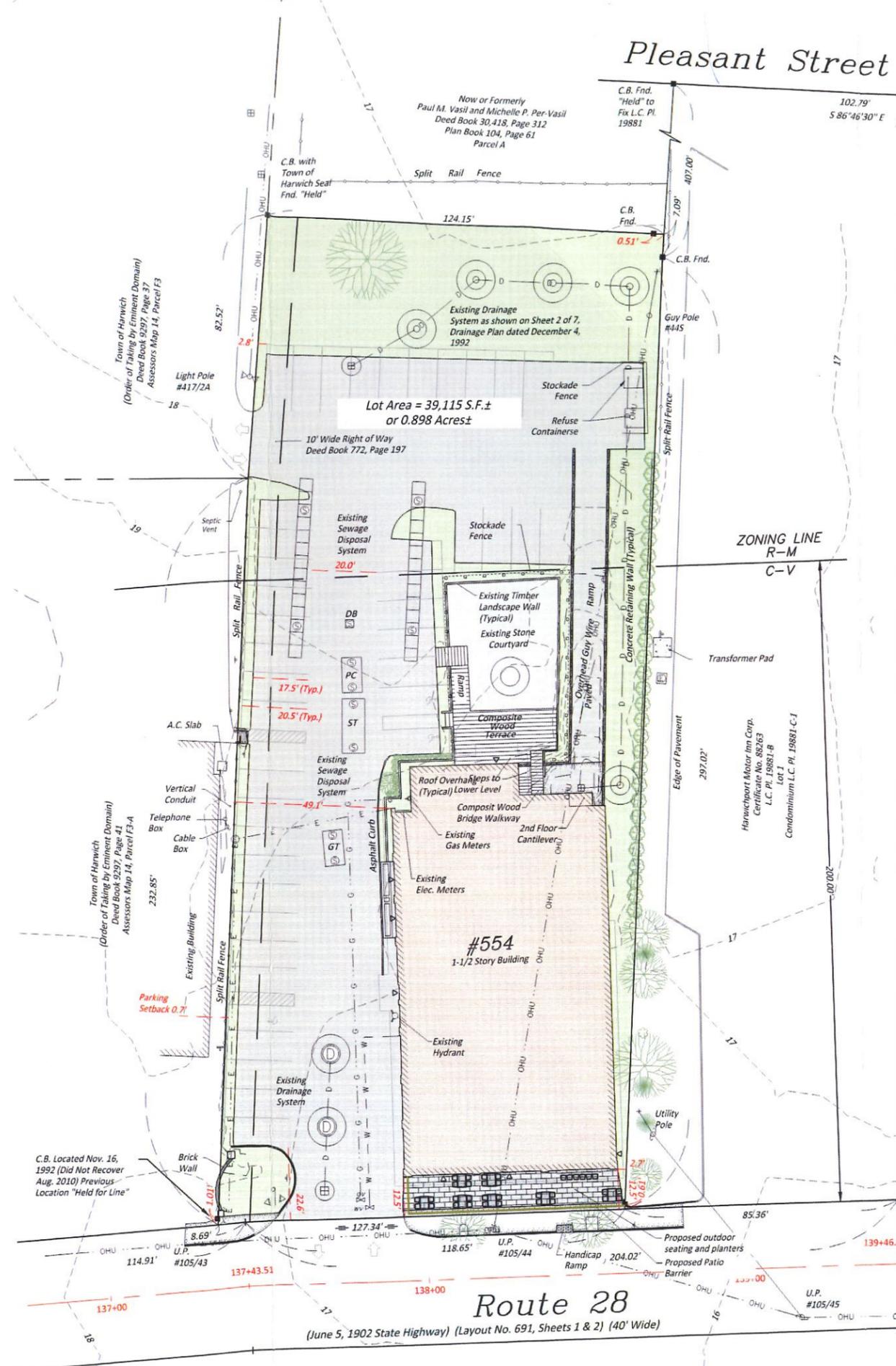
§325-51.1(g) Village Commercial Overlay District (VCOD) - The Board may waive or modify these dimensional requirements if it is found that such waiver or modification will not substantially derogate from the purpose and intent of this bylaw and that such waiver or modification may be granted without substantial detriment to the neighborhood or overall public good.

BUILDING COVERAGE	Sq. Ft. in ZONE C-V	Sq. Ft. in ZONE R-M
1 st floor	8,048	
2 nd floor overhang	30	
Total	8,078	

SITE COVERAGE	Sq. Ft.	Sq. Ft.
Building coverage	8,078	
Pavement	10,290	6,915
Parking overhang	687	468
Concrete sidewalk	138	
Brick sidewalk	729	
Entrance under construction	96	
Steps to municipal parking lot	10	
Steps to courtyard	10	
Concrete access to handicap ramp to courtyard	15	
Wall around courtyard	75	
Wood terrace in courtyard	491	
Stone courtyard	1,348	

Note: handicap ramp in courtyard has not been computed and added as site coverage as it will be replacing the stone within the courtyard, which has already been included in site coverage calculations.

Wall around ramp to basement	50	93
Concrete under stairs to lower level and bridge to first floor	250	
Total	22,267	7,135
TOTAL SITE COVERAGE = 29,372 S.F.	50	93



LEGEND

	Building		Edge of Brush
	Landscaping		Coniferous Bush
	Lawn		Deciduous Bush
	Naturalized Vegetation		Edge of Garden
	Impervious Hardscaping		Edge of Landscaping
	Previous Hardscaping		Edge of Lawn

	Test hole		Gas Meter
	Test boring		Gas Manhole
	Spot Lamp		Gas Gate
	Wooden Lamp		Sewer Cleanout
	Metal Lamp		Sewer Valve
	Concrete Lamp		Sewer Manhole

	Utility Manhole		Septic Vent
	Electric Meter		Septic Manhole
	Electric Manhole		Septic Line
	Electric Box		Sprinkler Head
	Electric Transformer		Irrigation Control Box

	Guy Pole		Monitoring Well
	Utility Pole		Well
	Anchor		Water Shut Off
	Telephone Pedestal		Water Meter Pit
	Telephone Manhole		Water Service
	Cable Manhole		Hydrant
	Cable Pedestal		Flowline
	Overhead Utilities		Edge of Rock
	Underground Communications Line		Edge of Shell
	Gas Line		Edge of Stone
	Sewer Service		Edge of Tile
	Sewer Cleanout		Edge of Wood
	Sewer Valve		
	Sewer Manhole		
	Solid Fence		
	Mailbox		
	Concrete Bollard		
	Metal Bollard		
	Flag Pole		
	Centerline		
	Striping		
	Edge of Asphalt		
	Edge of Brick		
	Edge of Concrete		
	Asphalt Curb		
	Concrete Curb		
	Stone Curb		
	Edge of Dirt		
	Flowline		
	Edge of Rock		
	Edge of Shell		
	Edge of Stone		
	Edge of Tile		
	Edge of Wood		

Locus Map 1" = 2,000'

Nantucket Sound
Assessors' ID: 14/17-0-R

SITE PLAN
554 Route 28, Harwichport, Massachusetts
December 19, 2019

OWNER OF RECORD:
HP Property Investment, LLC
PO Box 121157, Boston, MA 02112-1157
Deed Book 29,060, Page 323
Plan Book 104, Page 61, Parcel B

RECEIVED
JAN 03 2020
TOWN CLERK
Town of Harwich,
Mass.

Description of Revision	Date
Revised parking schedule, added patio barrier	01.02.2020

SCANNED

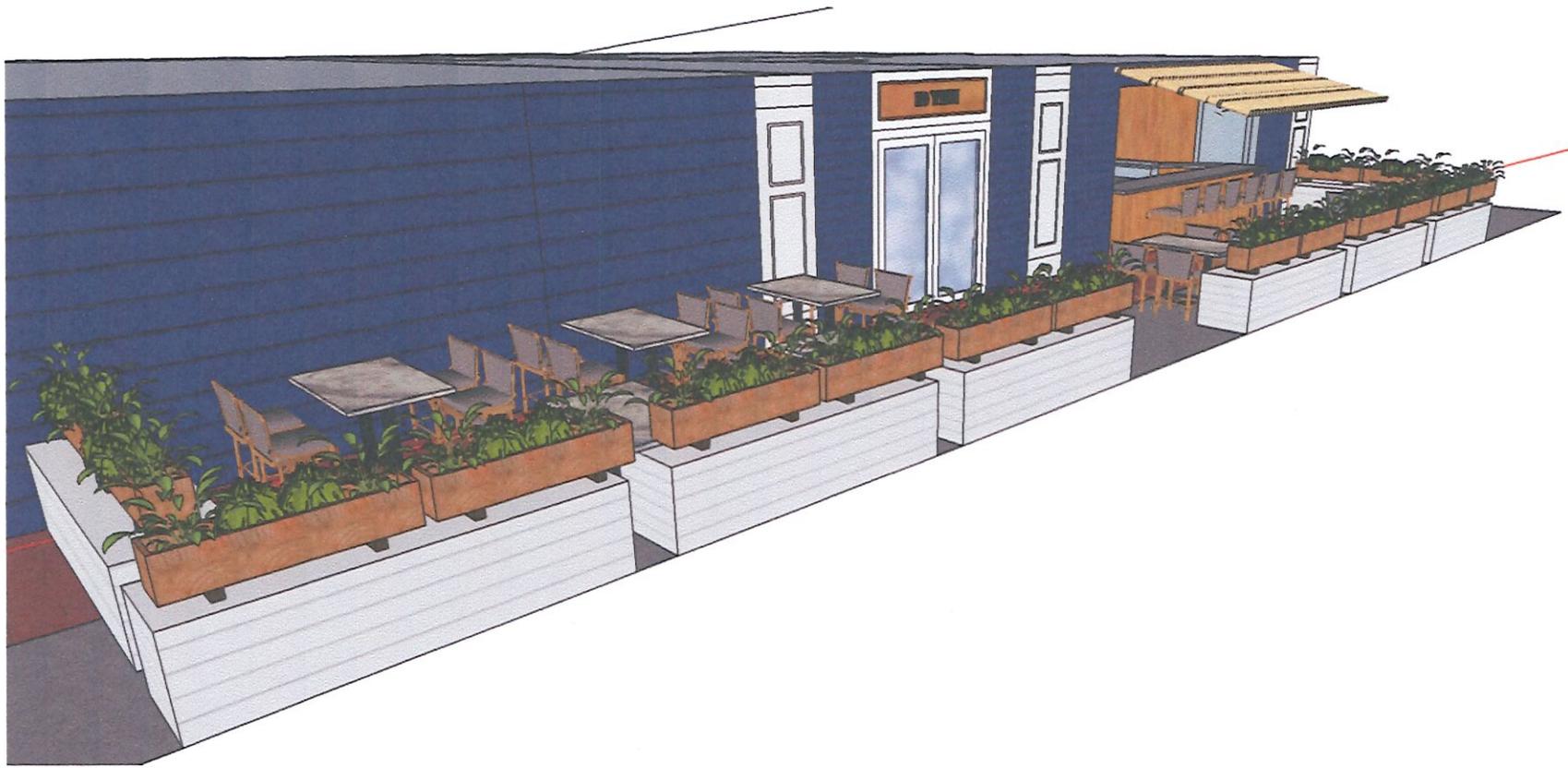
**MICHAEL JADEK
TEN YEN
THREE MONKEYS
EAST-SOUTHEAST, LLC**

www.ese-llc.com * office@ese-llc.com
1038 Main Street, Chatham, MA 02633
(508) 945-3965 * Fax: (508) 945-5885



Vertical Datum: NAVD '88
Horizontal Datum: NAD '83 (2011)

Scale: 1" = 40' (U.S. Survey Feet)
H-5005-01.0 Sheet 1 of 1







AGENDA ITEM # I.L.D

To: Planning Board
From: Charleen Greenhalgh, Town Planner
Date: February 3, 2020
Re: Staff Report – Site Plan Review Special Permit & Use Special Permit

PB2020-01 Donna Smith, TR, as owner, Michael Doucette, Officer, c/o Steven Haas, PLS, seeks approval of a Site Plan Review Special Permit and a Use Special Permit with waivers pursuant to the Code of Town of Harwich §§325-13, ¶IV Line 30 & 32A, -14.O, -55, -51 and -107 to renovate and expand the existing recreational use via a 4-station mobile bungee trampoline, construct and operate a new snack shack with Fast Food / Take Out and expand and improve the parking and vehicle access. The property is located at 296 Route 28, Map 12, Parcel H1, in the C-H-1 and R-R zoning districts and the A-E Special Flood Hazard Area overlay.

The Planning Board will hold a public hearing at the Tuesday, February 11, 2020 meeting no earlier than at 6:30 p.m. Abutters were notified via Certified Mail January 24, 2020.

Description

The applicant seeks three approvals for the same property at 296 Route 28. The first is a Site Plan Review Special Permit for an expansion of the site, including parking, a snack shack structure and additional trampolines. The second is a Use Special Permit for a Restaurant, Fast Food/Take Out, in the form of a small building, aka snack shack. The third is a Use Special Permit for Outdoor Recreation Use, an expansion of the trampoline use. The application was filed with the Town Clerk on January 7, 2020 with revised plans and waivers submitted on January 27, 2020 and include the following:

1. Form A – Special Permits & Site Plan Review dated January 7, 2020
2. Municipal Lien Certificate
3. A letter dated January 7, 2020 from Donna Smith
4. Waiver Requests, date stamped received January 7, 2020
5. Floor plan for “Snack Shack” dated 1/6/2020
6. Set of elevation plans, including North, South, East and West Elevations, Natural White Cedar Shingles, White Trim, Slate Grey Roof
7. Photo showing proposed Sail Shades
8. Photo showing new bungee trampolines
9. Set of “Site Plan of Land” 296 Route 28, Map 12, Parcel H1-0, West Harwich, MA, prepared for Trampoline Center, prepared by Stephen A. Haas, P.E. as follows:
 - a. Existing Conditions, scale 1” = 20’, dated November 26, 2019.
 - b. Sheet 1 dated November 26, 2019, Revised December 30, 2019 and January 23, 2020, scale 1”=20’
 - c. Sheet 2 dated December 30, 2019, scale as noted

MGL Reference and Planning Board Jurisdiction

Pursuant to MGL c.40 A, §9 the Planning Board must, within 65 days of submission of application for a special permit hold a public hearing. The decision of the Planning Board shall take place within 90 days following the close of the public hearing. Further, a special permit issued shall require a two-thirds vote of the Board. The Planning Board has jurisdiction to the review:

- Restaurant, Fast Food/Take Out pursuant to the Code of the Town of Harwich §325-13 (Use Table) Paragraph IV. 32A; §325-14(O); and, §325-51
- Recreation, Outdoor pursuant to §325-13 (Use Table) Paragraph IV.30 and §325-51
- Site Plan Review Special Permit pursuant to §325-55. Please note that pursuant to §325-55.E.(1) ***“If the site plan meets the requirements of this By-law and the Planning Board Rules and Regulations Governing Subdivision of Land and Site Plan Review, as amended, the Planning Board shall approve it”***. However, **the Board cannot deny approval of a site plan for a use which is allowed by right** (not by special permit) in the district, but may impose reasonable conditions on the proposed use. Please refer to §325-55.E. for specific allowable conditions.

Additionally the site is located within the FEMA Flood Plain pursuant to §325-107; which does not require Planning Board approval.

Waivers

The following waivers are requested (explanations provided in *italics*):

1. Drainage calculations and drainage area map. *There will be minor changes to the impervious/pervious surfaces for this proposal. Currently all runoff from impervious surfaces flows to the rear of the parking area and infiltrates into the wooded area. The properties on either side are higher in elevation than the locus, so all runoff remains on this property.*
2. Detail Plan Contents.
 - a. Dumpsters. *There will be individual barrels for trash that will be taken in nightly.*
 - b. Service areas, Loading areas, Sidewalks, Easements and Freestanding signs. *These areas are not required or proposed for this application.*
 - c. Subsurface drainage and Drainage facilities. *See above.*
 - d. Utilities: Gas. *Gas is not required.*
 - e. Specifications, details and cross sections for: Lighting, Fencing and Retaining walls. *The exact specifications for these have not been determined yet but all will comply with town zoning regulations.*
3. Landscaping Plans. *General landscaping i.e.: areas to be loamed and seeded, existing wooded areas etc. are noted on the site plan.*

Comments from other Boards, Departments, Committees

Health: A fully compliant septic systems will be required prior to any building permit issuance. No variances from State or Local Regulations will be granted for new construction. As the plan is shown, the septic design flow is appropriate for the proposed use. Four test holes and two percolation tests still need to be scheduled with the Health Department.

Installation of a grease strap is strongly recommended, as the lack of grease trap will severely limit any future food service plans (i.e. prepared hot foods, fried foods, homemade ice cream, etc.). The applicant will need to meet with the Health Director prior to food permit

issuance, and will need to address several areas of concern, such as dry storage and floor plan layout.

All of the Health Department issues can be addressed with the applicant directly during the permitting phase, and none of the Health Department concerns should negatively impact the Planning Board decision.

Fire, Police, & Highway: No concerns.

Building: Building Permit Required.

Conservation: Approved by Conservation Commission on January 8, 2020. Only conditions were no chemical use on property (fertilizers, etc.)

Engineering: Please refer to Planning Staff Comments Below.

Planning Staff Comments

1. The Town Engineer and Town Planner met to review this application and plans on January 14, 2020. A list of questions/concerns was provided to Stephen Haas, P.E. on January 17th. Staff then met with Mr. Haas on January 23rd. Revised plans were submitted on January 27, 2020, which address most of our concerns.
2. The plan does need to be stamped by a P.L.S, as new setbacks are shown.
3. It is recommended that although the parking is primarily stone and shell, the parking lines should be lined annually before the trampoline season begins.
4. Currently the establishment to the east of this site (#302 Route 28) accesses its dumpster via the subject property. This access will be closed off.
5. The food truck use and the additional outdoor recreation use are allowable in the C-H-1 zoning district through the special permit process.
6. The rear portion of the property is located within the R-R Zoning District. No development is proposed within this area of the lot.
7. At this time exterior lighting details have not been provided; staff recommends that this be a condition of approval.
8. Any signage will require a Sign Permit from the Building Department.
9. The applicant is aware that they *may* need a MassDOT Access Permit for the enlarged driveway and extended use.
10. The Board may wish to impose restriction/conditions for the seasonal snack shack. Some examples:
 - a. Conditioned to operations between June 15 – September 15
 - b. Conditioned to specific times during the day (i.e. only serving lunch (11:00am – 3:00pm).
 - c. Any increases in the need for additional on-site parking shall require the applicant to return to the Planning Board for further review and approvals.
11. The waivers requested are reasonable.

BOARD VOTE

Continuance

If the Board will require additional information or wants to take the matter under advisement the following motion is recommended:

Move to continue the hearing for **PB2020-01 Donna Smith, TR**, to no earlier than 6:30 pm on _____ (Next Meeting Dates: *Feb. 25, March 10, March 24*) for the following reason(s): *Need to provide reasons for the continuance...additional information.*

IF BOARD IS READY TO RENDER A DECISION, THE FOLLOWING MOTIONS ARE PROVIDED:

I. Vote to Close the Public Hearing

II. Vote on Finding of Facts for the Use Special Permit – Restaurant, Fast Food/Take Out

Motion to adopt the following findings of fact:

1. Said parcel is located within the C-H-1 and R-R Zoning Districts.
2. The Restaurant, Fast Food/Take Out use is permitted by Special Permit by the Planning Board.
3. The business operation is contained wholly within the C-H-1 district.
4. The proposed use will not adversely impact traffic flow and safety.
5. The proposed use will be compatible with surrounding land uses.
6. The specific site is an appropriate location for the use.
7. There will be no nuisance or serious hazard to vehicles or pedestrians.
8. The snack shack operation is seasonal by nature.
9. The applicant must comply with all local and state food service regulations for the snack shack operation.
10. Adequate and appropriate facilities will be provided for the proper operation of the proposed use.

III. Vote on the Use Special Permit – Restaurant, Fast Food/Take Out

1. Motion to ***approve*** the Use Special Permit for PB2020-01 Donna Smith, TR, pursuant to §325-13 ¶IV.32.A, §324-14(O) and §325-51 for a Restaurant, Fast Food – Take Out (Snack Shack) at property located at 296 Route 28, Map 12, Parcel H1, in the C-H-1 and R-R zoning districts and the A-E Special Flood Hazard Area overlay. The decision is based on the above findings and the fact that the application meets the necessary requirements and criteria for approval pursuant to the Code of Town of Harwich.
2. Motion to ***approve with conditions*** the Use Special Permit for PB2020-01 Donna Smith, TR, pursuant to §325-13 ¶IV.32.A, §324-14(O) and §325-51 for a Restaurant, Fast Food – Take Out (Snack Shack) at property located at 296 Route 28, Map 12, Parcel H1, in the C-H-1 and R-R zoning districts and the A-E Special Flood Hazard Area overlay. The decision is based on the above findings and the fact that the application meets the necessary requirements and criteria for approval pursuant to the Code of Town of Harwich, with the following conditions:
 - (1) The snack shack must obtain a permit from the Health Department prior to operation.
 - (2) There shall be no table service provided to customers- take-out food only.
 - (3) No retail sales or displays are allowed outside the truck.
3. Motion to ***deny*** the Use Special Permit for PB2020-01 Donna Smith, TR, pursuant to §325-13 ¶IV.32.A, §324-14(O) and §325-51 for a Restaurant, Fast Food – Take Out (Snack Shack) at property located at 296 Route 28, Map 12, Parcel H1, in the C-H-1 and R-R zoning districts and the A-E Special Flood Hazard Area overlay. The decision is based on the fact that the application does not meet the necessary requirements and criteria for approval pursuant to the Code of Town of Harwich, specifically (*need to provide the specifics as to why this does not comply*).

IV. Vote on Finding of Facts for the Use Special Permit – Outdoor Recreation

Motion to adopt the following findings of fact:

1. Said parcel is located within the C-H-1 and R-R Zoning Districts.
2. The Outdoor Recreation Use is permitted by Special Permit by the Planning Board.
3. The business operation is contained wholly within the C-H-1 district.
4. The proposed use will not adversely impact traffic flow and safety.
5. The proposed use will be compatible with surrounding land uses.
6. The specific site is an appropriate location for the use.
7. There will be no nuisance or serious hazard to vehicles or pedestrians.
8. The trampoline operation is seasonal by nature.
9. Adequate and appropriate facilities will be provided for the proper operation of the proposed use.

