

Harwich Planning Board Agenda
Tuesday, April 28, 2020 – 6:30 PM
Griffin Room, Town Hall, 732 Main Street, Harwich

This meeting will be held VIA REMOTE PARTICIPATION.

Access is available through GoToMeeting.com and live broadcast from Channel 18

JOIN THE MEETING FROM YOUR DEVICE (Computer, Tablet OR Smartphone):

<https://global.gotomeeting.com/join/782709013>

DIAL IN INSTRUCTIONS FOR AUDIO PARTICIPATION:

JOIN THE MEETING BY TELEPHONE: [+1 \(571\) 317-3112](tel:+15713173112)

ACCESS CODE: 782-709-013

I. Call to Order Pursuant to Governor Baker’s March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, G.L. c. 30A, §20, and the Governor’s March 15, 2020 Order imposing strict limitations on the number of people that may gather in one place, this meeting of the Harwich Planning Board is being conducted via remote participation. No in-person attendance of members of the public will be permitted, but every effort will be made to ensure that the public can adequately access the proceedings as provided for in the Order. A reminder that persons who would like to listen or view this meeting while in progress may do so by logging in or calling in as specified above on this agenda.

II. Public Hearing

- A. **PB2020-08 Davenport Companies, applicant**, c/o Paul E. Sweetser, PLS, representative, seeks approval of a Use Special Permit with waivers for a Two-Family dwelling pursuant to the Code of Town of Harwich §§ 325-13.A, -51 and -51.N as set forth in MGL c. 40A §9. The property is located at 424 Queen Ann Road, Lot 1 Map 70, Parcel B-1 in the R-M District.
- B. **PB2020-09 Davenport Companies, applicant**, c/o Paul E. Sweetser, PLS, representative, seeks approval of a Use Special Permit with waivers for a Two-Family dwelling pursuant to the Code of Town of Harwich §§ 325-13.A, -51 and -51.N as set forth in MGL c. 40A §9. The property is located at 424 Queen Ann Road, Lot 2 Map 70, Parcel B-1 in the R-M District.
- C. **PB2020-11 Gerald E. Burke, owner**, c/o William Crowell, Esq., seek approval of a Use Special Permit, with waivers, pursuant to the Code of the Town Harwich §325-13, Table 1 - Use Regulations and §325-14.Q - to alter the upper level of detached residential accessory garage/stable into an accessory structure with a bedroom. The property is located at 22 Sunrise Road, Map 26, Parcel E2-3, in the R-M and W-R Zoning Districts.
- D. **Continued PB2020-02 Steve Gopoyan & Swavi Osev**, as applicant/tenant, c/o Andrew Singer, Esq., Emulous E Hall, et als., as owners, seeks approval of a Site Plan Review Special Permit and a Use Special Permit with waivers, pursuant to the Code of Town of Harwich §§325-13, ¶IV Line 30, -55 and -51 to construct a miniature golf course and expand and improve the parking and vehicle access. The property is located at 346 Route 28 and 0 Sisson Road, Maps 21, Parcels N1 & N2, respectively, in the C-H-1 and R-M zoning districts. Continued from March 10, 2020. **Please Note:** the applicant has requested a continuance to June 9, 2020, therefore no testimony will be taken.

III. Public Meeting*

A. New Business:

1. **PB2020-10 Wayne Coulson**, as applicant, seek endorsement of a one (1) lot Approval Not Required plan entitled “Plan of Land in Harwich, MA, Prepared for Wayne Coulson” dated December 2, 2019 prepared by Stephen B. Moore, PLS, pursuant to M.G.L. c. §81 P and §400-9 of the Codes of the Town of Harwich for property located at 0 Old Campground Road, Map 30, Parcels C6 - 610. The parcels are in the R-M zoning districts.
2. **Electronic Signature:** Possible Vote pursuant to Massachusetts Deed Indexing Standards 2018 April 2020 Amendment

B. Meeting Minutes: April 14, 2020

C. Old Business: Change in 2020 Hearing/Meeting Schedule due to rescheduled Town Meeting.

D. Briefings and Reports by Board Members

IV. Adjourn

*Per the Attorney General’s Office – Boards/Commissions may hold an open session for topics not reasonably anticipated by the Chair 48 hours in advance of the meeting following “New Business”.

Next Planning Board Meeting (Subject to Change) – Tuesday, May 12, 2020.

Requests for accommodations for any person having a disability can be made by contacting the Administration Office at 508-430-7513.

Authorized Posting Officer: Elaine Banta, ebanta@town.harwich.ma.us or 508-430-7511

HARWICH PLANNING BOARD
PUBLIC HEARING NOTICE

REMOTE PARTICIPATION INSTRUCTIONS FOR
TUESDAY, APRIL 28, 2020 6:30 PM - 9:00 PM (EDT) (ONLY)

Please join my meeting from your computer, tablet or smartphone.

<https://global.gotomeeting.com/join/782709013>

You can also dial in using your phone.

United States: [+1 \(571\) 317-3112](tel:+15713173112)

Access Code: 782-709-013

New to GoToMeeting? Get the app now and be ready when your first meeting starts:

<https://global.gotomeeting.com/install/782709013>

Town of

Anita N. Doucette, MMC/CMMC
Town Clerk



Harwich

732 Main Street
Harwich, Massachusetts 02645
Tel. 508-430-7516

CERTAIN REQUIREMENTS FOR PUBLIC MEETINGS

March 20, 2020

1. Each meeting shall be LIVE BROADCAST on Harwich Public Access Channel 18. This live broadcast will provide a video feed of the documentation informing the meeting and a live audio, in real time, of the meeting. This will provide full access to the deliberations as set forth in Section 1 of the Governor's Order.
2. Each meeting also shall be simulcast on the town's website through the following link:
<http://harwich18.dyndns.org/cablecast/public/Live.aspx?ChannelID=1>
3. The Town will post a complete recording of each meeting to its WEBSITE, as soon as practicable, following the meeting.
4. All public meetings will be conducted using the technology of GOTOMEETING.COM.
 - a. All persons required to participate in a public meeting WITH ACCESS to a computer, will be able to log into the meeting via his/her computer to access the audio and video of the meeting. Those persons may also use a dial in number to participate in the audio portion of the meeting.
 - b. Any person required to participate WITHOUT ACCESS to a computer may do so by watching the LIVE BROADCAST and by using the dial in number to participate in the audio portion of the meeting.
 - c. Instructions for participation will be provided with any meeting packet and/or agenda.
5. POSTING OF MEETINGS.
 - a. Before any meeting is posted, the Chairperson and/or Supporting Staff must contact the Town Clerk's Office requesting a DATE & TIME. The Town Clerk's Office will confirm availability with the necessary parties, including but not limited to Channel 18 staff to ensure the time is available for a live broadcast.

- b. Each Chairperson must provide the Town Clerk's Office with a complete agenda packet containing all of the documentation which will inform the agenda items on the proposed agenda. If no documentation exists with regard to any particular agenda item, such agenda item shall be postponed to another meeting.
- c. Once confirmed by the Town Clerk's Office, the Chairperson and/or Supporting Staff may then post its meeting agenda packet in the same manner as used prior to the State of Emergency.
- d. All meeting notices must include the following language:
 - i. Pursuant to Governor Baker's March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, G.L. c. 30A, §18, and the Governor's March 15, 2020 Order imposing strict limitation on the number of people that may gather in one place, this meeting of the Town of Harwich [board/committee/commission] on [DATE & TIME] will be conducted via remote participation to the greatest extent possible. Specific information and the general guidelines for remote participation by members of the public and/or parties with a right and/or requirement to attend this meeting can be found on the Town of Harwich website, at www.harwich-ma.gov. For this meeting, members of the public who wish to watch the meeting may do so in the following manner on Channel 18 or by watching the simulcast at: <http://harwich18.dyndns.org/cablecast/public/Live.aspx?ChannelID=1>
NO IN-PERSON ATTENDANCE OF MEMBERS OF THE PUBLIC WILL BE PERMITTED, but every effort will be made to ensure that the public can adequately access the proceedings in real time, via technological means. In the event that we are unable to do so, despite best efforts, we will post on the Town of Harwich's website an audio or video recording, transcript, or other comprehensive record of proceedings as soon as possible after the meeting.
- e. At the start of each meeting, every Chairperson shall state the following:
 - i. Pursuant to Governor Baker's March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, G.L. c. 30A, §18, and the Governor's March 15, 2020 Order imposing strict limitations on the number of people that may gather in one place, this meeting of the TOWN OF HARWICH [board/committee/commission] is being conducted via remote participation. **NO IN-PERSON ATTENDANCE OF MEMBERS OF THE PUBLIC WILL BE PERMITTED**, but every effort will be made to ensure that the public can adequately access the proceedings as provided for in the Order.

1. A reminder that persons who would like to listen to or view this meeting while in progress may do so by [specify remote access instructions]; or
 2. Despite our best efforts, we are not able to provide for real-time access, and we will post a record of this meeting on the city/town's website as soon as we are able.
-
6. All Agenda Packets MUST INCLUDE a GOTOMEETING link, the web address for the live simulcast on Channel 18, and a dial-in number for the meeting.
 7. Those persons wishing to participate in any (public access) portion of a meeting may participate through a dial-in telephone number provided with any Meeting Agenda Packet.
 8. All persons using the GOTOMEETING LINK and/or any DIAL-IN ACCESS NUMBER are asked to please MUTE your microphone/telephone. When called upon, please state your name and the reason for your participation at the beginning and at the end of each statement made.
 - a. For example. The Conservation Commission is holding a public hearing. The Chairperson asks if anyone is appearing for the applicant. Applicant, his counsel, or representative shall unmute the voice connection, and state. "THIS IS JOHN APPLESEED, ATTORNEY FOR APPLICANTS BILL AND CECELIA DALEY ON 20 SHORE STREET, HARWICH. I WOULD LIKE TO MAKE A STATEMENT AT THIS TIME CONCERNING THE APPLICATION.... AGAIN THIS WAS JOHN APPLESEED, ATTORNEY FOR THE APPLICANTS."

These procedures are fully informed by and in accordance with the directives set forth in the Governor's Order Sections 1 through 3, a copy of which is attached hereto as EXHIBIT A. As always, we thank you for your patience as we transition to a new way of conducting meetings.

Respectfully submitted:

Anita N. Doucette
Town Clerk



Agenda Item II.A

To: Planning Board
From: Charleen Greenhalgh, Town Planner
Date: April 15, 2020
Re: Use Special Permit Staff Report

PB2020-08 Davenport Companies, applicant, c/o Paul E. Sweetser, PLS, representative, seeks approval of a Use Special Permit with waivers for a Two-Family dwelling pursuant to the Code of Town of Harwich §§ 325-13.A, -51 and -51.N as set forth in MGL c. 40A §9. The property is located at 424 Queen Ann Road, Lot 1 Map 70, Parcel B-1 in the R-M District.

The Planning Board will hold a public hearing on this matter on Tuesday, April 28, 2020 not sooner than 6:30 P.M.

Description

The applicants seek a special permit to build a two-family dwelling pursuant to §325-51.N of the Harwich Town Code. The application and plans were filed with the Town Clerk on February 24, 2020 and includes the following:

1. Form A Planning Board Application date received February 24, 2020.
2. Letter dated February 24, 2020, including waiver request, from Paul E. Sweetser, P.L.S.
3. “Subsurface Sewage Disposal System, Site Plan and Profile”, 424 Queen Anne Road, Lot 1, Harwich, MA 02645, dated 2/6/2020, scale 1”=20’ prepared by AJM Site Design, LLC.
4. Set of Building Plans, “New Home for Davenport Building Co.”, 424 Queen Anne Road, Harwich, Massachusetts 02645, dated 11/11/16, by Davenport Building Company, as follows:
 - a. Sheet A1 – Perspectives
 - b. Sheet A2 – Elevations, scale ¼” = 1’-0”
 - c. Sheet A3 – Floor Plans, scale ¼” = 1’-0”
 - d. Sheet A4 – First Floor, scale ¼” = 1’-0”
 - e. Sheet A5 – Floor Framing, scale ¼” = 1’-0”
 - f. Sheet A-6 – Framing, scale ¼” = 1’-0”
 - g. Sheet A-7 – Roof Framing, scale ¼” = 1’-0”
 - h. Sheet A-8 – Sections, scale ¼” = 1’-0”

MGL Reference and Planning Board Jurisdiction

Pursuant to MGL c.40 A, §9 the Planning Board must, within 65 days of submission of application for a special permit, hold a public hearing, and render a decision within 90-days of the close of the hearing. The 65th day would normally be April 29, 2020; however, due to the emergency order issued March 10, 2020, there is a stay on the time.

The Planning Board has jurisdiction to review this application pursuant to the Code of Town of Harwich Use Table and §325-51.N:

§325-51.N - Two-family dwelling. Special permits for two-family dwellings may be granted upon a determination by the Planning Board that the following additional criteria have been met:

- 1. The lot area shall contain a minimum of 40,000 square feet of contiguous upland in all applicable zoning districts; however, in the Drinking Water Resource Protection District (WR) the minimum lot area shall be 60,000 square feet of contiguous upland.*
- 2. The floor area for each dwelling unit shall be a minimum of 800 square feet.*
- 3. A common roof or a series of roofs shall connect the dwelling units.*
- 4. There shall be two off-street parking spaces per each unit.*

Waiver:

A waiver is requested from Article II, Section 400-17 A(1)(a) requiring a signed and notarized affidavit by the owner stating that he or she will live in one of the units on a year-round basis.

Fee: A filing fee of \$525.00 was paid on February 24, 2020.

Comments from Other Boards/Committee/Departments:

Health: As the plan is proposed, the Health Department has no issues or concerns. A fully compliant septic system must be approved prior to any building permit sign off. No variances from state or local regulations will be granted.

Fire: No concerns. A much needed project.

Police and Conservation: No concerns.

Highway: Must pull driveway permit.

Planning Staff Comments:

1. All requirements Pursuant to §325-51.N have been met.
2. Stormwater generated on the site should be maintained on the site.
3. There is a strong need for rental units within the Town of Harwich.
4. The requested waivers are reasonable.
5. Standard conditions are recommended.
6. **Important Note:** please know that the statutory 20-day appeal period is stayed until such time as the declared emergency is over.

PLEASE NOTE: Prior to making a statement during a teleconference meeting you must announce yourself, state your purpose for speaking and wait to be acknowledge by the Chair. Please refer to the protocol document from the Town Clerk for more information.

BOARD VOTE

Continuance

If the Board will require additional information or wants to take the matter under advisement the following motion is recommended:

Move to continue the hearing for **PB2020-08 Davenport Companies**, to no earlier than 6:30 pm on _____ (Next Meeting Dates: *May 12, May 28, June 9*) for the following reason(s): *Need to provide reasons for the continuance...additional information.*

IF BOARD IS READY TO RENDER A DECISION, THE FOLLOWING MOTIONS ARE PROVIDED:

I. Vote to Close the Public Hearing

II. Proposed Findings (Vote to Adopt) the following are suggested finding:

1. The lot contains the minimum requirement of 40,000 SF of upland.
2. Each dwelling unit's floor area is greater than the 800 SF minimum requirements.
3. A common roof connects the dwelling units.
4. The parcels provide sufficient access for two spaces for each unit.
5. The use as developed will not adversely affect the neighborhood.
6. The specific site is an appropriate location for such a use, structure or condition.
7. There will be no nuisance or serious hazard to vehicles or pedestrians.

III. Waivers

Move to approve the waiver from Article II, Section 400-17 A(1)(a) requiring a signed and notarized affidavit by the owner stating that he or she will live in one of the units on a year-round basis.

IV. Use Special Permit (A vote by at least five members of the Planning Board is required)

- 1) Move to ***approve*** a Use Special Permit with waivers for PB2020-08 Davenport Companies for a Two-Family dwelling pursuant to the Code of Town of Harwich §§ 325-13.A, -51 and -51.N as set forth in MGL c. 40A §9 for property located at 424 Queen Ann Road, Lot 1 Map 70, Parcel B-1 in the R-M District, based on the aforementioned findings of fact and the fact that the application meets the necessary requirements and criteria for approval.
- 2) Motion to ***approve with conditions*** a Use Special Permit with waivers for PB2020-08 Davenport Companies for a Two-Family dwelling pursuant to the Code of Town of Harwich §§ 325-13.A, -51 and -51.N as set forth in MGL c. 40A §9 for property located at 424 Queen Ann Road, Lot 1 Map 70, Parcel B-1 in the R-M District, based on the aforementioned findings of fact and the fact that the application meets the necessary requirements and criteria for approval; with the following conditions:
 1. All stormwater runoff generated within the subject property shall be controlled and infiltrated on the subject property.
 2. The Special Permit decision shall be recorded at the Registry of Deeds.
 3. Any changes to the plan shall be subject to further Planning Board review.
- 3) Motion to ***deny*** a Use Special Permit with waivers for PB2020-08 Davenport Companies for a Two-Family dwelling pursuant to the Code of Town of Harwich §§ 325-13.A, -51 and -51.N as set forth in MGL c. 40A §9 for property located at 424 Queen Ann Road, Lot 1 Map 70, Parcel B-1 in the R-M District, based on the fact(s) that...*(need to provide reasons for denial)*

TOWN OF HARWICH PLANNING DEPARTMENT



PLANNING BOARD APPLICATION
SPECIAL PERMITS & SITE PLAN REVIEW FORM A

TO THE TOWN CLERK, HARWICH, MA

DATE FEB. 24, 2020

PART A – APPLICANT INFORMATION/AUTHORIZATION

check # 800, PES. \$ 505

Applicant Name(s)	DAVENPORT COMPANIES
Representative/Organization (Who will serve as the primary contact responsible for facilitating this application?)	PAUL E. SWEETSER PROFESSIONAL LAND SURVEYOR
Mailing address	P.O. BOX 1146
Town, ST, Zip	DENNISPORT, MA 02639
Phone	(508) 737-7560
Fax	-
E-mail	paulsweetser@gmail.com

The applicant is one of the following: (please check appropriate box)

- Owner
- Prospective Buyer*
- Representative for Owner/Tenant/Buyer*
- Tenant*
- Other*

***Written permission of the owner(s) and a municipal lien certificate (where applicable) is required.**

All other forms and information as required in the Harwich Code Chapter 400, Rules and Regulations, shall be submitted as part of this application.

Authorization

Your signature hereby asserts, to the best of your knowledge, that the information submitted in this application is true and accurate; that you agree to fully comply with the Town of Harwich Zoning By-laws and the terms and conditions of any approval of this application by the Planning Board; and authorizes the Members of the Planning Board and/or Town Staff to visit and enter upon the subject property for the duration of the consideration of this application.

Applicant

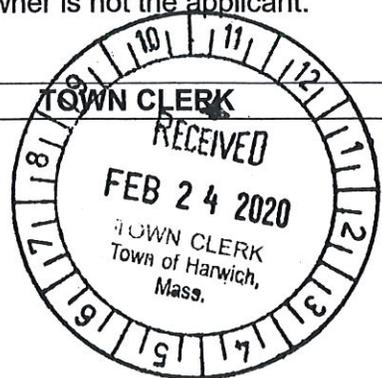
Owner(s) – Authorization must accompany application if the owner is not the applicant.

Official use only:

PLANNING DEPARTMENT	TOWN CLERK
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Case #

PB 2020 - 08
"LOT 1"



PART B – PROJECT LOCATION

Legal Street Address	424 Queen Anne Rd.	Village/Zip Code	02645
Title Book/Page or L.C.C. #	D. BK. 32598 PG. 61		
Map(s) / Parcel(s)	AM 70 PARCEL B.1		
Zoning & Overlay Districts	R-1	*Historic?	
Frontage (linear feet)	230.66		
Total land area (s.f.)	58,262		
Upland (s.f.)	" "	Wetlands (s.f.)	∅

PART C – PROJECT DESCRIPTION

Existing Floor Area in Sq. Ft	Gross: ∅	Net:
Proposed Floor Area in Sq. Ft	Gross: 2408	Net:
Change in Sq. Ft + / -	Gross: 2408	Net:
Existing # of parking spaces	N/A	Proposed # of parking spaces: 4
Existing Use(s)	VACANT	
Proposed Use(s)	ONE MULTI-FAMILY DWELLING (TWO - 2 BED ROOM UNITS)	
<i>Attach a separate narrative if necessary.</i>		

The undersign hereby files an application with the Harwich Planning Board for the following special permits as proposed under the provisions of the Harwich Zoning Code: **(check all that apply)**

Site Plan Review § 325-55:

- Any floor area expansion of any structure or expansion of exterior space, other than parking, serving any of the following: commercial, industrial, multi-family or educational use or personal wireless service facility or the creation of a drive-up or drive-through window
- Expansion or reconfiguration of an existing parking lot and/or driveway(s) serving said parking lot.
- Establishment of any new commercial, industrial, multi-family, educational, fast food/take out restaurant or personal wireless service facility.
- Establishment of any new retail use(s) in the Industrial (IL) Zone.
- Waiver of Site Plan § 325-55.F

Article V, Use Regulations:

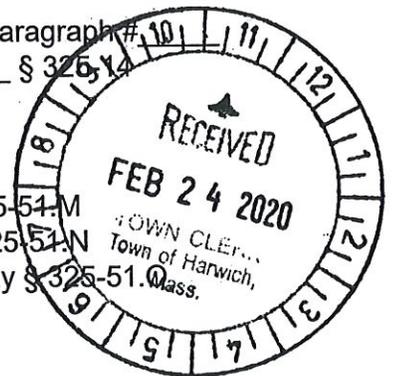
- Paragraph _____, sub-paragraph # _____
- Paragraph _____, sub-paragraph # _____, supplemental regulation # _____ § 325-14

Article X, Special Permits:

- Structures w/ gross floor area of 7,500+ s.f. § 325-51
- Structures requiring 20 or more new parking spaces § 325-51
- Accessory Apt./Shared Elderly Housing § 325-51.H
- Drinking Water Resource Protection § 325-51.C
- Village Commercial, Harwich Port § 325-51.L
- Signage § 325-27.F Additional Cluster, Excess SF, Non-entry Facades
- Mixed Use § 325-51.M
- Two Family § 325-51.N
- *Harwich Center Overlay § 325-51.O

Other Special Permits:

- Six Ponds Special District - Article XVI
- Wind Energy Systems - Article XVIII
- Other (i.e. Alternate Access § 325-18.P, Special Cases § 325-44.B)
- Repetitive Petition (MGL Ch 40A, §16): Proposed project evolved from a previously denied plan submitted to the Planning Board on _____ Year/Case # _____



**Note: Projects within the Harwich Center Overlay District may also be within the Harwich Center Historic District. This requires separate filing with the Historic District and Historical Commission. Please inquire for forms and instructions.*



Paul E. Sweetser
PROFESSIONAL LAND SURVEYOR
(508) 737-7560
P.O. Box 1146 · Dennis Port, MA 02639

February 23, 2020

Town of Harwich
Planning Board
732 Main Street
Harwich, MA 02645

RE: 424 Queen Anne Road , Harwich
Lot 1 Plan Book 684 Page 64

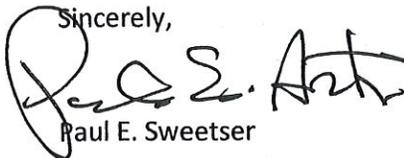
Dear Members of the Board,

Regarding each of the above referenced lots, Davenport Companies Inc. proposes to build a multi-family dwelling. Each multi-family dwelling shall include two 2-bedroom units.

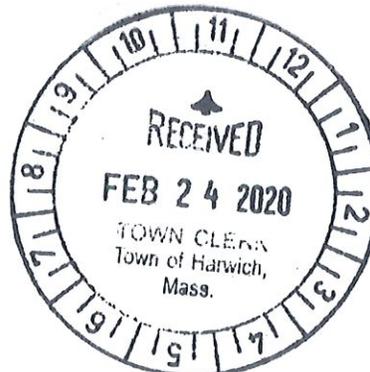
Please waive the additional requirement under Town of Harwich Code, Article III, Section 400-17 A (1) (a) requiring a signed and notarized affidavit by the owner stating that he or she will live in one of the units on a year-round basis.

Please feel free to contact me if you have any questions or if I can help in any way.

