

Harwich Planning Board Agenda
Thursday, September 10, 2020 – 6:30 PM
Griffin Room, Town Hall, 732 Main Street, Harwich
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- I. **Call to Order** Pursuant to Governor Baker’s March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, G.L. c. 30A, §20, and the Governor’s March 15, 2020 Order imposing strict limitations on the number of people that may gather in one place, this meeting of the Harwich Planning Board is being conducted via remote participation. No in-person attendance of members of the public will be permitted, but every effort will be made to ensure that the public can adequately access the proceedings as provided for in the Order. A reminder, persons who would like to listen or view this meeting while in progress may do so by logging or calling in or calling as specified above.
- II. **Public Hearing:**
 - A. Continued **PB2020-02 Steve Gopoyan & Swavi Osev**, as applicant/tenant, c/o Andrew Singer, Esq., Emulous E Hall, et als., as owners, seeks approval of a Site Plan Review Special Permit and a Use Special Permit with waivers, pursuant to the Code of Town of Harwich §§325-13, ¶IV Line 30, -55 and -51 to construct a miniature golf course and expand and improve the parking and vehicle access. The property is located at 346 Route 28 and 0 Sisson Road, Maps 21, Parcels N1 & N2, respectively, in the C-H-1 and R-M zoning districts. Continued from 8/25/20.
 - B. **PB2020-23 Wychmere Harbor Real Estate LLC**, applicant & owner, c/o Attorney Andrew Signer, representative, seeks to amend a Site Plan Review Special Permit and a Special Permit for a structure greater than 7,500 s.f. granted in Case PB2019-27, or in the alternative a new Special Permit, to make alterations to the previously approved design at the north and south ends of the replacement restaurant building as well as reducing the size of the gatehouse building and accompanying landscape revisions. The application is pursuant to the Code of the Town of Harwich §325-55 (Site Plan Review), §325-51 (structure greater than 7500 s.f.) and Chapter 400. The property is located in the RH-3 and R-L zoning districts at 23 Snow Inn Road, Map 8, Parcel P2-12.
- III. **Public Meeting***
 - A. New Business:
Minutes: August 25, 2020
 - B. Old Business:
 - C. Briefings and Reports by Board Members
- IV. **Adjourn**

PLEASE NOTE: *We request all who are attending this meeting to please observe the same courtesies that would be observed if you were here in person. If you need to conduct unrelated business before your item on the agenda comes up, we request you mute your line – Use *6 to mute and unmute your phone.*

*Per the Attorney General's Office – Boards/Commissions may hold an open session for topics not reasonably anticipated by the Chair 48 hours in advance of the meeting following “New Business”.

Next Planning Board Meeting (Subject to Change) – Tuesday, September 22, 2020.
Requests for accommodations for any person having a disability can be made by contacting the Administration Office at 508-430-7513.

Authorized Posting Officer: Elaine Banta, ebanta@town.harwich.ma.us or 508-430-7511



AGENDA ITEM II.A

To: Planning Board
From: Charleen Greenhalgh, Town Planner
Date: September 1, 2020
Re: Staff Report – Site Plan Review Special Permit & Use Special Permit

PB2020-02 Steve Gopoyan & Swavi Osev, as applicant/tenant, c/o Andrew Singer, Esq., Emulous E. Hall, et als., as owners, seeks approval of a Site Plan Review Special Permit and a Use Special Permit with waivers, pursuant to the Code of Town of Harwich §§325-13, ¶IV Line 30, -55 and -51 to construct a miniature golf course and expand and improve the parking and vehicle access. The property is located at 346 Route 28 and 0 Sisson Road, Maps 21, Parcels N1 & N2, respectively, in the C-H-1 and R-M zoning districts.

The Planning Board will reopen the public hearing on Thursday, September 10, 2020 no earlier than at 6:30 p.m. Abutters were notified via Certified Mail on January 23, 2020. The public hearing was originally opened on February 11, 2020 and continued to March 11, April 28, June 9 (although no meeting was held at the decision of the Planning Board Chair), July 28 and August 25, 2020. No testimony has been taken to date.

Description

The applicant seeks two approvals for the property at 0 Sisson Road and 346 Route 28. The first is a Site Plan Review Special Permit for the construction of a miniature golf course just north of the existing Bud's Go Karts recreation use and associated parking and an existing Antique Shop retail use. The second part of the application is a Use Special Permit for an outdoor recreation use, specifically the miniature golf use. This proposal received a use variance from the Harwich Zoning Board of Appeals on June 24, 2020 to allow for the miniature golf use within the residentially zone portion of the property. The application was filed with the Town Clerk on January 7, 2020 with revised plans and information submitted on January 29, 2020, February 3, 2020, July 6, August 24 and August 31, 2020. The following are list the items most recently filed and therefore pertinent to the Board's review and include the following:

1. Form A – Special Permits & Site Plan Review dated January 7, 2020
2. Municipal Lien Certificates
3. A narrative date received July 6, 2020
4. A Waiver Request letter from Moran Engineering Assoc., LLC, dated January 6, 2020
5. Stormwater Management Parking & Walkways Drainage Calculations, prepared by Moran Engineering Assoc., LLC, dated January 6, 2020; and revised Stormwater Management Parking & Walkways Drainage Calculations, prepared by Moran Engineering Assoc., LLC, dated January 29, 2020