V. Vote on the Use Special Permit – Outdoor Recreation Use

1. Motion to ***approve*** the Use Special Permit for PB2020-01 Donna Smith, TR, pursuant to §325-13 ¶IV.30 and §325-51 for an expansion of the Outdoor Recreation Use (Trampolines) at property located at 296 Route 28, Map 12, Parcel H1, in the C-H-1 and R-R zoning districts and the A-E Special Flood Hazard Area overlay. The decision is based on the above findings and the fact that the application meets the necessary requirements and criteria for approval pursuant to the Code of Town of Harwich.
2. Motion to ***approve with conditions*** the Use Special Permit for PB2020-01 Donna Smith, TR, pursuant to §325-13 ¶IV.30 and §325-51 for an expansion of the Outdoor Recreation Use (Trampolines) at property located at 296 Route 28, Map 12, Parcel H1, in the C-H-1 and R-R zoning districts and the A-E Special Flood Hazard Area overlay. The decision is based on the above findings and the fact that the application meets the necessary requirements and criteria for approval pursuant to the Code of Town of Harwich, with the following conditions: (*Need to specify any conditions*)
3. Motion to ***deny*** the Use Special Permit for PB2020-01 Donna Smith, TR, pursuant to §325-13 ¶IV.30 and §325-51 for an expansion of the Outdoor Recreation Use (Trampolines) at property located at 296 Route 28, Map 12, Parcel H1, in the C-H-1 and R-R zoning districts and the A-E Special Flood Hazard Area overlay. The decision is based on the fact that the application does not meet the necessary requirements and criteria for approval pursuant to the Code of Town of Harwich, specifically (*need to provide the specifics as to why this does not comply*).

VI. Vote on Waivers for Site Plan Review Special Permit - (Vote to approve)

To approve the following waivers pursuant to §400, as requested base on the facts presented by the applicant:

1. Drainage calculations and drainage area map.
2. Detail Plan Contents.
 - a. Dumpsters.
 - b. Service areas, Loading areas, Sidewalks, Easements and Freestanding signs.

- c. Subsurface drainage and Drainage facilities.
 - d. Utilities: Gas.
 - e. Specifications, details and cross sections for: Lighting, Fencing and Retaining walls.
3. Landscaping Plans.

Vote to Adopt Proposed Findings:

To adopt the following finding of fact:

- 1. The property is located within the C-H-1 and R-R zoning districts.
- 2. The uses are allowable by Special Permit.
- 3. The access is over the existing westerly curb cut on Route 28.
- 4. The existing easterly curb cut on Route 28 will be closed off.
- 5. The waivers requested do not substantially derogate from the purpose and intent of this bylaw.

Vote on Site Plan Review Special Permit: (*Please Note:* An affirmative vote by at least five Planning Board members is required.)

To approve with conditions case number **PB2020-01 Donna Smith, TR**, for a Site Plan Review Special Permit with waivers pursuant to the Code of Town of Harwich §325-55 to renovate and expand the existing recreational use via a 4-station mobile bungee trampoline, construct and operate a new snack shack with Fast Food / Take Out and expand and improve the parking and vehicle access for property located at 296 Route 28, Map 12, Parcel H1, in the C-H-1 and R-R zoning districts and the A-E Special Flood Hazard Area overlay. The decision is based on the aforementioned findings of fact, the fact that the application meets the necessary requirements and criteria for approval pursuant to the Code of Town of Harwich. The following conditions are imposed:

- 1. Signage shall comply with the requirements of the Code of the Town of Harwich and the Building Department.
- 2. Lighting shall comply with the requirements of the Code of the Town of Harwich.
- 3. Any changes to the site plan, other than those resulting from MassDOT review and approval, shall be subject to further Planning Board review and approval.
- 4. This decision shall be recorded at the Barnstable Registry of Deeds prior to the issuance of a building permit.
- 5. Conformance with all review procedure requirements outlined pursuant to §400-18.G Inspection, certificate of completion and as-built plan, of the Code of the Town of Harwich shall be met.

Alternatively, the Planning Board may approve the site plan special permit with or without additional conditions.

**Town of Harwich
Planning Board Application
Special Permits and Site Plan Review**

The Trampoline Center
296 Route 28
West Harwich, MA 02671

January 7, 2020

Harwich Planning Board
732 Main Street
Harwich, MA 02645

Dear members of the board:

Please find the following information as a brief narrative for the Proposed Use(s) for the Trampoline Center expansion plan that will be phased in over time. The business is looking to enhance the property with a small takeout/fast food establishment that will focus on plant-based items as well as an additional recreation area. We are also proposing Shade Sails over the existing Trampolines to provide cover on sunny or damp days.

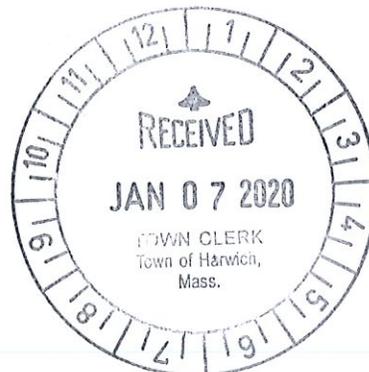
The snack shack will be a small structure 26'X12' (see attached plans) and the recreation area will be on a 25'X25' concrete slab. The recreation area will include, but not be limited to, a 4-station mobile bungee trampoline. The snack shack will have outdoor lighting that shall comply with all town zoning regulations. The area will be kept clean with individual trash barrels and all trash will be removed daily. We will also be loaming and seeding existing gravel/stone areas adding more green space to enhance the property.

Thank you for your consideration.

Best regards,

Donna W. Smith

Donna Smith



Waivers requested from Appendix 4, Requirements for Application and Plans for Special Permits including Site Plan Review

General Filing.

Drainage calculations and drainage area map. There will be minor changes to the impervious/pervious surfaces for this proposal. Currently all runoff from impervious surfaces flows to the rear of the parking area and infiltrates into the wooded area. The properties on either side are higher in elevation than the locus, so all runoff remains on this property.

Detail Plan Contents.

Dumpsters. There will be individual barrels for trash that will be taken in nightly.

Service areas, Loading areas, Sidewalks, Easements and Freestanding signs. These areas are not required or proposed for this application.

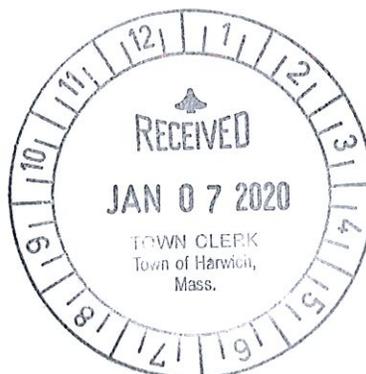
Subsurface drainage and Drainage facilities. See above.

Utilities: Gas. Gas is not required.

Specifications, details and cross sections for: Lighting, Fencing and Retaining walls. The exact specifications for these have not been determined yet but all will comply with town zoning regulations.

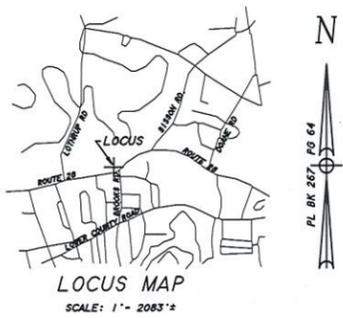
Landscaping Plans. General landscaping ie: areas to be loamed and seeded, existing wooded areas etc. are noted on the site plan.

Water Resource Protection District. This property does not fall within the WRPD.



GENERAL NOTES:

- THIS PLAN IS FOR THE DESIGN AND CONSTRUCTION OF THE SEWAGE DISPOSAL SYSTEM AND PERMITTING PURPOSES ONLY.
- VERTICAL DATUM IS NAVD 88. FOR BENCH MARKS SET. SEE SITE PLAN. ENTIRE LOT FALLS WITHIN FLOOD ZONE AE (EL 11).
- THE LIMIT OF WETLAND VEGETATION AS SHOWN ON THIS PLAN WAS DELINEATED BY HAMLYN CONSULTING.
- BEFORE CONSTRUCTION CALL "DIG-SAFE", 1-888-DIG-SAFE AND THE LOCAL WATER DEPT. FOR LOCATION OF UNDERGROUND UTILITIES.
- SEPTIC SYSTEM INSTALLER SHALL NOTIFY THE DESIGN ENGINEER TWO DAYS PRIOR TO CONSTRUCTION OF THE SYSTEM TO ALLOW FOR SCHEDULING OF THE CONSTRUCTION INSPECTIONS.
- ALL CONSTRUCTION METHODS AND MATERIALS AND MAINTENANCE OF THE SEPTIC SYSTEM SHALL CONFORM TO MASS. D.E.P. TITLE 5 AND LOCAL BOARD OF HEALTH REGULATIONS.
- ALL SEPTIC SYSTEM COMPONENTS LOCATED UNDER AREAS SUBJECT TO VEHICULAR TRAFFIC OR GREATER THAN 4" IN DEPTH SHALL BE CAPABLE OF WITHSTANDING H-20 WHEEL LOADS.
- ALL SEWER PIPE SHALL BE SCHEDULE 40 PVC OR APPROVED EQUAL.
- THE SEPTIC TANK AND PUMP CHAMBER SHALL BE REINFORCED PRECAST CONCRETE, WATER-TIGHT AND WATERPROOF.
- ALL UNSUITABLE MATERIAL (A & B HORIZONS) ENCOUNTERED BELOW THE INVERT OF THE LEACHING FACILITY TO BE REMOVED FOR A DISTANCE OF 5' AROUND AND REPLACED WITH SAND IN ACCORDANCE WITH TITLE 5.
- NO DETERMINATION HAS BEEN MADE AS TO COMPLIANCE WITH DEED RESTRICTIONS OR ZONING REGULATIONS. IT SHALL REMAIN THE CLIENTS RESPONSIBILITY TO OBTAIN ALL PERMITS, SPECIAL PERMITS, VARIANCES ETC. FOR THIS PROJECT.
- THE PROPOSED STRUCTURE IS TO BE FLOOD COMPLIANT.
- A SEWAGE DISPOSAL CONSTRUCTION PERMIT FOR THE PROPOSED USE IS REQUIRED.
- EXISTING LIGHTING TO REMAIN. EXTERIOR LIGHTING ON THE SNACK SHACK SHALL COMPLY WITH ALL TOWN ZONING REGULATIONS.
- INES TO BE PAINTED ON THE GRAVEL PARKING SEASONALLY AND AS REQUIRED.



- MAP 12, PARCEL G3-B-0
PINE GROVE CONDOMINIUM ASSOC
C/O DANIEL J MANNING
P.O. BOX 91
WEST HARWICH, MA 02671
DB 3554, PG 22
- MAP 12, PARCEL G3-B-4
DAVID & BETH HORTH
665 WASHINGTON STREET, UNIT 306
BOSTON, MA 02111
DB 26517, PG 281
- MAP 12, PARCEL G3-B-5
ROBERT M DEVLIN, TR.
175 QUINCY SHORE DRIVE, APT B46
QUINCY, MA 02171
DB 27492, PG 286
- MAP 12, PARCEL G3-B-6
DAVID DESLER
188 RIVER STREET
BILLERICA, MA 01821
DB 22930, PG 243
- MAP 12, PARCEL G3-B-7
COLLEEN B FOLEY, TR.
3 ROGERS ROAD
SOUTH BOSTON, MA 02127
DB 22680, PG 43
- MAP 12, PARCEL G3-B-9
JOHN L & SUSAN L HOAR
4 KANIA STREET
EASTHAMPTON, MA 01027
DB 15171, PG 184
- MAP 12, PARCEL G3-B-1 & G3-B-8
NANCY MCCARRICK
P.O. BOX 14
WEST HARWICH, MA 02671
DB 29845, PG 170
DB 15054, PG 194
- MAP 12, PARCEL G3-B-2
PHILLIP LOCARIO
P.O. BOX 127
WEST HARWICH, MA 02671
DB 9623, PG 100
- MAP 12, PARCEL G3-B-3
EDWIN & PATRICIA ALLEN
96 LESLIE LANE
WINDSOR LOCKS, CT 06096
DB 26472, PG 142

ZONING COMPLIANCE TABLE:

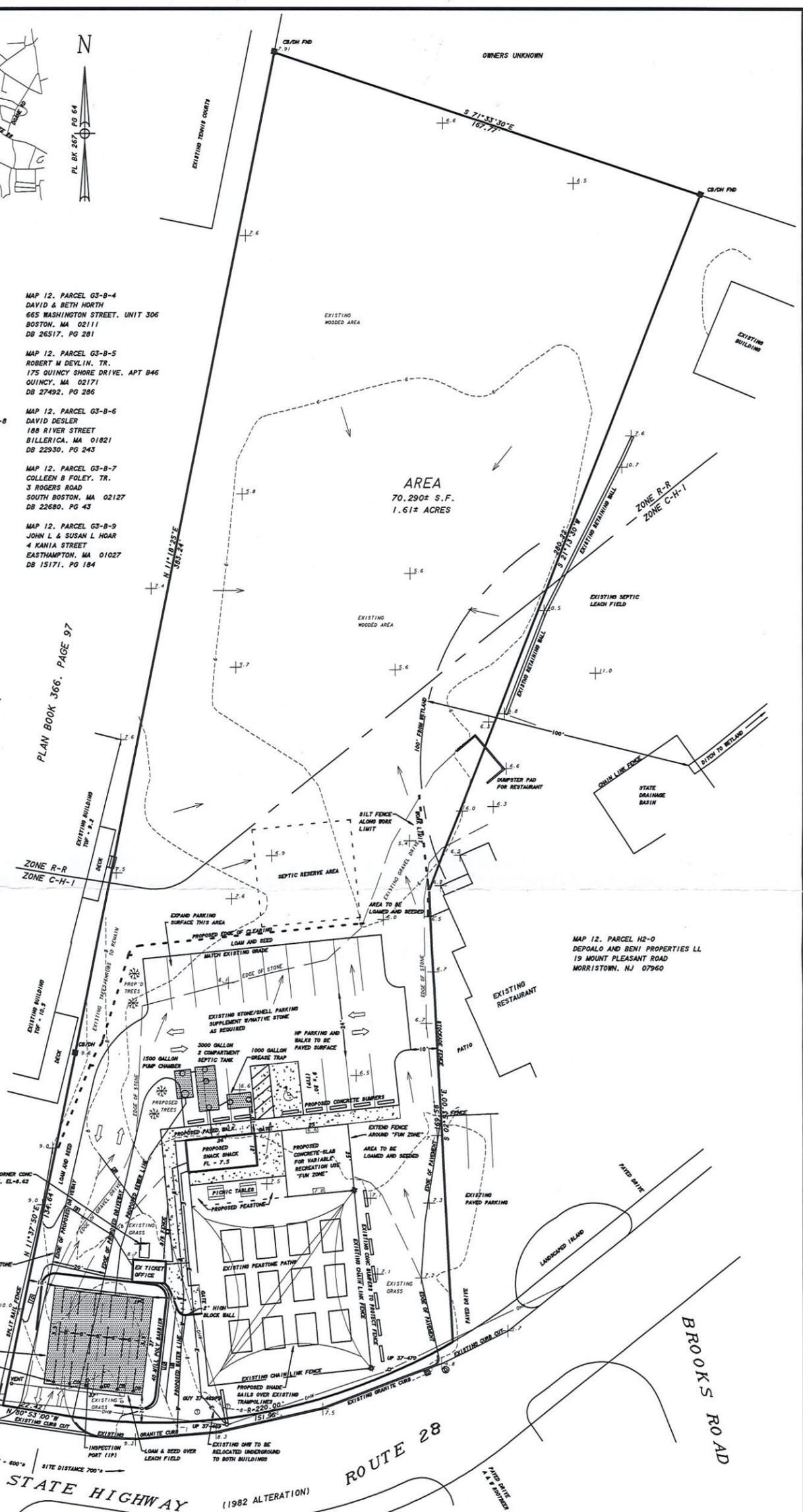
SUBJECT	REQUIRED	PROPOSED (TOTAL LOT)	PROPOSED (W/IN CH-1)
MIN LOT AREA	20,000 S.F.	70,290 SF	33,392 SF
MIN FRONTAGE	100 FT.	174.38 FT.	
MIN FRONT SETBACK	25 FT.	52 FT. (EX)	
MIN SIDE SETBACK	10 FT.	37 FT. (EX)	
MIN REAR SETBACK	10 FT.	387 FT.	
MIN FRONT PARKING SETBACK	20 FT.	83 FT.	
MIN SIDE PARKING SETBACK	10 FT.	10 FT.	
MIN REAR PARKING SETBACK	10 FT.	302 FT.	
MAXIMUM BUILDING COVERAGE	30 %	414 SF = 0.6%	414 SF = 1.2%
MAXIMUM SITE COVERAGE	70 %	16,780 SF = 24%	16,780 SF = 50%
MINIMUM GREEN AREA	30 %	53,510 SF = 76%	16,612 SF = 50%
MAXIMUM BUILDING HEIGHT	30 FT.	12 FT.	
INTERIOR LANDSCAPING	N/A	N/A	
# OF PARKING SPACES	16	4 TREES	18
TREES REQUIRED - 1/5 SPACES	4 TREES	4 TREES	
DRIVEWAY WIDTH	30 FT. MAX	20 FT	
EXIST BUILDINGS COVERAGE	30 %	EXISTING (TOTAL LOT)	EXISTING (W/IN CH-1)
EXIST SITE COVERAGE	70 %	102 SF = 0.2%	102 SF = 0.3%
EXIST GREEN AREA	30 %	17,717 SF = 25%	17,717 SF = 53%
		52,573 SF = 75%	15,675 SF = 47%

PARKING REQUIREMENTS:

PARKING REQUIREMENT GENERATOR	QUANTITY OR RATED CAPACITY	BASIS FOR PARKING CALCULATION PER TABLE 4	# OF SPACES REQUIRED
RECREATION	2 EMPLOYEES	1/EMP MAX SHIFT - 2	
	16 TRAMPOLINES	1/2 TRAMPOLINE - 8	16
SNACK SHACK	1 WINDOW	PLUS 6	6
TOTAL SPACES PROVIDED			18

PLANTING SCHEDULE:

SYMBOL	QTY.	COMMON NAME	SIZE
	4	PURPLE BEECHWOOD	3" CALIPER



- LEGEND**
- CONCRETE BOUND FOUND
 - WATER GATE
 - WATER LINE
 - HYDRANT
 - TELEPHONE MANHOLE
 - SEWER LINE
 - CATCH BASIN
 - UTILITY POLE W/ GUY WIRE
 - OVER HEAD WIRES
 - EXISTING LIGHT POLE
 - UNDERGROUND ELECTRIC AND CABLE
 - EXISTING SPOT ELEVATION
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - RUNOFF DIRECTION
 - TRAFFIC FLOW



MAP 12, PARCEL 56-0
WEST HARWICH REALTY TRUST
A & W DRIVE INN
297 ROUTE 28
HARWICH PORT, MA 02646

SITE PLAN OF LAND
296 ROUTE 28, MAP 12, PARCEL H1-0
WEST HARWICH, MA.
PREPARED FOR:

TRAMPOLINE CENTER

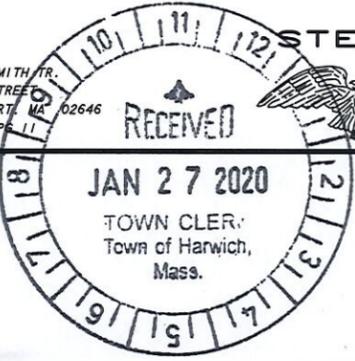
SCALE: 1" = 20' NOVEMBER 26, 2019

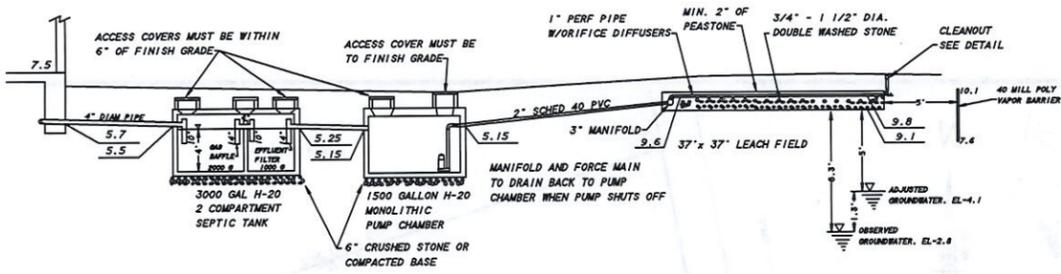
REVISED: DECEMBER 30, 2019 (MOVE PROPOSED BUILDING ETC)

REVISED: JANUARY 23, 2020 (ADD GREASE TRAP, NOTES ETC)

STEPHEN A. HAAS, PE
293 Cranew Road
Brewster, MA 02631
(508) 367-1691

OWNER:
DONNA W. SMITH TR.
768 MAIN STREET
HARWICH PORT, MA 02646
DB 31415, PG 1





PROFILE: NOT TO SCALE

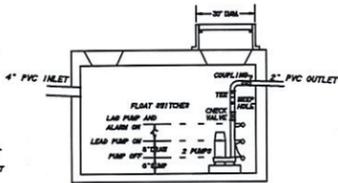
BOUYANCY CALCULATIONS:

SEPTIC TANK: DISPLACEMENT = (4.1-0.7) x 16.5 x 7.5 = 421 C.F.
 421 C.F. x 62.4 #/C.F. = 26255# H-20 TANK = 31602# OK

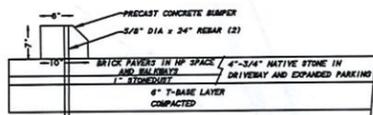
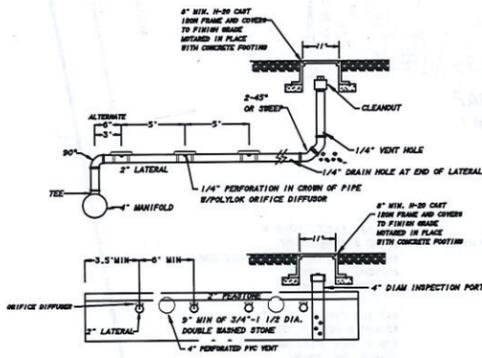
PUMP CHAMBER: DISPLACEMENT = (4.1-0.6) x 10 x 6 = 210 C.F.
 210 C.F. x 62.4 #/C.F. = 13104# H-20 TANK = 13966# OK

PUMP SYSTEM NOTES:

1. DUPLEX PUMPS TO BE BYERS SEWAGE PUMP MODEL 98M OR EQUAL.
2. THE PUMPS SHALL OPERATE IN THE FOLLOWING SEQUENCE:
 - A. PUMPS OFF
 - B. PRIMARY (LEAD) PUMP ON AND ALARM ON
 - C. BACKUP (LAG) PUMP ON AND ALARM ON
 - D. PUMPS MUST ALTERNATE.
3. THE PUMP SHALL BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND TITLE V REGULATIONS. PUMP DISCHARGE SHALL BE 2 INCHES. PUMP SHOULD BE ABLE TO BE DISCONNECTED AND LIFTED OUT OF THE PUMP CHAMBER WITHOUT HAVING TO ENTER THE PUMP CHAMBER.
4. THE ALARM SHALL START AT THE ELEVATION SHOWN AND BE POWERED BY A CIRCUIT SEPARATE FROM THE PUMP POWER.
5. AN ELECTRICAL PERMIT MUST BE OBTAINED FOR THIS INSTALLATION.