Sincerely,


Paul E. Sweetser

Cc: Davenport Companies



084-04

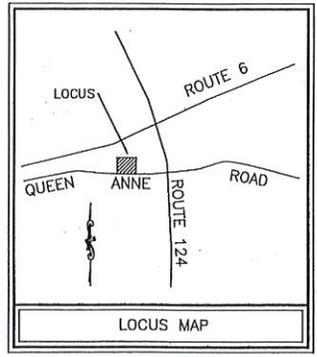
OWNER:
ESTATE OF ELIZABETH M. MARCELINE
C/O GWEN MARCELINE
22 FLORENCE AVENUE
ARLINGTON, MA 02476

APPLICANT:
DAVENPORT REALTY TRUST
20 NORTH MAIN STREET
SOUTH YARMOUTH, MA 02664

RECEIVED AND RECORDED
2020 JAN 21 AM 10:08

REGISTERED PROFESSIONAL LAND SURVEYOR
JAMES J. SWEETSER
REG. NO. 10714

N/F ANTONE J. MORRIS
BK.497 PG.141
PARCEL 3



ASSESSORS MAP: 70
PARCEL: B1

ZONING CLASSIFICATION-R-M
REQUIRED AREA: 40,000 SQ.FT.
FRONTAGE: 150'
SETBACKS-

FRONT 25'
SIDE 20'
REAR 20'

KEITH & CYNTHIA A.
BEAULIEU
430 QUEEN ANNE ROAD
HARWICH, MA
02645
BK.21661 PG.304
PL.BK.83 PG.39

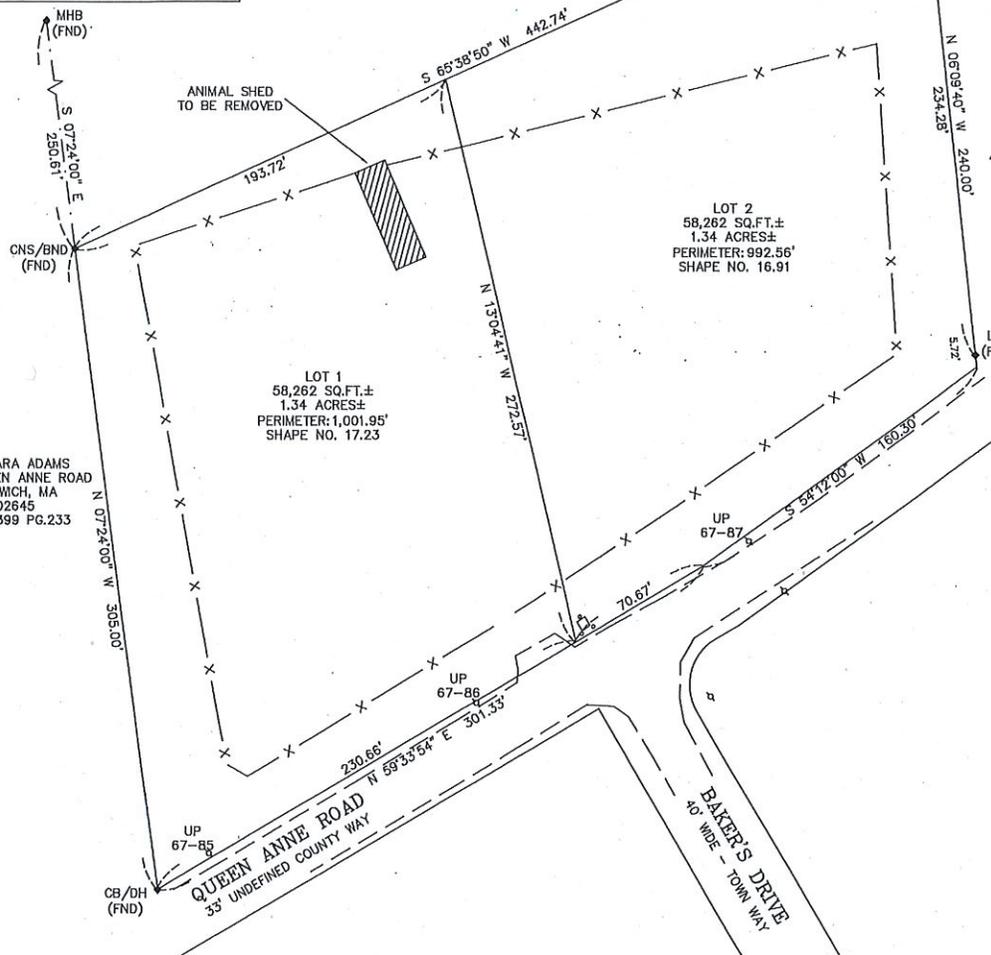
GROSS AREA:
116,524 SQ.FT.±
2.68 ACRES±

DEED REFERENCE:
BK. 2005 PG. 81
BK. 21689 PG. 171

PLAN REFERENCE:
PL.BK. 241 PG. 45

LOCUS ADDRESS:
424 QUEEN ANNE ROAD

BARBARA ADAMS
404 QUEEN ANNE ROAD
HARWICH, MA
02645
BK.22399 PG.233



APPROVAL NOT REQUIRED UNDER THE
SUBDIVISION CONTROL LAW

APPLICATION DATE Dec. 27, 2019
SIGNED DATE Jan. 14, 2020

Cynthia Chudwick
William Estelle
Mary B. Threlkeld
Joseph P. Kell
J. Adams

HARWICH PLANNING BOARD
NO DETERMINATION OF COMPLIANCE WITH ZONING
REQUIREMENTS HAS BEEN MADE OR INTENDED

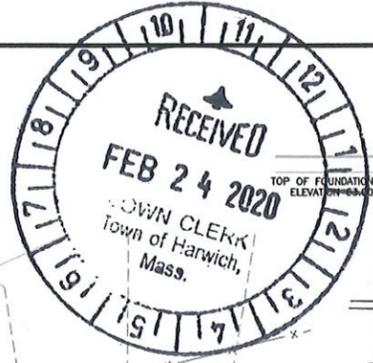
I CERTIFY THAT THIS PLAN CONFORMS TO THE
1978 RULES AND REGULATIONS OF THE REGISTERS
OF DEEDS.
DATE 12.26.19 *P. S. Act*
PROFESSIONAL LAND SURVEYOR



PLAN OF LAND IN HARWICH,
MASSACHUSETTS
AS PREPARED FOR
DAVENPORT REALTY TRUST

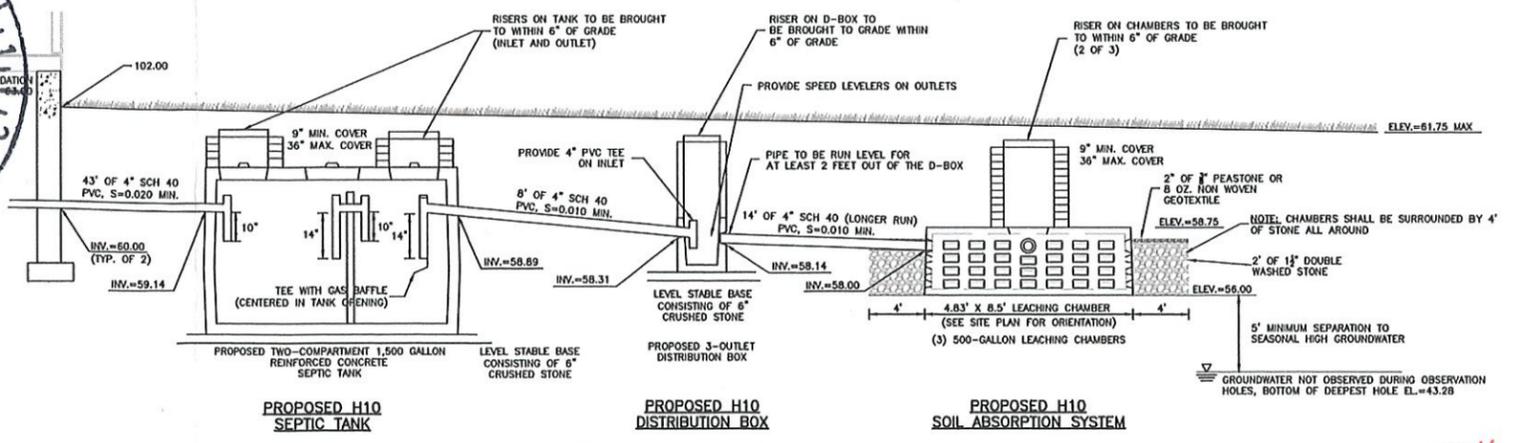
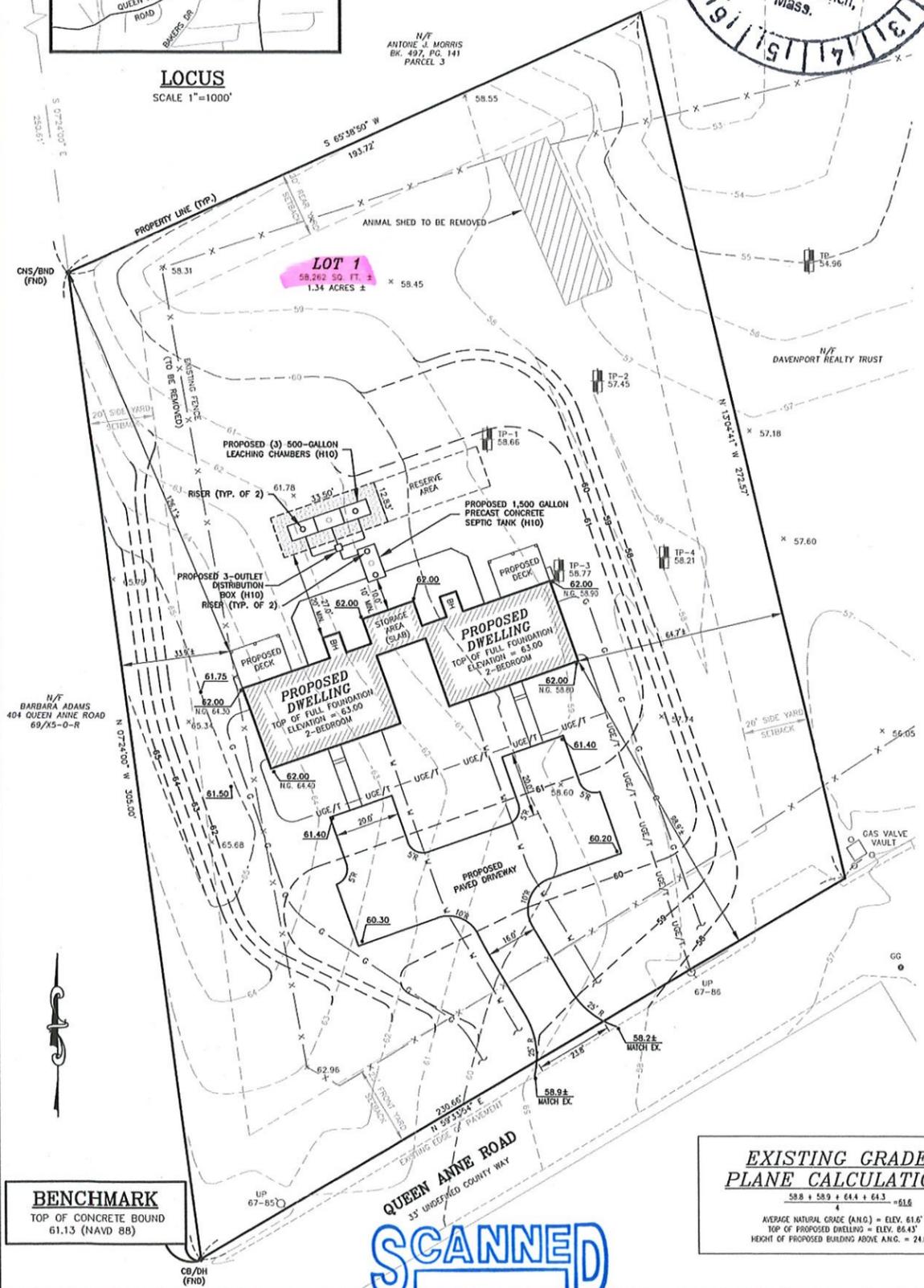


DECEMBER 10, 2019 SCALE: 1"=40'
PAUL E. SWEETSER
PROFESSIONAL LAND SURVEYOR
P. O. BOX 1148
DENNISPORT, MA
02639



LOCUS
SCALE 1"=1000'

N/T ANTOINE J. MORRIS
BK. 497, PG. 141
PARCEL 3



SYSTEM PROFILE
NOT TO SCALE

LEGEND

- 101 PROPERTY LINE
- 104 EXISTING CONTOUR
- 104 PROPOSED CONTOUR
- OH/P EXISTING OVERHEAD UTILITIES
- W EXISTING WATER LINE
- G EXISTING GAS LINE
- W PROPOSED WATER LINE
- G PROPOSED GAS LINE
- UGC/T PROPOSED UNDERGROUND POWER/TELECOMM
- PROPOSED FENCE
- TP-1 LOCATION OF TEST PIT/PERC TEST
- 99.76 X EXISTING SPOT ELEVATION
- QFH EXISTING FIRE HYDRANT
- UP-O EXISTING UTILITY POLE
- HC/B EXISTING CATCH BASIN
- BH BULKHEAD
- 101.50 PROPOSED SPOT GRADE SHOWING NATURAL GRADE

ZONING REQUIREMENTS

ZONING DISTRICT: RM	REQUIRED	PROVIDED
MINIMUM LOT AREA	40,000 SF	58,262 SF
MINIMUM FRONTAGE	150'	230.66'
MINIMUM FRONT YARD SETBACK	25'	98.9'±
MINIMUM SIDE YARD SETBACK	20'	(R)64.7'± / (L)33.9'±
MINIMUM REAR YARD SETBACK	20'	126.1'±
MAXIMUM PERCENT TOTAL BLDG COVERAGE	15%	4.2%±
MAXIMUM SITE COVERAGE	25%	8.7%±
MAXIMUM BUILDING HEIGHT	30'	24.8'±

SITE INFORMATION

ADDRESS: 424 QUEEN ANNE ROAD, HARWICH
ASSESSOR'S MAP/LOT: 70/91
DEED BOOK/PG: 2005/91
PLAN BOOK/PG: 21689/171

DESIGN CALCULATIONS

DESIGN FLOW
110 GALLONS/DAY/BEDROOM X 4 BEDROOMS = 440 GALLONS/DAY

TANK CAPACITY
200X DAILY FLOW = 880 GALLONS; USE 1,500 GALLON TANK

REQUIRED LEACHING CAPACITY
DESIGN PERC RATE = < 2 MIN/INCH
440 GPD / 0.74 GALLONS PER DAY PER SQ. FT. = 594.59 SQ. FT.

PROVIDED LEACHING CAPACITY
BOTTOM AREA = 12.83' X 33.50' = 429.80 SQ. FT.
SIDE AREA = 92.66' X 2.00' = 185.32 SQ. FT.
615.12 SQ. FT.

PROVIDED FLOW CAPACITY = 455.18 GPD

GENERAL NOTES:

1. NONE OF THE SUBJECT PROPERTY IS WITHIN THE LIMITS OF A FEMA FLOOD HAZARD ZONE AS SHOWN ON PANEL NO. 25001C0604J, EFFECTIVE DATE JULY 16, 2014.
2. THERE ARE NO STREAMS OR WETLANDS WITHIN 100-FEET OF THE PROPOSED WORK.
3. THE SITE IS NOT LOCATED WITHIN A ZONE II AREA.
4. VERTICAL DATUM IS NAVD 88
5. ALL WORK SHALL CONFORM TO THE TOWN OF HARWICH AND THE COMMONWEALTH OF MASSACHUSETTS CONSTRUCTION STANDARDS AND REGULATIONS.
6. ALL JOINTS IN THE SEPTIC TANK AND DISTRIBUTION BOX SHALL BE MADE WATER TIGHT THROUGH THE USE OF ASPHALT OR SYNTHETIC POLYMER SEALERS OR HYDRAULIC CEMENT.
7. ALL UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY AND SHALL BE FIELD VERIFIED. DISSAFE AND LOCAL UTILITY COMPANIES SHALL BE CONTACTED PRIOR TO ANY EXCAVATION OCCURRING.
8. THE SEPTIC SYSTEM INSTALLER SHALL NOTIFY THE DESIGN ENGINEER 2 DAYS PRIOR TO BEGINNING INSTALLATION OF THE SEPTIC SYSTEM TO ALLOW FOR SCHEDULING OF INSPECTIONS
9. WHERE APPLICABLE, UNSUITABLE MATERIAL (A, B AND C HORIZONS OR FILL) ENCOUNTERED BELOW THE INVERT OF THE INLET TO THE SOIL ABSORPTION SYSTEM, SHALL BE REMOVED TO A DISTANCE 5' AROUND THE SYSTEM AND BROUGHT BACK TO THE APPROPRIATE ELEVATION WITH CLEAN SAND PER MASSACHUSETTS 310 CMR 15.00 REGULATIONS.
10. NO PRIVATE WATER SUPPLY WELLS EXIST WITHIN 100' OF THE PROPOSED SEPTIC SYSTEM.
11. NO GRAVEL PACKED PUBLIC WATER SUPPLY WELLS OR SURFACE WATER SUPPLY EXIST WITHIN 400' OF THE PROPOSED SUBSURFACE SEWAGE DISPOSAL SYSTEM.
12. THIS DESIGN DOES NOT ALLOW FOR THE USE OF A GARBAGE GRINDER
13. ELECTRIC SERVICE INSTALLATION SHALL BE COORDINATED WITH EVERSOURCE AND OWNER OR THE OWNER'S CONTRACTOR.
14. TELEPHONE AND CABLE SERVICE LOCATION AND CONNECTION DETAILS SHALL BE COORDINATED WITH VERIZON, COMCAST AND THE OWNER OR OWNER'S CONTRACTOR.
15. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL UTILITY SEPARATION MEET CODE AND THE REQUIREMENTS OF THOSE UTILITY COMPANIES HAVING JURISDICTION.
16. WATER SERVICE CONNECTIONS SHALL BE COORDINATED BETWEEN THE TOWN OF HARWICH WATER DEPARTMENT AND THE OWNER OR CONTRACTOR.
17. ALL GRADING AROUND THE DWELLING SHALL SLOPE AWAY FROM THE FOUNDATION AT A 2.0% MINIMUM SLOPE.
18. EXISTING CONDITIONS SURVEY PERFORMED BY PAUL E. SWEETSER, DECEMBER 2019

TP-1	TP-2	TP-3	TP-4
0" A LOAMY SAND 7.5/IR 3/2	0" A LOAMY SAND 10/IR 3/2	0" A LOAMY SAND 10/IR 3/2	0" A LOAMY SAND 10/IR 3/2
16" B LOAMY C. SAND 7.5/IR 4/4	12" B LOAMY C. SAND 7.5/IR 4/6	15" B LOAMY C. SAND 7.5/IR 4/4	12" B LOAMY C. SAND 10/IR 4/6
30" C1 MED/CO SAND 10/IR 5/8	28" C1 COARSE SAND 7.5/IR 5/4	24" C1 COARSE SAND 5/IR 4/8	18" C1 COARSE SAND 5/IR 4/4
54" C2 MED SAND 10/IR 6/4	50" C2 MED/CO SAND 10/IR 6/4	36" C2 MED/CO SAND 10/IR 5/4	32" C2 MED/CO SAND 10/IR 6/6
73" C3 MED/CO SAND 10/IR 5/4			
120" MOTTLING: NONE WEEPING: NONE	170" MOTTLING: NONE WEEPING: NONE	120" MOTTLING: NONE WEEPING: NONE RATE: < 2 MIN/IN	124" MOTTLING: NONE WEEPING: NONE RATE: < 2 MIN/IN

DATE: DECEMBER 11, 2019
PERFORMED BY: RICK JUDD (SE 1165)
WITNESSED BY: MARK POLSELLI

SOIL PROFILES
NOT TO SCALE

EXISTING GRADE PLANE CALCULATION
58.8 + 58.9 + 61.4 + 61.3 = 61.6
AVERAGE NATURAL GRADE (A.N.G.) = ELEV. 61.6'
TOP OF PROPOSED DWELLING = ELEV. 66.43'
HEIGHT OF PROPOSED BUILDING ABOVE A.N.G. = 24.83'

BENCHMARK
TOP OF CONCRETE BOUND
61.13 (NAVD 88)



AM SITE DESIGN, LLC
Residential Site Design and Permitting
4 CRESTVIEW DRIVE
EAST SANDWICH, MA 02537
PHONE: (508) 400-2365

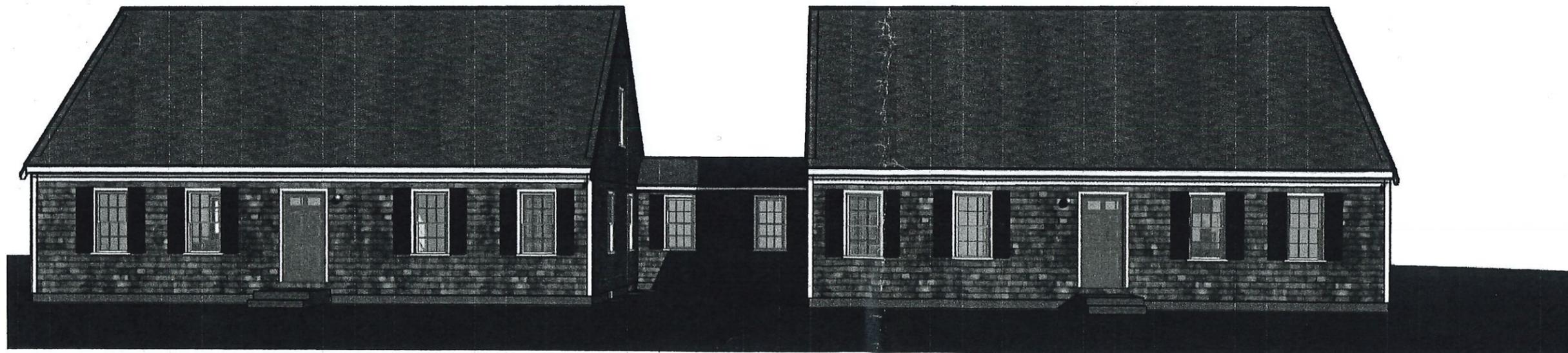
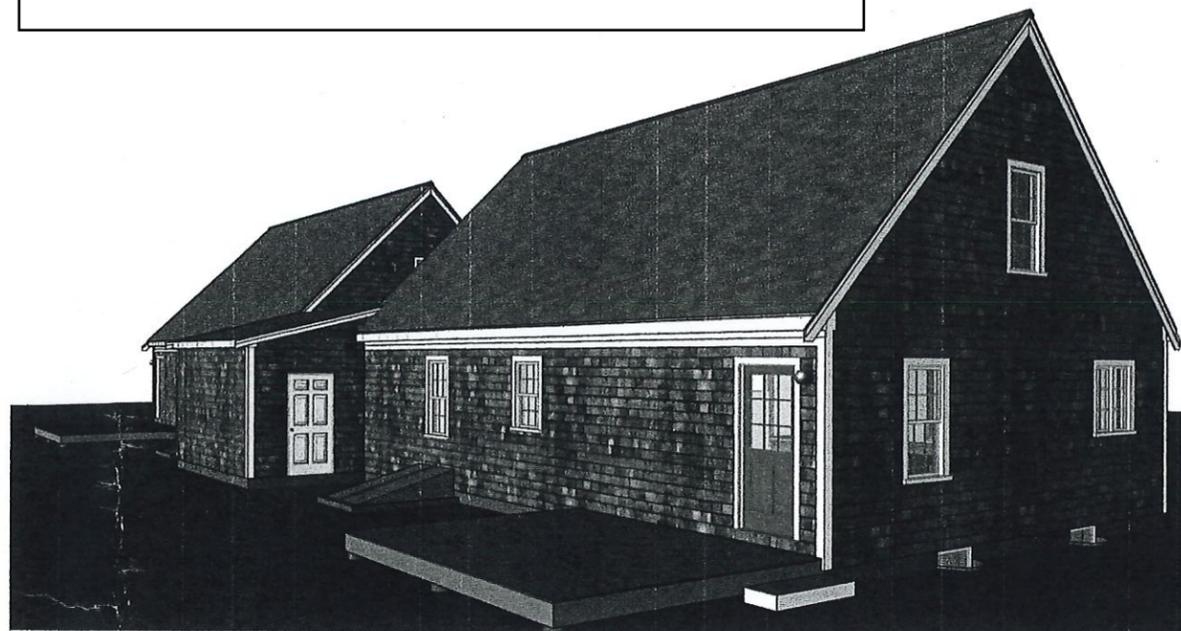
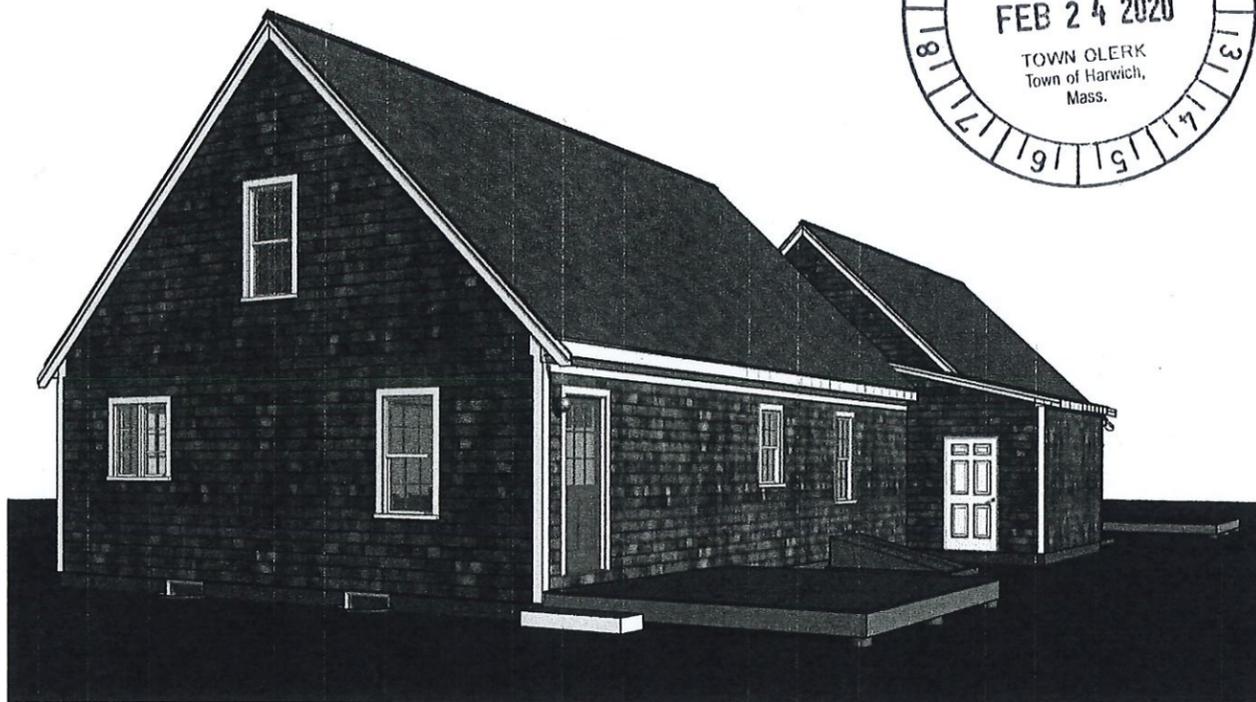
LOCATION:	424 QUEEN ANNE ROAD (LOT 1) HARWICH, MA 02645
CLIENT:	DAVENPORT REALTY TRUST 20 NORTH MAIN STREET SOUTH YARMOUTH, MA 02664
DRAWING TITLE:	SUBSURFACE SEWAGE DISPOSAL SYSTEM SITE PLAN AND PROFILE
SCALE:	1"=20'
DATE:	2/6/2020
DRAWING NO.:	1 of 1

REVISIONS		
NO.	DATE	DESCRIPTION



These plans are for both Davenport Cases PB2020-08 and PB2020-09

These plans are for both Davenport Cases - PB2020-08 and PB2020-09

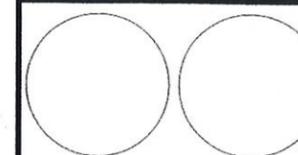


NEW HOME

FOR
Davenport Building Co.
429 QUEEN ANNE
BOGLANE, ROAD
HARWICH,
Massachusetts 02645

ISSUED: 11/11/16

CONSULTANTS



Davenport Building Company
20 North Main Street
South Yarmouth, MA 026664
508-398-2293
Tom Grew
tgrew@davenportbuilding.com

REVISIONS:

DATE	DESCRIPTION

PROJECT NO:
MODEL FILE:
DRAWN BY:
CHK'D BY:
OFFICE:

SHEET TITLE

Perspectives

A1



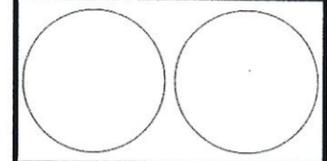
NEW HOME

FOR
Davenport Building Co.

RAKWICH,
Massachusetts 02645

ISSUED: 11/11/16

CONSULTANTS



Davenport Building Company
20 North Main Street
South Yarmouth, MA 026664
508-398-2293
Tom Grew
tgrew@davenportbuilding.com

REVISIONS:

DATE	DESCRIPTION

PROJECT NO:
MODEL FILE:
DRAWN BY:
CHK'D BY:
OFFICE:

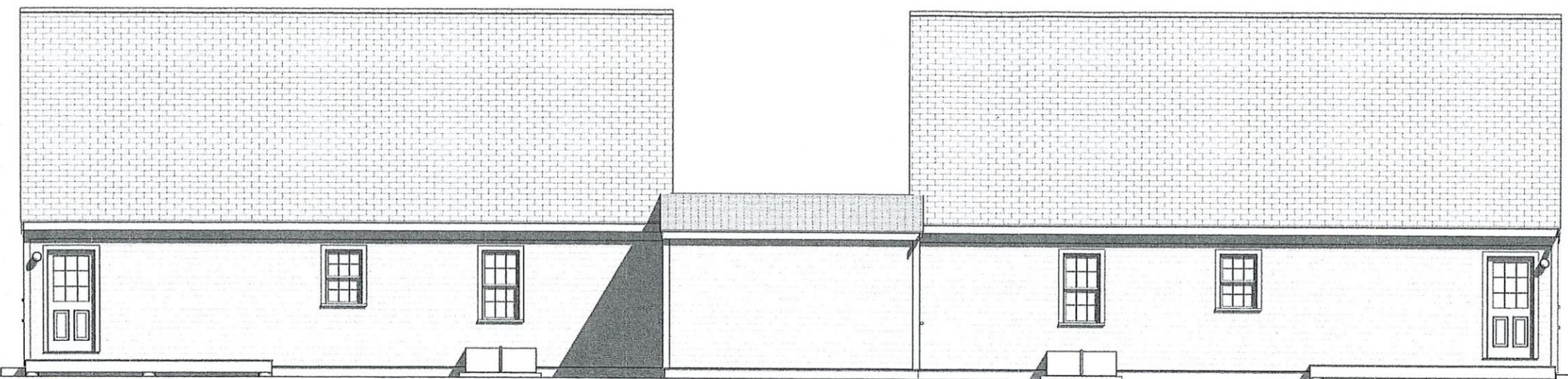
SHEET TITLE

ELEVATIONS

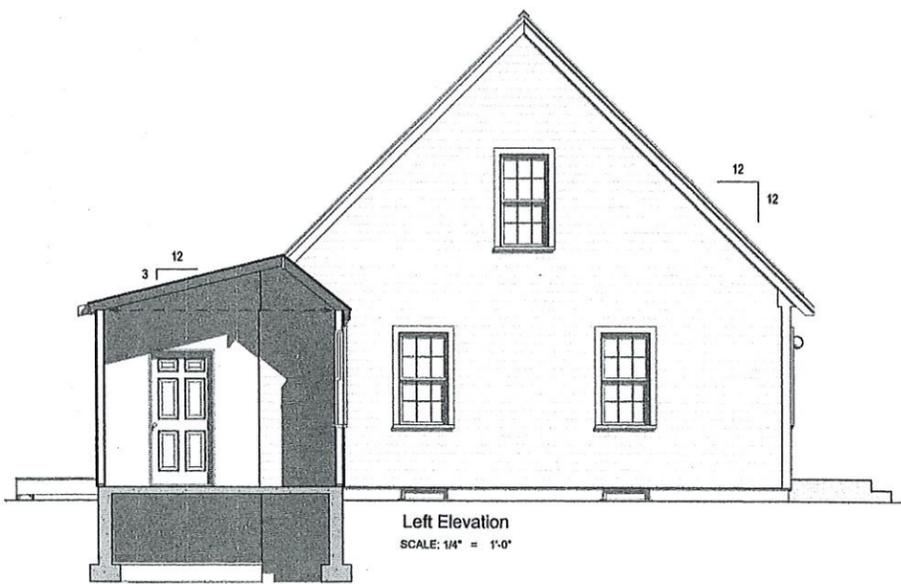
A2



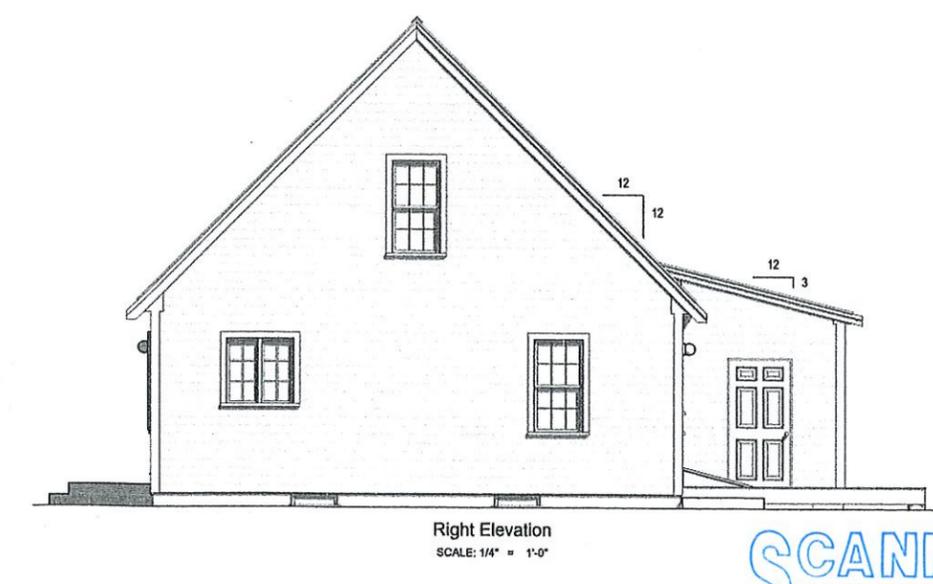
Front Elevation
SCALE: 1/4" = 1'-0"



Rear Elevation
SCALE: 1/4" = 1'-0"



Left Elevation
SCALE: 1/4" = 1'-0"



Right Elevation
SCALE: 1/4" = 1'-0"

NOTE:
Buildings are mirror images
All sections are mirrored

NOTE:
Unheated Outside Storage
Low Pitch Roofs, 2x6 Rafter, 3'-10"
Foundation Wall, 8" x 16" Footing
5/8" x 10" Anchor Bolts, H2.5A
Hurricane Anchors, 2x4 PT Mud sill,
2x4 Walls, 1x8 Trim, Shingles match
main roof



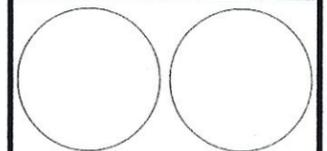
NEW HOME

FOR
Davenport Building Co.

HARWICH,
Massachusetts 02645

ISSUED: 11/11/16

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508-398-2293
Tom Grew
tgrew@davenportbuilding.com

REVISIONS:

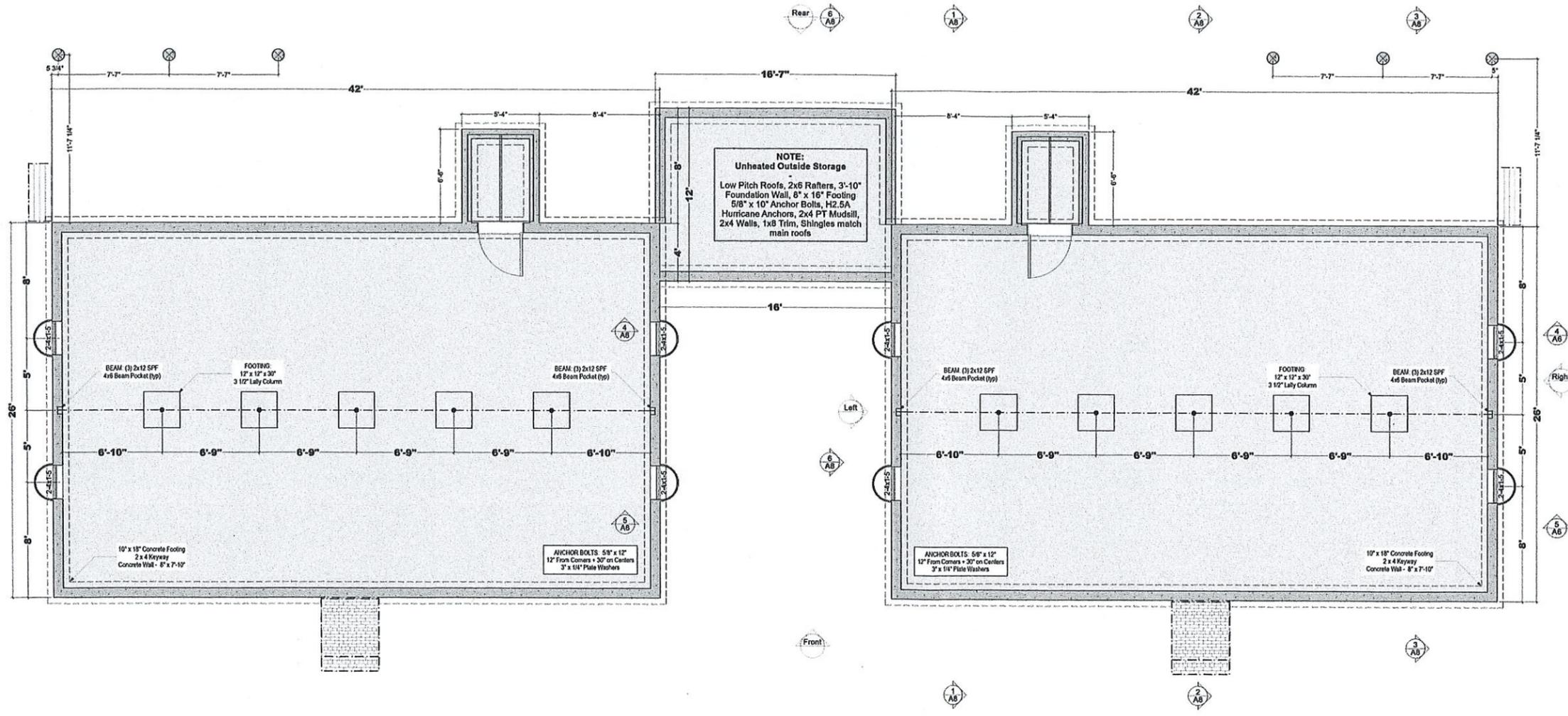
DATE	DESCRIPTION

PROJECT NO:
MODEL FILE:
DRAWN BY:
CHK'D BY:
OFFICE:

SHEET TITLE

FLOOR PLANS

A3



SCANNED

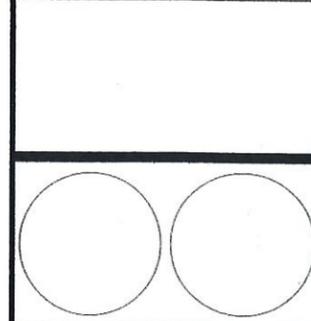
NEW HOME

FOR
Davenport Building Co.

HARWICH,
Massachusetts 02645

ISSUED: 11/11/16

CONSULTANTS



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20 North Main Street
South Yarmouth, MA 02664
508-398-2293
Tom Grew
tgrew@davenportbuilding.com

REVISIONS:

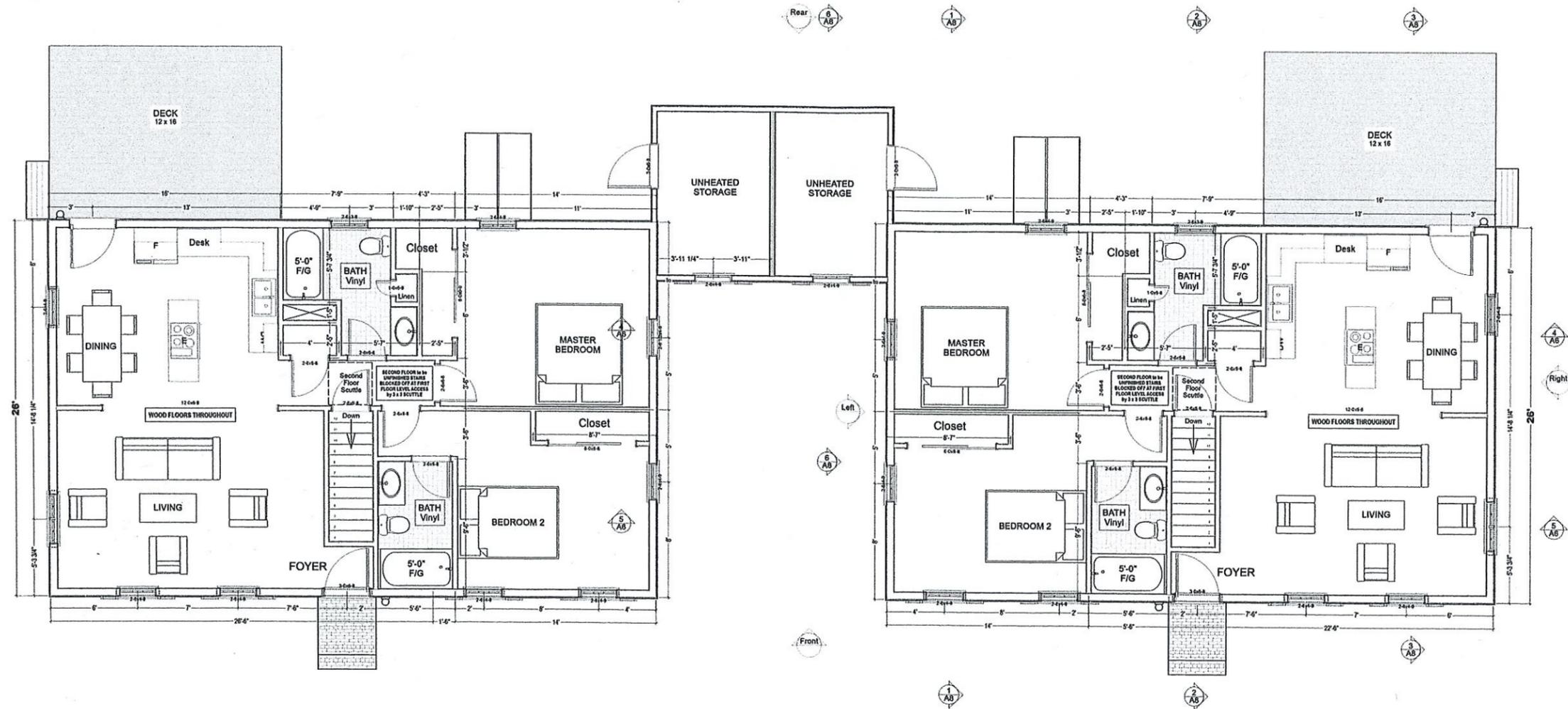
DATE	DESCRIPTION

PROJECT NO:
MODEL FILE:
DRAWN BY:
CHK'D BY:
OFFICE:

SHEET TITLE

FIRST FLOOR

A4



First Floor
SCALE: 1/4" = 1'-0"

SCANNED

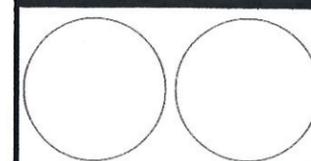
NEW HOME

FOR
Davenport Building Co.

HARWICH,
Massachusetts 02645

ISSUED: 11/11/16

CONSULTANTS



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South Yarmouth, MA 02664
508-398-2293
Tom Grew
tgrew@davenportbuilding.com

REVISIONS:

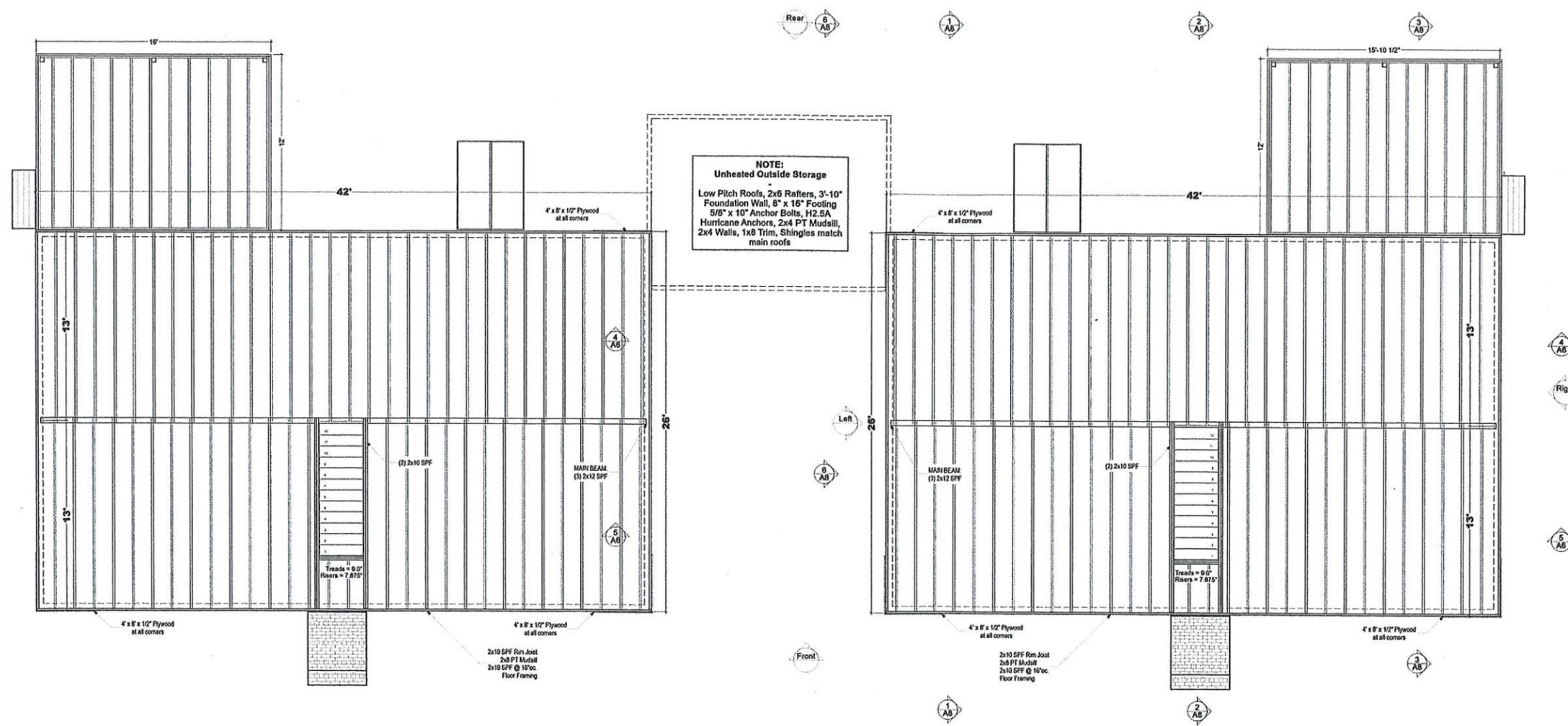
DATE	DESCRIPTION

PROJECT NO:
MODEL FILE:
DRAWN BY:
CHK'D BY:
OFFICE:

SHEET TITLE

FLOOR FRAMING

A5



First Floor Framing
SCALE: 1/4" = 1'-0"

SCANNED

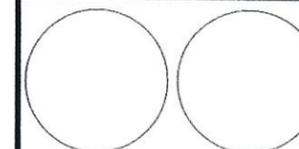
NEW HOME

FOR
Davenport Building Co.

HARWICH,
Massachusetts 02645

ISSUED: 11/11/16

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REVISIONS:

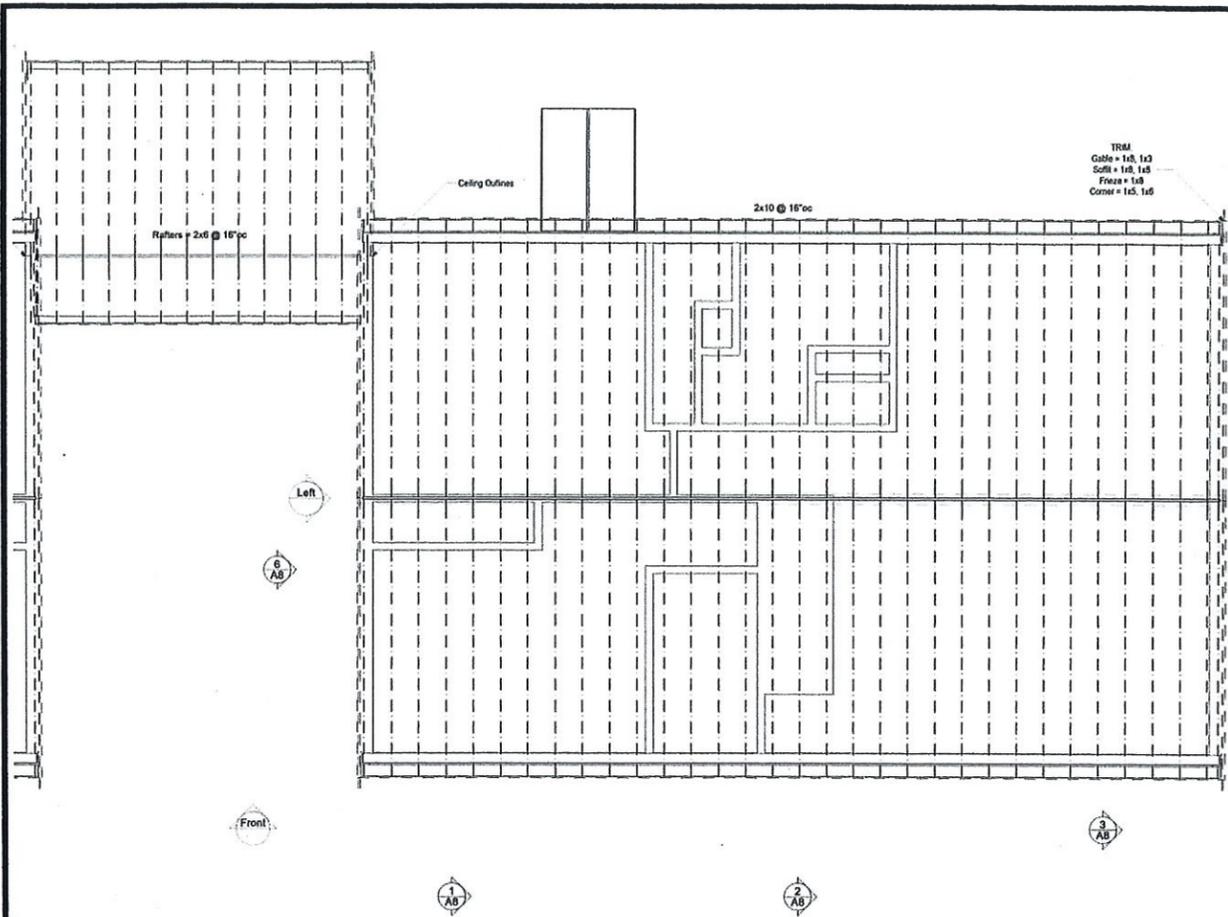
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DRAWN BY:
CHK'D BY:
OFFICE:

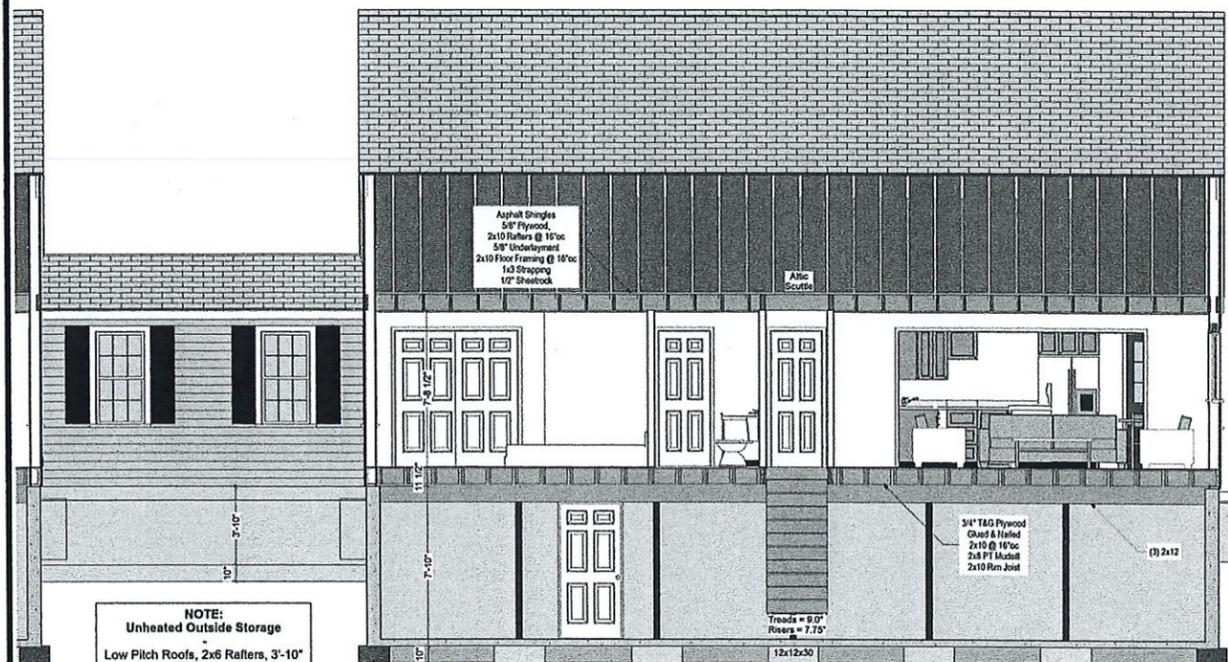
SHEET TITLE

FRAMING

A6

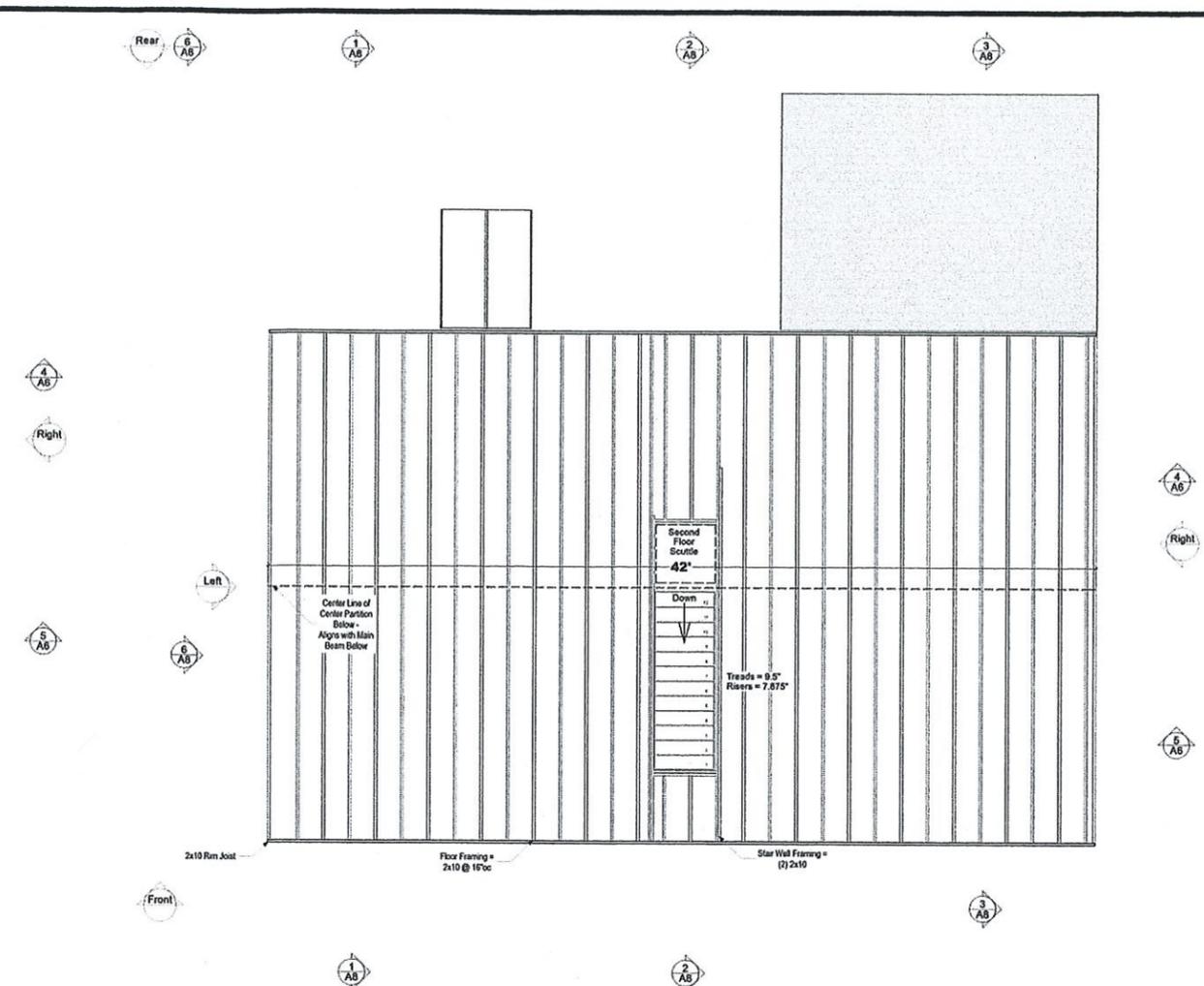


Roof Framing
SCALE: 1/4" = 1'-0"

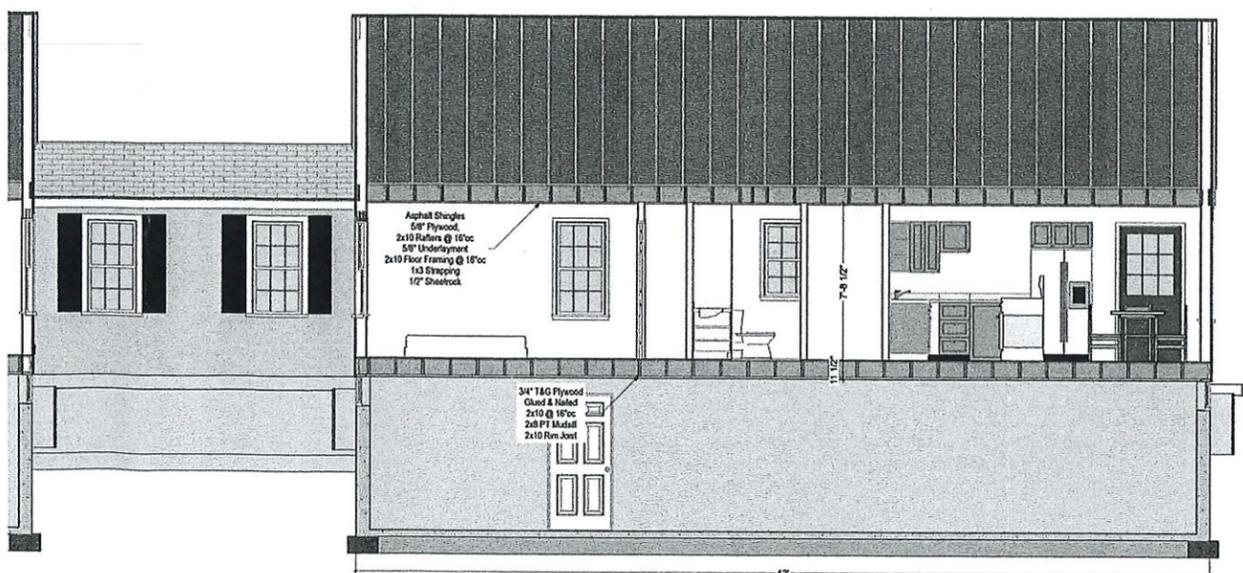


Section 5
SCALE: 1/4" = 1'-0"

BOG LANE - Center Storage - 11.11.2016.pln



Second Floor Framing
SCALE: 1/4" = 1'-0"



Section 4
SCALE: 1/4" = 1'-0"

SCANNED

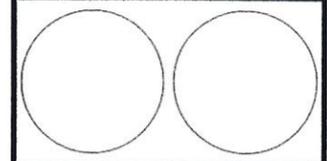
NEW HOME

FOR
Davenport Building Co.