PUMP DETAIL: NOT TO SCALE
 USING 1500 GAL. PUMP CHAMBER
 WATER TIGHT AND WATER PROOF



PARKING, BUMPER AND WALK
 DETAIL
 NO SCALE

DESIGN CRITERIA:

DESIGN FLOW:
 RESTAURANT USE, FAST FOOD, 16 SEATS
 20 GAL/SEAT - 320 GPD. USE 1000 GPD MIN

GREASE TRAP REQUIRED:
 NONE, ICE CREAM & SMOOTHIES ONLY
 NO COOKING ON PREMISES.

2 COMPARTMENT SEPTIC TANK REQUIRED:
 1000 GPD X 200# = 2000 GAL 1st COMP
 1000 GPD X 100# = 1000 GAL 2nd COMP
 USE 3000 GALLON 2 COMPARTMENT TANK

SOIL ABSORPTION SYSTEM REQUIRED:
 DESIGN PERC RATE < 5 MIN/INCH
 SOIL TEXTURAL CLASS - I
 EFFLUENT LOADING RATE = 0.74 GPD/SF
 1000 GPD / 0.74 GPD/SF = 1351 S.F. REQUIRED

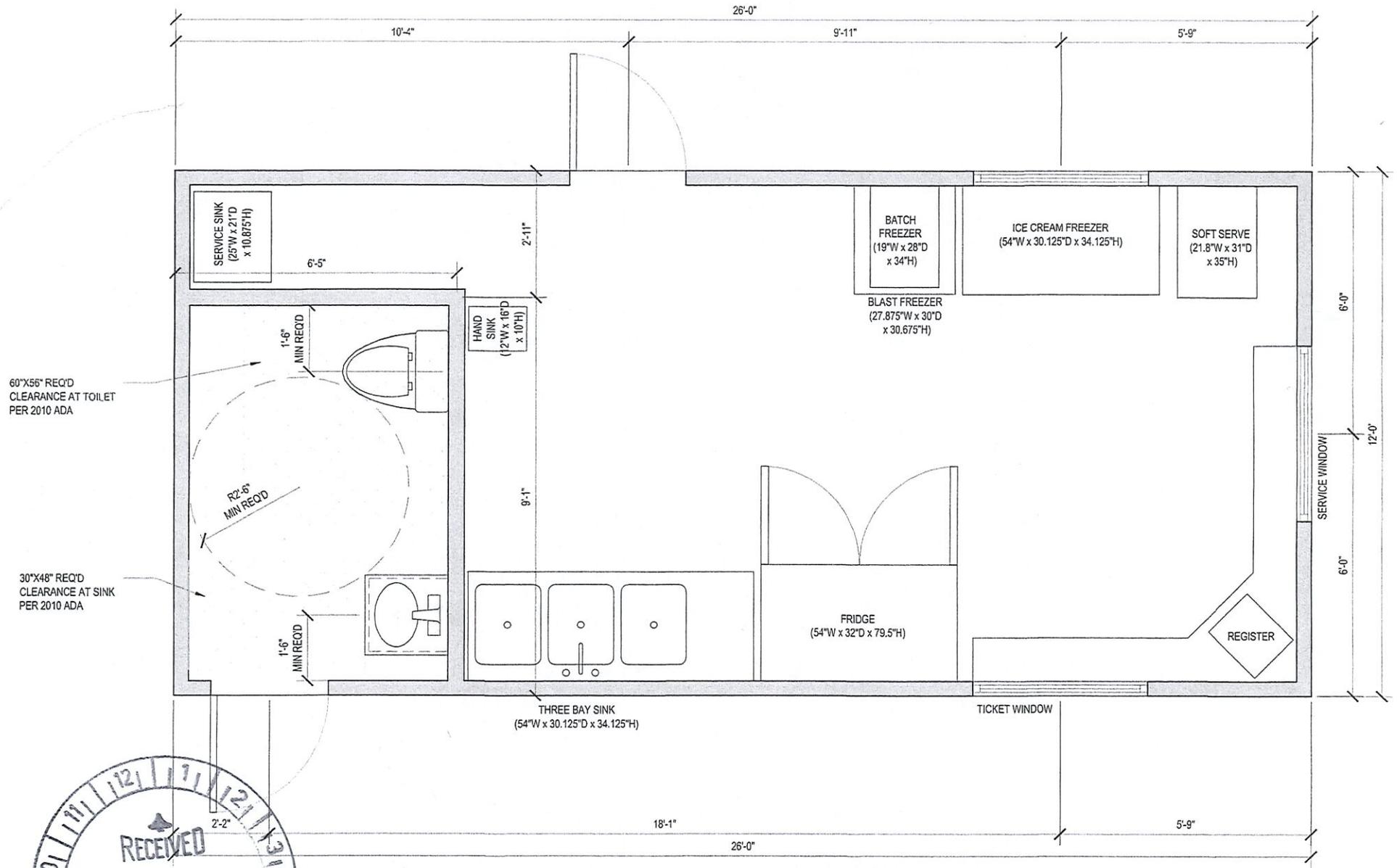
PROVIDED: 37' x 37' LEACH FIELD
 A = 1369 S.F. x 0.74 = 1013 GPD

INVERT ELEVATIONS:

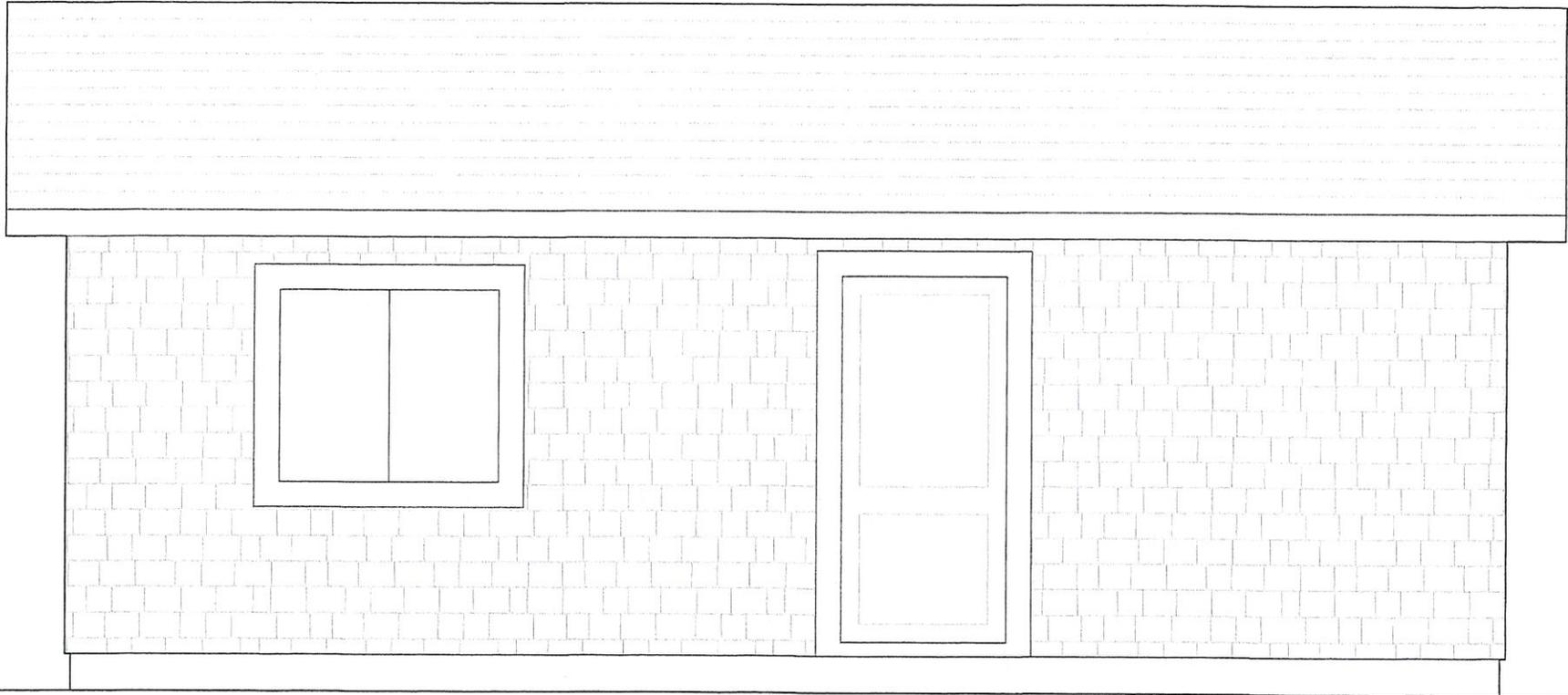
INVERT AT BUILDING:	5.7
INVERT IN SEPTIC TANK:	5.5
INVERT OUT SEPTIC TANK:	5.25
INVERT IN PUMP CHAMBER:	5.15
INVERT OUT PUMP CHAMBER:	5.15
INVERT IN LEACH FIELD:	9.6
INVERT END LEACH FIELD:	9.8
BOTTOM LEACH FIELD:	9.1
INVERT 3\" MANIFOLD:	8.6
ADJUSTED GROUND WATER:	4.1
OBSERVED GROUND WATER:	2.8
BOTTOM OF TEST HOLE #:	
INDEX WELL TSW 89, ZONE A	
NOVEMBER 2019 READING-11.5\" ADJ-1.3\"	

SITE PLAN OF LAND
 296 ROUTE 28, MAP 12, PARCEL HI-0
WEST HARWICH, MA.
 PREPARED FOR:
TRAMPOLINE CENTER
 SCALE: AS NOTED DECEMBER 30, 2019
STEPHEN A. HAAS, PE
 293 Cranview Road
 Brewster, MA 02631
 (508) 367-1691



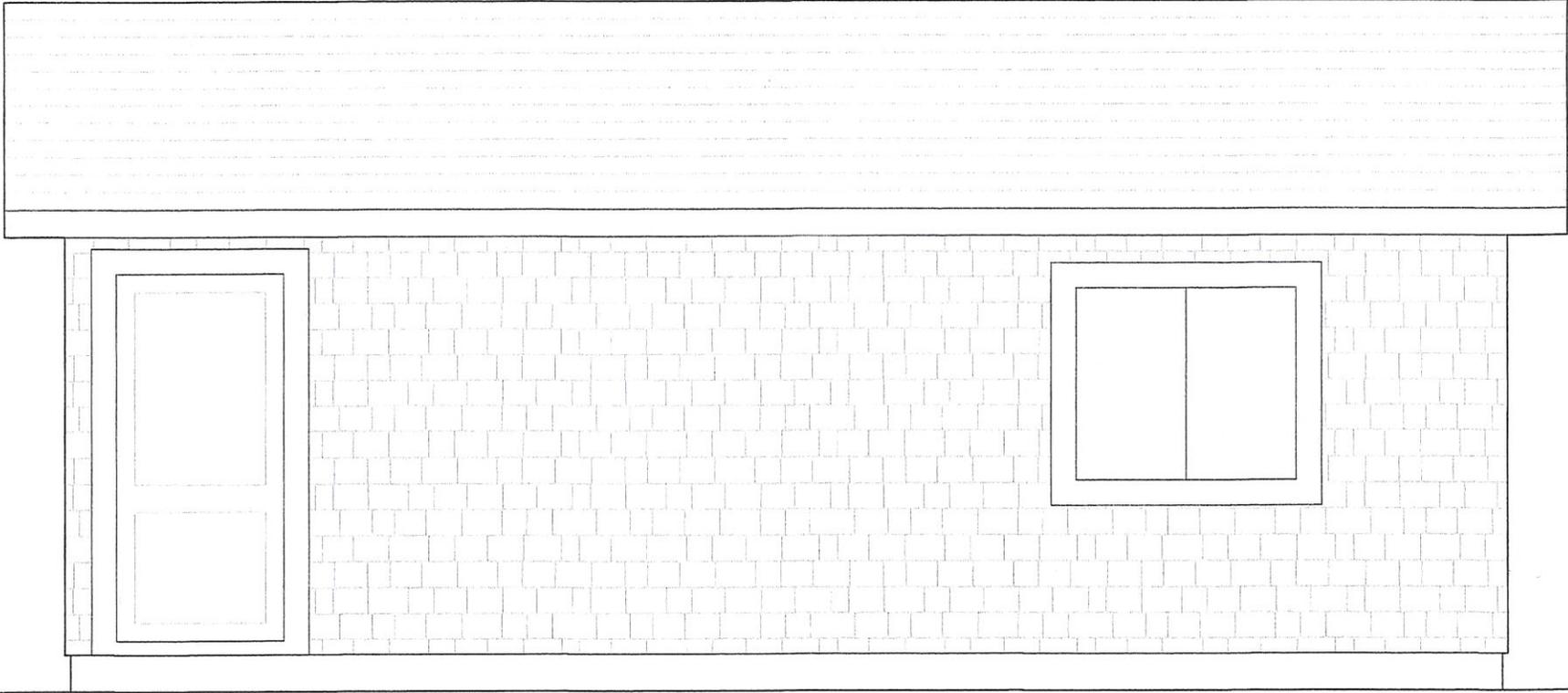


SNACK SHACK 1/6/2020

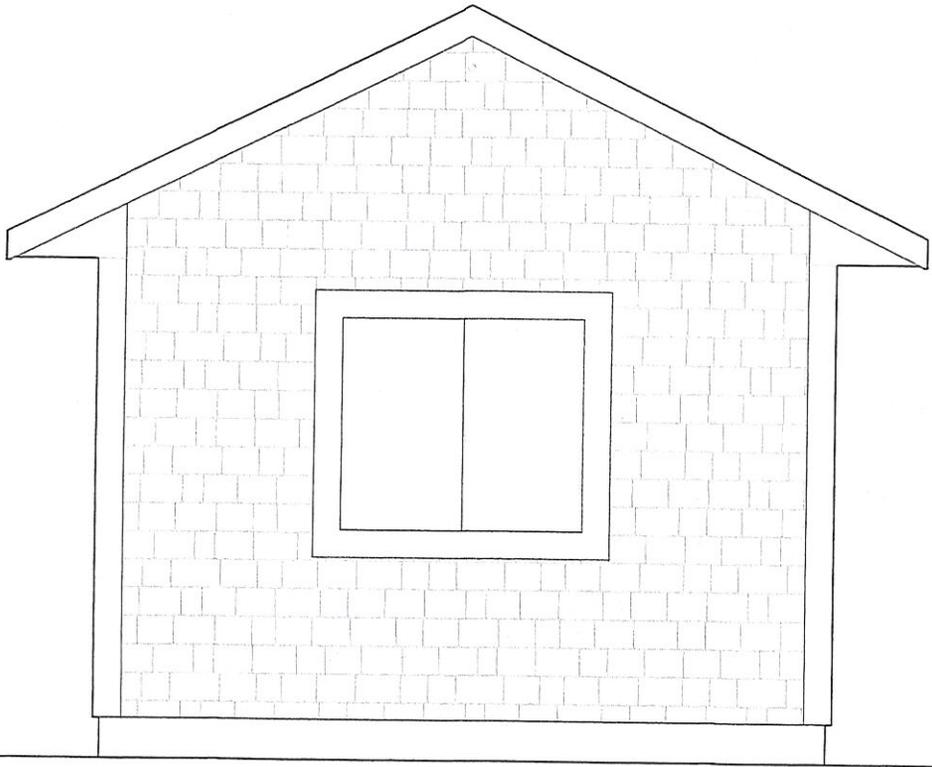


NORTH ELEVATION

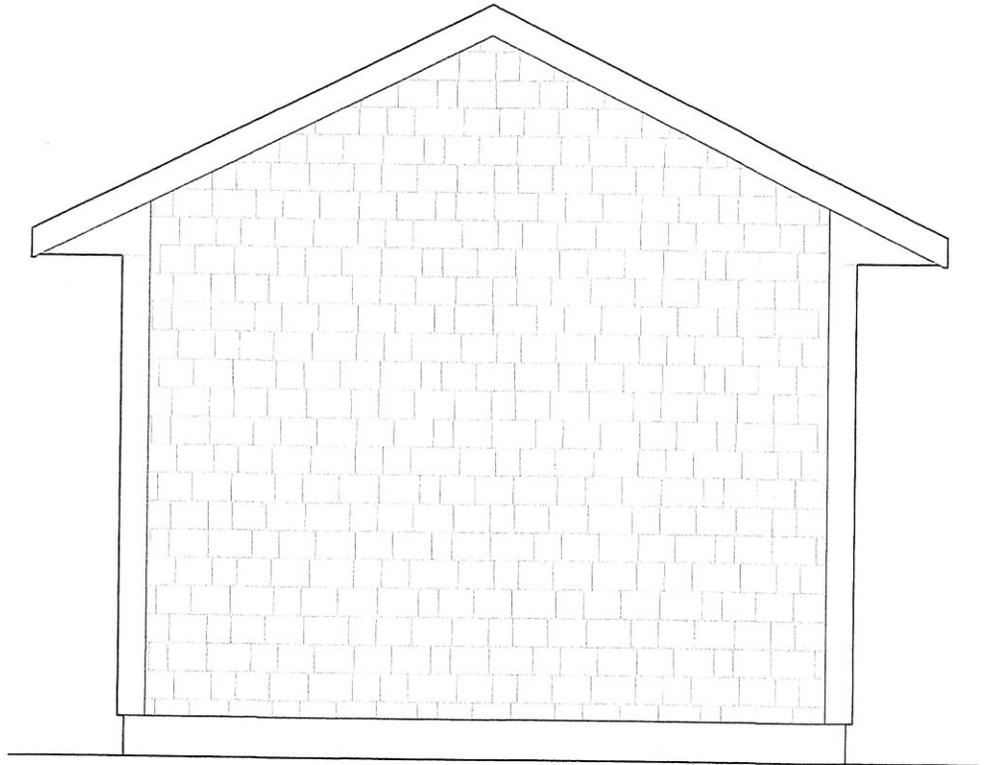
NATURAL WHITE CEDAR SHINGLES
WHITE TRIM, SLATE GREY ROOF



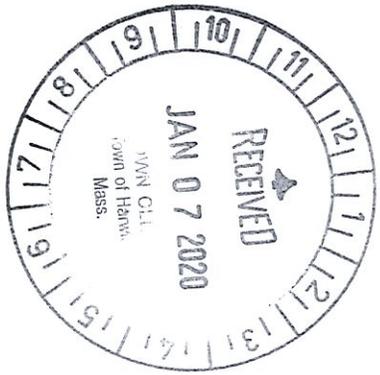
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION





RECEIVED
JAN 07 2020
TOWN CLERK
Town of Hanover
Mass.



AGENDA ITEM # ILE

To: Planning Board
From: Charleen Greenhalgh, Town Planner
Date: February 3, 2020
Re: Staff Report – Site Plan Review Special Permit & Use Special Permit

PB2020-02 Steve Gopoyan & Swavi Osev, as applicant/tenant, c/o Andrew Singer, Esq., Emulous E Hall, et als., as owners, seeks approval of a Site Plan Review Special Permit and a Use Special Permit with waivers, pursuant to the Code of Town of Harwich §§325-13, ¶IV Line 30, -55 and -51 to construct a miniature golf course and expand and improve the parking and vehicle access. The property is located at 346 Route 28 and 0 Sisson Road, Maps 21, Parcels N1 & N2, respectively, in the C-H-1 and R-M zoning districts.