HARWICH,
Massachusetts 02645

ISSUED: 11/11/16

CONSULTANTS



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508-398-2293
Tom Grew
tgrew@davenportbuilding.com

REVISIONS:

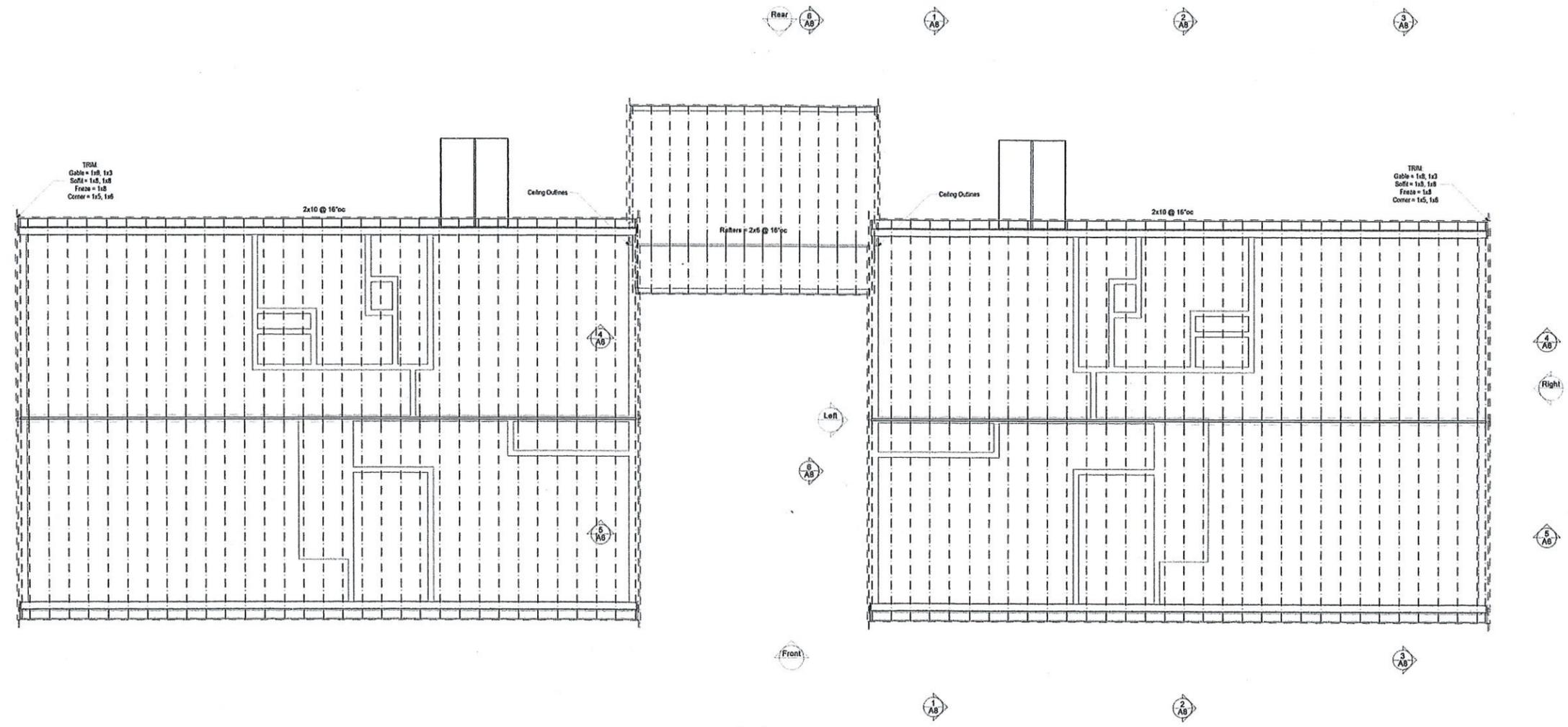
DATE	DESCRIPTION

PROJECT NO:
MODEL FILE:
DRAWN BY:
CHK'D BY:
OFFICE:

SHEET TITLE

ROOF FRAMING

A7



Roof Framing
SCALE: 1/4" = 1'-0"



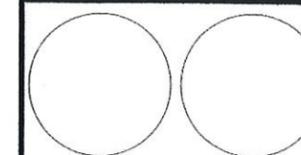
NEW HOME

FOR
Davenport Building Co.

HARWICH,
Massachusetts 02645

ISSUED: 11/11/16

CONSULTANTS



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20 North Main Street
South Yarmouth, MA 026664
508-398-2293
Tom Grew
tgrew@davenportbuilding.com

REVISIONS:

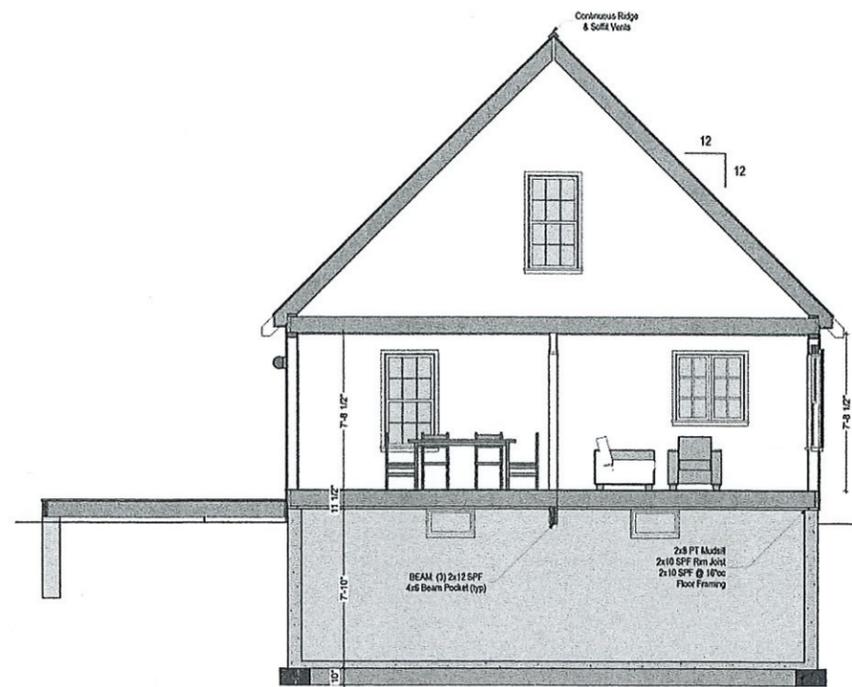
DATE	DESCRIPTION

PROJECT NO:
MODEL FILE:
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CHK'D BY:
OFFICE:

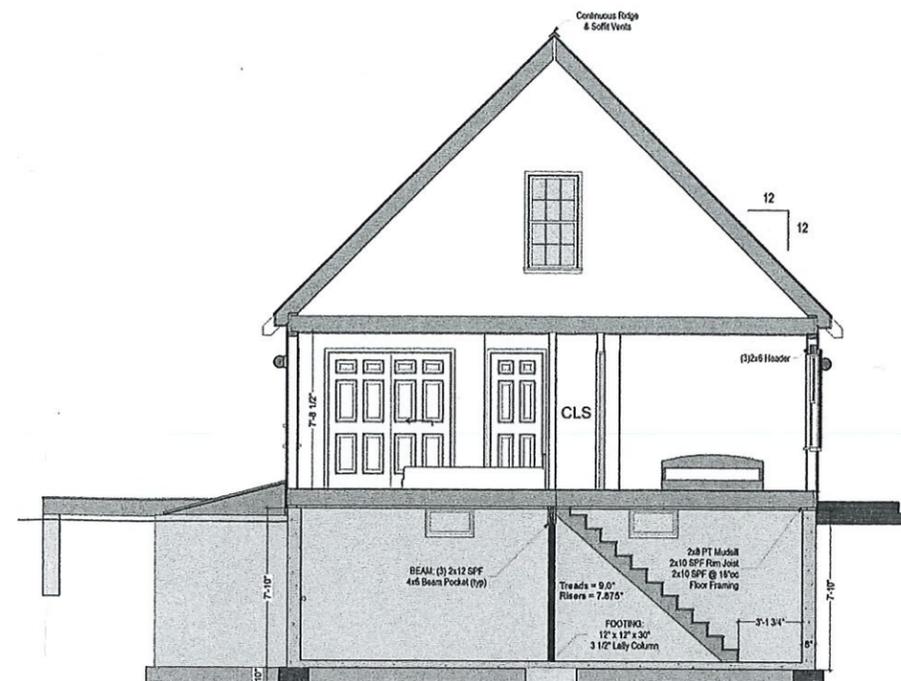
SHEET TITLE

SECTIONS

A8

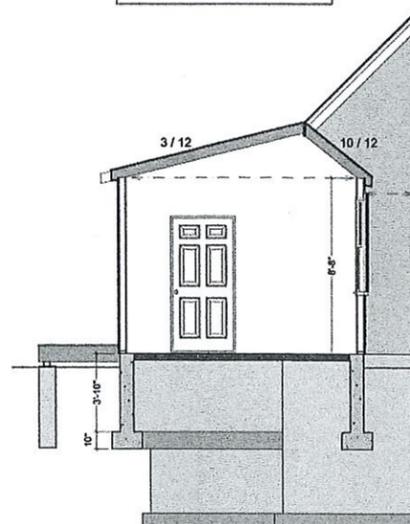


Section 3
SCALE: 1/4" = 1'-0"

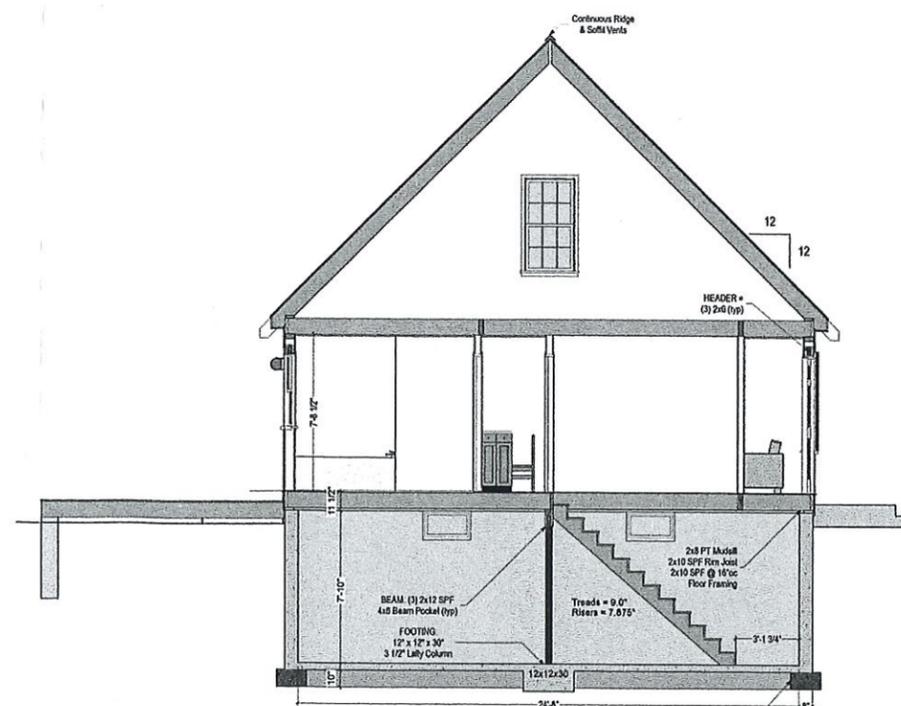


Section 1
SCALE: 1/4" = 1'-0"

NOTE:
Unheated Outside Storage
Low Pitch Roofs, 2x6 Rafters, 3'-10"
Foundation Wall, 8" x 16" Footing
5/8" x 10" Anchor Bolts, H2.5A
Hurricane Anchors, 2x4 PT Mudcell,
2x4 Walls, 1x8 Trim, Shingles match
main roofs



Section 6
SCALE: 1/4" = 1'-0"



Section 2
SCALE: 1/4" = 1'-0"





Agenda Item II.B

To: Planning Board
From: Charleen Greenhalgh, Town Planner
Date: April 15, 2020
Re: Use Special Permit Staff Report

PB2020-09 Davenport Companies, applicant, c/o Paul E. Sweetser, PLS, representative, seeks approval of a Use Special Permit with waivers for a Two-Family dwelling pursuant to the Code of Town of Harwich §§ 325-13.A, -51 and -51.N as set forth in MGL c. 40A §9. The property is located at 424 Queen Ann Road, Lot 2 Map 70, Parcel B-1 in the R-M District.

The Planning Board will hold a public hearing on this matter on Tuesday, April 28, 2020 not sooner than 6:30 P.M.

Description

The applicants seek a special permit to build a two-family dwelling pursuant to §325-51.N of the Harwich Town Code. The application and plans were filed with the Town Clerk on February 24, 2020 and includes the following:

1. Form A Planning Board Application date received February 24, 2020.
2. Letter dated February 24, 2020, including waiver request, from Paul E. Sweetser, P.L.S.
3. “Subsurface Sewage Disposal System, Site Plan and Profile”, 424 Queen Anne Road, Lot 2, Harwich, MA 02645, dated 2/6/2020, scale 1”=20’ prepared by AJM Site Design, LLC.
4. Set of Building Plans, “New Home for Davenport Building Co.”, 424 Queen Anne Road, Harwich, Massachusetts 02645, dated 11/11/16, by Davenport Building Company, as follows:
 - a. Sheet A1 – Perspectives
 - b. Sheet A2 – Elevations, scale ¼” = 1’-0”
 - c. Sheet A3 – Floor Plans, scale ¼” = 1’-0”
 - d. Sheet A4 – First Floor, scale ¼” = 1’-0”
 - e. Sheet A5 – Floor Framing, scale ¼” = 1’-0”
 - f. Sheet A-6 – Framing, scale ¼” = 1’-0”
 - g. Sheet A-7 – Roof Framing, scale ¼” = 1’-0”
 - h. Sheet A-8 – Sections, scale ¼” = 1’-0”

MGL Reference and Planning Board Jurisdiction

Pursuant to MGL c.40 A, §9 the Planning Board must, within 65 days of submission of application for a special permit, hold a public hearing, and render a decision within 90-days of the close of the hearing. The 65th day would normally be April 29, 2020; however, due to the emergency order issued March 10, 2020, there is a stay on the time.

The Planning Board has jurisdiction to review this application pursuant to the Code of Town of Harwich Use Table and §325-51.N:

§325-51.N - Two-family dwelling. Special permits for two-family dwellings may be granted upon a determination by the Planning Board that the following additional criteria have been met:

- 1. The lot area shall contain a minimum of 40,000 square feet of contiguous upland in all applicable zoning districts; however, in the Drinking Water Resource Protection District (WR) the minimum lot area shall be 60,000 square feet of contiguous upland.*
- 2. The floor area for each dwelling unit shall be a minimum of 800 square feet.*
- 3. A common roof or a series of roofs shall connect the dwelling units.*
- 4. There shall be two off-street parking spaces per each unit.*

Waiver:

A waiver is requested from Article II, Section 400-17 A(1)(a) requiring a signed and notarized affidavit by the owner stating that he or she will live in one of the units on a year-round basis.

Fee: A filing fee of \$525.00 was paid on February 24, 2020.

Comments from Other Boards/Committee/Departments:

Health: As the plan is proposed, the Health Department has no issues or concerns. A fully compliant septic system must be approved prior to any building permit sign off. No variances from state or local regulations will be granted.

Fire: No concerns. A much needed project.

Police and Conservation: No concerns.

Highway: Must pull driveway permit.

Planning Staff Comments:

1. All requirements Pursuant to §325-51.N have been met.
2. Stormwater generated on the site should be maintained on the site.
3. There is a strong need for rental units within the Town of Harwich.
4. The requested waivers are reasonable.
5. Standard conditions are recommended.
6. **Important Note:** please know that the statutory 20-day appeal period is stayed until such time as the declared emergency is over.

PLEASE NOTE: Prior to making a statement during a teleconference meeting you must announce yourself, state your purpose for speaking and wait to be acknowledge by the Chair. Please refer to the protocol document from the Town Clerk for more information.

BOARD VOTE

Continuance

If the Board will require additional information or wants to take the matter under advisement the following motion is recommended:

Move to continue the hearing for **PB2020-09 Davenport Companies**, to no earlier than 6:30 pm on _____ (Next Meeting Dates: *May 12, May 28, June 9*) for the following reason(s): *Need to provide reasons for the continuance...additional information.*

IF BOARD IS READY TO RENDER A DECISION, THE FOLLOWING MOTIONS ARE PROVIDED:

I. Vote to Close the Public Hearing

II. Proposed Findings (Vote to Adopt) the following are suggested finding:

1. The lot contains the minimum requirement of 40,000 SF of upland.
2. Each dwelling unit's floor area is greater than the 800 SF minimum requirements.
3. A common roof connects the dwelling units.
4. The parcels provide sufficient access for two spaces for each unit.
5. The use as developed will not adversely affect the neighborhood.
6. The specific site is an appropriate location for such a use, structure or condition.
7. There will be no nuisance or serious hazard to vehicles or pedestrians.

III. Waivers

Move to approve the waiver from Article II, Section 400-17 A(1)(a) requiring a signed and notarized affidavit by the owner stating that he or she will live in one of the units on a year-round basis.

IV. Use Special Permit (A vote by at least five members of the Planning Board is required)

- 1) Move to ***approve*** a Use Special Permit with waivers for PB2020-09 Davenport Companies for a Two-Family dwelling pursuant to the Code of Town of Harwich §§ 325-13.A, -51 and -51.N as set forth in MGL c. 40A §9 for property located at 424 Queen Ann Road, Lot 2 Map 70, Parcel B-1 in the R-M District, based on the aforementioned findings of fact and the fact that the application meets the necessary requirements and criteria for approval.
- 2) Motion to ***approve with conditions*** a Use Special Permit with waivers for PB2020-09 Davenport Companies for a Two-Family dwelling pursuant to the Code of Town of Harwich §§ 325-13.A, -51 and -51.N as set forth in MGL c. 40A §9 for property located at 424 Queen Ann Road, Lot 2 Map 70, Parcel B-1 in the R-M District, based on the aforementioned findings of fact and the fact that the application meets the necessary requirements and criteria for approval; with the following conditions:
 1. All stormwater runoff generated within the subject property shall be controlled and infiltrated on the subject property.
 2. The Special Permit decision shall be recorded at the Registry of Deeds.
 3. Any changes to the plan shall be subject to further Planning Board review.
- 3) Motion to ***deny*** a Use Special Permit with waivers for PB2020-09 Davenport Companies for a Two-Family dwelling pursuant to the Code of Town of Harwich §§ 325-13.A, -51 and -51.N as set forth in MGL c. 40A §9 for property located at 424 Queen Ann Road, Lot 2 Map 70, Parcel B-1 in the R-M District, based on the fact(s) that...*(need to provide reasons for denial)*

TOWN OF HARWICH PLANNING DEPARTMENT



PLANNING BOARD APPLICATION
SPECIAL PERMITS & SITE PLAN REVIEW FORM A

TO THE TOWN CLERK, HARWICH, MA

DATE FEB. 24, 2020

PART A – APPLICANT INFORMATION/AUTHORIZATION

pd cl # 801, P.E.S. # 525

Applicant Name(s)	DAVENPORT COMPANIES
Representative/Organization (Who will serve as the primary contact responsible for facilitating this application?)	PAUL E. SWEETSER PROFESSIONAL LAND SURVEYOR
Mailing address	P.O. BOX 1146
Town, ST, Zip	DENNISPORT, MA 02639
Phone	(508) 737-7560
Fax	-
E-mail	paulsweetser@gmail.com

The applicant is one of the following: (please check appropriate box)

- Owner
- Prospective Buyer*
- Representative for Owner/Tenant/Buyer*
- Tenant*
- Other* _____

***Written permission of the owner(s) and a municipal lien certificate (where applicable) is required.**

All other forms and information as required in the Harwich Code Chapter 400, Rules and Regulations, shall be submitted as part of this application.

Authorization

Your signature hereby asserts, to the best of your knowledge, that the information submitted in this application is true and accurate; that you agree to fully comply with the Town of Harwich Zoning By-laws and the terms and conditions of any approval of this application by the Planning Board; and authorizes the Members of the Planning Board and/or Town Staff to visit and enter upon the subject property for the duration of the consideration of this application.

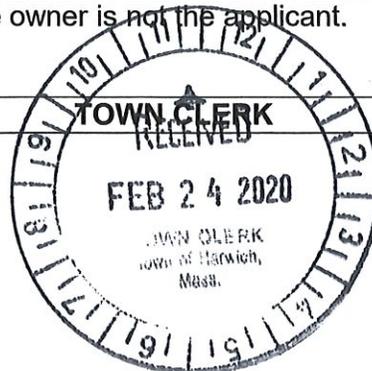
Applicant

Owner(s) – Authorization must accompany application if the owner is not the applicant.

Official use only:

PLANNING DEPARTMENT

Case # PB2020-09
"LOT 2"



PART B – PROJECT LOCATION

Legal Street Address	424 QUEEN ANNE RD	Village/Zip Code	02645
Title Book/Page or L.C.C. #	D.B.K. 32598 PG 61		
Map(s) / Parcel(s)	AM 70 PARCEL B1		
Zoning & Overlay Districts	B-14	*Historic?	
Frontage (linear feet)	230.97		
Total land area (s.f.)	58,262		
Upland (s.f.)	" "	Wetlands (s.f.)	∅

PART C – PROJECT DESCRIPTION

Existing Floor Area in Sq. Ft	Gross: ∅	Net:
Proposed Floor Area in Sq. Ft	Gross: 2408	Net:
Change in Sq. Ft + / -	Gross: 2408	Net:
Existing # of parking spaces	H/A	Proposed # of parking spaces: 4
Existing Use(s)	VACANT	
Proposed Use(s)	ONE MULTI FAMILY DWELLING (TWO - 2 BEDROOM UNITS)	
<i>Attach a separate narrative if necessary.</i>		

The undersign hereby files an application with the Harwich Planning Board for the following special permits as proposed under the provisions of the Harwich Zoning Code: **(check all that apply)**

Site Plan Review § 325-55:

- Any floor area expansion of any structure or expansion of exterior space, other than parking, serving any of the following: commercial, industrial, multi-family or educational use or personal wireless service facility or the creation of a drive-up or drive-through window
- Expansion or reconfiguration of an existing parking lot and/or driveway(s) serving said parking lot.
- Establishment of any new commercial, industrial, multi-family, educational, fast food/take out restaurant or personal wireless service facility.
- Establishment of any new retail use(s) in the Industrial (IL) Zone.
- Waiver of Site Plan § 325-55.F

Article V, Use Regulations:

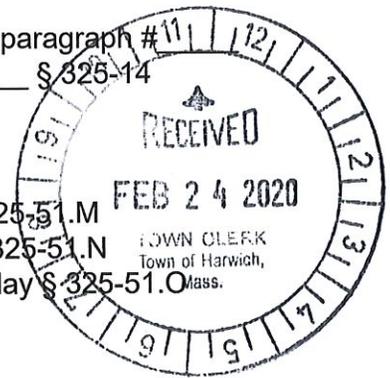
- Paragraph _____, sub-paragraph # _____
- Paragraph _____, sub-paragraph # _____
- Paragraph _____, sub-paragraph # _____, supplemental regulation # _____ § 325-14

Article X, Special Permits:

- Structures w/ gross floor area of 7,500+ s.f. § 325-51
- Structures requiring 20 or more new parking spaces § 325-51
- Accessory Apt./Shared Elderly Housing § 325-51.H
- Drinking Water Resource Protection § 325-51.C
- Village Commercial, Harwich Port § 325-51.L
- Signage § 325-27.F Additional Cluster, Excess SF, Non-entry Facades
- Mixed Use § 325-51.M
- Two Family § 325-51.N
- *Harwich Center Overlay § 325-51.O

Other Special Permits:

- Six Ponds Special District - Article XVI
- Wind Energy Systems - Article XVIII
- Other (i.e. Alternate Access § 325-18.P, Special Cases § 325-44.B)
- Repetitive Petition (MGL Ch 40A, §16): Proposed project evolved from a previously denied plan submitted to the Planning Board on _____ Year/Case # _____



**Note: Projects within the Harwich Center Overlay District may also be within the Harwich Center Historic District. This requires separate filing with the Historic District and Historical Commission. Please inquire for forms and instructions.*



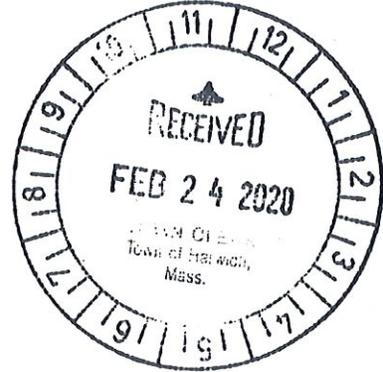
Paul E. Sweetser
PROFESSIONAL LAND SURVEYOR

(508) 737-7560

P.O. Box 1146 · Dennis Port, MA 02639

February 23, 2020

Town of Harwich
Planning Board
732 Main Street
Harwich, MA 02645



RE: 424 Queen Anne Road , Harwich

Lot 2 Plan Book 684 Page 64

Dear Members of the Board,

Regarding each of the above referenced lots, Davenport Companies Inc. proposes to build a multi-family dwelling. Each multi-family dwelling shall include two 2-bedroom units.

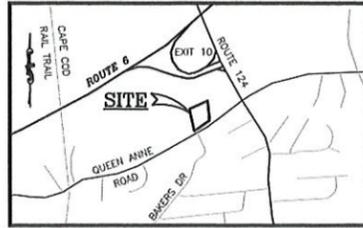
Please waive the additional requirement under Town of Harwich Code, Article III, Section 400-17 A (1) (a) requiring a signed and notarized affidavit by the owner stating that he or she will live in one of the units on a year-round basis.

Please feel free to contact me if you have any questions or if I can help in any way.

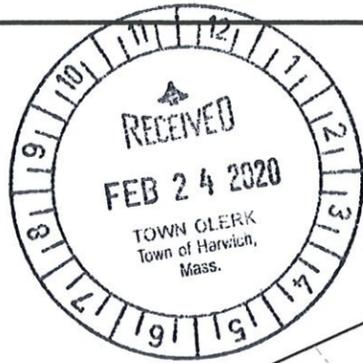
Sincerely,

Paul E. Sweetser

Cc: Davenport Companies



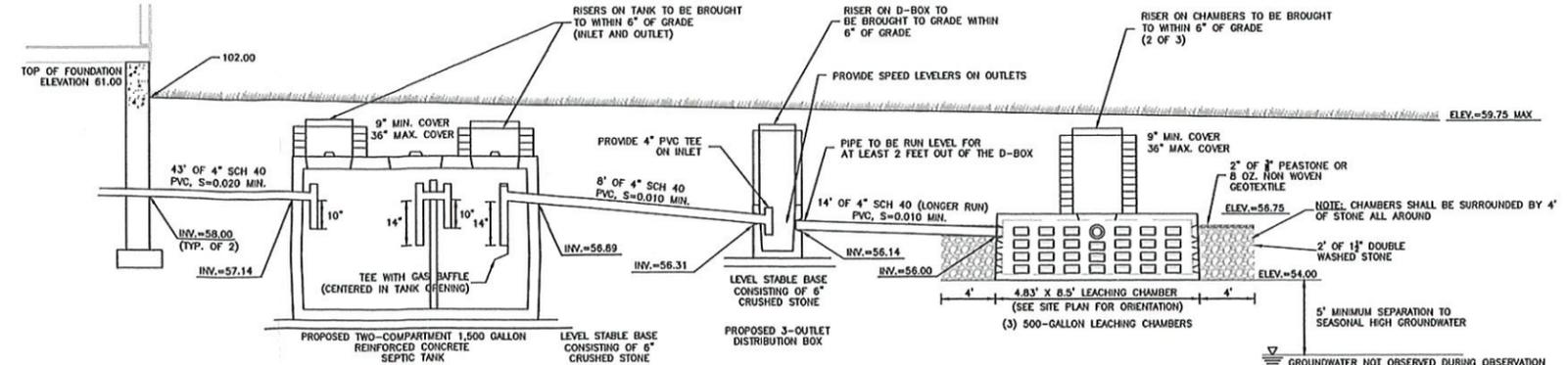
LOCUS
SCALE 1"=1000'



N/F ANTONIO J MORRIS
BK. 497, PG. 141
PARCEL 3

LOT 2
58,262 SQ. FT. ±
1.34 ACRES ±

N/F KEITH & CYNTHIA A. DEANLEUF
430 QUEEN ANNE ROAD
BK. 21661 PG. 304
PL. BK. 63 PG. 39



SYSTEM PROFILE
NOT TO SCALE

LEGEND

- 104 PROPERTY LINE
- 104 EXISTING CONTOUR
- 104 PROPOSED CONTOUR
- OH-P EXISTING OVERHEAD UTILITIES
- W EXISTING WATER LINE
- G EXISTING GAS LINE
- W PROPOSED WATER LINE
- G PROPOSED GAS LINE
- UGE/T PROPOSED UNDERGROUND POWER/TELECOMM
- PROPOSED FENCE
- TP-1 LOCATION OF TEST PIT/PERC TEST
- 99.76 X EXISTING SPOT ELEVATION
- QFH EXISTING FIRE HYDRANT
- UP-O EXISTING UTILITY POLE
- IBC EXISTING CATCH BASIN
- BH BULKHEAD
- 101.50 PROPOSED SPOT GRADE SHOWING NATURAL GRADE
- 100.00 N.D.

ZONING REQUIREMENTS

ZONING DISTRICT: RM	REQUIRED	PROVIDED
MINIMUM LOT AREA	40,000 SF	58,262 SF
MINIMUM FRONTAGE	150'	230.97'
MINIMUM FRONT YARD SETBACK	25'	83.12'
MINIMUM SIDE YARD SETBACK	20'	(R)70.2'/(L)48.7'±
MINIMUM REAR YARD SETBACK	20'	106.4'±
MAXIMUM PERCENT TOTAL BLDG COVERAGE	15%	4.2%±
MAXIMUM SITE COVERAGE	25%	9.7%±
MAXIMUM BUILDING HEIGHT	30'	27.03'

SITE INFORMATION

ADDRESS: 424 QUEEN ANNE ROAD, HARWICH
ASSESSORS MAP/LOT: 70/81
DEED BOOK/PG: 2005/81
PLAN BOOK/PG: 21689/171
241/45

DESIGN CALCULATIONS

DESIGN FLOW
110 GALLONS/DAY/BEDROOM X 4 BEDROOMS = 440 GALLONS/DAY

TANK CAPACITY
200X DAILY FLOW = 880 GALLONS; USE 1,500 GALLON TANK

REQUIRED LEACHING CAPACITY
DESIGN PERC RATE = < 2 MIN/INCH
440 GPD / 0.74 GALLONS PER DAY PER SQ. FT. = 594.59 SQ. FT.

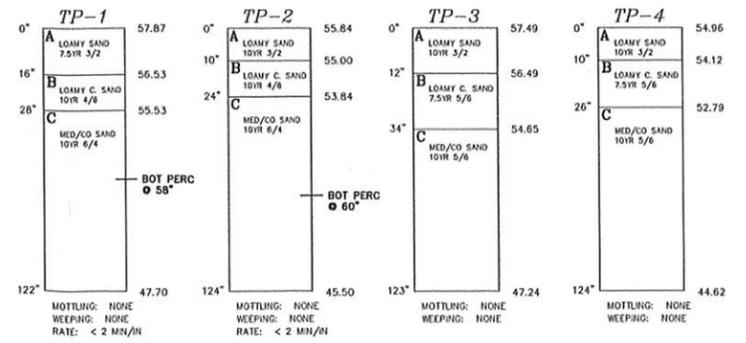
PROVIDED LEACHING CAPACITY
BOTTOM AREA = 12.83' X 33.50' = 429.80 SQ. FT.
SIDE AREA = 92.60' X 2.00' = 185.32 SQ. FT.
615.12 SQ. FT.

PROVIDED FLOW CAPACITY = 455.18 GPD

GENERAL NOTES:

1. NONE OF THE SUBJECT PROPERTY IS WITHIN THE LIMITS OF A FEMA FLOOD HAZARD ZONE AS SHOWN ON PANEL NO. 25001C0604J, EFFECTIVE DATE JULY 16, 2014.
2. THERE ARE NO STREAMS OR WETLANDS WITHIN 100-FEET OF THE PROPOSED WORK.
3. THE SITE IS NOT LOCATED WITHIN A ZONE II AREA.
4. VERTICAL DATUM IS NAVD 88
5. ALL WORK SHALL CONFORM TO THE TOWN OF HARWICH AND THE COMMONWEALTH OF MASSACHUSETTS CONSTRUCTION STANDARDS AND REGULATIONS.
6. ALL JOINTS IN THE SEPTIC TANK AND DISTRIBUTION BOX SHALL BE MADE WATERTIGHT THROUGH THE USE OF ASPHALT OR SYNTHETIC POLYMER SEALERS OR HYDRAULIC CEMENT.
7. ALL UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY AND SHALL BE FIELD VERIFIED. DISSAFE AND LOCAL UTILITY COMPANIES SHALL BE CONTACTED PRIOR TO ANY EXCAVATION OCCURRING.
8. THE SEPTIC SYSTEM INSTALLER SHALL NOTIFY THE DESIGN ENGINEER 2 DAYS PRIOR TO BEGINNING INSTALLATION OF THE SEPTIC SYSTEM TO ALLOW FOR SCHEDULING OF INSPECTIONS
9. WHERE APPLICABLE, UNSUITABLE MATERIAL (A, B AND C HORIZONS OR FILL) ENCOUNTERED BELOW THE INVERT OF THE INLET TO THE SOIL ABSORPTION SYSTEM, SHALL BE REMOVED TO A DISTANCE 5' AROUND THE SYSTEM AND BROUGHT BACK TO THE APPROPRIATE ELEVATION WITH CLEAN SAND PER MASSACHUSETTS 310 CMR 15.00 REGULATIONS.
10. NO PRIVATE WATER SUPPLY WELLS EXIST WITHIN 100' OF THE PROPOSED SEPTIC SYSTEM.
11. NO GRAVEL PACKED PUBLIC WATER SUPPLY WELLS OR SURFACE WATER SUPPLY EXIST WITHIN 400' OF THE PROPOSED SUBSURFACE SEWAGE DISPOSAL SYSTEM.
12. THIS DESIGN DOES NOT ALLOW FOR THE USE OF A GARBAGE GRINDER
13. ELECTRIC SERVICE INSTALLATION SHALL BE COORDINATED WITH EVERSOURCE AND OWNER OR THE OWNER'S CONTRACTOR.
14. TELEPHONE AND CABLE SERVICE LOCATION AND CONNECTION DETAILS SHALL BE COORDINATED WITH VERIZON, COMCAST AND THE OWNER OR OWNER'S CONTRACTOR.
15. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL UTILITY SEPARATION MEET CODE AND THE REQUIREMENTS OF THOSE UTILITY COMPANIES HAVING JURISDICTION.
16. WATER SERVICE CONNECTIONS SHALL BE COORDINATED BETWEEN THE TOWN OF HARWICH WATER DEPARTMENT AND THE OWNER OR CONTRACTOR.
17. ALL GRADING AROUND THE DWELLING SHALL SLOPE AWAY FROM THE FOUNDATION AT A 2.0% MINIMUM SLOPE.
18. EXISTING CONDITIONS SURVEY PERFORMED BY PAUL E. SWEETSER, DECEMBER 2019

BENCHMARK
TOP OF CONCRETE BOUND
ELEV.=57.52 (NAVD 88)



DATE: DECEMBER 11, 2019
PERFORMED BY: RICK JUDD (SE 1165)
WITNESSED BY: MARK POLSELLI
SOIL PROFILES
NOT TO SCALE

EXISTING GRADE PLANE CALCULATION
$$\frac{56.3 + 58.9 + 57.0 + 57.4}{4} = 57.4$$

AVERAGE NATURAL GRADE (A.N.G.) = ELEV. 57.4'
TOP OF PROPOSED DWELLING = ELEV. 84.43'
HEIGHT OF PROPOSED BUILDING ABOVE A.N.G. = 27.03'

AJM SITE DESIGN, LLC
Residential Site Design and Permitting
4 CRESTVIEW DRIVE
EAST SANDWICH, MA 02537
PHONE: (508) 400-2365

LOCATION: 424 QUEEN ANNE ROAD (LOT 2) HARWICH, MA 02645

CLIENT: DAVENPORT REALTY TRUST
20 NORTH MAIN STREET
SOUTH YARMOUTH, MA 02664

DRAWING TITLE: SUBSURFACE SEWAGE DISPOSAL SYSTEM
SITE PLAN AND PROFILE

SCALE: 1"=20' DATE: 2/6/2020 DRAWING NO. 1 of 1

REVISIONS

NO.	DATE	DESCRIPTION





AGENDA ITEM II.C

To: Planning Board
From: Charleen Greenhalgh, Town Planner
Date: April 16, 2020
Re: Staff Report - Use Special Permit: Accessory Structure with Bedrooms

PB2020-11 Gerald E. Burke, owner, c/o William Crowell, Esq., seek approval of a Use Special Permit, with waivers, pursuant to the Code of the Town Harwich §325-13, Table 1 - Use Regulations and §325-14.Q - to alter the upper level of detached residential accessory garage/stable into an accessory structure with a bedroom. The property is located at 22 Sunrise Road, Map 26, Parcel E2-3, in the R-M and W-R Zoning Districts.

The Planning Board will hold a public hearing on this matter on Tuesday, April 28, 2020, not sooner than 6:30 P.M. **The applicant/representative must provide certified notice of mailings to the abutters prior to commencing with the public hearing.**

Description:

The applicant seeks approval for one (1) bedroom above a detached accessory building. The applicant provided an application packet of the proposed project. The application and plans were filed with the Town Clerk on March 10, 2020 and includes the following:

1. Form A Planning Board Application.
2. A project description/narrative, with waiver request.
3. “Existing Conditions Plan” prepared for Gerald Burke, 22 Sunrise Lane, South Harwich, MA, dated 1/15/2020, scale 1” = 30’, prepared by Michael S. Ladue, PLS, Moran Engineering Assoc., LLC
4. “Remodeling For: Mr. Gerard Burke”, 22 Sunrise Ln., S. Harwich, MA, dated 12/31/2019, Design/Drawn by Thomas A. Moore Design Co., not stamped:
 - a. “First Floor Plan”, scale ¼” = 1’-0”, Sheet A1.
 - b. “Lower Level Floor Plan”, scale ¼” = 1’-0”, Sheet A2.
 - c. “Elevations (Front, Right Side, Rear and Left Side Elevation”, scale 3/16” = 1’-0”, Sheet A3.
5. “Exist. Conditions For: Mr. Gerard Burke”, 22 Sunrise Ln., S. Harwich, MA, dated 12/31/2019, Design/Drawn by Thomas A. Moore Design Co., not stamped:
 - a. “First Floor Plan”, scale ¼” = 1’-0”, Sheet EX1.
 - b. “Lower Level Floor Plan”, scale ¼” = 1’-0”, Sheet EX2.
 - c. “Elevations (Front, Right Side, Rear and Left Side Elevation”, scale 3/16” = 1’-0”, Sheet EX3.

MGL Reference and Planning Board Jurisdiction

Pursuant to MGL c.40 A, §9 the Planning Board must, within 65 days of submission of application for a special permit hold a public hearing. The decision of the Planning Board shall take place within 90 days following the close of the public hearing. Further, a special permit

issued shall require a two-thirds vote of the Board. The Planning Board has jurisdiction to the review this application pursuant to the Code of the Town of Harwich §§ 325-13 (Use Table), 325-14(Q) and 325-51. The 65th day would normally be May 14, 2020; however, due to the emergency order issued March 10, 2020, there is a stay on the time.

Waivers Requested

The applicant seeks waivers of any and all commercial or residential requirements of the Bylaw that are not applicable to this Petition.

Comments from other Boards, Departments, Committees:

Conservation: The majority of the lot is in Conservation Department jurisdiction due to the top of bank and riverfront setback. The existing garage, shed, walls and any other site modifications never received Conservation Commission approval. We cannot approve modification of any of these structures as they were not approved in the first place. An after-the-fact filing must be done with the Conservation Commission for these structures. If the Commission approves the filing, then modification of the interior or change of use of the building would not be an issue with this department.

Health Department: Although this property is located within a Zone II, a five bedroom septic system was approved and installed in 2017. The proposed apartment could be approved by the health department if certain septic system requirements are met. Either a two compartment tank, or two septic tanks in series are required. Additionally, the repairs identified in the recent title 5 inspection must be made. The property is limited to five bedrooms maximum.

Planning Staff Comments:

1. The applicant's representative was notified March 24, 2020, via email that the application as submitted was incomplete. The following information is missing:
 - a. The applicant's name and deed references are included on the site plan; however the applicant legal address is not included.
 - b. The names, deed references of all abutters has not been provided on the site plan.
 - c. The total land area has been provided on the site plan; however the upland/wetland areas have not been provided in square feet, acres or percentages.
 - d. This property is within the WR zoning district, there are additional requirements with the Rules and Regulations for Special Permits and Site Plans. Please refer to the checklist available at: <https://ecode360.com/attachment/HA2805/HA2805-400d%20App%204%20Req%20for%20App%20and%20Plans.pdf> . For a special permit only the first 6 pages apply.
2. With the application incomplete at this time, no additional waivers requested and the inability to present new information at the public hearing, staff recommends a continuance of the hearing to a date and time certain.

BOARD VOTE

Continuance

If the Board will require additional information or wants to take the matter under advisement the following motion is recommended:

Move to continue the hearing for **PB2020-11 Gerard Burke**, to no earlier than 6:30 pm on _____ (Next Meeting Dates: *May 12, May 28, June 9*) for the following reason(s): *Need to provide reasons for the continuance...additional information.*

TOWN OF HARWICH PLANNING DEPARTMENT

PLANNING BOARD APPLICATION



TO THE TOWN CLERK, HARWICH, MA

DATE 3/10/20

PART A – APPLICANT INFORMATION/AUTHORIZATION

Applicant Name(s)	GERARD E. BURKE
Representative/Organization (Who will serve as the primary contact responsible for facilitating this application?)	William D. Crowell, Esq. 466 Main Street P.O. Box 185 Harwich Port, MA 02646
Mailing address	"
Town, ST, Zip	"
Phone	508-432-1643
Fax	508-430-0631
E-mail	W.CROWELL.OFFICE 1 @ COMCAST.NET

The applicant is one of the following: (please check appropriate box)

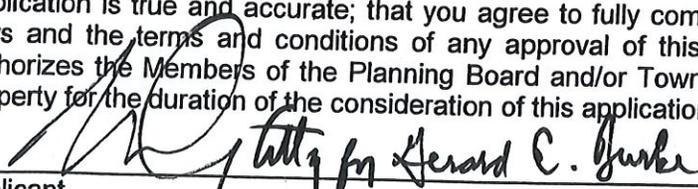
- Owner Prospective Buyer* Representative for Owner/Tenant/Buyer*
 Tenant* Other*

***Written permission of the owner(s) and a municipal lien certificate (where applicable) is required.**

All other forms and information as required in the Harwich Code Chapter 400, Rules and Regulations, shall be submitted as part of this application.

Authorization

Your signature hereby asserts, to the best of your knowledge, that the information submitted in this application is true and accurate; that you agree to fully comply with the Town of Harwich Zoning By-laws and the terms and conditions of any approval of this application by the Planning Board; and authorizes the Members of the Planning Board and/or Town Staff to visit and enter upon the subject property for the duration of the consideration of this application.


 Applicant _____
 SEE ATTACHED

Owner(s) – Authorization must accompany application if the owner is not the applicant.

Official use only:

PLANNING DEPARTMENT	TOWN CLERK
Case #	

PART B – PROJECT LOCATION

Legal Street Address	22 SUNRISE LANE	Village/Zip Code	02661
Title Book/Page or L.C.C. #	B 30984 P147		
Map(s) / Parcel(s)	M 26 PE2-3		
Zoning & Overlay Districts	R-M W-R	*Historic?	No - 1960
Frontage (linear feet)	182.01		
Total land area (s.f.)	23,829		
Upland (s.f.)	~ 75%	Wetlands (s.f.)	~ 25%

PART C – PROJECT DESCRIPTION

Existing Floor Area in Sq. Ft	Gross:	Net:
Proposed Floor Area in Sq. Ft	Gross:	Net:
Change in Sq. Ft + / -	Gross:	Net:
Existing # of parking spaces	Proposed # of parking spaces:	
Existing Use(s)		
Proposed Use(s)	SEE ATTACHED	
<i>Attach a separate narrative if necessary.</i>		

The undersign hereby files an application with the Harwich Planning Board for the following special permits as proposed under the provisions of the Harwich Zoning Code: **(check all that apply)**

Site Plan Review § 325-55:

- Any floor area expansion of any structure or expansion of exterior space, other than parking, serving any of the following: commercial, industrial, multi-family or educational use or personal wireless service facility or the creation of a drive-up or drive-through window
- Expansion or reconfiguration of an existing parking lot and/or driveway(s) serving said parking lot.
- Establishment of any new commercial, industrial, multi-family, educational, fast food/take out restaurant or personal wireless service facility.
- Establishment of any new retail use(s) in the Industrial (IL) Zone.
- Waiver of Site Plan § 325-55.F

Article V, Use Regulations:

- Paragraph I, sub-paragraph # 1b Paragraph _____, sub-paragraph # _____
- Paragraph _____, sub-paragraph # _____, supplemental regulation # _____ § 325-14

Article X, Special Permits:

- Structures w/ gross floor area of 7,500+ s.f. § 325-51
- Structures requiring 20 or more new parking spaces § 325-51
- Accessory Apt./Shared Elderly Housing § 325-51.H Mixed Use § 325-51.M
- Drinking Water Resource Protection § 325-51.C Two Family § 325-51.N
- Village Commercial, Harwich Port § 325-51.L *Harwich Center Overlay § 325-51.O
- Signage § 325-27.F Additional Cluster, Excess SF, Non-entry Facades

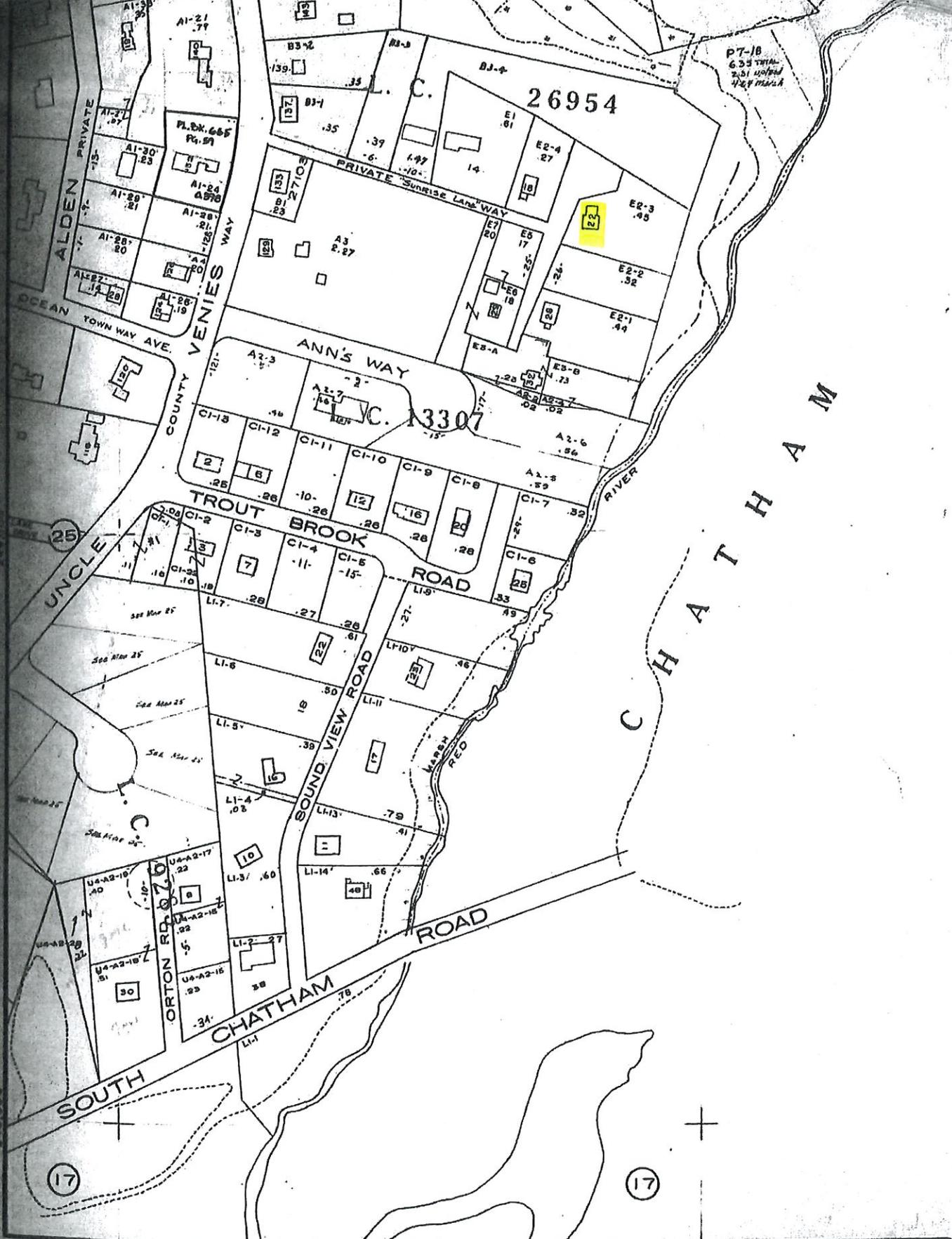
Other Special Permits:

- Six Ponds Special District - Article XVI
- Wind Energy Systems - Article XVIII Large Scale Wind Generation – Article XIX
- Other (i.e. Alternate Access § 325-18.P, Special Cases § 325-44.B) **DETACHED RES. ACCESS. STRUCTURE w/ ODRM**
- Repetitive Petition (MGL Ch 40A, §16): Proposed project evolved from a previously denied plan submitted to the Planning Board on _____ Year/Case # _____

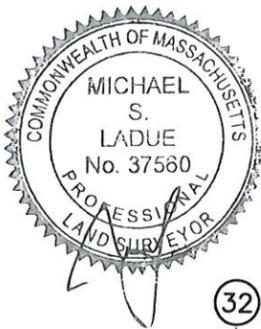
**Note: Projects within the Harwich Center Overlay District may also be within the Harwich Center Historic District. This requires separate filing with the Historic District and Historical Commission. Please inquire for forms and instructions.*

The Petitioners hereby request a Special Permit for a detached residential accessory building with bedrooms pursuant to Table 1. Use Regulations, Paragraph I-Residential Uses, subparagraph 1b in R-M Zoning District as shown on the Certified Plot Plan by Moran Engineering Assoc., LLC dated January 15, 2020 filed herewith and as shown on the Building and Elevation Plans dated December 31, 2019 by Thomas A. Moore Design Co. filed herewith. The proposed use will not adversely affect the neighborhood, the site is an appropriate location for the use, there will be no nuisance or serious hazard to vehicles or pedestrians, and adequate and appropriate facilities are provided for the proper operation of the proposed use.

The Petitioners hereby request Administrative Waivers of any and all commercial or residential requirements of the Bylaw that are not applicable to this Petition.