The Planning Board will hold a public hearing at the Tuesday, February 11, 2020 meeting no earlier than at 6:30 p.m. **Certified Mail Receipts showing notification to abutters must be received before the Board can proceed with the hearing.**

Description

The applicant seeks two approvals for the same property at 0 Sisson Road and 346 Route 28. The first is a Site Plan Review Special Permit for the construction of a miniature golf course just north of the existing Bud's Go Karts recreation use and associated parking and an existing Antique Shop. The second is a Use Special Permit for an outdoor recreation use – the miniature golf use. The application was filed with the Town Clerk on January 7, 2020 with revised plans and information submitted on January 29, 2020 and February 3, 2020 and include the following:

1. Form A – Special Permits & Site Plan Review dated January 7, 2020
2. Municipal Lien Certificates
3. A narrative date received January 7, 2020
4. A Waiver Request letter from Moran Engineering Assoc., LLC, dated January 6, 2020
5. Stormwater Management Parking & Walkways Drainage Calculations, prepared by Moran Engineering Assoc., LLC, dated January 6, 2020; and revised Stormwater Management Parking & Walkways Drainage Calculations, prepared by Moran Engineering Assoc., LLC, dated January 29, 2020
6. A Summary of Reasoning, prepared by Attorney Andrew Singer, receive stamp date February 3, 2020
7. Project Benefit List, receive stamp date February 3, 2020
8. A set of Plans prepared by Moran Engineering Assoc., LLC, for 345 Route 28 & 0 Sisson Rd., Harwich, MA as follows:

- a. Sheet 1 – Existing Conditions Site Plan, Prepared for Swavi Osev and S&E, LLC, dated 1/6/20, Scale 1” = 40’
 - b. Sheet 2 – Proposed Site Plan for Miniature Golf Course, Prepared for S & S Amusement, LLC, dated 1/6/20, Rev. 1/29/20, Scale 1” = 40’
 - c. Sheet 3 – Proposed Detail Plan for Miniature Golf Course, Prepared for S & S Amusement, LLC, dated 1/6/20, Rev. 1/29/20, Scale 1” = 40’
 - d. Miniature Golf Course Overlay, dated 12/20/19, Scale 1” = 80’
9. Landscape Design for Harwich Mini Gold c/o Swavi Osev, 346 Route 38, Harwich, MA, Scale 1” = 20’, Date: Dec 18, 2019 Rev Jan 6, 2020, prepared by Shannon Goheen, Second Nature Gardenworks
 10. Set of Plans from Castlegolf, prepared for Swavi Osev, as follows:
 - a. Sheet No. C-1A, Mini-Golf Layout, dated 12-12-2019 (no scale)
 - b. Sheet No. C-1, Mini-Golf Layout, dated 1-28-20, scale 1” = 10’ (no graphic scale)
 - c. Sheet E-1, Mini-Golf Lighting Layout, dated 1-17-20, scale 1” = 20’ (no graphic scale)
 - d. Sheet G-1, Proposed Grading and Contours, dated 1-28-20, scale 1” = 10’ (no graphic scale)
 - e. Sheet S-1, Mini-Golf Site Plan and Theme, dated 1-28-20, scale 1” = 20’ (no graphic scale)
 11. Apex Lighting Solutions Plan, Harwich Miniature Golf, Preliminary Parking lot Lighting, dated 01/08/2020, (no scale), Sheet L-1
 12. Set of building plans (ticket booth), by Designs by Frank D. Ciambriello, for S & S Amusements LLC, 346 Route 28 – Sisson Road, Harwich, dated 2-1-20 as follows:
 - a. Elevations (front, rear, right, left), scale ¼” = 1’-0”, Dwg. No. 1 of 4
 - b. Foundation Plan, scale ½” = 1’-0”, Dwg. No. 2 of 4
 - c. Floor Plan, scale ½” = 1’-0”, Dwg. No. 3 of 4
 - d. Section AA, scale ½” = 1’-0”, Dwg. No. 4 of 4

MGL Reference and Planning Board Jurisdiction

Pursuant to MGL c.40 A, §9 the Planning Board must, within 65 days of submission of application for a special permit hold a public hearing. The decision of the Planning Board shall take place within 90 days following the close of the public hearing. Further, a special permit issued shall require a two-thirds vote of the Board. The Planning Board has jurisdiction to the review:

- Recreation, Outdoor pursuant to §325-13 (Use Table) Paragraph IV.30 and §325-51
- Site Plan Review Special Permit pursuant to §325-55. Please note that pursuant to §325-55.E.(1) ***“If the site plan meets the requirements of this By-law and the Planning Board Rules and Regulations Governing Subdivision of Land and Site Plan Review, as amended, the Planning Board shall approve it”***. However, **the Board cannot deny approval of a site plan for a use which is allowed by right** (not by special permit) in the district, but may impose reasonable conditions on the proposed use. Please refer to §325-55.E. for specific allowable conditions.

Additionally a portion of the site is located within the FEMA Flood Plain pursuant to §325-107; which does not require Planning Board approval.

Waivers

The following waiver is requested (explanation provided in *italics*):

1. Waiver is requested for 7 parking spaces. *Required parking is 90 spaces, proposed parking is 83 spaces. A proposed reserve area is delineated on the site plan which will provide for 8 additional parking spots. The applicants request to keep this reserve area as grass area until a time that the parking is needed.*

Comments from other Boards, Departments, Committees

Health: The septic system was originally designed for a restaurant with go-cart track with a design flow of 1602 gallons per day. As the restaurant is no longer in use, the septic is appropriately designed for the added flow from a miniature golf course.

The Health Department has no concerns with the change in use, but will require a passing Title 5 inspection prior to Building Permit approval.

Fire: No concerns. Great use of the land, great plan.

Building: No Concerns.

Police: Deputy Considine attended the initial meeting at Town Hal regarding this project. Traffic enter/exit area was discussed and has been noted on this plan.

Conservation: Received approval RDA 2019-25. Switch out Tupelos for more appropriate species. No use of fertilizers, herbicides, pesticides.

Engineering: Please refer to Planning Staff Comments below. The site will require a Stormwater Discharge Permit.

Planning Staff Comments

1. Town Staff met with the applicant for an initial review prior to file applications with the Town.
2. The Town Engineer and Town Planner met to review this application and plans on January 14, 2020. A list of questions/concerns was provided to Attorney Andrew Signer and Daniel Croteau, P.E. on January 17th. Staff then met with Mr. Croteau and the applicants on January 23rd. Revised plans were submitted as noted above. Many questions/concerns were addressed.
3. The proposed miniature golf and related parking does cross a lot line. The parcels should be combined prior to the commencement of any work on the property. In the alternative, an easement may be in order.
4. The rear portion of the property is located within the R-M Zoning District. A use variance will be required through the Zoning Board of Appeals.
5. Any signage will require a Sign Permit from the Building Department.
6. The waiver requested is reasonable. §325-44.D provides for a reserved area for parking through the site plan review. The bylaw provides that *“It is the responsibility of the applicant to provide documentation showing that the proposed use of the property does not require the number of spaces listed under § 325-39A. Plans shall incorporate and detail all design aspects of the reserve parking area. As it is the intent of this special delineation to preserve as much of the site's natural state as possible, the proposed reserve area shall be dedicated for parking only. In any case in which the Board permits an applicant to create a reserve parking area, in lieu of development of the required parking area, then the Board shall require, as a condition of approval, that the resulting site plan special permit shall be reviewed on a periodic basis in order to monitor the adequacy of the constructed parking and the need to construct all or a portion of the reserve area. After such review, if appropriate, the Board may require that all or a portion of the reserve area be actually constructed.”*

7. Several conditions are recommended, including but not limited to:
 - a. All drainage and storm water requirements, local, state and federal, shall be met and approved by the Harwich Town Engineer prior to the commencement of construction operations.
 - b. The necessary relief from the Zoning Board of Appeals shall be required.
 - c. This Site Plan Special Permit shall be reviewed on a periodic basis in order to monitor the adequacy of the constructed parking and the need to construct all or a portion of the reserve area. The Planning Board may, after notifying the owner/applicant and after a duly notice public meeting, require that all or a portion of the reserved parking area be constructed.
 - d. Prior to commencement of any work on the subject site, the two parcel shall either be combined by an Approval Not Required Plan or an Easement Agreement shall be executed. Neither document shall be valid nor work commence until said document is recorded at the Barnstable County Registry of Deeds and a copy of said document is filed with the Harwich Town Clerk and the Harwich Planning Board.
 - e. Conservation restrictions shall be adhered to.
 - f. Signage shall comply with the requirements of the Code of the Town of Harwich and the Building Department.
 - g. Lighting shall comply with the requirements of the Code of the Town of Harwich.
 - h. Any changes to the site plan, other than those resulting from MassDOT review and approval, shall be subject to further Planning Board review and approval.
 - i. This decision shall be recorded at the Barnstable Registry of Deeds prior to the issuance of a building permit.
 - j. Conformance with all review procedure requirements outlined pursuant to §400-18.G Inspection, certificate of completion and as-built plan, of the Code of the Town of Harwich shall be met.
8. As of February 4, 2020, one letter was received.
9. At this time, the recommendation is to hear from the applicant, any abutters or other citizens, and Board Members and to continue the hearing to a date and time specific.

BOARD VOTE

Continuance

If the Board will require additional information or wants to take the matter under advisement the following motion is recommended:

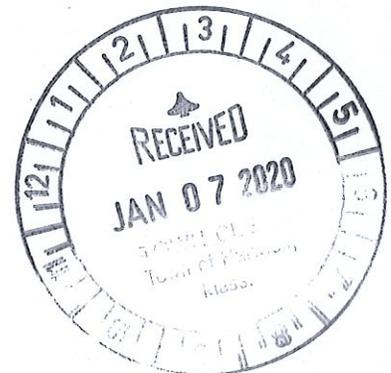
Move to continue the hearing for **PB2020-02 Steve Gopoyan & Swavi Osev**, to no earlier than 6:30 pm on _____ (Next Meeting Dates: *Feb. 25, March 10, March 24*) for the following reason(s): *Need to provide reasons for the continuance...additional information.*

Town of Harwich Planning Board

Petitioners: Steve Gopoyan and Swavi Osev
Owner: Andrew Hall, Successor Trustee of the Emulous Hall Realty Trust
Property: 0 Sisson Road and 346 Route 28, Harwichport, MA

The Petitioners are seeking a Use Special Permit and Site Plan Review Special Permit in accordance with Sections 325-13, Table 1, 325-51, and 325-55 of the Harwich Zoning By-Law ["Zoning By-Law"] and M.G.L. Chapter 40A, Section 9, in order to redevelop a previously-disturbed and commercially-used portion of the property located in two zoning districts, in connection with a seasonal, miniature golf course, as shown on the submitted plans.

The property is split-zoned with commercial land in the front and residential land in the rear. The proposed use is allowed by special permit in the commercially-zoned portion of the land. Relief has been requested from the Zoning Board of Appeals to redevelop the commercially-used, residential portion of the land. Site coverage and building coverage will be conforming. Lighting will comply with the Town of Harwich lighting regulations. The proposed location of the redevelopment will allow more environmentally-sensitive land in the front of the property to be better protected. Parking and landscape buffers will be conforming. Access, curb cuts, driveways, parking, and drainage will all be upgraded from existing conditions.



Law Office of Singer & Singer, LLC

26 Upper County Road
P. O. Box 67
Dennisport, Massachusetts 02639

Andrew L. Singer
Marian S. Rose

Myer R. Singer
Of Counsel

Tel: (508) 398-2221
Fax: (508) 398-1568
www.singer-law.com



Harwich Planning Board

0 Sisson Road & 346 Route 28, Harwichport

Summary of Reasoning

Steve Gopoyan and Swavi Osev [collectively “Applicants”] are seeking permission to redevelop a portion of the property owned by Andrew Hall, Successor Trustee of the Emulous Hall Realty Trust, at 0 Sisson Road and 346 Route 28, Harwichport [collectively “Property”]. The Property, which is shown as Parcels N2-0 & N1-0 on Harwich Assessors Map 21, is located in the CH-1 & RM Zoning Districts and consists of one parcel of vacant, developable, commercial land and one split-zoned parcel improved with a pre-existing, nonconforming retail building, a go-kart track, outside storage (boat, vehicle, trailer, and soils and other materials), and improved and unimproved parking areas. The retail building and go-kart track, neither of which are proposed to be affected by the proposed redevelopment, are located in the commercial CH-1 zoning district. The outside storage and portions of the unimproved parking areas are located in the RM Zoning District. The outside storage has historically included the bringing and removal of soils and other materials to the large cleared portion of the Property that is located predominantly in the residential district.

The commercial use of the residential portion of the Property and the parking areas, access, and buffers are all pre-existing nonconforming. The Applicant’s proposal includes redeveloping the previously-disturbed and commercially-used portion of the Property located in two zoning districts, in connection with a seasonal, miniature golf course. The outside storage use of the Property will cease, and the parking areas will be expanded and improved. The existing, dense vegetated buffer in the rear of the

Property will be preserved and enhanced. While the proposed use is allowed by Planning Board special permit in the commercially-zoned portion of the land, it also requires a variance from the Board of Appeals to redevelop the rear portion of the disturbed land that is in the residential zone. We met with the Board of Appeals in January and were continued to the Board's late February meeting. A number of the questions raised in connection with the relief requested involve matters reviewed by the Planning Board under site plan review and are discussed herein. Conservation Commission review has already been completed.

The Petitioners are thus seeking a Use Special Permit and Site Plan Review Special Permit in accordance with Sections 325-13, Table 1, 325-51, and 325-55 of the Harwich Zoning By-Law ["Zoning By-Law"] and M.G.L. Chapter 40A, Section 9, to complete the redevelopment as shown on the submitted plans. The Planning Board is authorized to grant use special permits when it finds that the use as developed will not adversely affect the neighborhood, the site is appropriate for the use, there will be no nuisance or serious hazard to vehicles or pedestrians, and adequate and appropriate facilities will be provided for the proper operation of the use. The Planning Board approves site plan review special permits when they meet the requirements of the Zoning By-Law and the Planning Board's Rules and Regulations.

The Applicants respectfully submit that the required special permit criteria are met in this instance and that the redeveloped site will be a benefit to the neighborhood and community and advance the purposes of the Zoning By-Law because:

1. The portion of the Property to be redeveloped has for many decades been cleared and used for storage of boats, vehicles, and trailers as well as soil and other materials that were brought onto and removed from the Property over time, and the proposal will remove all of this year-round use;
2. There will be a net decrease in the square footage of the Property used for outside commercial space in both zoning districts as a result of the redevelopment, and more of

- the use will be shifted to the commercial CH-1 Zoning District out front and less in the residential RM Zoning District that the historical development pattern of the Property;
3. The extensive, existing wooded area rising along the hill at the rear of the Property in the RM Zoning District will be retained in its existing, natural setting as a buffer to the residential condominiums to the rear along both Harold Street and Doane Road. In addition, a portion of the cleared land used for long-term commercial storage will be revegetated to deepen the buffer, and an additional green screen of new trees will be planted around the rear of the golf course;
 4. There is a flood plain located at the front of the Property with the land sloping up away from Sisson Road back to the high point at the rear of the Property. The proposal locates about two-thirds of the constructed portion of the seasonal miniature golf course in the residential portion of the Property in order to keep it farther away from the flood plain portion of the land. This lessens the change for property damage in flood events. The Harwich Conservation Commission has reviewed and approved the proposal determining that the redevelopment is advantageous to the environment;
 5. The proposed redevelopment will also result in improved protection of the more environmentally-sensitive portion of the Property by upgrading and enhancing stormwater management;
 6. As was presented to the Board of Appeals, designing the redevelopment as proposed with the improvements and reductions in scope inside the existing commercially-used portion of the rear land will result in less activity in the more environmentally-sensitive portions of the front of the land and will lead to significant enhancements to the buffer in the rear on the previously-disturbed land;
 7. Front, side, and rear yard setbacks will remain conforming;
 8. Site coverage and building coverage will remain conforming;
 9. Parking and landscape buffers, which do not exist today, will each become conforming;

10. Access, curb cuts, driveways, and drainage will all be upgraded from existing conditions. Specifically, as a result of talks during Town Department Head Review, including the Police Department, access from Sisson Road for both the proposal and the existing go-kart business is to be upgraded and channelized better to improve flow onto and from the Property. This was noted at the meeting as being a positive improvement and benefit. The Police Officer at the meeting also commented that one of the Town's goals is to ultimately remove the island in Sisson Road that is the cause of so much headache. The existing curb cut onto Harold Street in the commercial CH-1 zone will be maintained;
11. Parking will be shared with the other uses on the site. This eliminates the need for additional curb cuts onto Town roads here or elsewhere. The Applicants are requesting a waiver from the Planning Board to allow eight (8) of the required parking spaces to be held in reserve and remain as grassed area unless needed in the future. If there is no need to create more physical parking and it can left green, the Applicants believe that this is a benefit;
12. The proposal will be in keeping with and compatible with the character of the neighborhood. The intensity of the proposed seasonal use will be much less than what might otherwise be allowed under the Zoning By-Law in the CH-1 zone. Such year-round uses include restaurants, retail stores, repair facilities, and marine uses. Patrons to the site will now be able to spend longer at this property with multiple uses, rather than moving as frequently from one recreational activity property to others in Town;
13. Lighting will comply with the Town of Harwich lighting regulations, and there will be no negative change in artificial light, noise, litter, and odor. The Condominium properties to the rear beyond the natural buffer are located at the crest of the hill above the site of the proposed redevelopment. Since the proposed lighting will be shielded and dark-sky compliant, there will be no negative impact to the neighbors. Photometric plans have been submitted demonstrating that light will be contained on site as required. The

proposed structural features of the golf course, the lower elevation, and the natural and proposed screening will all prevent additional noise impacts to the neighborhood; and

14. The proposal is for a seasonal use on a piece of land that already contains similar, seasonal, recreational uses and will not create any nuisance, hazard or congestion or any harm to the neighborhood or neighboring properties.

For all of the above reasons, the Petitioners respectfully request that the Planning Board make findings that the statutory criteria for the requested relief are met and grant a Use Special Permit and Site Plan Review Special Permit to allow the redevelopment to be completed as shown on the submitted plans.

Law Office of Singer & Singer, LLC

26 Upper County Road
P. O. Box 67
Dennisport, Massachusetts 02639

Andrew L. Singer

Myer R. Singer
Of Counsel

Tel: (508) 398-2221

Fax: (508) 398-1568

www.singer-law.com

Harwich Planning Board

0 Sisson Road & 346 Route 28, Harwichport

PROJECT BENEFITS LIST

- Eliminate Long Time, Year-Round, Commercial Storage of Boats, Vehicles, and Trailers as well as Soil and Other Materials from Residentially-Zoned Portion of Property
- Replacement Use Will Be Seasonal May to September Located on Land that Already Contains Similar, Seasonal, Recreational (Go-Karts) Use
- Net Decrease of Commercial Use in Residentially-Zoned Portion of Property
- Protect Flood Plain Located at Front of Property Along Sisson Road
- Expanded and Enhanced Vegetated and Forested Buffer to Abutters at Top of Rear Hill
- Full Shielded and Dark-Sky Compliant Lighting Set Below Top of Rear Hill
- Improve Main Entrance on Sisson Road to Channelized Flow to and from Property
- Compliance with All Dimensional Setback Requirements of Zoning By-Law
- Compliance with All Building and Site Coverage Requirements of Zoning By-Law
- Provide Enhanced and Upgraded Stormwater Management
- Provide Enhanced Landscaping and Parking Buffers

MORAN ENGINEERING ASSOC., LLC

941 Main Street, P.O. Box 183, South Harwich, MA 02661

Daniel P. Croteau, PE
Richard Judd, RS

(508) 432-2878
FAX (508) 432-3501
MoranEng@gmail.com

Harwich Planning Department & Board
732 Main Street
Harwich, Ma 02645

January 6, 2020

Ref: **346 Route 28, 0 Sisson Rd**
Harwich Port, MA
Applicant: S & S Amusements, LLC

Waiver Request

Waiver is requested for 7 parking spaces. Required parking is 90 spaces, proposed parking is 83 spaces. A proposed reserve area is delineated on the site plan which will provide for 8 additional parking spots. The applicants request to keep this reserve area as grass area until a time that the parking is needed.

Sincerely,



Daniel Croteau, PE



LEGEND

- Existing Building
- Proposed Building
- Edge of Pavement
- Existing Contour
- Flood Plain Limit
- Unpaved Driveway
- Proposed Walk
- Zoning District Limit
- Traffic Flow Direction
- Existing Fence
- Existing Edge of Clearing
- Road Sign
- Utility Pole
- Existing Spot Elevation
- Existing Exterior Lighting
- Catch Basin

LOCUS



LOCATION MAP

346 Route 28
Assessors ID: 21-N1
Deed: Title Ctf. 129097
Plans: LC Plan 36057-B, Lot 1
Bk 361, Pg 66
Owner: Emulous Hall Realty Trust

0 Sisson Road
Assessors ID: 21-N2
Deed: Book 8416, Page 102
Plans: LC Plan 36057-A
LC Petitioners Plan 32053
Owner: Emulous Hall Realty Trust



Total Locus Property Area: 278,473 SF, 6.4 Acres
Total Area Within Flood Plain: 169,805 SF, 3.9 Acres
Total Area Not Within Flood Plain: 108,668 SF, 2.5 Acres

Zoning Compliance

Zone: C-H-1	Article VI Required	Existing
Lot Area	20,000sf	178,863 sf
Lot Frontage	100'	1075'
Min Front Setback	25'	23.5'
Min Side Setback	10'	277.9'
Min Rear Setback	10'	156.3'
Building Coverage	(53,650sf) 30%max	2.3% (4120sf)
Site Coverage	(14500sf) 70%max	49% (82324sf)
Lot Area Within Flood Plain		157,927 sf

Zone: RM	Article VI Required	Existing
Lot Area	40,000sf	99,610 sf
Lot Frontage	150'	179'
Min Front Setback	25'	n/a
Min Side Setback	20'	n/a
Min Rear Setback	20'	n/a
Building Coverage	(19,922sf) 20%max	0% (0sf)
Site Coverage	(34,863sf) 35%max	* 49% (48750sf)
Lot Area Within Flood Plain		11,878 sf