PHOTACT 999,000 FIELD CHECKED NOVEMBER 1962 1,000,000

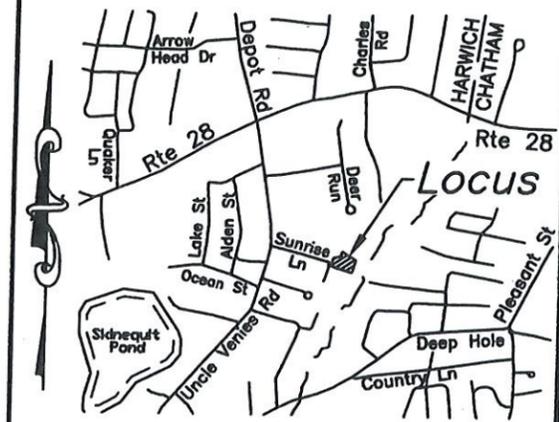


LOT 3
23,829 SF±
0.55 Ac±

Zoning Compliance

Zone: R-M	Zoning	Existing Garage
Min Front Setback	25'	84.4'
Min Side Setback	20'	26.4'/79.5'
Min Rear Setback	20'	42.6'

	Total	Total
Building Coverage	(4765sf) 20%max	(2898sf) 12.2%
Site Coverage	(8340sf) 35%max	(5875sf) 24.7%



Deed: Book 30984, Page 147
Plan: Book 88, Page 63, Lot 3
Plan: Book 456, Page 84

LEGEND

- Existing Building
- Edge of Driveway
- Existing Contour
- Existing Spot Elevation
- Existing Septic
- Top of Bank
- Edge of River
- Buffer Offset
- Floodplain Limit
- Fence
- Edge Clearing

EXISTING CONDITIONS PLAN

SUBJECT: 22 Sunrise Lane
South Harwich, MA

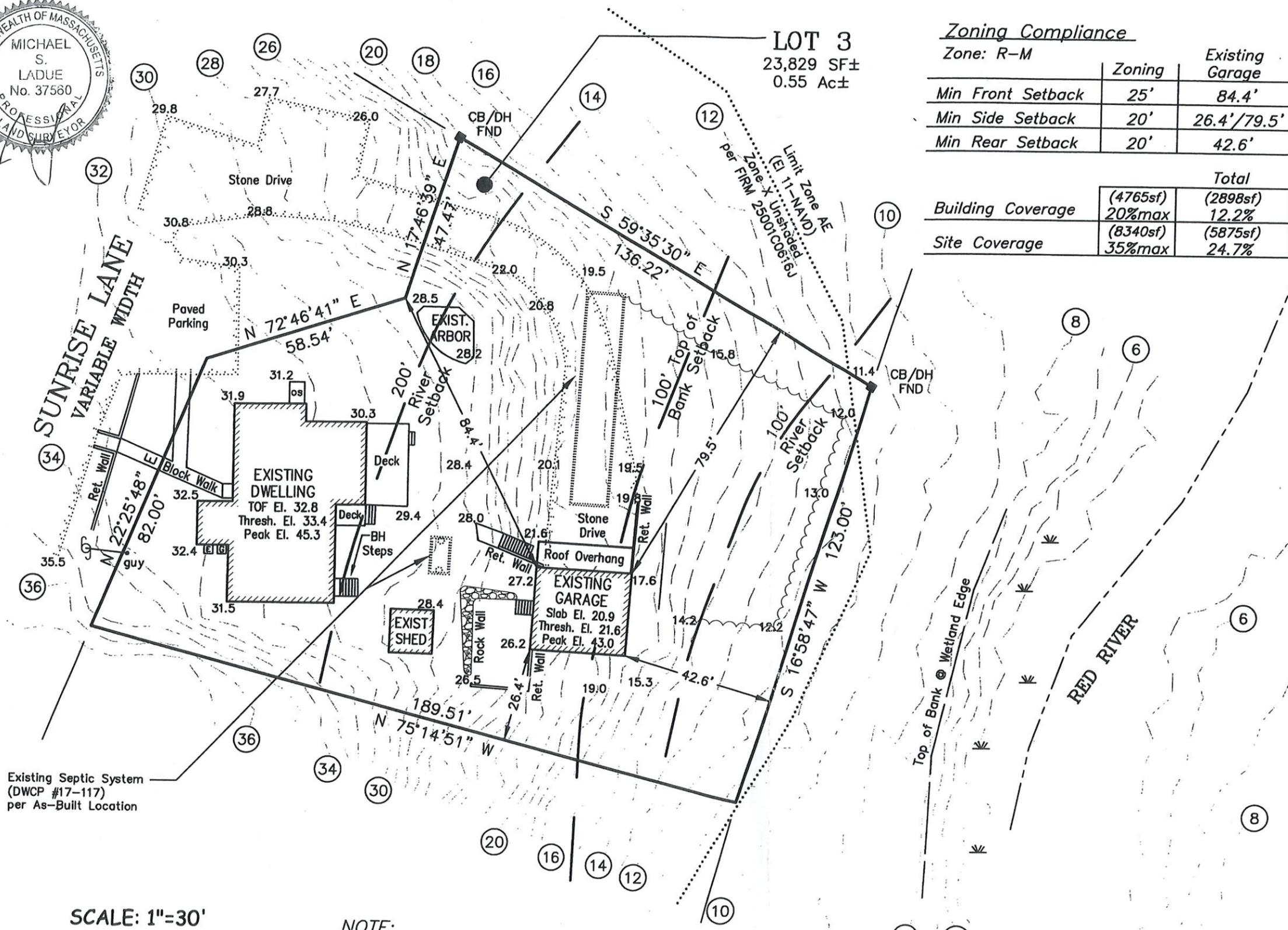
PREPARED FOR: Gerald Burke

ASSESSORS' ID: 26-E2-3 SHEET: SHEET 1

DATE: 1/15/2020 PROJECT: 20-002

Moran Engineering Associates, LLC
941 Route 28 ~ PO Box 183
South Harwich, MA 02661
508-432-2878

SUNRISE LANE
VARIABLE WIDTH



Existing Septic System
(DWCP #17-117)
per As-Built Location

SCALE: 1"=30'



*Elevation Datum is NAVD-88

NOTE:

- * The existing structures are not located within a Special Flood Hazard Area.
- ** This property is located within a Zone II, Drinking Water Protection District

NOTE:
 THE PLANS SHOWN ARE
 THE SOLE PROPERTY OF
 THE DESIGNER AND CAN
 NOT BE COPIED,
 REPRODUCED AND/OR
 ALTERED WITHOUT THE
 EXPRESS WRITTEN
 CONSENT OF THE
 DESIGNER.

DESIGNED/DRAWN BY:
 THOMAS A. MOORE DESIGN CO.
 P.O. BOX 2124 949 ROUTE 137
 BREWSTER, MA. (508) 896-6403

REMODELING FOR:
 MR. GERARD BURKE
 22 SUNRISE LN. S. HARWICH, MA

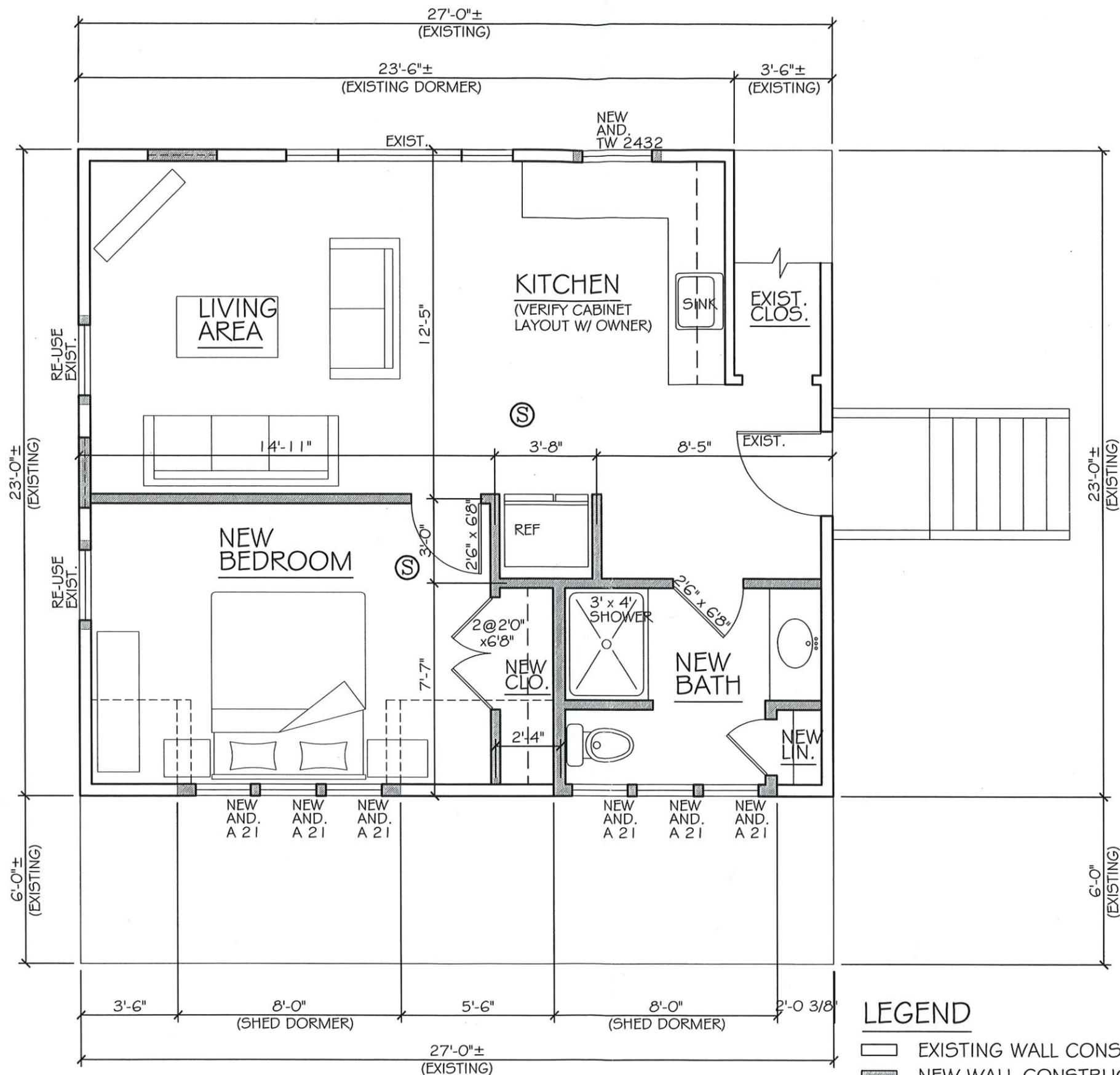
SCALE :
 1/4" = 1'-0"

DATE :
 12/31/2019

PROJ. NO.
 2019-285

DWG. NO. :

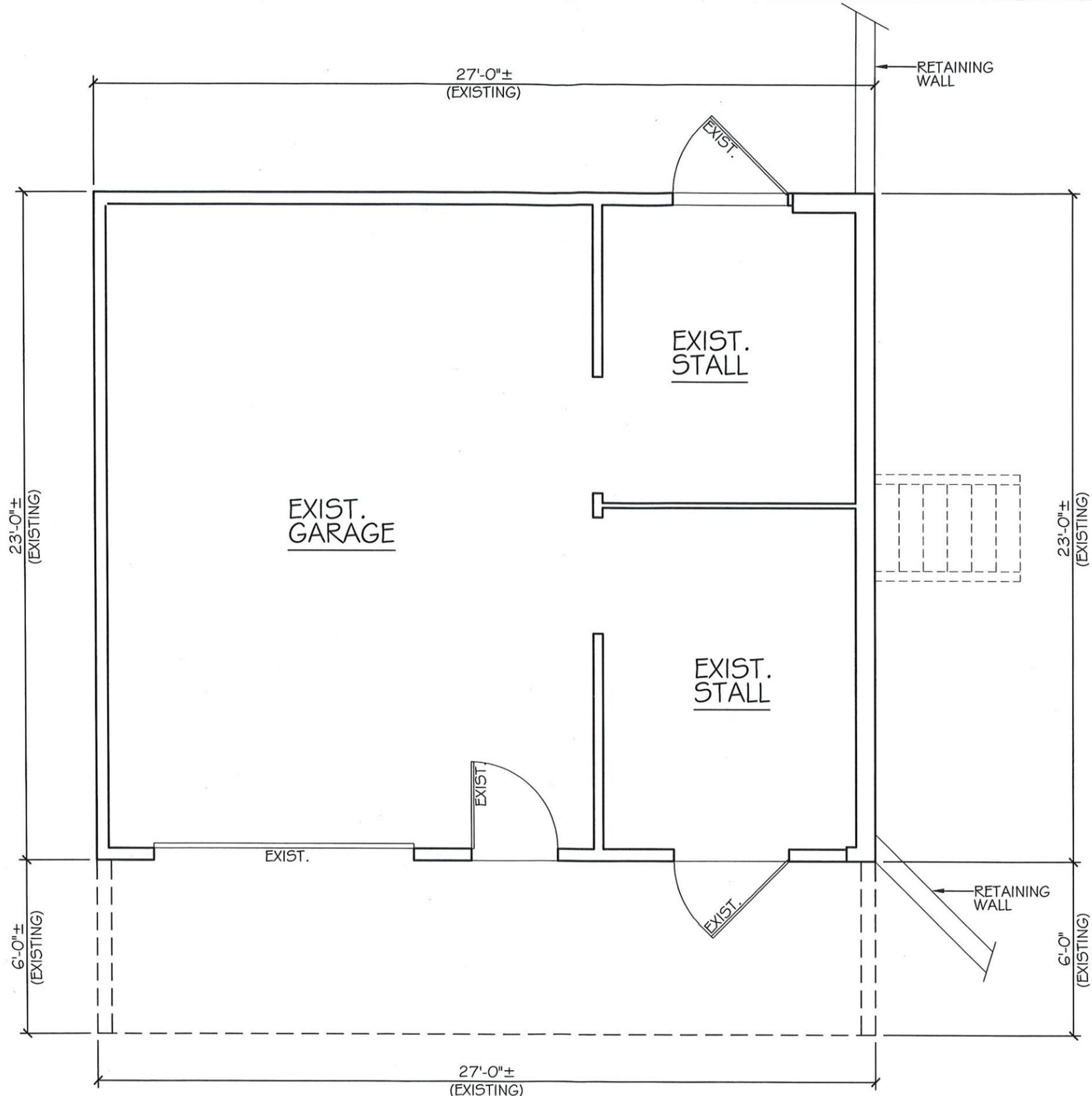
A1



LEGEND

- EXISTING WALL CONSTRUCTION TO REMAIN
- NEW WALL CONSTRUCTION
- EXISTING WALL CONSTRUCTION TO BE REMOVED
- NEW SMOKE/CARBON MONOXIDE DETECTORS

FIRST FLOOR PLAN



LOWER LEVEL FLOOR PLAN

NOTE:
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 EXPRESS WRITTEN
 CONSENT OF THE
 DESIGNER

DESIGNED/DRAWN BY:
 THOMAS A. MOORE DESIGN CO.
 P.O. BOX 2124 949 ROUTE 137
 BREWSTER, MA. (508) 896-6403

REMODELING FOR:
 MR. GERARD BURKE
 22 SUNRISE LN. S. HARWICH, MA

SCALE :
 1/4" = 1'-0"

DATE :
 12/31/2019

PROJ. NO.
 2019-285

DWG. NO. :

A2

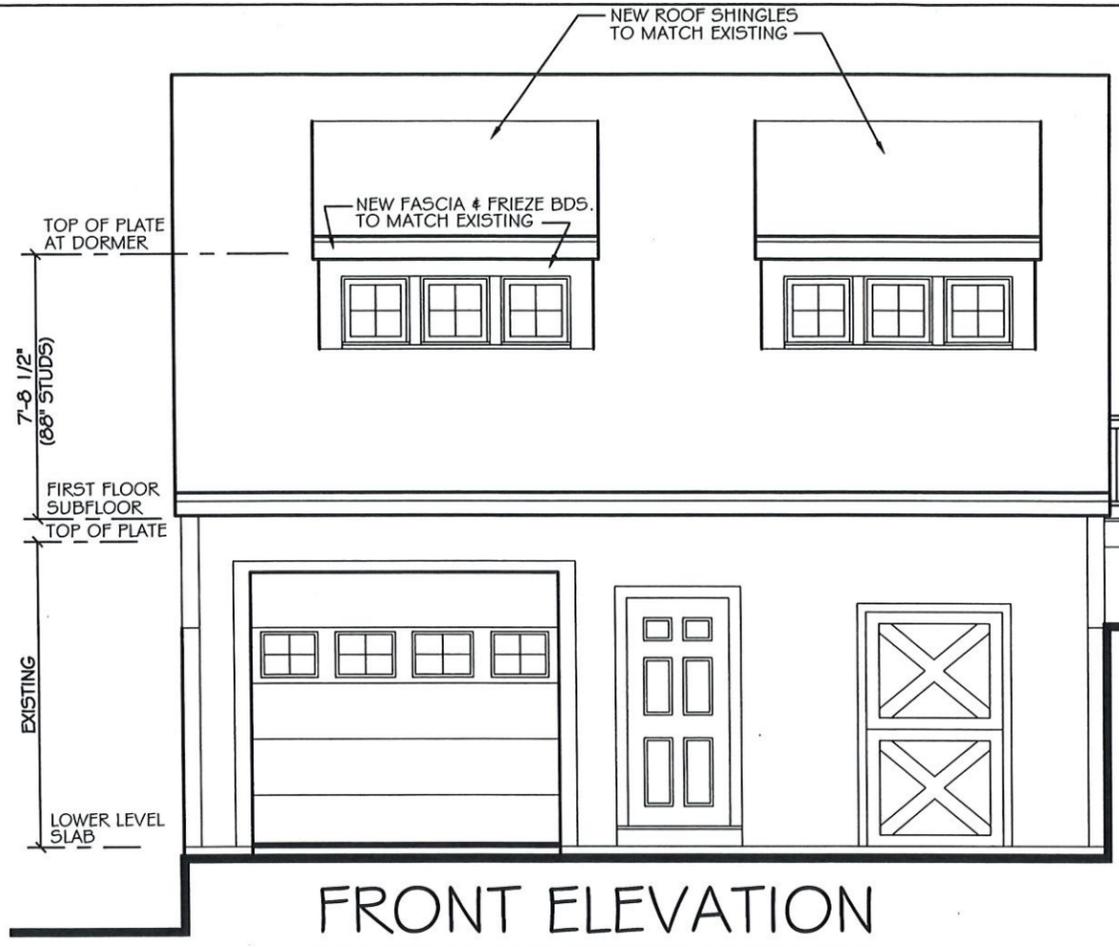
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 NOT BE COPIED,
 REPRODUCED AND/OR
 ALTERED WITHOUT THE
 EXPRESS WRITTEN
 CONSENT OF THE
 DESIGNER

DESIGNED/DRAWN BY:
 THOMAS A. MOORE DESIGN CO.
 P.O. BOX 2124 949 ROUTE 137
 BREWSTER, MA. (508) 896-6403

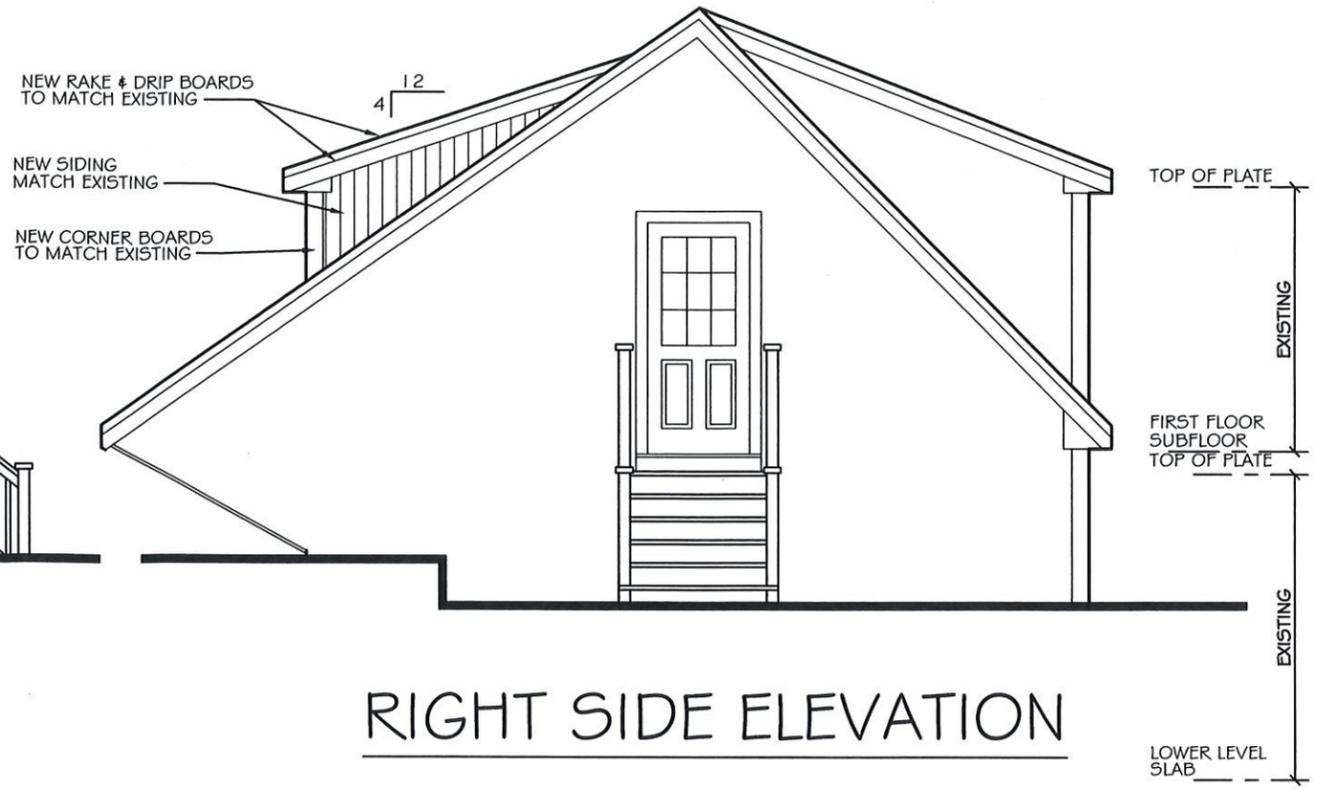
REMODELING FOR:
 MR. GERARD BURKE
 22 SUNRISE LN. S. HARWICH, MA

SCALE :
 3/16" = 1'-0"
 DATE :
 12/31/2019
 PROJ. NO.
 2019-285
 DWG. NO. :