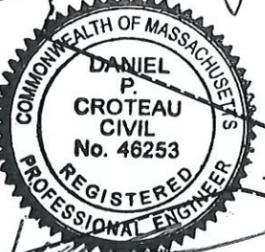
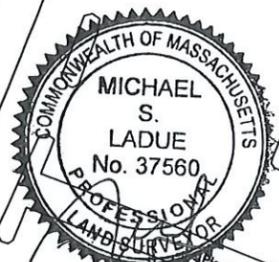
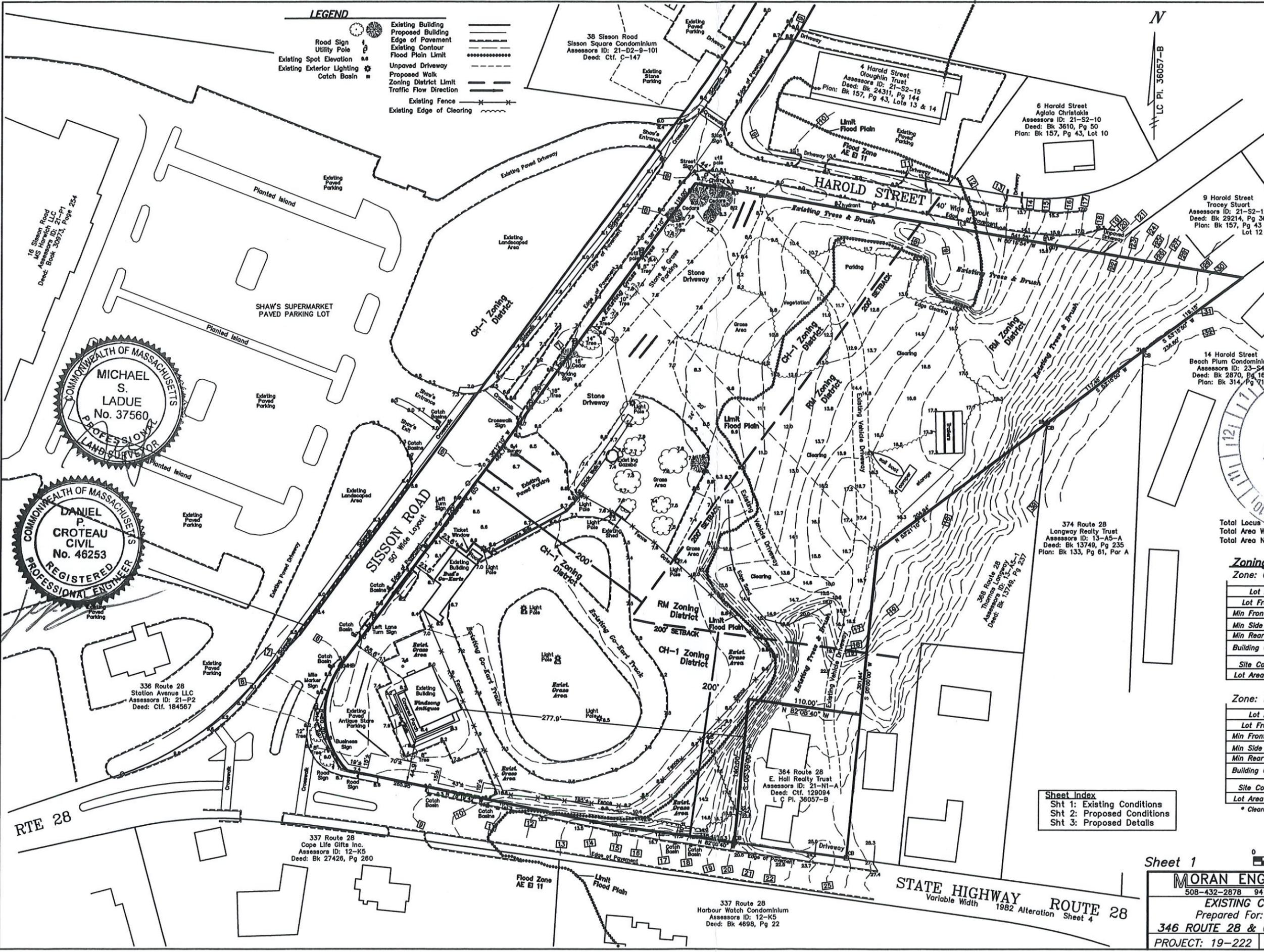
* Cleared Areas: Driveways, Parking, & Storage

Sheet Index
Sht 1: Existing Conditions
Sht 2: Proposed Conditions
Sht 3: Proposed Details

SCALE: 1"=40'
0 40 80 120

Sheet 1

MORAN ENGINEERING ASSOC., LLC
508-432-2878 941 MAIN STREET (RTE 28), HARWICH, MA
EXISTING CONDITIONS SITE PLAN
Prepared For: Swavi Osev and S&E, LLC
346 ROUTE 28 & 0 Sisson Rd, HARWICH, MA
PROJECT: 19-222 DATE: 1/6/20



336 Route 28
Station Avenue LLC
Assessors ID: 21-P2
Deed: Ctf. 184567

337 Route 28
Cape Life Gifts Inc.
Assessors ID: 12-K5
Deed: Bk 27426, Pg 260

337 Route 28
Harbour Watch Condominium
Assessors ID: 12-K5
Deed: Bk 4698, Pg 22

364 Route 28
E. Hall Realty Trust
Assessors ID: 21-N1-A
Deed: Ctf. 129094
LC Pl. 36057-B

374 Route 28
Langway Realty Trust
Assessors ID: 13-A5-A
Deed: Bk 13749, Pg 235
Plan: Bk 133, Pg 61, Par A

386 Route 28
Thomas Langway
Assessors ID: 12-A5-1
Deed: Bk 13749, Pg 237

6 Harold Street
Agola Christakis
Assessors ID: 21-S2-10
Deed: Bk 3610, Pg 50
Plan: Bk 157, Pg 43, Lot 10

4 Harold Street
O'Laughlin Trust
Assessors ID: 21-S2-15
Deed: Bk 24311, Pg 144
Plan: Bk 157, Pg 43, Lots 13 & 14

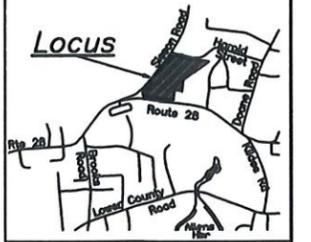
38 Sisson Road
Sisson Square Condominium
Assessors ID: 21-D2-9-101
Deed: Ctf. C-147

16 Sisson Road
MS Harwich LLC
Assessors ID: 21-P1
Deed: Book 30973, Page 254

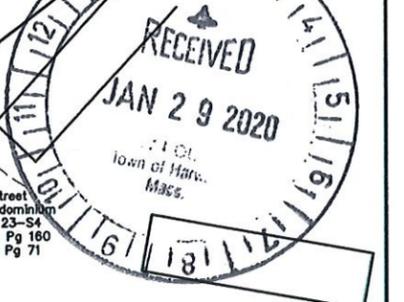
STATE HIGHWAY ROUTE 28
Variable Width 1982 Alteration Sheet 4

LEGEND

Existing Trees	Existing Building	Existing Fence
Road Sign	Proposed Building	Existing Edge of Clearing
Utility Pole	Edge of Pavement	
Wheel Stop	Existing Contour	
Existing Spot Elevation	Proposed Contour	
Proposed Spot Elevation	Flood Plain Limit	
Existing Exterior Lighting	Septic System SAS	
Catch Basin	Exist. Unpaved Driveway	
Landscape Islands	Proposed Stone Parking	
	Proposed Walk	
	Zoning District Limit	
	Traffic Flow Direction	



LOCATION MAP
 346 Route 28
 Assessor ID: 21-N1
 Deed: Title Ctf. 129097
 Plans: LC Plan 36057-B, Lot 1
 Bk 361, Pg 66
 Owner: Emulous Hill Realty Trust



Off-Street Parking Schedule
 Sect: 1X.325-39 & Sect: 208-2

REQUIRED	Min Req.	Calc.	Required
Miniature golf course	1 per employee	3 employees	3 spaces
	1 per 2 patrons	36holes x3 /2	54 spaces
Go-Kart Track	1 per employee	3 employees	3 spaces
	1 per 2 patrons	15karts x4 /2	30 spaces
Total			90 spaces
Accessible Space	4 per 100 spaces	4 spaces	4 spaces

PROPOSED
 Parking Proposed On-Site: 83 spaces
 Accessible Parking Proposed On-Site: 5 accessible spaces
 Reserve Parking Location: 8 spaces

Interior Landscaping
 Parking, Maneuvering Lane, & Interior Landscaping
 Total Area = 31870 sf
 Interior Landscaping = 3195 sf = 10% of Total

Zoning Compliance
 Zone: C-H-1

Article:VI Required	Existing	Proposed
Lot Area	20,000sf	178,863 sf unchanged
Lot Frontage	100'	1075' unchanged
Min Front Setback	25'	23.5' *128'
Min Side Setback	10'	277.9' *n/a
Min Rear Setback	10'	156.3' *52'
Building Coverage	(53,858sf) 30%max	2.3% (4120sf) **2.6% (4800sf)
Site Coverage	(14800sf) 70%max	49% (82324sf) **54.4% (97306sf)
Lot Area Within Flood Plain		157,927 sf

* New ticket/restroom building
 ** Includes existing and new coverages & reserve parking area (total golf layout area in CH-1 zone considered site coverage)

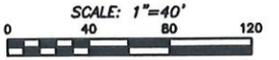
Zone: RM

Article:VI Required	Existing	Proposed
Lot Area	40,000sf	99,610 sf unchanged
Lot Frontage	150'	179' unchanged
Min Front Setback	25'	n/a n/a
Min Side Setback	20'	n/a n/a
Min Rear Setback	20'	n/a n/a
Building Coverage	(19,822sf) 20%max	0% (0sf) **0% (0sf)
Site Coverage	(34,863sf) 35%max	*49% (48750sf) **35% (34850sf)
Lot Area Within Flood Plain		11,878 sf

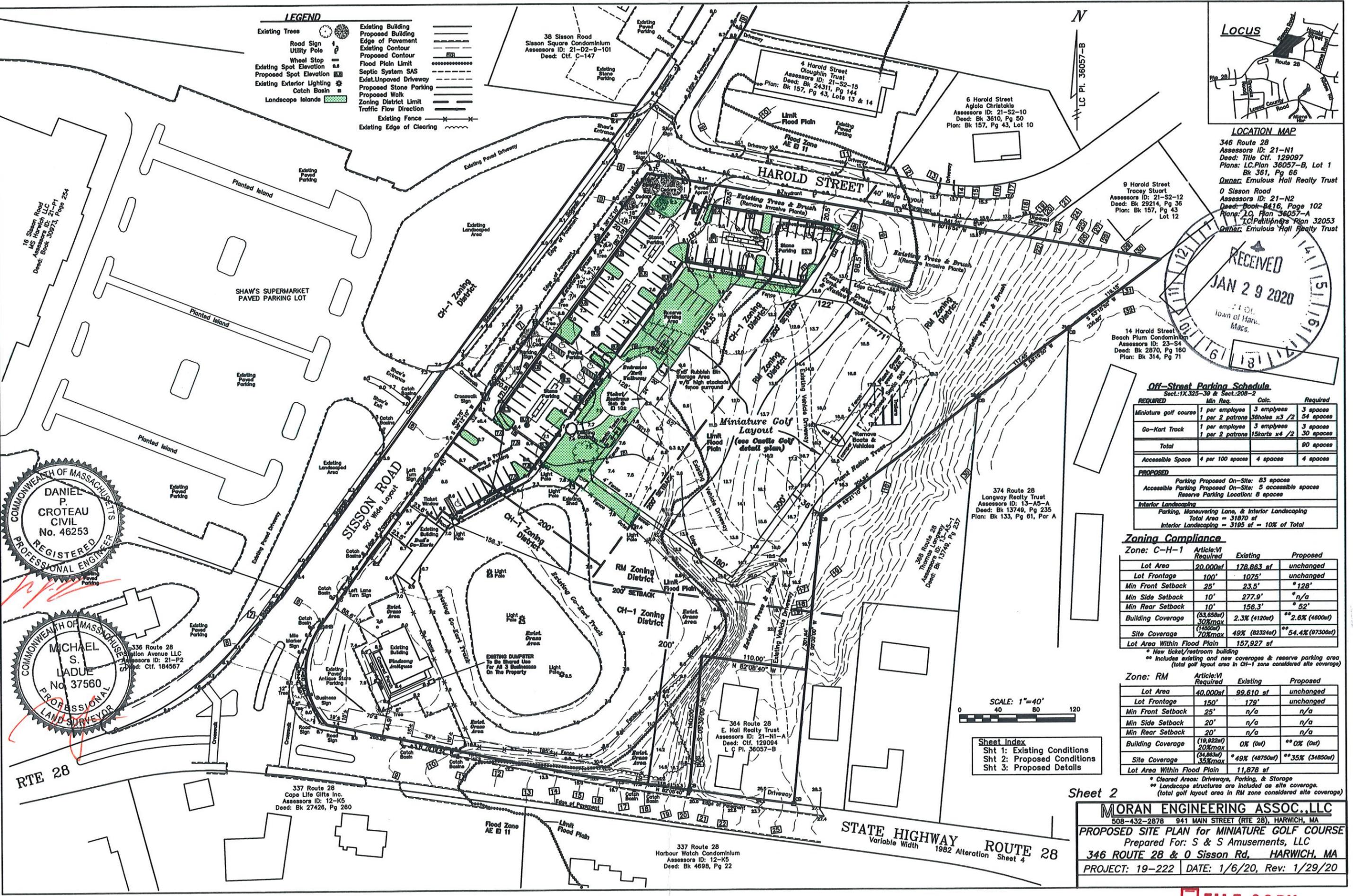
* Cleared Areas: Driveways, Parking, & Storage
 ** Landscape structures are included as site coverage.
 (total golf layout area in RM zone considered site coverage)

Sheet 2

MORAN ENGINEERING ASSOC., LLC
 508-432-2878 941 MAIN STREET (RTE 28), HARWICH, MA
PROPOSED SITE PLAN for MINIATURE GOLF COURSE
 Prepared For: S & S Amusements, LLC
 346 ROUTE 28 & 0 Sisson Rd, HARWICH, MA
 PROJECT: 19-222 DATE: 1/6/20, Rev: 1/29/20



Sheet Index
 Sht 1: Existing Conditions
 Sht 2: Proposed Conditions
 Sht 3: Proposed Details



STATE HIGHWAY ROUTE 28
 Variable Width 1982 Alteration Sheet 4

FILE COPY

DISABILITY/ACCESSIBILITY NOTES

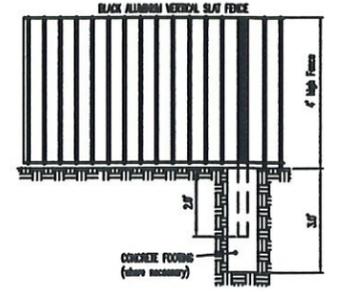
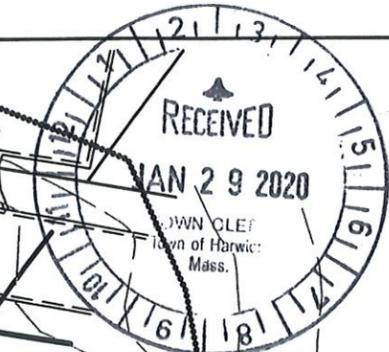
Project Facilities Are To Be Constructed In Conformance With Mass 521 CMR: Architectural Access Board Regulations.

- 1) An accessible route shall be provided to establish a continuous unobstructed pathway between the accessible parking spaces and the facility's accessible areas and elements. (521 CMR 20.1)
- 2) Accessible Walkways shall be not less than 48 inches wide, excluding curb stones. (521 CMR 22.2)
- 3) Walkway running slopes shall be a maximum of one-in-20, 5%. (521 CMR 22.3)
- 4) Walkway cross slopes shall be a maximum of one-in-50, 2%. (521 CMR 22.3.1)
- 5) Plaza areas shall have a maximum slope of one-in-50, 2%. (521 CMR 22.3.2)
- 6) Gratings in walkways shall have spaces of no greater than 1/2 inch in the direction of travel. (521 CMR 22.7 & 29.4)
- 7) Accessible Parking spaces shall be Level in both directions. (CMR 23.4.3)
- 8) Parking spaces shall be marked with signs showing the international symbol of accessibility and be installed at 5' min, 8' max top height. (CMR 23.6.2 & 23.6.4)
- 9) Any section of an accessible route with a slope greater than one-in-20 shall be considered a ramp and shall comply with 521 CMR 24.
 - a) maximum running slope of a ramp is one-in-12, 8.3% (521 CMR 24.2.1)
 - b) maximum rise for any ramp run shall be 30 inches. (521 CMR 24.2.2)
 - c) minimum clear width of a ramp shall be 48 inches between railings. (521 CMR 24.3)
 - d) maximum length of a ramp run between landings shall be 30 feet. (521 CMR 24.4)
 - e) minimum 60" long level landings shall be provided at the top and bottom of each ramp run. (521 CMR 24.4 & 24.4.3)
 - f) handrails complying with 521 CMR 24, shall be provided at all ramps. (521 CMR 24.5)
- 10) Ground and floor surfaces of accessible routes, accessible walkways, and other accessible areas shall be stable, firm, slip resistant, and maintained with materials that ensure continued slip resistance. (521 CMR 29.1)
- 11) Areas required to be Level shall not have a slope in any direction exceeding 1:50, 2% (521 CMR 3.0)

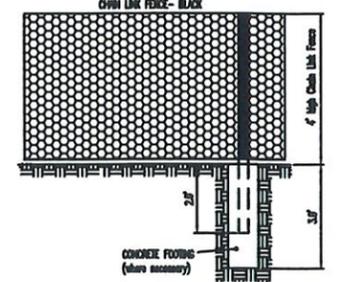
SITE PLAN LEGEND

- Existing Building
- Proposed Building
- Edge of Pavement
- Existing Contour
- Proposed Contour
- Zoning District Limit
- Proposed Stone Parking
- Proposed Walk
- Flood Plain Limit
- Traffic Flow Direction
- Existing Fence
- Road Sign
- Utility Pole
- Wheel Stop
- Proposed Spot Elevation
- Existing Spot Elevation
- Existing Exterior Lighting
- Catch Basin
- Landscape Islands

N
LC PL 36057-B

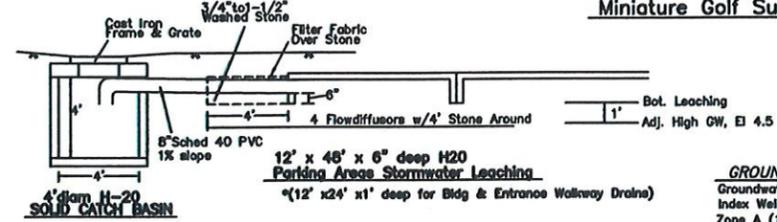


ENTRANCE SIDE (NW) FENCE DETAIL



ALL OTHER SIDES FENCE DETAIL

Miniature Golf Surround Fencing



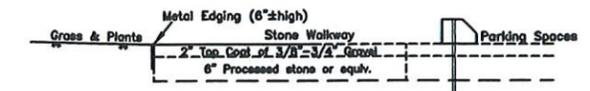
GROUNDWATER ADJ.
Groundwater Found: Et. 3.2
Index Well: TSW-B9
Zone A (11/19, 11.5') => +1.3'
Adj. High GW Depth = Et. 4.5

*Remove Soil For 5' Surrounding the Leaching Down To Original C-Soil Layer

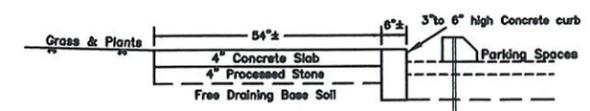
PROPOSED DRAINAGE

**NOTE: Grading and Drainage Designs For Within The Miniature Golf Layout Area Are To Be Depleted On A Separate Plan.

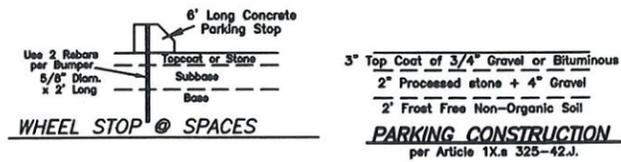
Zone: C-H-1	Article IX Required	Existing	Proposed
Driveway Width @ Lot Line	50' max	85', 31'	45' & 32', 31'
Driveway Distance to Intersecting Street	50' min	44'	50'
Driveway Distance to Side Lot Line	10' min	N/A	N/A
Parking Setback to Street	20' min	14'	20.5'
Parking Setback to Side Line	10' min	N/A	N/A



TYPICAL STONE SIDEWALK AND EDGING DETAIL

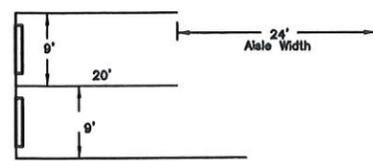


CONCRETE (ADA COMPLIANT) SIDEWALK AND CURB DETAIL

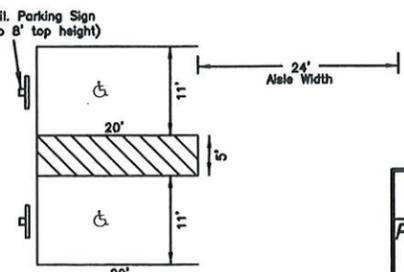


WHEEL STOP @ SPACES

PARKING CONSTRUCTION per Article 1X.a 325-42.J.