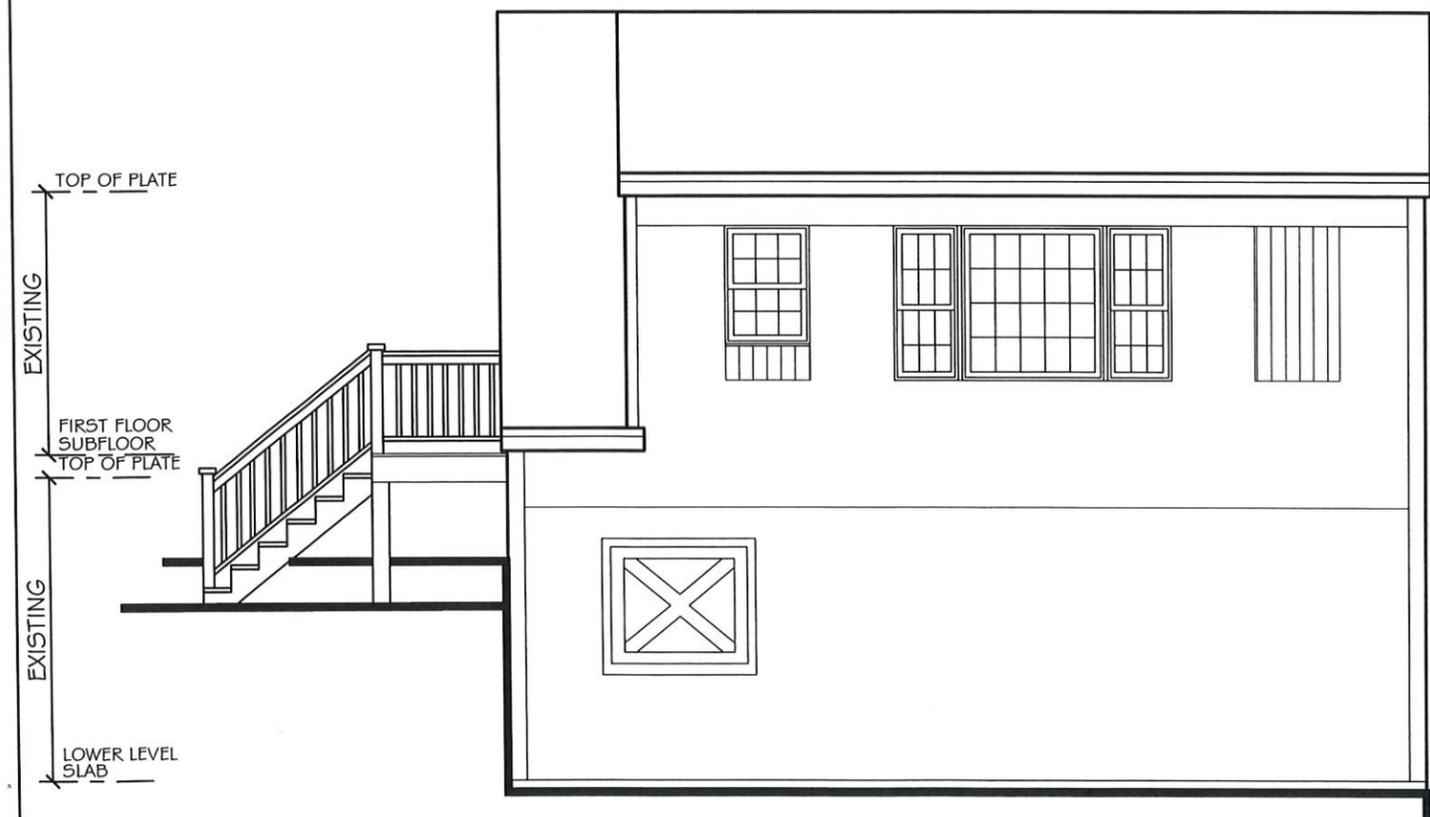
A3



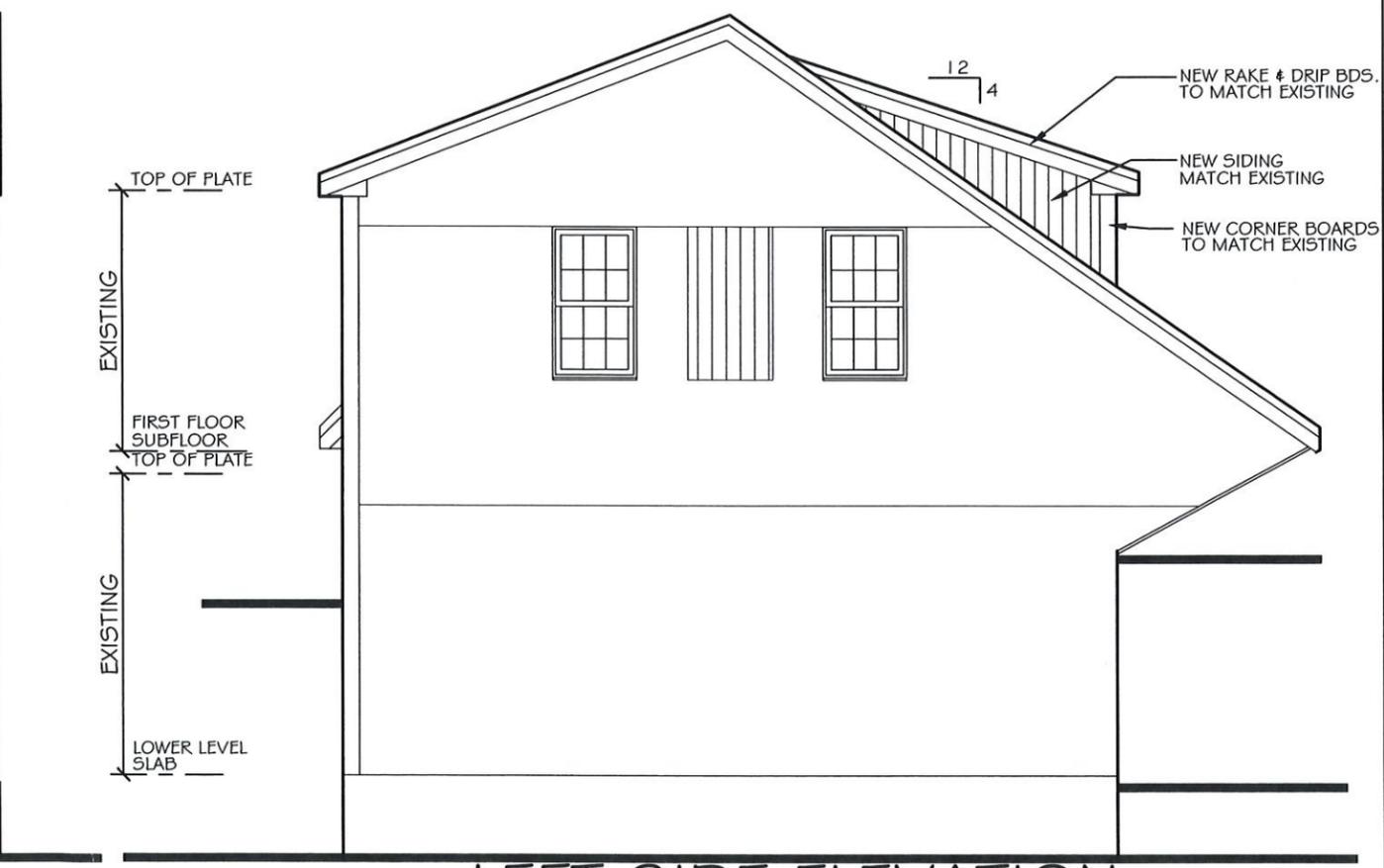
FRONT ELEVATION



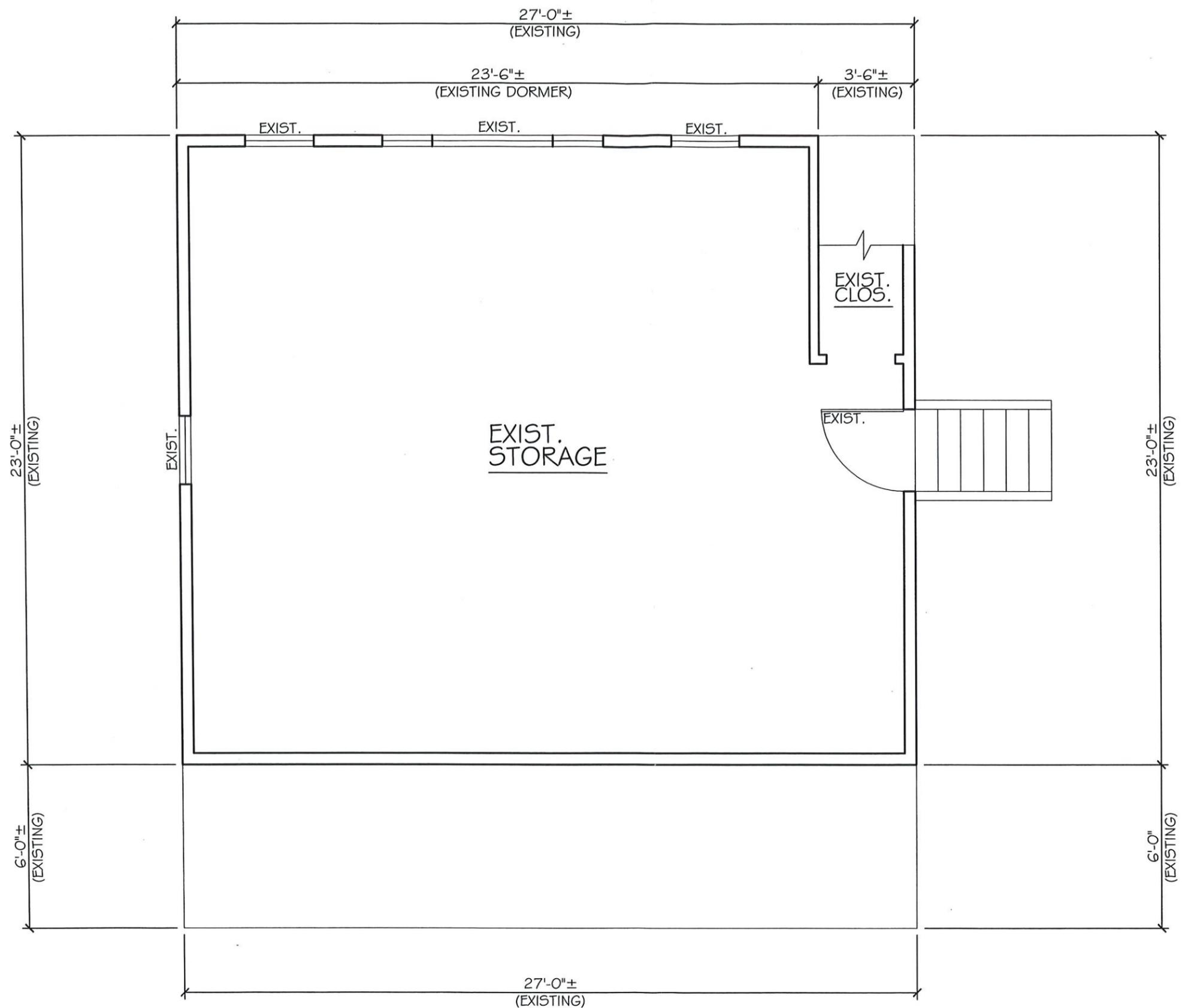
RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



FIRST FLOOR PLAN

NOTE:
 THE PLANS SHOWN ARE
 THE SOLE PROPERTY OF
 THE DESIGNER AND CAN
 NOT BE COPIED,
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 ALTERED WITHOUT THE
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 CONSENT OF THE
 DESIGNER

DESIGNED/DRAWN BY:
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EXIST. CONDITIONS FOR:
 MR. GERARD BURKE
 22 SUNRISE LN. S. HARWICH, MA

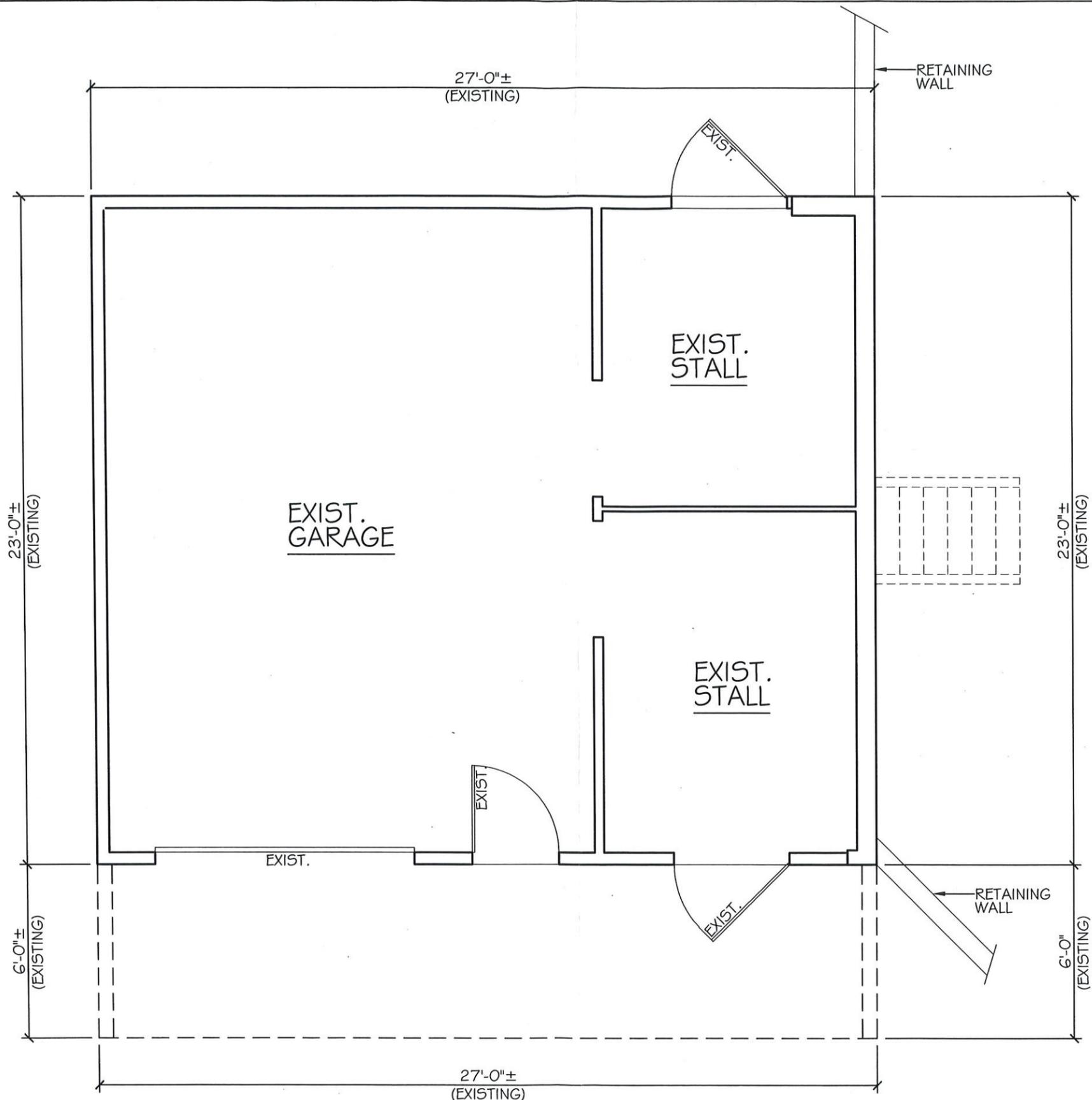
SCALE :
 1/4" = 1'-0"

DATE :
 12/31/2019

PROJ. NO.
 2019-285

DWG. NO. :

EX1



LOWER LEVEL FLOOR PLAN

NOTE:
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 BREWSTER, MA. (508) 896-6403

EXIST. CONDITIONS FOR:
 MR. GERARD BURKE
 22 SUNRISE LN. S. HARWICH, MA

SCALE :
 1/4" = 1'-0"

DATE :
 12/31/2019

PROJ. NO.
 2019-285

DWG. NO. :

EX2

NOTE:
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 DESIGNER.

DESIGNED/DRAWN BY:
 THOMAS A. MOORE DESIGN CO.
 P.O. BOX 2124 949 ROUTE 137
 BREWSTER, MA. (508) 896-6403

EXIST. CONDITIONS FOR:
 MR. GERARD BURKE
 22 SUNRISE LN. S. HARWICH, MA

SCALE :
 3/16" = 1'-0"

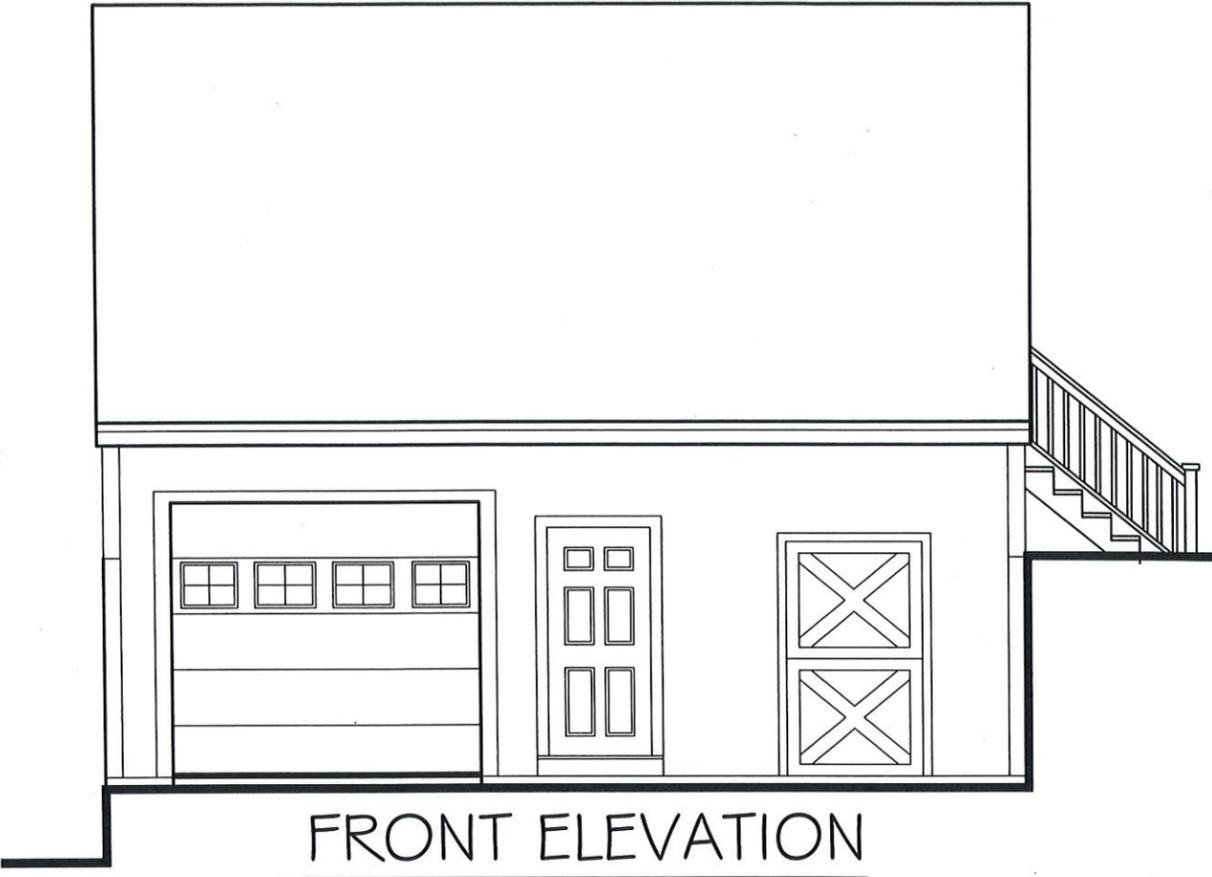
DATE :
 12/31/2019

PROJ. NO.
 2019-285

DWG. NO. :

EX3

TOP OF PLATE
 EXISTING
 FIRST FLOOR
 SUBFLOOR
 TOP OF PLATE
 EXISTING
 LOWER LEVEL
 SLAB

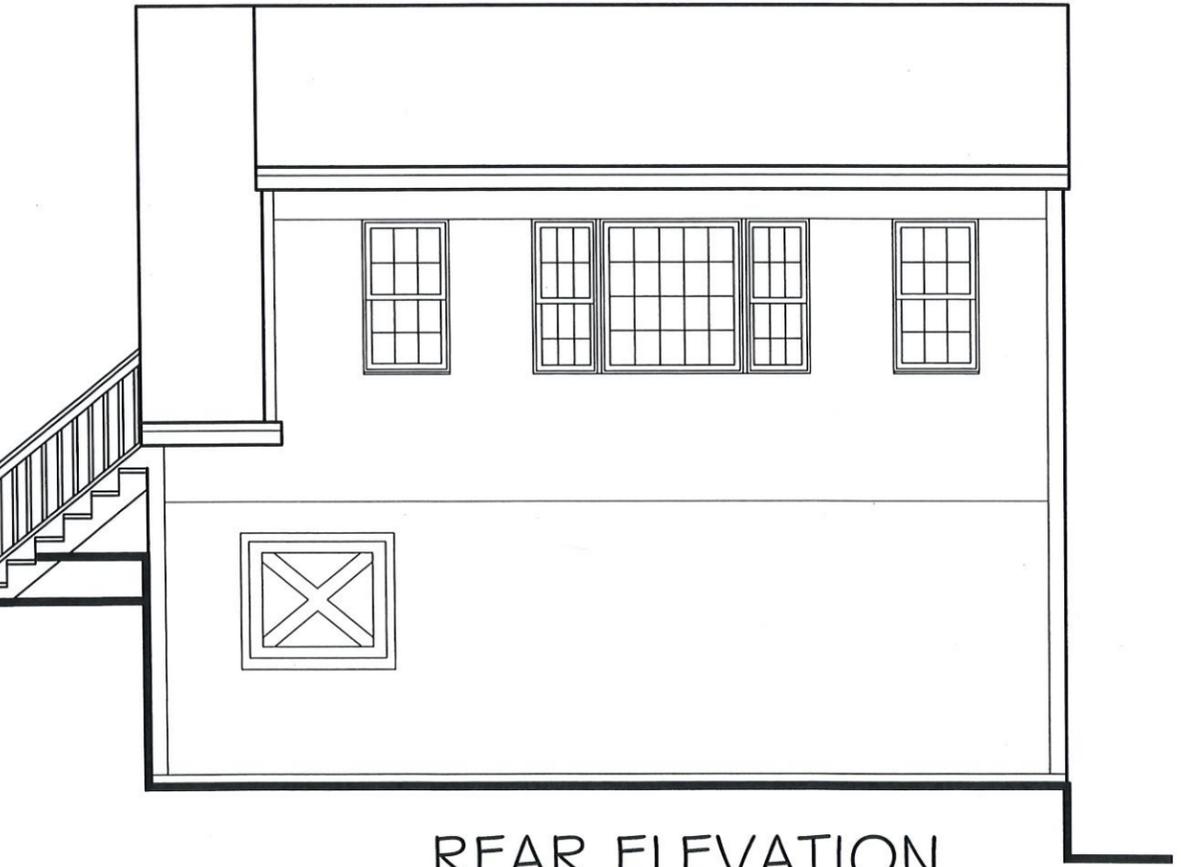


FRONT ELEVATION



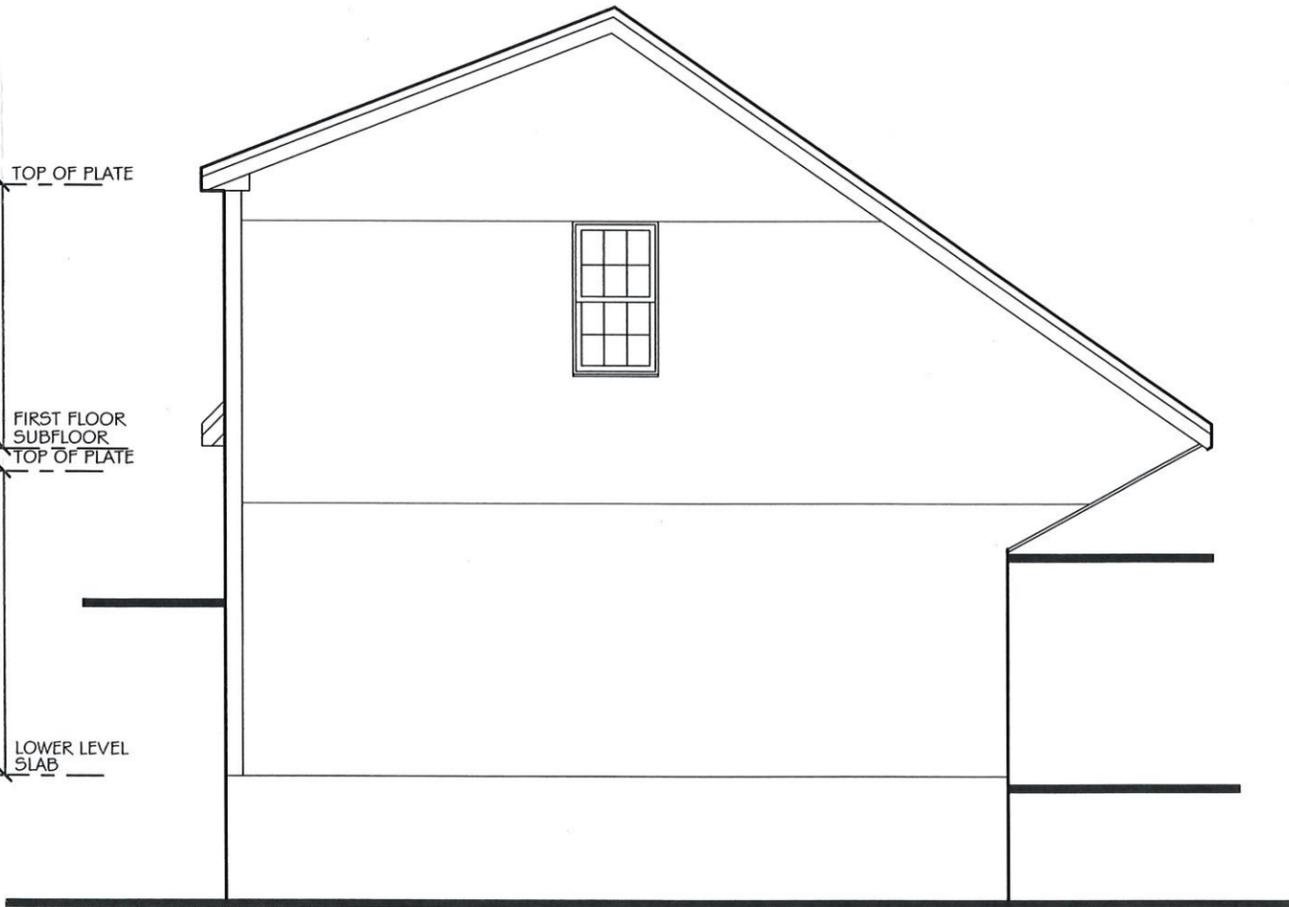
RIGHT SIDE ELEVATION

TOP OF PLATE
 EXISTING
 FIRST FLOOR
 SUBFLOOR
 TOP OF PLATE
 EXISTING
 LOWER LEVEL
 SLAB



REAR ELEVATION

TOP OF PLATE
 EXISTING
 FIRST FLOOR
 SUBFLOOR
 TOP OF PLATE
 EXISTING
 LOWER LEVEL
 SLAB



LEFT SIDE ELEVATION

Charleen Greenhalgh

From: Andrew Singer <ALSinger@singer-law.com>
Sent: Thursday, April 9, 2020 9:49 AM
To: Charleen Greenhalgh
Cc: David Reid, Esquire
Subject: PB2020-02 - 346 Route 28 and 0 Sisson Road, HP

Good Morning Charleen,

I am writing to submit the following request to the Planning Board in connection with the Board's scheduled hearing on April 28, 2020:

The Applicants in the above-referenced case respectfully request that the Planning Board's meeting scheduled for April 28, 2020, on their application for a Site Plan Review Special Permit and Use Special Permit be continued to June 9, 2020, in order to allow the Board of Appeals process to be completed.

Thank you for your continued review of this matter.

Andrew Singer

Andrew L. Singer
Law Office of Singer & Singer, LLC
26 Upper County Road
P.O. Box 67
Dennisport, MA 02639
(508) 398-2221 (tel)
(508) 398-1568 (fax)
www.singer-law.com

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April 16, 2020

Agenda Item III.A.1

To: Planning Board
From: Charleen Greenhalgh, Town Planner
Re: Staff Report – Approval Not Required (ANR) Plan

PB2020-10 Wayne Coulson, as applicant, seek endorsement of a one (1) lot Approval Not Required plan entitled “Plan of Land in Harwich, MA, Prepared for Wayne Coulson” dated December 2, 2019 prepared by Stephen B. Moore, PLS, pursuant to M.G.L. c. §81 P and §400-9 of the Codes of the Town of Harwich for property located at 0 Old Campground Road, Map 30, Parcels C6 - 610. The parcels are in the R-M zoning districts.

The application was received on March 6, 2020. Pursuant to MGL c.401, §81P, the Planning Board has 21-days to act and file a decision with the Town Clerk, that date would have been March 24, 2020; however an extension was provided by the applicant to May 1, 2020. Since the filing, an emergency order was enacted which as of March 10, 2020 put a stay on all timelines.

Pursuant to MGL c.41, §81.L the lot(s) created must have, *frontage on (a) a public way or a way which the clerk of the city or town certifies is maintained and used as a public way, or (b) a way shown on a plan theretofore approved and endorsed in accordance with the subdivision control law, or (c) a way in existence when the subdivision control law became effective in the city or town in which the land lies, having, in the opinion of the planning board, sufficient width, suitable grades and adequate construction to provide for the needs of vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon. Such frontage shall be of at least such distance as is then required by zoning or other ordinance or by-law, if any, of said city or town for erection of a building on such lot, and if no distance is so required, such frontage shall be of at least twenty feet.*

The Board may:

- 1) Vote to endorse the ANR; or
- 2) Deny the ANR specifically ***detailing*** why it does not meet the requirements for endorsement as an ANR; or
- 3) Take no action; which would result in the Town Clerk certifying that the Planning Board took no action within the statutory time.

The applicant’s attorney provided the following along with the application and plan:

1. Email from Attorney William Crowell dated April 13, 2020, including:
 - a. Deed in Book 316 Page 472 dated June 18, 1912 that refers to this area as “Nickerson’s Neck” which it is still commonly known as and also refers to it being bounded on the south by “The Old Campground Road so-called.”

- b. Copy of the unrecorded plan for Varanus Nickerson that was created sometime prior to 1917 and which shows Gilbert Lane and what is known as “The Old Campground Road” extending westerly to the subject lot.
 - c. A copy of the assessors map together with a Deed recorded in Book 3081 Page 42.
2. Letter from Fire Chief Clark, dated April 6, 2020.

Staff comments:

Planning:

1. A revised plan is needed showing the FEMA Flood Information.
2. Although the Fire Chief has provided a letter indicating that he finds that the *road meet the Fire Department’s criteria for safe access*, I continue to have concerns that Old Campground Road provides for safe and adequate access and frontage.
3. The plan provided by the attorney is not a recorded plan. I have not found a plan showing Old Campground Road.
4. If the Board is satisfied by the information provided by the attorney, it should vote to endorse the plan as Approval Not Required.
5. **Most important**, if the Board does vote to endorse this plan, it is unclear as to when that will be able to occur. Town Hall is currently closed with limited access for specific employees only. Endorsement may have to wait until after the declared emergency is over.

Police: No comments

Conservation: No issues with reconfiguration of lot lines. Owner is aware of process for developing lots in Conservation jurisdiction as he is going through it with neighboring lots.

Health: When the lot is eventually developed, no variances from state or local regulations will be granted.