PROPOSED STANDARD PARKING



ACCESSIBLE PARKING

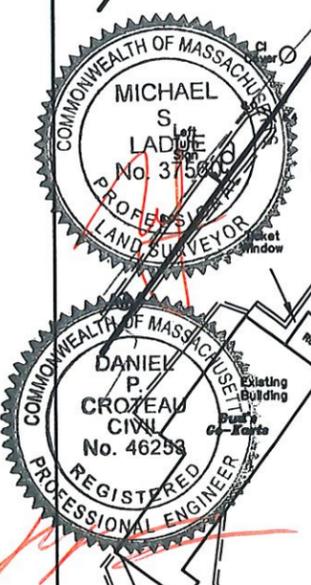
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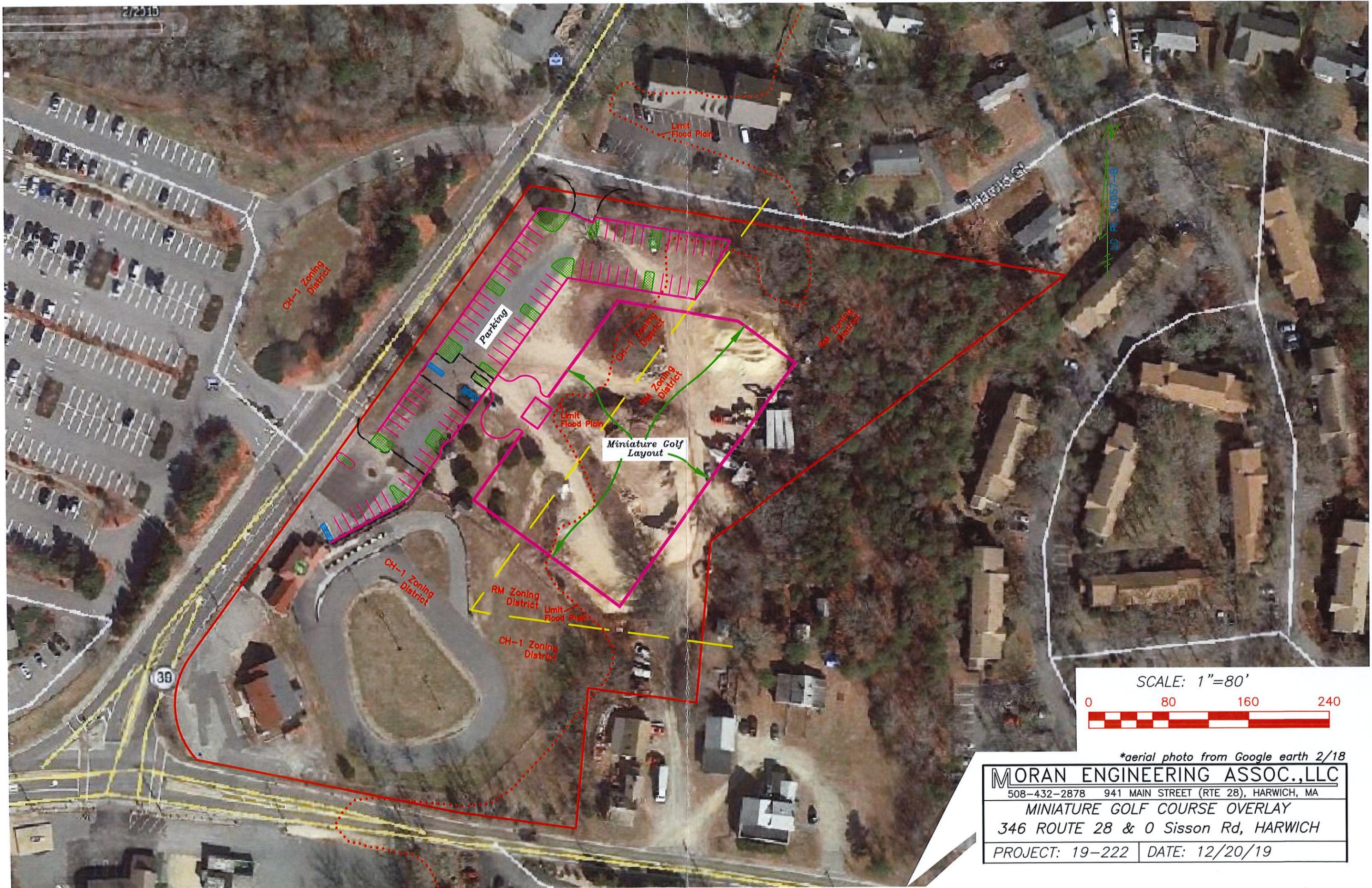
PROPOSED PARKING, GRADING, UTILITIES, & DRAINAGE

Sheet Index
Sht 1: Existing Conditions
Sht 2: Proposed Conditions
Sht 3: Proposed Details

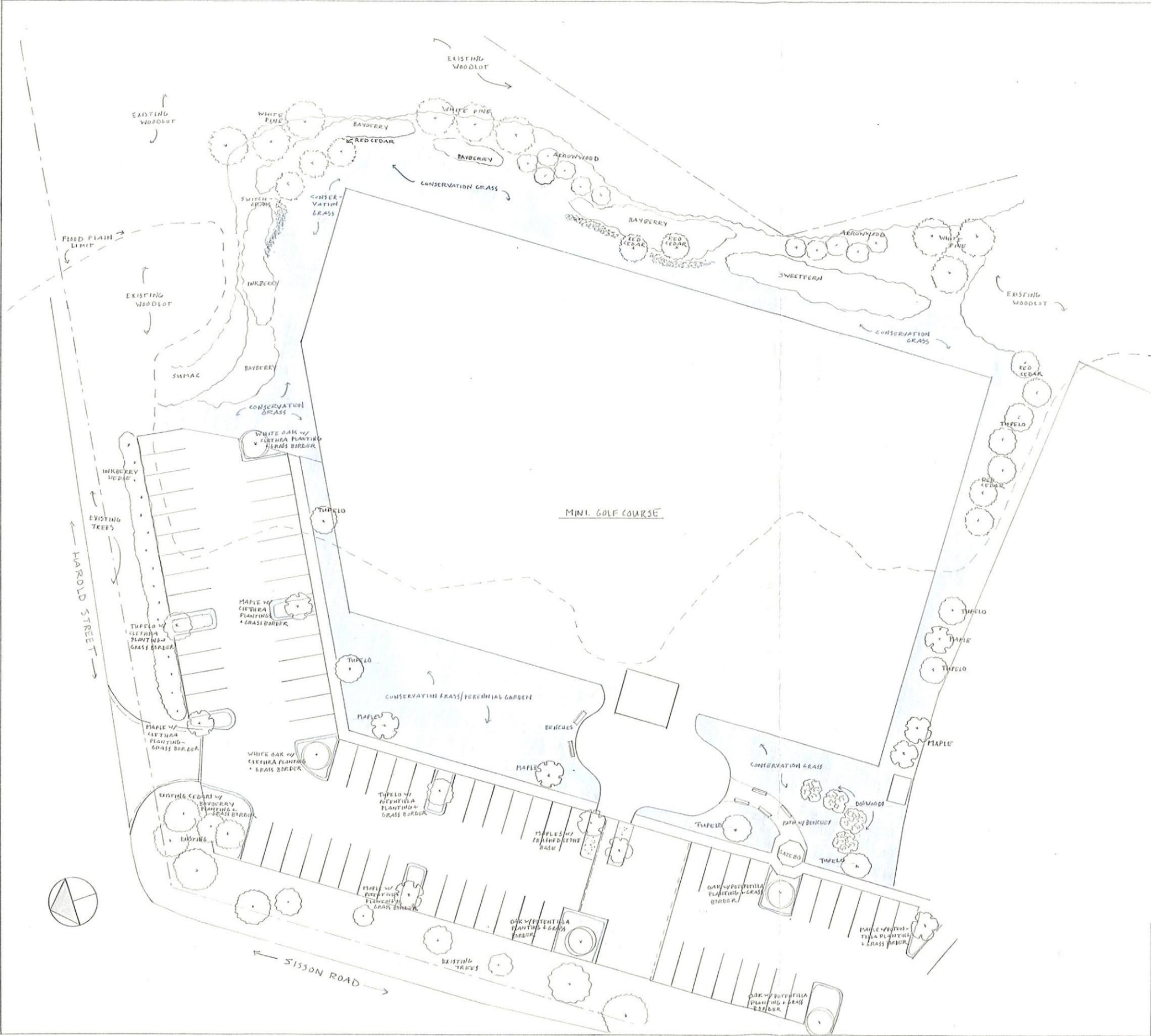
Sheet 3

MORAN ENGINEERING ASSOC., LLC
508-432-2878 841 MAIN STREET (RTE 28), HARWICH, MA
PROPOSED DETAIL PLAN for MINIATURE GOLF COURSE
Prepared For: S & S Amusements, LLC
346 ROUTE 28 & 0 Sisson Rd, HARWICH, MA
PROJECT: 19-222 DATE: 1/6/20, Rev. 1/29/20





MORAN ENGINEERING ASSOC., LLC
 508-432-2878 941 MAIN STREET (RTE 28), HARWICH, MA
 MINIATURE GOLF COURSE OVERLAY
 346 ROUTE 28 & 0 Sisson Rd, HARWICH
 PROJECT: 19-222 DATE: 12/20/19



PLANT LIST

- 11 3" GAL ACER RUBRUM 'OCTOBER GLORY' / RED MAPLE
- 41 2" GAL CIEPHERA ALNIFOLIA 'SIXTEEN CANDLES' / SUMMERSWEET
- 600 4" POT COMPTONIA PEREGRINA / SWEET FERN
- 4 1" GAL CORNUS ALTERNIFLORA / TAGODA DOGWOOD
- 20 3" B B ILEX GLABRA 'COMPACTA' / INKBERRY
- 8 5'-6" JUNIPERUS VIRGINIANA / RED CEDAR
- 160 1" GAL MYRICA PENNSYLVANICA / NORTHERN BAYBERRY
- 10 3" GAL NYSSA SYLVATICA / TUPELO
- 100 1" GAL PANICUM VIRGATUM / SWITCHGRASS
- 9 3'-6" PINUS STROBUS / WHITE PINE
- 90 2" GAL POTENTILLA FRUTICOSA / POTENTILLA
- 5 3" GAL QUERCUS BICOLOR / SWAMP RED OAK
- 10 3" GAL RHUS GLABRA / SMOOTH SUMAC
- 11 7" GAL VIBURNUM DENTATUM / ARROWWOOD
- 50 1" GAL ILEX GLABRA 'COMPACTA' / INKBERRY

PERENNIAL GARDEN TO INCLUDE LAVENDER, HEATHS, HEATHERS, BUTTERFLY WEED, POTENTILLA, COLUMBINE

GRASS IS HARMONY MIX BY COLONIAL SEED CO.

NOTES

WOODLOT: INVASIVES TO BE REMOVED AND ANY PROFOUNDLY DAMAGED TREES. ALL OTHERS AND ANY NATIVE SHRUBS, SUCH AS VIBURNUM, TO REMAIN. GOAL: KEEP AS MUCH COVER AS POSSIBLE FOR SCREENING AND WILDLIFE.

TREES ALONG SISSON ROAD TO REMAIN. SOME TREES NEAR INTERSECTION OF HAROLD AND SISSON CURRENTLY OVERWHELMED AND DISFIGURED BY INVASIVES. THEY MAY REQUIRE PRUNING OR REMOVAL IF MAJORITY OF CANOPY IS DEAD OR BROKEN.

ANY OTHER EXISTING TREES OUTSIDE THE MINI GOLF AREA TO BE PROTECTED IF OUTSIDE THE AREA OF CONSTRUCTION (SUCH AS SEPTIC LINES).

IN DRIVEWAY BEDS, A 2" GRASS (CONSERVATION MIX) BORDER ON EITHER SIDE WILL HELP ELIMINATE SHRUB DAMAGE BY FOOT TRAFFIC AND CAR DOORS.

TREES CHOSEN FOR FLOODPLAIN REGION ARE NATIVE TO THE CAPE AND ALL HAVE A HEIGHTENED TOLERANCE FOR TEMPORARY FLOODING.

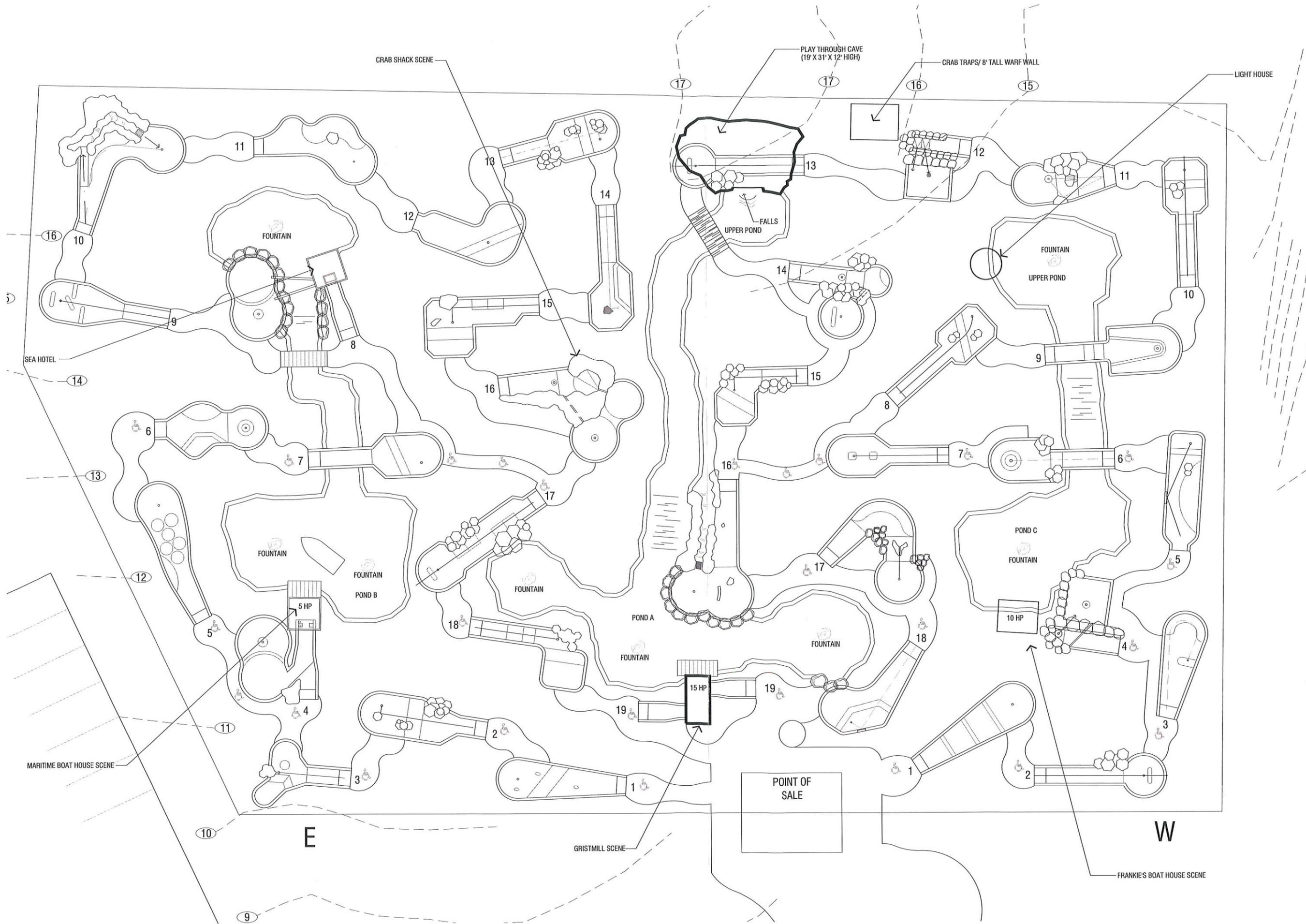


LANDSCAPE DESIGN FOR HARWICH MINI GOLF - SWAVI OSEV
346 ROUTE 28, HARWICH, MA

SCALE: 1" = 20'

DATE: DEC 13, 2019
REV: JAN 6, 2020

BY SHANNON GORRAN, SECOND NATURE GARDENWORKS
774-487-0021 shannonssecondnaturegardenworks.com



NO.	DATE	BY	REVISION	
4879	8/17/19		MISC REVISIONS	
4879	8/17/19		ADA REVISIONS	
4879	8/17/19		ADA REVISIONS	
<p>SWAVI OSEV CAPE COD, MA</p> <p>castle golf 1733 N GREENFIELD RD., STE 101 MESA, ARIZONA, 85205 PHONE: 480-968-1855</p>				
<p>MINI-GOLF LAYOUT</p> <p>MINI-GOLF LAYOUT</p>				
<p><small>COPYRIGHTED MATERIAL. PROPERTY OF CASTLE GOLF, INC. UNAUTHORIZED COPYING OR REPRODUCTION IS STRICTLY PROHIBITED.</small></p>				
<p>JOB NO. 2009</p> <p>DRAWN BY DHP</p> <p>SCALE 1"=10'</p> <p>DATE 1-28-20</p> <p>SHEET NO.</p>				
C-1				



RECEIVED
 JAN 07 2020
 TOWN CLERK
 Town of Harwich,
 Mass.

NO.	DATE	REVISION	BY

FILE COPY



SWAVI OSEV
 MA.

MINI-GOLF LAYOUT

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castle golf
 3033 N. NORFOLK ST.
 MESA, ARIZONA, 85215
 PHONE: 480-968-1955 FAX: 480-968-1915

JOB NO. XXXX

DRAWN BY DHP

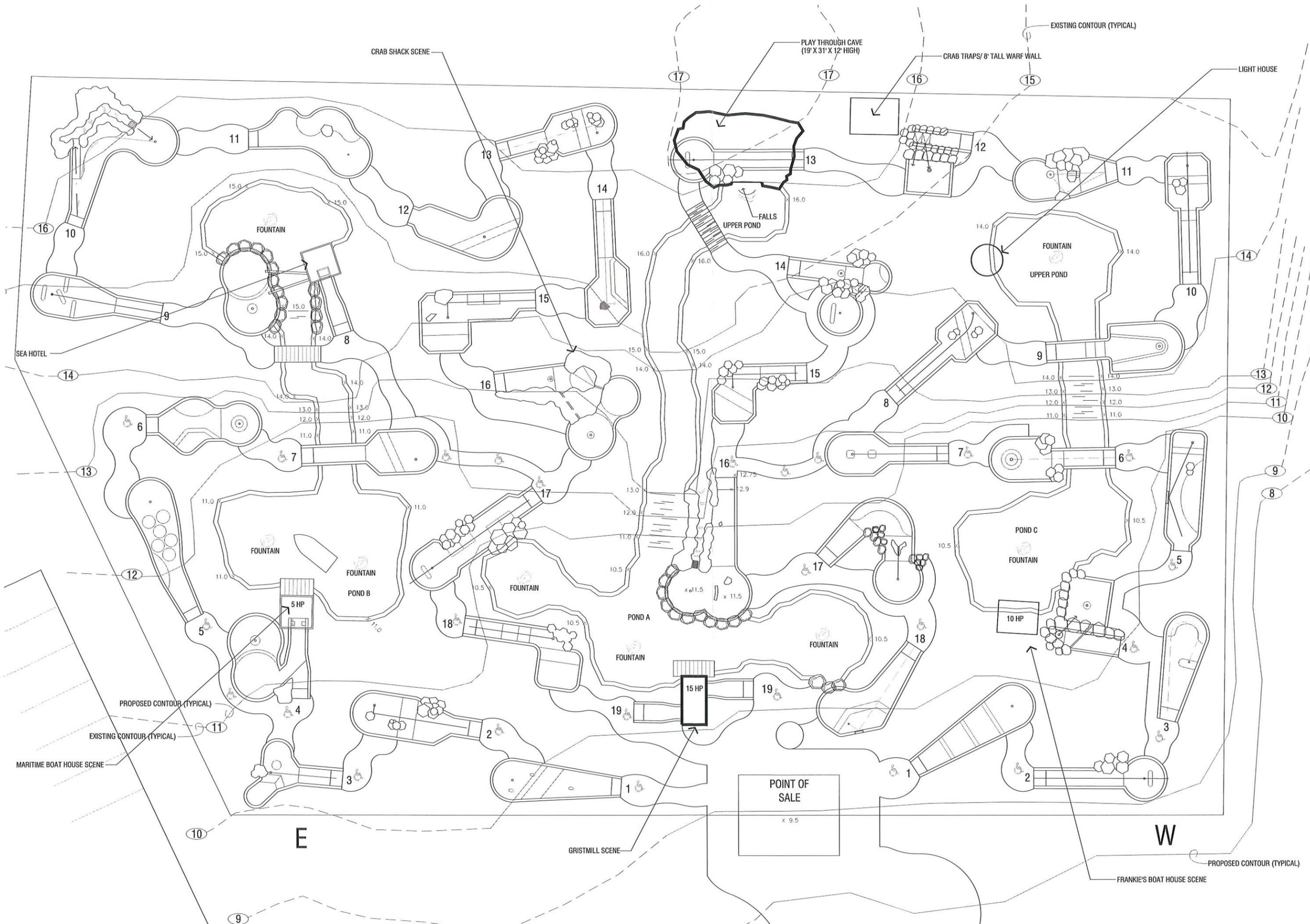
SCALE NTS

DATE 12-12-2019

SHEET NO.

C-1A

EXISTING GO P



NO.	DATE	BY	REVISION
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2	8/17/19		ADA REVISIONS

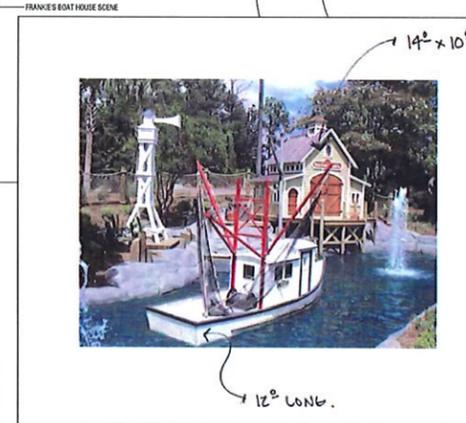
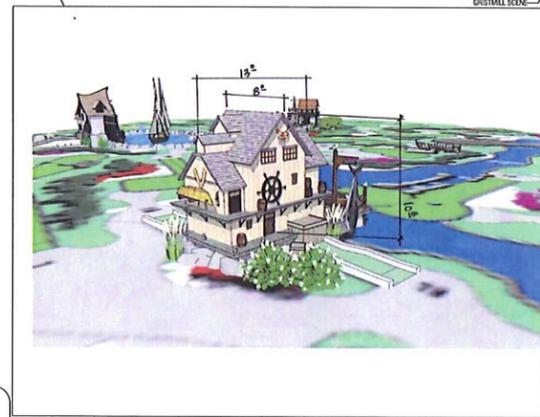
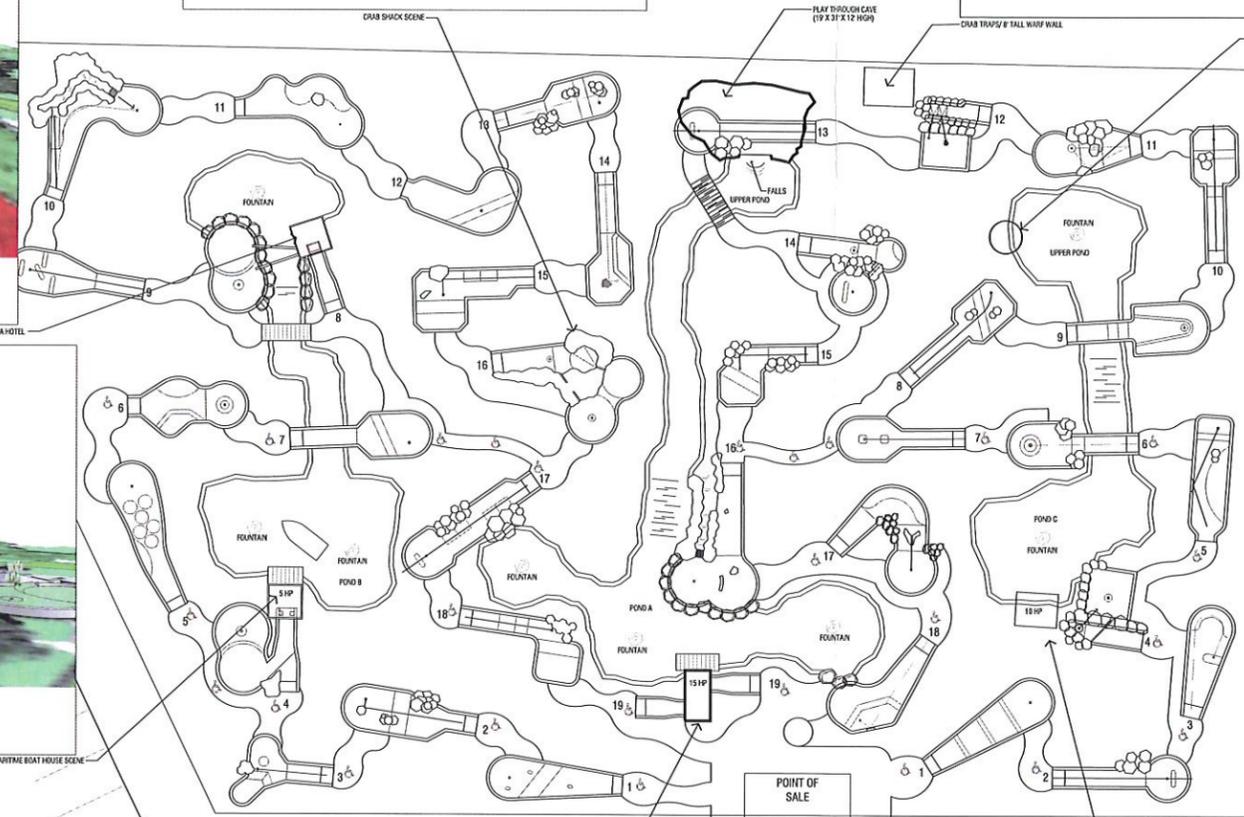
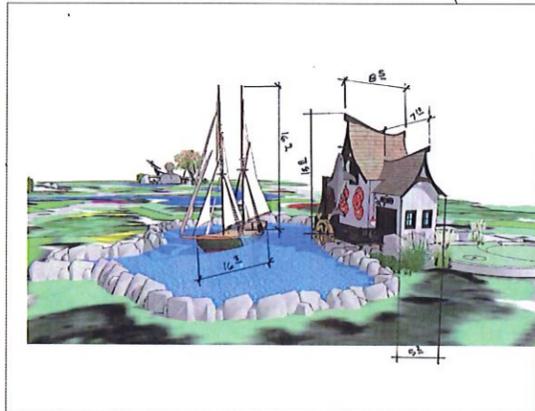
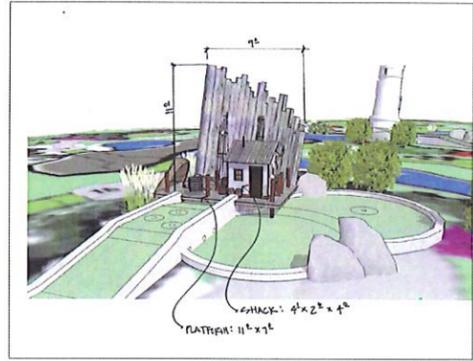
SWAVI OSEV
CAPE COD, MA

PROPOSED GRADING AND CONTOURS

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SCALE 1"=10'
DATE 1-28-20
SHEET NO. G-1



NO.	DATE	REVISION	BY

SWAVI OSEV
 CAPE COD, MA

MINI-GOLF SITE PLAN AND THEME

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castle golf

1733 N GREENFIELD RD., STE 101
 MESA, ARIZONA, 85205
 PHONE: 480-966-1955

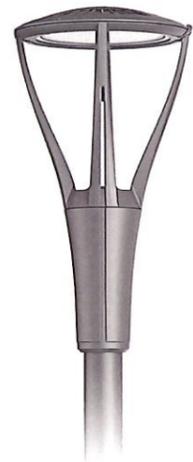
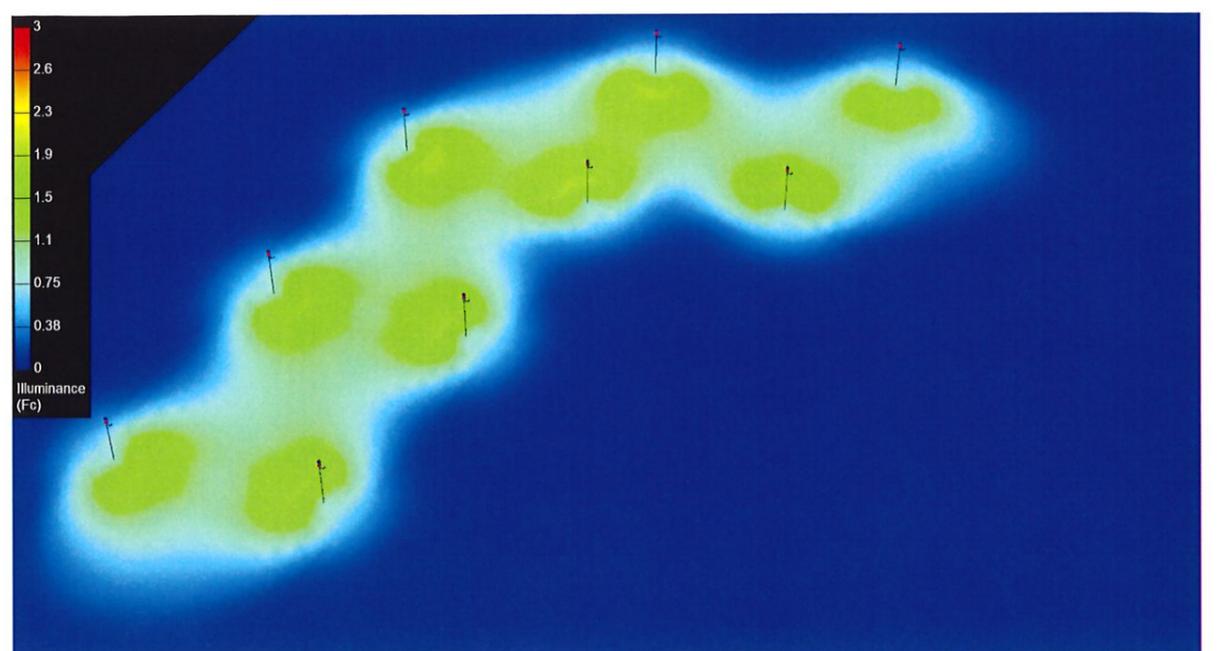
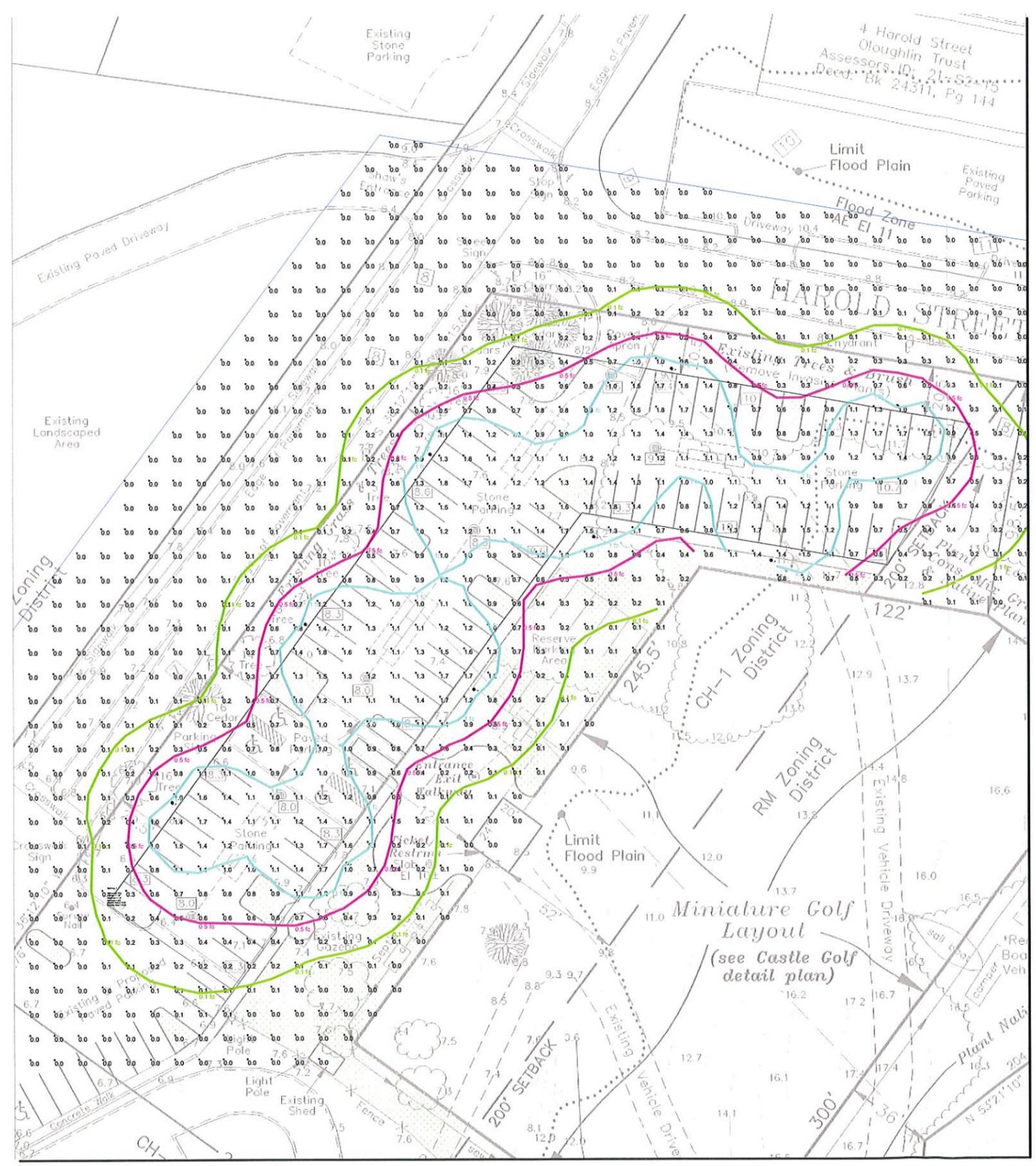
JOB NO. 2009

DRAWN BY DHP

SCALE 1"=20'

DATE 1-28-20

SHEET NO.
S-1



Luminaire Schedule						
Qty	Label	Manufacturer - Series	Description	IES Class	BUG Rating	LLF
9	L1_4	Lumec - UrbanScape	MPTC-72W32LED3K-G2-LE4	Type IV	B1-U0-G2	0.900

GENERAL DISCLAIMER:
Calculations have been performed according to IES standards and good practice. Some differences between measured and calculated results may occur due to differences in calculation method, testing procedure, component performance, measurement techniques and field conditions such as obstructions and temperature. Input data used to generate the attached calculations such as room dimensions, reflectances, luminaire and architectural elements are approximations. The lighting calculations are based on the input data. If the actual environmental conditions do not match the input data, differences will exist between measured values and calculated values.
* IES Datacenter UrbanScape Luminaire Data

NOTE TO REVIEWER:
For proper comparison of photometric layouts, it is essential that you hold all designs to the same Light Loss Factors.

REVISIONS:

REV. 1 012820



20-30 BEAVER ROAD
WETHERFIELD, CT 06150
TELEPHONE 860 632 8768
FACSIMILE 860 632 8236

PROJECT TITLE:
HARWICH MINIATURE GOLF

SCALE: NTS

DATE: 01/08/2020

DRAWING TITLE:
PRELIMINARY PARKING LOT LIGHTING

DRAWN BY: DP

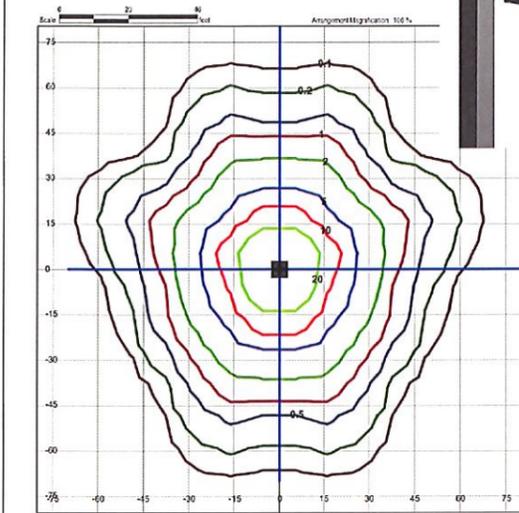
SHEET:



Date: 12 Apr 2016
 Title: Enter the title here...ALH150SFOT D-180
 Desc: Enter description here

Luminaire
 IES File name: ah150sq.ies
 Description: TYPE: LUMINAIRE
 AL ADJUSTABLE WITH 50MM SPECULAR REFLECTOR
 AND CLEAR PLATE GLASS LENS
 ONE 150 WATT FS MH LAMP

Light Loss Factor: 1.00
 Number of Lamps: 1
 Lamp Lumen: 12600 lms
 Luminaire Watts: 150 W



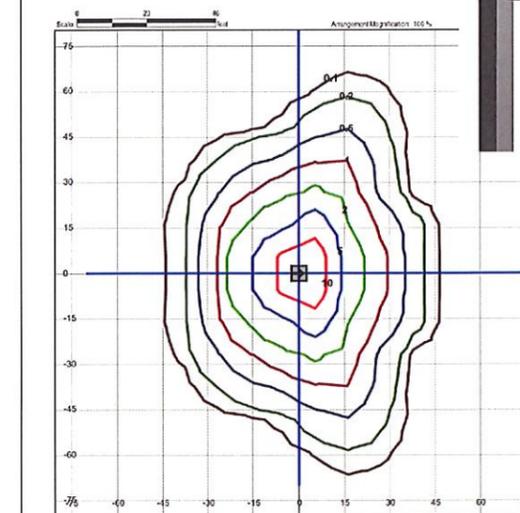
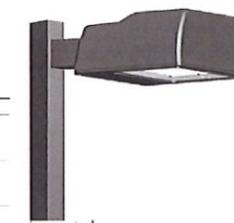
S
S
 DOUBLE FIXTURE ON 4" X 15' SQ POLE



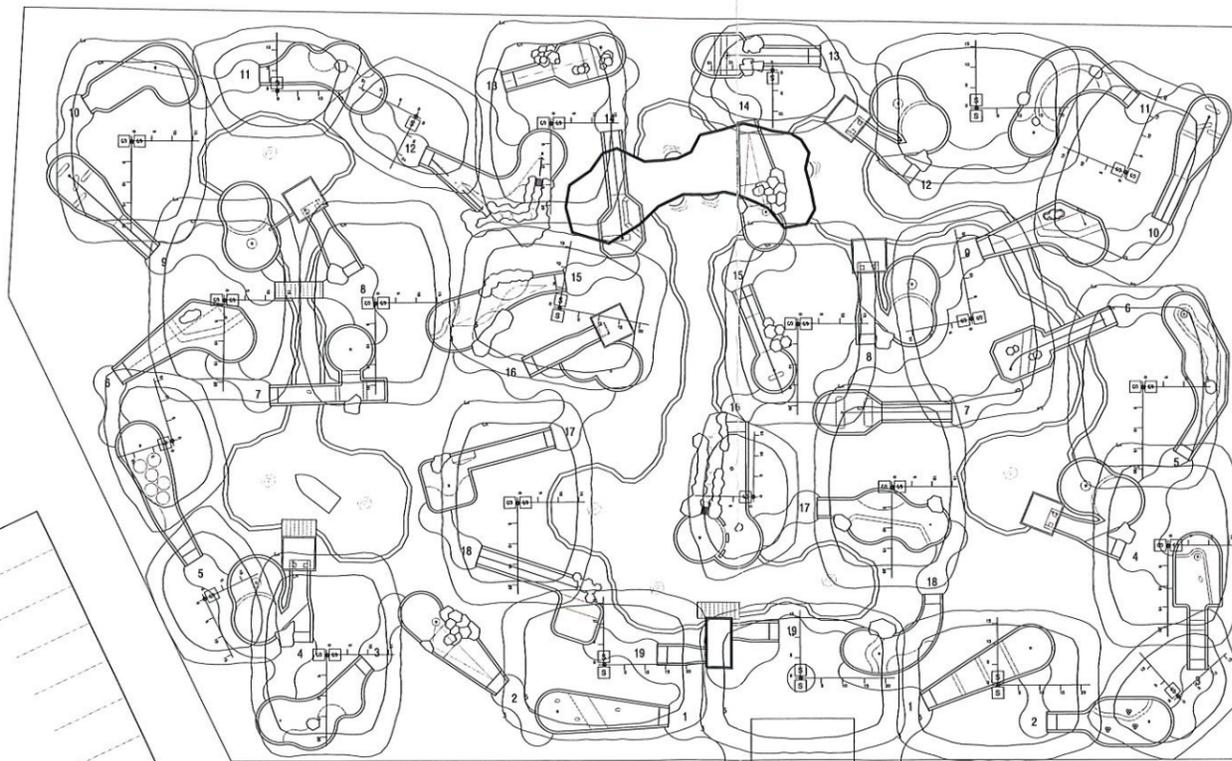
Date: 12 Apr 2016
 Title: Enter the title here...ALH150SFOT D-180
 Desc: Enter description here

Luminaire
 IES File name: ah150sq.ies
 Description: TYPE: LUMINAIRE
 AL ADJUSTABLE WITH 50MM SPECULAR REFLECTOR
 AND CLEAR PLATE GLASS LENS
 ONE 150 WATT FS MH LAMP

Light Loss Factor: 1.00
 Number of Lamps: 1
 Lamp Lumen: 12600 lms
 Luminaire Watts: 150 W



S
 SINGLE FIXTURE ON 4" X 15' SQ POLE

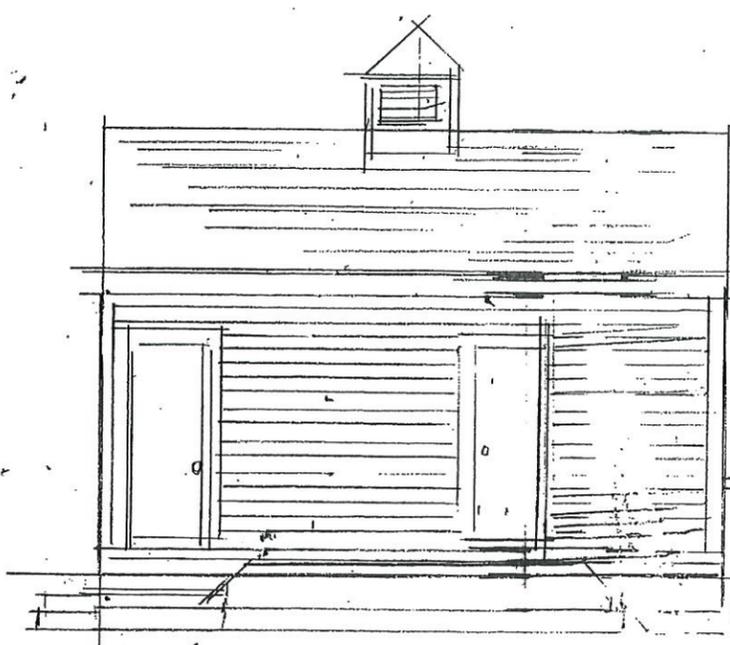


EXISTING GO KART TRACK

PARKING

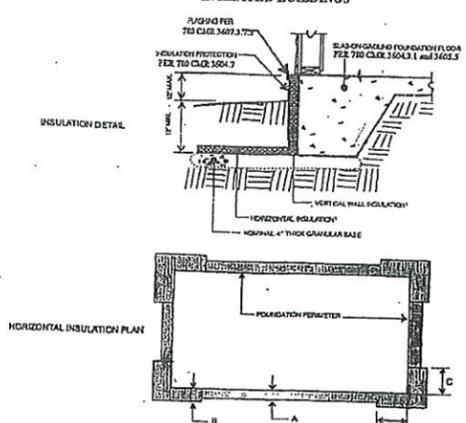
EXISTING PARKING

BY:	
REVISION:	
NO.	DATE
1	
2	
3	
4	
5	
SWAMI OSEV MA.	
MINI-GOLF LIGHTING LAYOUT	
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<small>3033 N. NORFOLK ST. MESA, ARIZONA, 85215 PHONE: 480-988-1955 FAX: 480-988-1915</small>	
JOB NO.	2009
DRAWN BY	DHP
SCALE	1"=20'
DATE	1-17-20
SHEET NO.	E-1



REAR ELEVATION
1/4" = 1'-0"

FIGURE 3604.3a
INSULATION PLACEMENT FOR FROST-PROTECTED FOOTINGS
IN HEATED BUILDINGS



For SI: 1 inch = 25.4 mm.
1. See table 3604.3.3 for required dimensions and R-values for vertical and horizontal insulation.

780 CMR 3604.4 FOUNDATION WALLS
3604.4.1 Concrete and masonry foundation walls: Foundation walls shall be constructed in accordance with the provisions of 780 CMR 3604.4 or in accordance with ACI 318, ACI 318.1, NCMA TR68-A or ACI 530/ASCE 5/TMS 402 as listed in Appendix A, or other approved structural systems.

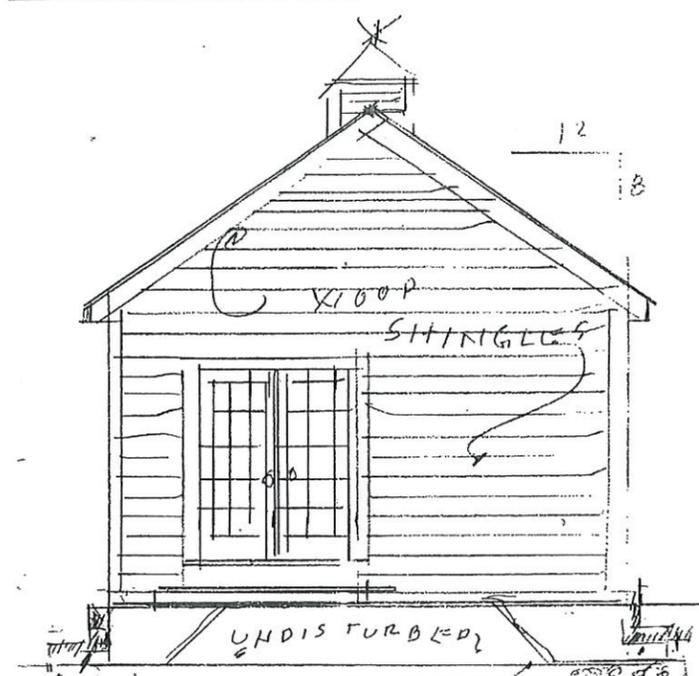
3604.4.1.1 Masonry and concrete wall construction: Masonry and concrete foundation walls shall be constructed as in accordance with Table 3604.4.1.1a.