Findings (vote to adopt):

*This is a **positive finding** the Board may choose to make:*

Said plan does not constitute a subdivision as the way shown on the plan is a way in existence when the subdivision control law became effective in the town and has, in the opinion of the planning board, sufficient width, suitable grades and adequate construction to provide for the needs of vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon.

*This is a **negative finding (denial)** the Board may choose to make:*

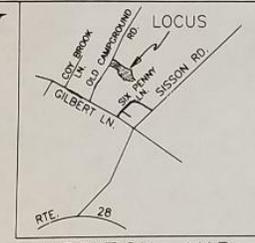
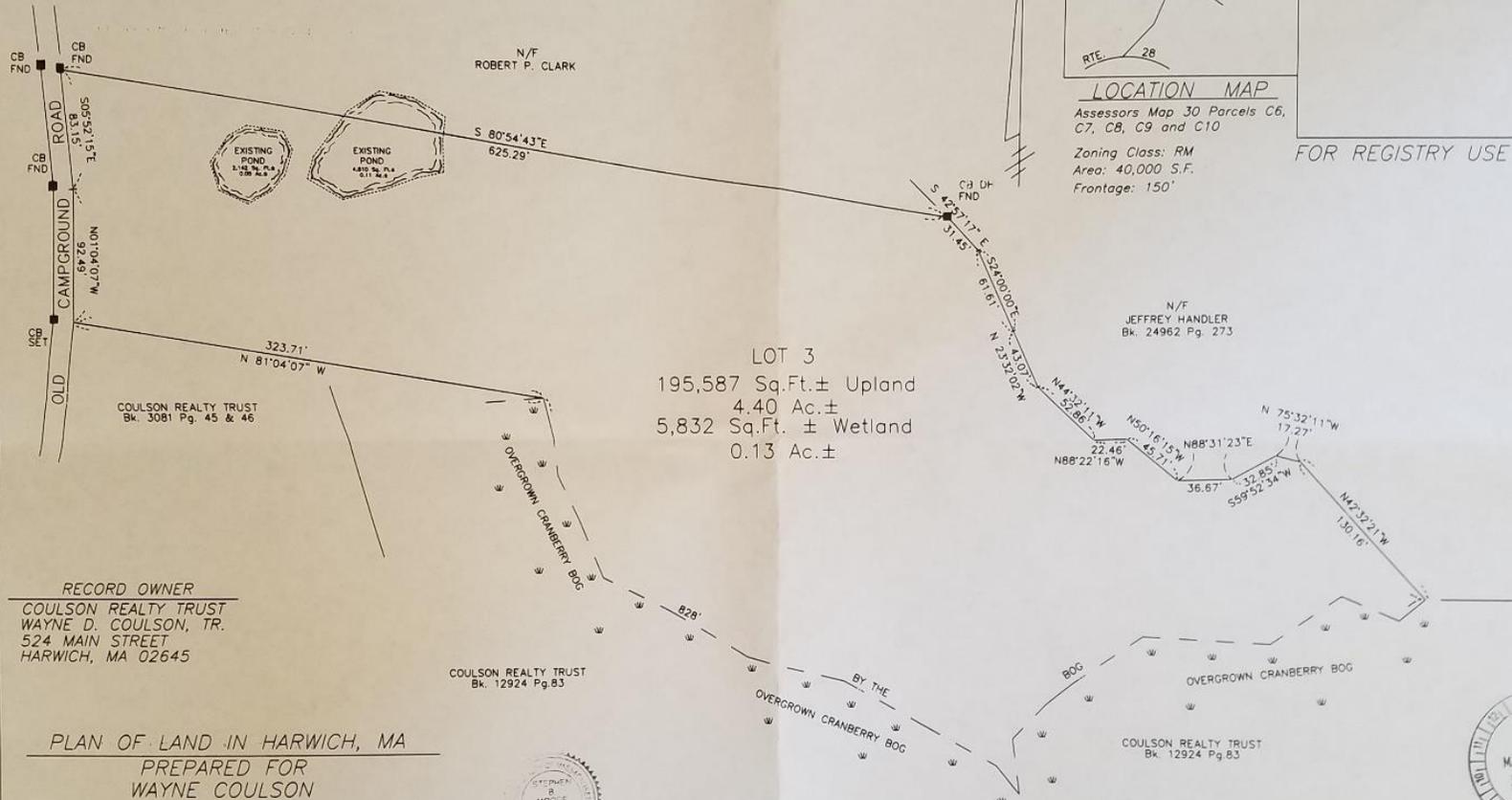
The way shown on the plan is not a way in existence when the subdivision control law became effective in the town and has, in the opinion of the planning board, does not have sufficient width, suitable grades and adequate construction to provide for the needs of vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon.

Board Vote: *This is a suggested motion, the Board may choose to deny or to take no action.*

Motion to endorse (or deny) the ANR plan entitled “Plan of Land in Harwich MA Prepared for Wayne Coulson, prepared by Moore Surveying, dated December 2, 2019, Scale 1” = 50’.

I certify that this plan has been prepared in conformity with the rules and regulations of the Registers of Deeds of the Commonwealth of Massachusetts.

Stephen B. Moore
PROFESSIONAL LAND SURVEYOR



FOR REGISTRY USE ONLY

RECORD OWNER
COULSON REALTY TRUST
WAYNE D. COULSON, TR.
524 MAIN STREET
HARWICH, MA 02645

PLAN OF LAND IN HARWICH, MA
PREPARED FOR
WAYNE COULSON

PLAN BY: MOORE SURVEYING
496 FOREST ROAD
SOUTH YARMOUTH, MA 02664
774-268-2035

SCALE: 1" = 50' DATE: December 2, 2019



Deed References: Bk. 595 Pg. 185 (R.O.W.)
Bk. 12924 Pg. 83
Bk. 3081 Pg. 42

Plan References: Pl. Bk. 122 Pg. 85
Pl. Bk. 249 Pg. 35
Pl. Bk. 417 Pg. 90
Pl. Bk. 442 Pg. 49
Pl. Bk. 454 Pg. 46
Pl. Bk. 506 Pg. 49
L.C. Plan 35810-A

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS NOT REQUIRED.
HARWICH PLANNING BOARD



DATE OF APPLICATION: _____
DATE SIGNED: _____

Charleen Greenhalgh

From: Sally at William D. Crowell <wcrowell.office1@comcast.net>
Sent: Monday, April 13, 2020 9:53 AM
To: Charleen Greenhalgh
Attachments: CoulsonSKM_364e20041308410.pdf

Hi Charlene:

Attached please find a copy of check #5955 from my client for \$525.00 for the filing fee. Please let me know if you want me to drop this in a box at Town Hall or send it to you. Also attached is a Deed in Book 316 Page 472 dated June 18, 1912 that refers to this area as "Nickerson's Neck" which it is still commonly known as and also refers to it being bounded on the south by "The Old Campground Road so-called." Also attached is a copy of the unrecorded plan for Varanus Nickerson that was created sometime prior to 1917 and which shows Gilbert Lane and what is known as "The Old Campground Road" extending westerly to the subject lot. It is my understanding that they held spiritualist religious meetings in the area of "The Old Campground Road" which is why it's called "Nickerson's Neck and "The Old Campground Road". Also attached is a copy of the assessors map together with a Deed recorded in Book 3081 Page 42. My client has indicated that Parcel 1 in said deed is C10 and Parcel 5 is C9 on the assessors map. You should also note that Christopher Hemeon has resided in a dwelling on Parcel C1 for over twenty years and the Town of Harwich in the last 5-10 years constructed an affordable housing building on Parcel A-3 located on "The Old Campground Road."

It is my understanding that the Surveyor, Steve Moore, will be providing flood plain information soon. I believe we have a difference of opinion, as we have in the past, regarding "upland" as it is my understanding that land area in the "buffer zone" that is subject to the Wetlands Protection Act and Conservation Commission jurisdiction is nevertheless still countable in determining the total amount of square footage necessary to meet the minimum lot size for a buildable lot.

Thank you,

Bill

*William D. Crowell, Esq.
P.O. Box 185 - 466 Main Street
Harwich Port, MA 02646
Phone: 508-432-1643
Fax: 508-430-0631
e-mail: wcrowell.office1@comcast.net*

Please note: We have changed our email provider from Verizon to Comcast. Please send all future emails to wcrowell.office1@comcast.net. If you need further verification, please don't hesitate to contact our office.

Know all men by these presents,

That I Sarah N. Nickerson of Warwick County of Barnstable State of Massachusetts wife of Varnum Nickerson of said state aforesaid

IN CONSIDERATION OF Twenty five dollars paid by The town of Warwick

the receipt whereof is hereby acknowledged, do hereby give, grant, bargain, sell, and convey unto the said Town of Warwick a piece of land Situated in Warwick on Nickersons Neck So called, bounded and described as follows. It is commencing at the North East corner running Southwely by the old camp ground road So called, Seven rods fifteen links. Thence westerly by land of Abbie G. Barrett Eleven rods. Thence Northwely Seven rods, fifteen links by my land to Philip G. Nickerson range. Thence Easterly by said Nickersons range to the first mentioned bound containing about one half acre.

TO HAVE AND TO HOLD the granted premises with all the privileges and appurtenances thereto belonging to the said Town of Warwick grantee and its Heirs and Assigns to their own use and behoof forever.

And I hereby for myself and my Heirs, Executors and Administrators, covenant with the said grantee and its Heirs and Assigns that I lawfully seized in fee simple of the granted premises: that they are free from all incumbrances

That I have good right to sell and convey the same as aforesaid and that I will, and my Heirs, Executors, and Administrators shall WARRANT AND DEFEND the same to the said grantee and its Heirs and Assigns forever against the lawful claims and demands of all persons.

And for the consideration aforesaid I Sarah N. Nickerson

do hereby release unto the said grantee and its Heirs and Assigns all right of or to both DOWER and HOMESTEAD in the granted premises, and all other rights and interests therein.

IN WITNESS WHEREOF I the said Sarah N. Nickerson and my husband Varnum Nickerson

have hereunto set our hand and seal this 15th day of June

in the year One Thousand Nine Hundred and Twelve and Signed, Sealed, and Delivered, in presence of

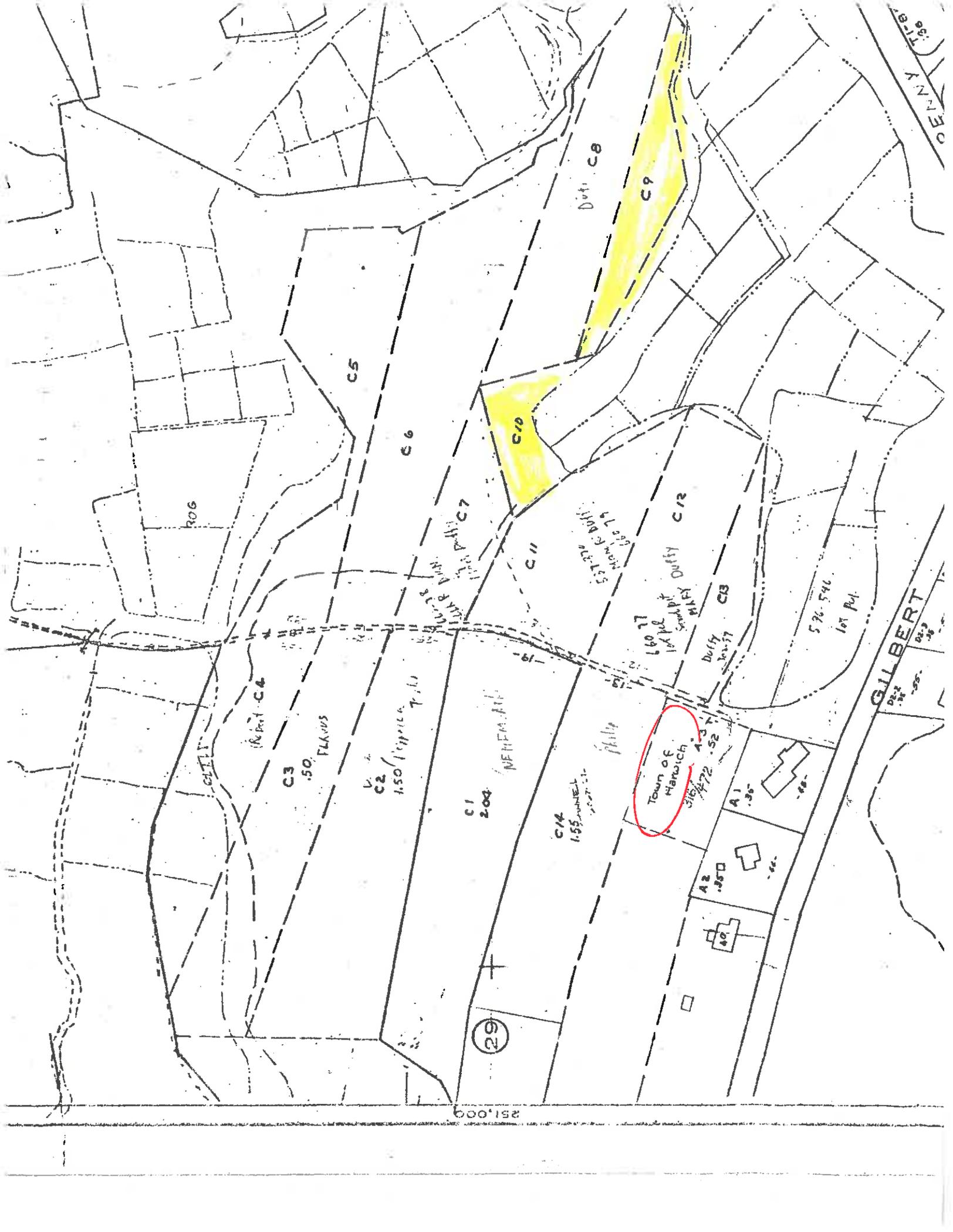
Sarah N. Nickerson (ss)
Varnum Nickerson (ss)

COMMONWEALTH OF MASSACHUSETTS, Barnstable ss.

July 3d 1912

Then personally appeared the above-named Sarah N. Nickerson and acknowledged the foregoing instrument to be her free act and deed; before me

Benjamin S. Kelley JUSTICE OF THE PEACE



19-38-1788
CENNY

Duff C8

C9

C5

C6

C10

C11

C12

C13

C1
204

C14
155

(Part) C4

C3
.50

C2
1.50

A1
.36

A2
.85

Town of Manwich

29

251,000

GILBERT

576-546
lot 104

660
Duff C12

Duff C13

FLAVUS

1.50

MEMPHIS

306

CITY

19-38-1788

I, GERALD L. DUFFY, of Boston, Suffolk County, Massachusetts,
for consideration paid, and in full consideration of Two
Thousand Dollars (\$2,000.00),

grant to WAYNE D. COULSON, of Depot Road, Harwich (North),
Barnstable County, Massachusetts, 02645,

with OUTSTANDING ENCUMBRANCES

the land in Harwich, Barnstable County, Massachusetts, being more
particularly bounded and described as follows:

PARCEL 1.

A certain parcel of land in that part of said Harwich, known
as Nickerson's Neck, bounded and described as follows:

On the North by property formerly of Flavius Nickerson;

On the East by a dike;

On the South by land formerly of Nehemiah Nickerson; and

On the West by a wood road.

Containing about one-third (1/3) of an acre, more or less; and
being property formerly of Rebecca K. Taylor, and being a part of
Lot #5 shown on the chart.

For my title, see deed from Tierachun Corp. to me dated
November 16, 1965. See also, deed recorded with Barnstable
Registry of Deeds in Book 660, Page 72.

PARCEL 2.

The land in that part of Harwich known as Nickerson's Neck,
bounded and described as follows:

NORTHEASTERLY by land now or formerly of the heirs of Nehemiah K.
Nickerson;

SOUTHEASTERLY by land of owners unknown;

SOUTHWESTERLY by land of owners unknown;

NORTHWESTERLY by the road leading north into Nickerson's Neck;

and being a portion of Lot 3 on Plan of Property of Varanus
Nickerson, and a portion of the land conveyed to Maurice N.
Eldredge by deed of Philip L. Nickerson dated September 28, 1940,
recorded with Barnstable County Deeds, Book 571, Page 206.

For my title, see deed from Tierachun Corp. to Gerald L. Duffy
dated November 16, 1965. See also, deed recorded with Barnstable
Registry of Deeds in Book 660, Page 72.

PARCEL 3.

Also another parcel of land on said Nickerson's Neck northerly
from the parcel above described, and bounded and described as
follows:

Commencing at the Northeast corner by trees marked:

3082/42
PG 2

N 28° W in said Rebecca's range to the said road leading north into Nickerson's Neck; thence

Northerly by said road; thence

Easterly by land of Robert P. Clark to the first mentioned bound.

being a part of the land conveyed to Maurice N. Eldredge by deed of Henry K. Bearer, Treasurer of the Town of Harwich dated July 23, 1940, recorded with Barnstable County Deeds, Book 568, Page 315.

For my title, see deed from Tierachun Corp. to Gerald L. Duffy dated November 16, 1965. See also, deed recorded with Barnstable Registry of Deeds in Book 660, Page 77.

PARCEL 4.

A certain parcel of woodland and scrub land at Nickersons Neck, so-called, on the south side of the neck, commencing at the Northeast corner of the premises and running southerly and westerly by land now or formerly of Nehemiah Nickerson and cranberry swamp formerly belonging to Philip T. Nickerson, Rebecca K. Taylor and Frederick Baker to swamp now or formerly of Ezra H. Taylor; thence

North 28° E in said Rebecca's range to the road; thence

Easterly by said road to the first mentioned bound.

Containing five (5) acres, more or less. Excepting any land conveyed out of said parcel.

For my title, see deed from Tierachun Corp. to Gerald L. Duffy dated November 16, 1965.

PARCEL 5.

Beginning at the Southwest corner of the premises; thence

Running Northerly to land now or formerly of Rebecca K. Taylor; thence

Running Southeasterly by said Taylor land to swamp now or formerly of Abner L. Small; thence

Southwesterly by said swamp to a point; thence

by three courses, Northwesterly, Westerly and again Northwesterly by swamp formerly of Nehemiah E. Nickerson and swamp of Abitha Doane to the point of beginning.

For my title, see deed from Tierachun Corp. to Gerald L. Duffy, dated November 16, 1965. See also, deed recorded with Barnstable Registry of Deeds in Book 621, Page 500.



Harwich Fire Department



Fire Suppression

Prevention

Emergency Services

Norman M. Clarke Jr., **Chief of Department**

David J. LeBlanc, **Deputy Fire Chief**

April 6, 2020

Charleen Greenhalgh
Town Planner
Town of Harwich
732 Main Street
Harwich, Ma. 02645

RE: PB2020-10 Coulson Realty Trust ANR

Charleen I have reviewed the proposal and have done a site visit to the property on Old Campground Road in Harwich. The road surface and clearances are proper and meet the Fire Department's criteria for safe access. I support Mr. Coulson acting as Coulson Realty Trust in their request for approval.

Norman M. Clarke Jr.
Chief of the Department

Cc: W. Coulson
Attorney William Crowell

Massachusetts Deed Indexing Standards 2018

April 2020 Amendment

The Massachusetts Registers and Assistant Registers of Deeds Association has adopted the following Amendment to the Massachusetts Deed Indexing Standards 2018. This amendment is effective April 17, 2020.

13-7. Electronic Signatures by Municipal Boards – The following procedure is recommended for municipal boards and committees that wish to execute documents in accordance with Massachusetts General Laws chapter 110G (Uniform Electronic Transaction Act) which documents are then to be recorded at the registry of deeds.

1. At a properly called meeting, the municipal board or commission should formally vote that the board recognizes and accepts the provisions of M.G.L. c.110G regarding electronic signatures and that its members will henceforth execute documents either with electronic signatures or with wet ink signatures and that both will carry the same legal weight and effect.
2. The board then records at the registry of deeds a Certificate of Vote that provides the language of the motion that was made regarding electronic signatures and attests to the vote taken, and obtains the Town Clerk's certification.
3. Then, board members may cause their electronic signature to be affixed to permitting or compliance documents that have been approved by a board vote. Such electronically signed documents should also include a statement that the signatures are made in accordance with M.G.L. c.110G and pursuant to the board's electronic signature authorization vote recorded on [DATE] in [BOOK and PAGE or REG. LAND DOCUMENT NUMBER] at the [NAME OF REGISTRY] Registry of Deeds.
4. Any document so executed shall be accepted for recording at the registry of deeds either in electronic form or as a paper print of the electronically executed document.

This procedure has been authorized by Land Court for use with Registered Land but only for the duration of the COVID-19 emergency declaration in the Commonwealth of Massachusetts.

**HARWICH PLANNING BOARD
HARWICH TOWN HALL - 732 MAIN STREET- GRIFFIN ROOM
VIA REMOTE PARTICIPATION*
TUESDAY, APRIL 14, 2020 – 6:30 PM
MEETING MINUTES**

BOARD MEMBERS PRESENT: Chairman, Joseph McParland; Vice-Chairman, Alan Peterson; Mary Maslowski; Duncan Berry; William Stoltz; Craig Chadwick; Arthur Rouse; and David Harris were all present via remote participation in conformance with Governor Baker’s March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law.

BOARD MEMBERS ABSENT: None.

OTHERS PRESENT VIA REMOTE PARTICIPATION: Town Planner, Charleen Greenhalgh; Attorney Ben Zehnder, Channel 18 Director Jamie Goodwin

CALL TO ORDER - 6:39 PM by Mr. McParland with a quorum present.

The Chair read the following into the record: *Pursuant to Governor Baker’s March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, G.L. c. 30A, §20, and the Governor’s March 15, 2020 Order imposing strict limitations on the number of people that may gather in one place, this meeting of the Harwich Planning Board is being conducted via remote participation. No in-person attendance of members of the public will be permitted, but every effort will be made to ensure that the public can adequately access the proceedings as provided for in the Order. A reminder that persons who would like to listen or view this meeting while in progress may do so by logging in or calling in as specified above on this agenda.

Roll call attendance was taken at 6:40 PM.

PB2019-45 Roval Apartments LLC, 328 Bank Street, Multi-Family Use Special Permits

Representatives: Ben Zehnder

Chairman McParland re-opened the hearing at 6:41 PM. Applicant seeks approval of a Multi-Family Use Special Permits in the Harwich Center Overlay District and a Site Plan Review Special Permit for the proposed use and additional parking and other appurtenances pursuant to the Code of the Town of Harwich §§325-51.D and -51.O and 325-55. The property is located at 328 Bank Street, Map 41, Parcel N4 in the M-R-L, Harwich Center Overlay and Historic Districts. Continued from March 10, 2020. Please Note: the applicant has requested a continuance to May 12, 2020.

At 6:43 PM Mr. Berry made the motion to continue the hearing to May 12, 2020 no earlier than 6:30 PM, seconded by Mr. Chadwick, unanimously so voted via roll call.

PROPOSED AMENDMENT TO THE HARWICH ZONING CODES:

Chairman McParland re-opened the hearing at 6:44 PM. Article ___: To amend the Code of the Town of Harwich, §325-4 and Attachment 4 –The Zoning Map, by extending the Industrial (I-L)

Zoning District westerly along Queen Anne Road and the existing I-L zoning district as shown on the amended Zoning Map, dated January 23, 2020, a copy of which is on file in the Town Clerk's Office. Please Note: At the request of the Planning Board Chair, no testimony will be taken at this meeting.

At 6:45PM Ms. Maslowski made the motion to continue the hearing to Thursday, May 28, 2020, no sooner than 6:30pm, seconded by Mr. Berry, unanimously so voted via roll call.

NEW BUSINESS: None.

MEETING MINUTES: Vice Chairman Peterson made the motion to approve the minutes from March 10, 2020, seconded by Mr. Stoltz, unanimously so voted via roll call.

OLD BUSINESS: Zoning Amendment relative to the deletion of the definition of "Essential Services"

Mrs. Greenhalgh updated the Board on the opinion from Town Counsel, who opined that deleting the definition of essential service would have no negative impact. There was no further discussion.

BRIEFINGS AND REPORTS BY BOARD MEMBERS:

Mrs. Greenhalgh made the announcement that she will not be retiring until November.

ADJOURNMENT:

Ms. Maslowski made the motion to adjourn at 6:50PM, seconded by Mr. Stoltz, unanimously so voted via roll call.

Respectfully submitted,

Kathleen Tenaglia, Board Secretary

Adopted:

*Memorandum from
Charleen Greenhalgh, Town Planner
Town of Harwich*

AGENDA ITEM III.C

April 17, 2020

To: Planning Board
From: Charleen Greenhalgh, Town Planner
Re: Rescheduling of Second Meeting in June

As you may know by now, the Harwich Annual Town Meeting date has been cancelled and tentatively rescheduled for Monday, June 22, 2020.

The Planning Board has a regularly scheduled meeting on Tuesday, June 23, 2020. Quite typically Town meeting goes more than one evening; therefore the second meeting date in June for the Planning Board will need to be changed.

My recommendation is to go from Tuesday, June 23rd to Thursday, June 25th.

The following Tuesday, June 30th, will be the Town's Annual Election and the Planning Board cannot hold hearings on the same day as an election.

Recommended Motion:

Move to revise the 2020 Harwich Planning Board Schedule by changing the second meeting in June from Tuesday, June 23, 2020 to Thursday, June 25, 2020.

Revised 2020 Harwich Planning Board Schedule*

Hearing/Meetings are held at 6:30pm, Griffin Room Town Hall

Applications, Forms, and Fee Schedule and the Code of Town of Harwich (including zoning and Rules and Regulations) are available on the Planning Department Home Page

www.harwich-ma.gov

<u>HEARING/MEETING DATE</u> Tuesday of month unless noted	<u>FILING DEADLINE</u> (Tuesday at 3 pm, unless noted)
January 14, 2020	December 10, 2019
January 28, 2020	December 20, 2019 (Friday Noon)
February 11, 2020	January 7, 2020
February 25, 2020	January 21, 2020
March 10, 2020	February 4, 2020
March 24, 2020	February 18, 2020
April 14, 2020	March 10, 2020
April 28, 2020	March 24, 2020
May 12, 2020	April 7, 2020
May 28, 2020 (Thursday)	April 21, 2020
June 9, 2020	May 5, 2020
June 23 25, 2020 (Thurs)	May 19, 2020
July 14, 2020	June 9, 2020
July 28, 2020	June 23, 2020
August 11, 2020	July 7, 2020
August 25, 2020	July 21, 2020
September 10, 2020 (Thursday)	August 4, 2020
September 22, 2020	August 18, 2020
October 6, 2020	September 1, 2020
October 27, 2020	September 22, 2020
November 10, 2020	October 6, 2020
November 19, 2020 (Thursday)	October 13, 2020
December 1, 2020	October 27, 2020
December 17, 2020 (Thursday)	November 10, 2020

*Applications requiring public hearings are subject to this schedule and include **Site Plans, Special Permits, Site Plan Waiver and Definitive Plans**

All other applications (not requiring a public hearing) are not subject to this filing deadline schedule; **HOWEVER**, they must be filed no less than 10-days prior to a scheduled meeting. Applications will be scheduled accordingly and include **Preliminary Plans** (decisions must be rendered within 45 days of filing), **Approval Not Required Plans (ANR)** (decisions rendered within 21 days of filing), **Informal Discussions, Waiver of Site Plan Requests**, etc.

For appointments and requests for accommodations, please call 508-430-7511 or

E-mail cgreenhalgh@town.harwich.ma.us. Or ebanta@town.harwich.ma.us

Incomplete application packets may result in delays. Schedule subject to change.