Exception: Where unstable soil conditions exist or where the foundation extends to or below the seasonal high groundwater table, foundation walls shall be constructed in accordance with Table 3604.4.1.2b.

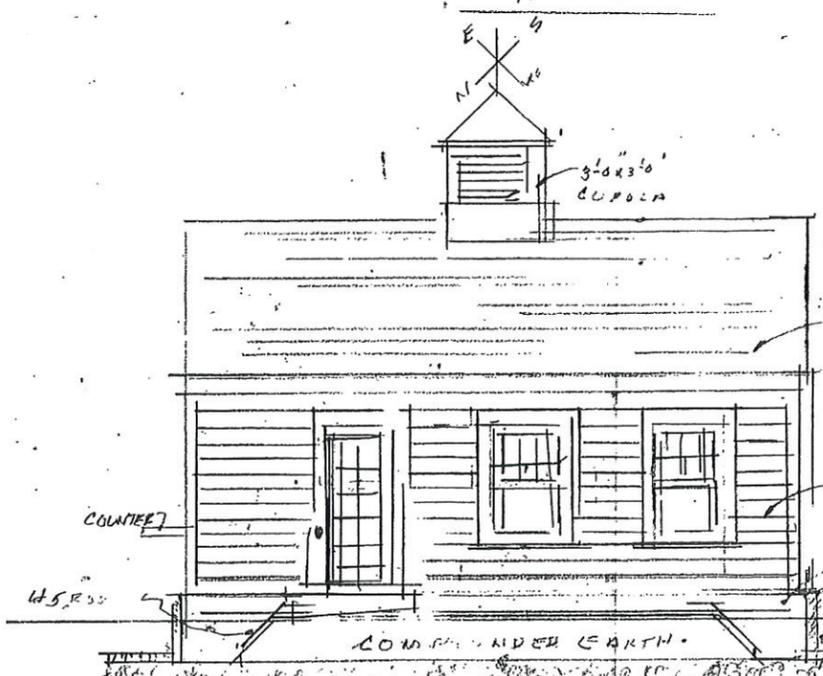
3604.4.1.2 Design: Foundation walls subject to more pressure than would be exerted by backfill having an equivalent fluid weight of 30 pounds per cubic foot (141 kN/m³) shall be designed in accordance with accepted engineering practice by a registered professional engineer or registered architect.

3604.4.1.3 Grade Clearance: Foundation walls shall extend at least eight inches above the finished grade adjacent to the foundation at all points.

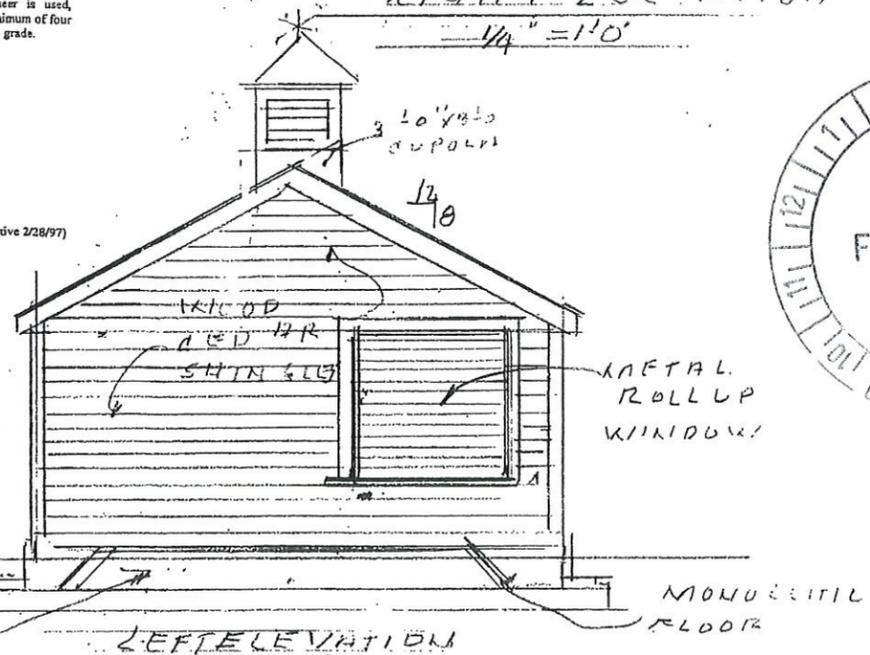
Exception: Where masonry veneer is used, foundation walls shall extend a minimum of four inches (102 mm) above the finished grade.



RIGHT ELEVATION
1/4" = 1'-0"



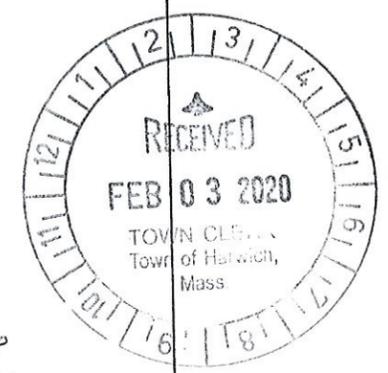
FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"

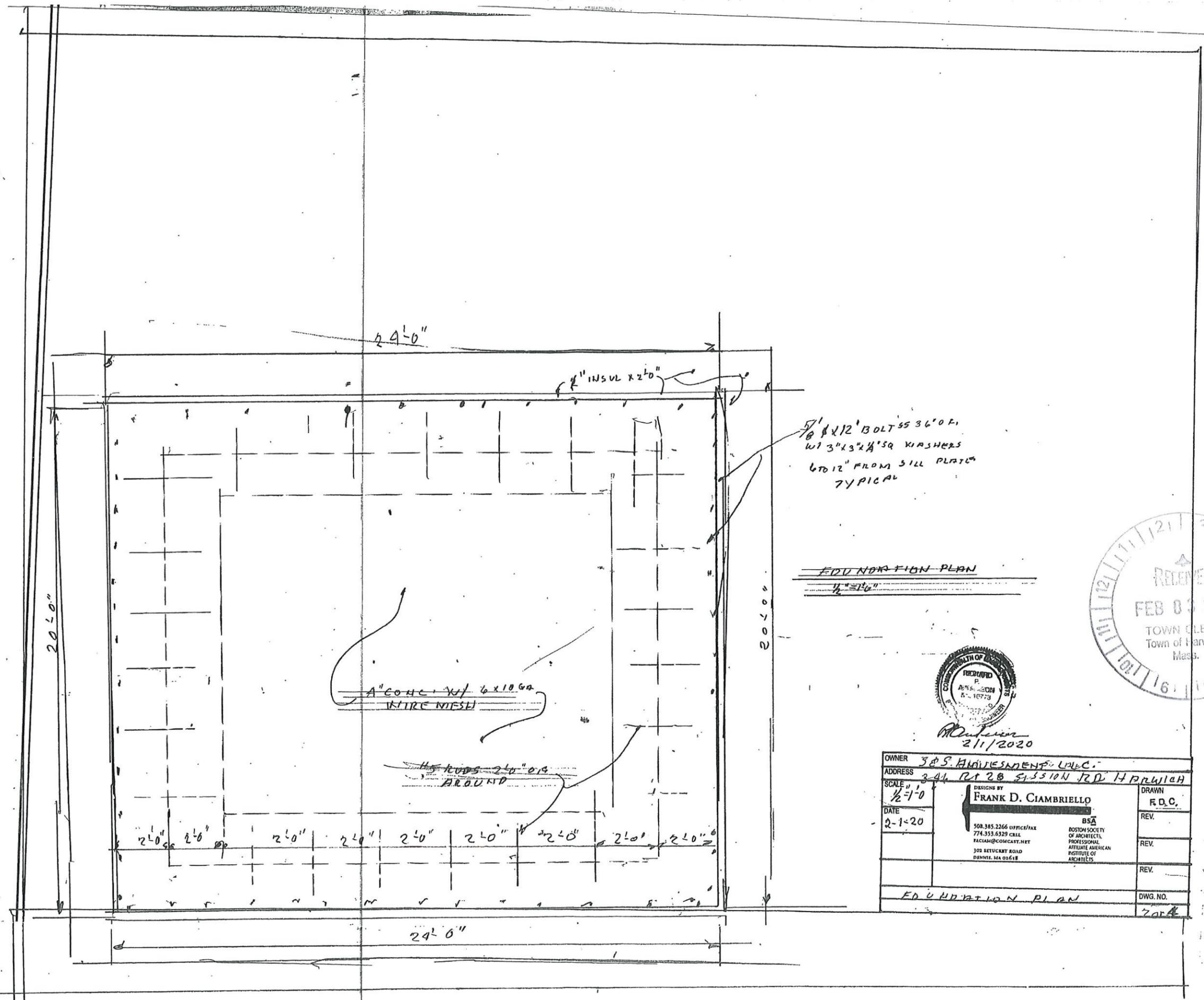
NOTES:

- 1- BUILDER WILL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- 2- SOME DIMENSIONS MAY VARY. FIELD CONDITIONS WILL PREVAIL AS LONG AS THE STRUCTURAL INTEGRITY IS NOT AFFECTED.
- 3- STRUCTURAL CHANGES MUST BE APPROVED BY SEA & B ENGINEERING.
- 4- WINDOW & DOOR SIZES TO BE VERIFIED BY BUILDER PRIOR TO CONSTRUCTION.



McQuinn
2/1/2020

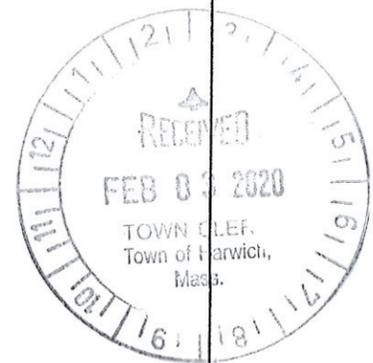
OWNER: S.B.S. AMUSEMENTS LLC		DRAWN: F.D.C.	
ADDRESS: 346 RT. 28 SCITUATE, MA 01968		REV.	
SCALE: AS SHOWN	DESIGNED BY: FRANK D. CIAMBRIELLO	REV.	
DATE: 2-1-20	508.385.2266 OFFICE/FAX 774.353.6329 CELL FACIAM@COMCAST.NET	REV.	
	B5A BOSTON SOCIETY OF ARCHITECTS PROFESSIONAL AFFILIATE AND PART OF INSTITUTE OF ARCHITECTS	REV.	
	302 SETUCKET ROAD DENNIS, MA 01918	DWG. NO. 1.02.20	
ALL ELEVATIONS			



7/8" x 12" BOLT SS 36' O.P.
 W/ 3" x 3" x 1/4" SQ WASHERS
 6 TO 12" FROM SILL PLATE
 TYPICAL

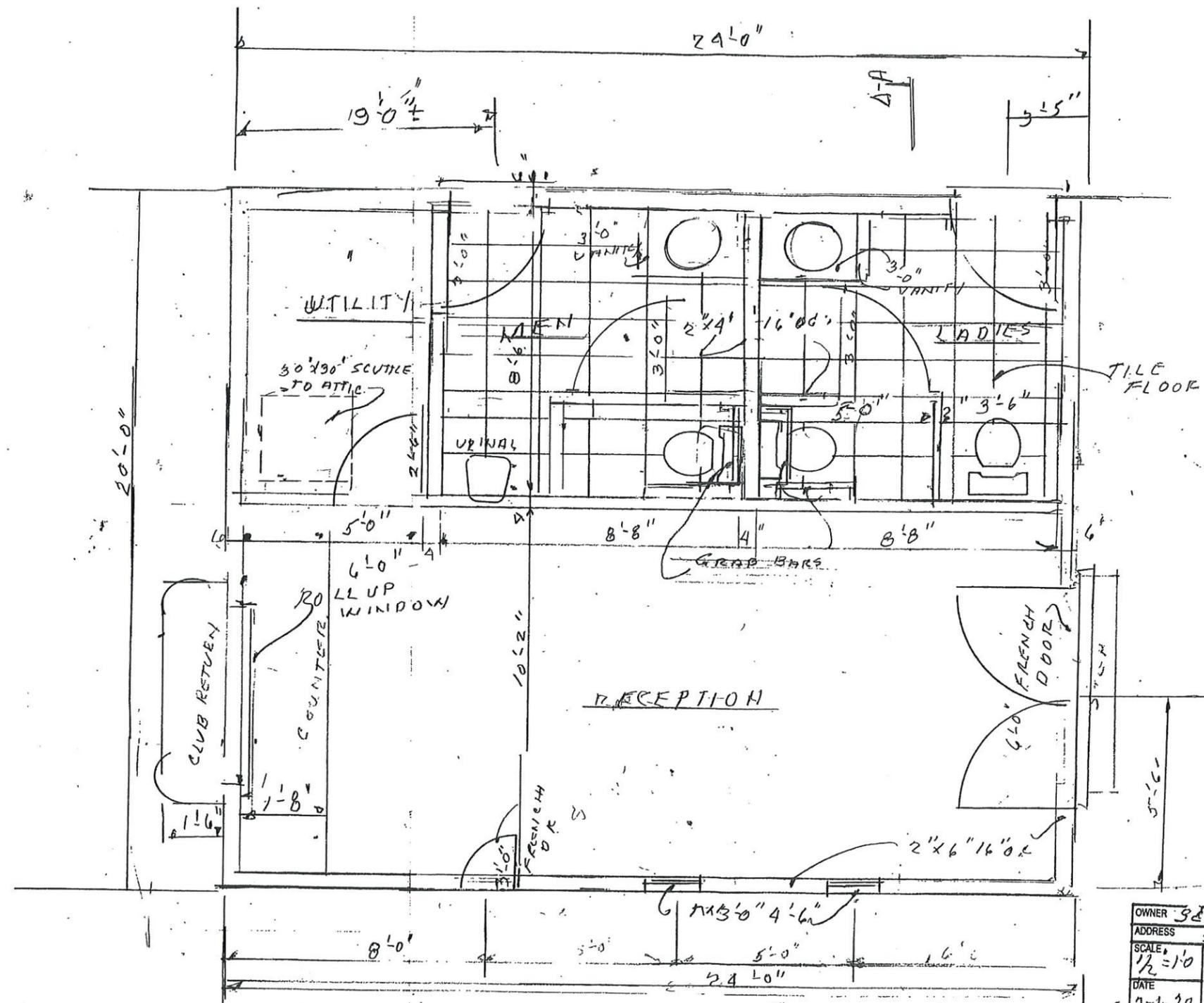
FOUNDATION PLAN

1/2" = 1'-0"



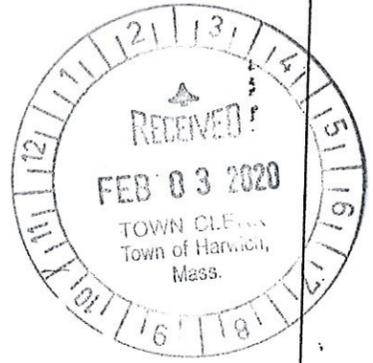
2/1/2020

OWNER	305. ADRIAN DENTON LLC.	
ADDRESS	344 RT 20 STATION RD HARWICH	
SCALE	1/2" = 1'-0"	DESIGNED BY FRANK D. CIAMBRIELLO
DATE	2-1-20	DRAWN F.D.C.
	508.385.2266 OFFICE/FAX 774.353.6329 CELL FACILAM@COMCAST.NET 302 BUCKLEY ROAD DANVER, MA 01918	BSA BOSTON SOCIETY OF ARCHITECTS PROFESSIONAL AFFILIATE AMERICAN INSTITUTE OF ARCHITECTS
		REV.
		REV.
		REV.
	FOUNDATION PLAN	DWG. NO. 7014



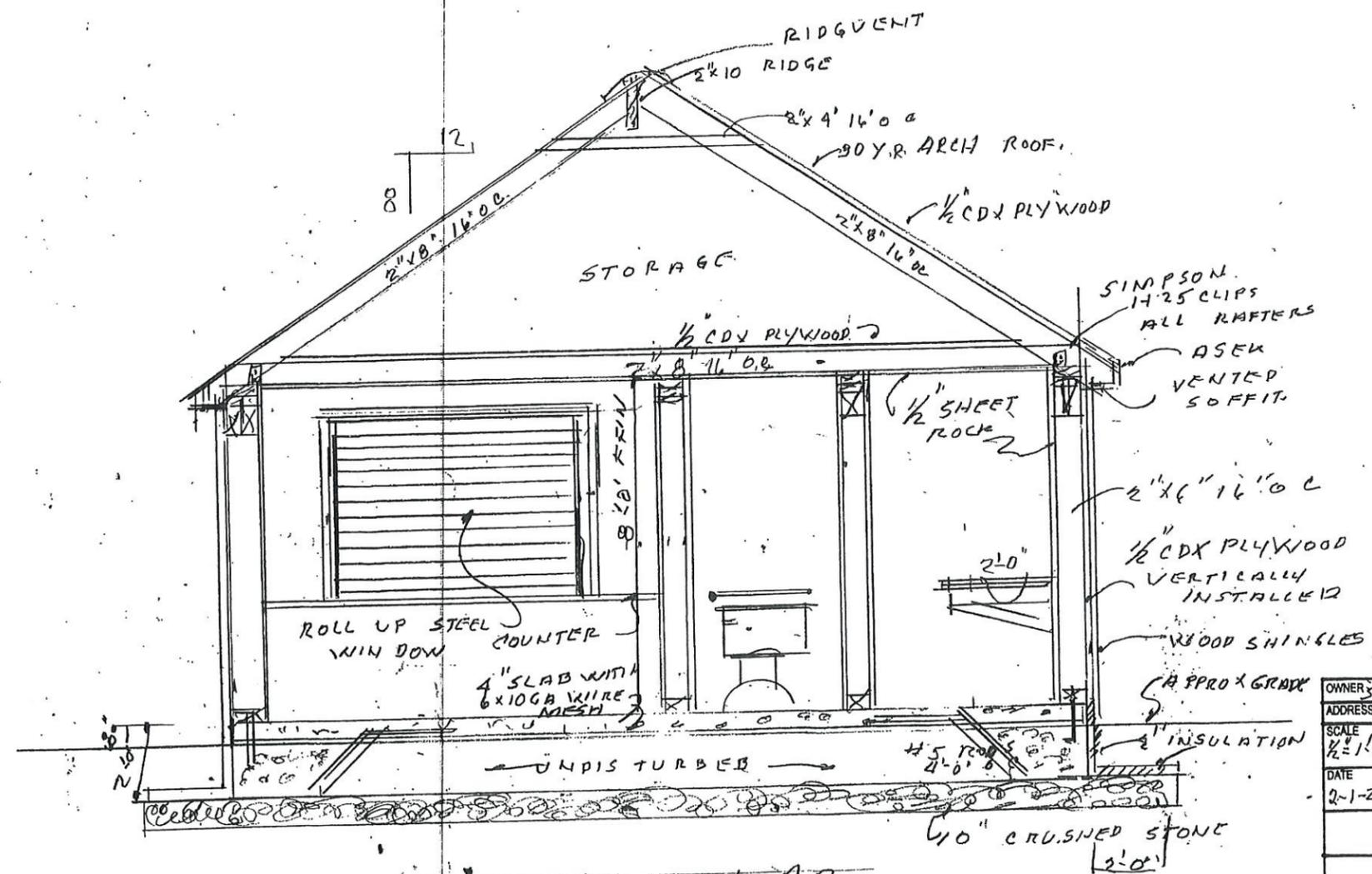
FLOOR PLAN

1/2" = 1'-0"



OWNER	S&S AMUSEMENT LLC	
ADDRESS	346 RT2B SISSIQUA RD HARWICH	
SCALE	1/2" = 1'-0"	DESIGNED BY FRANK D. CIAMBRIELLO
DATE	2-1-20	508.385.2266 office/fax 774.353.6329 cell FACIAM@COMCAST.NET 302 SETUCKET ROAD DENNIS, MA 01918
		BSA BOSTON SOCIETY OF ARCHITECTS, PROFESSIONAL AFFILIATE AMERICAN INSTITUTE OF ARCHITECTS
		DRAWN F.D.C.
		REV.
		REV.
		REV.
		DWG. NO. 3054

FLOOR PLAN



SECTION A-A
1/2" = 1'-0"



OWNER	S&S MOVEMENT LLC	
ADDRESS	746 RT2B SUTTON RD HARWICH	
SCALE	1/2" = 1'-0"	DRAWN F.D.C.
DATE	2-1-20	REV.
DESIGNED BY	FRANK D. CIAMBRIELLO	REV.
508.385.2266 OFFICE/FAX 774.353.6329 CELL FACIAH@COMCAST.NET	B54 BOSTON SOCIETY OF ARCHITECTS PROFESSIONAL AFFILIATE AMERICAN INSTITUTE OF ARCHITECTS	REV.
301 SEYUCKET ROAD DENNIS, MA 02618		REV.
	SECTION A-A	DWG. NO. 4 OF 4

January 28, 2020

Town of Harwich
Planning Board
732 Main Street
Harwich, Massachusetts. 02645



To Members of the Planning Board:

Recently I received information regarding PB2020-02 Steve Gopoyan & Swazi Osev seeking approval of a Site Plan Review Special Permit and a Use Special Permit with waivers, pursuant to the Code of Town of Harwich §§325-13, IV Line 30, -55 and -51 to construct a miniature golf course and expanded and improve the parking and vehicle access. Please note I am vehemently OPPOSED to this request and am asking the Board to DENY the request.

The area proposed for this change is not conducive to this enormous detriment the neighborhood. The area is residential quiet neighborhood with many occupants Oder in years. To subject this neighborhood to what is planned is not it its best interest and is being proposed to increase traffic—both foot and auto—that would make this neighborhood into a mini “Las Vegas.”

I ask you to please consider what you would do, and how you would vote, if this special permit were being proposed for your backyard? Money is what this proposal is all about and not the consideration of people and what is in the best interest for the Town by the applicants. I understand towns always need money for improvements to the town’s various project but there has to be a better way or a better place.

I urge you please DENY this request. Thank you.

Sincerely

Karen Jensen
14 Harold Street
Harwichport, MA. 02646

A handwritten signature in black ink that reads "Karen Jensen". The signature is written in a cursive style and is positioned to the right of the typed name.