6. A Summary of Reasoning, prepared by Attorney Andrew Singer, received stamp date July 6, 2020
7. Project Benefit List, received stamp date July 6, 2020
8. Three letters of support from the community.
9. Set of Plans by Moran Engineering Assoc., LLC, 346 Route 28 & 0 Sisson Rd, Harwich MA, Project 19-222, as follows:
 - a. Existing Conditions Site Plan, prepared for Swavi Osev and S&E, LLC, scale 1"=40', dated 5/20/20, revised 7/3/20 and 8/20/20 – Sheet 1.
 - b. Proposed Site Plan for Miniature Golf, prepared for S & S Amusements, LLC, scale 1"=40', dated 5/20/20, revised 7/3/20, 8/20/20 and 8/27/2020 – Sheet 2.
 - c. Proposed Parking Lot Details and Structure, Lighting & Utility Locations, prepared for S & S Amusements, LLC, scale 1"=20', dated 8/20/2020, revised 8/27/20 – Sheet 3.
 - d. Proposed Grading Plan & Fence Details, prepared for S & S Amusements, LLC, scale 1"=20', dated 8/20/2020, revised 8/27/20 – Sheet 4.
 - e. Proposed Drainage Plan & Details, prepared for S & S Amusements, LLC, scale 1"=20', dated 8/20/2020, revised 8/27/20 – Sheet 5.
10. Preliminary Parking Lot Lighting, Harwich Miniature Golf, prepared by Apex Lighting Solutions Plan, dated 01/08/2020, revised 012820 and 081020, Sheet L-1.R2.
11. XSP Series – XSP2™ LED Street/Area Luminaire – Double Module – Version C, by CREE, 5 pages.
12. LUMEC by signify, Outdoor, Poles and Brackets, APR4 Round Aluminum Pole, 3 pages.
13. LUMEC by signify, Urban, UrbanScape, MPTC Post Top, 5 pages.
14. Mini-Golf Layout, S & S Amusements LLC., 346 Rt. 28 & 0 Sisson Rd., Castle Golf, dated 8-14-2020, Sheet C-1A.
15. Mini-Golf Layout, S & S Amusements LLC., 346 Rt. 28 & 0 Sisson Rd., Castle Golf, dated 8-14-2020, Sheet C-1A – Color Version.
16. Set of Plans for the Miniature Golf Features, Project S&S Amusements Mini-Golf, by Castle Golf Inc.:
 - a. Boat House Hole 4 – Sheet a-01
 - b. Light House Hole 8 – Sheet a-02
 - c. Crab Pots Hole 12 – Sheet a-03
 - d. Boat Dock 18th – Sheet a-04
 - e. Shrimp Boat – Sheet a-05
17. Proposed Landscape Plan for Mini Golf Course, Prepared for S&S Amusements, 346 Route 28 & 0 Sisson Road, Harwich, MA, prepared by Shannon Goheen, Second Nature Gardenworks, dated 8/24/20, scale 1"=20'.

MGL Reference and Planning Board Jurisdiction

Pursuant to MGL c.40 A, §9 the Planning Board must, within 65 days of submission of application for a special permit hold a public hearing. The decision of the Planning Board shall take place within 90 days following the close of the public hearing. Further, a special permit issued shall require a two-thirds vote of the Board. The Planning Board has jurisdiction to the review:

- Recreation, Outdoor pursuant to §325-13 (Use Table) Paragraph IV.30 and §325-51

- Site Plan Review Special Permit pursuant to §325-55. Please note that pursuant to §325-55.E.(1) ***“If the site plan meets the requirements of this By-law and the Planning Board Rules and Regulations Governing Subdivision of Land and Site Plan Review, as amended, the Planning Board shall approve it”***. However, **the Board cannot deny approval of a site plan for a use which is allowed by right** (not by special permit) in the district, but may impose reasonable conditions on the proposed use. Please refer to §325-55.E. for specific allowable conditions.

Additionally, a portion of the site is located within the FEMA Flood Plain pursuant to §325-107; which does not require Planning Board approval.

Waivers

Initially, a waiver from the parking requirement was requested. Per the Engineer on this development, this waiver is no longer required.

Comments from other Boards, Departments, Committees

Health: The Health Department has no concerns with the change in use. The Health Department will require a passing Title 5 inspection, as well as a Disposal System Construction Permit to connect the proposed restrooms to the existing septic system. Both of these action items need to be completed prior to Building Permit approval.

Fire: Looks great! Fire Department endorses the plan, no issues.

Building: No Concerns.

Police: The only Police Department comment from the beginning of this was improvements at the entrance on Sisson Road which appear to have been shown adequately on the plans.

Conservation: The Conservation Commission approved an application for the proposed golf course on January 10, 2020 as some of the property is in a Flood Zone which is Conservation jurisdiction. When reviewing the Planning Board filing it was noted that the plans do not fully match what was approved by the Commission. The Assistant Conservation Agent does not foresee the Commission having any issues with the revisions, but a request for a change in the approved plans needs to be done in order for all departments and involved parties to be operating off the same set of plans.

Engineering: Please refer to Planning Staff Comments below. The site will require a Stormwater Discharge Permit.

Water: The plans don't identify a proposed water service to the new ticket window/restroom building. That said, the Antique Store & Go-Carts both have town water so they may be installing a water service from one of the other buildings which wouldn't involve HWD.

DPW: The DPW has no concerns with the plans. Please be advised that public safety has requested, and DPW is pursuing, the removal of the raised island in front of the Star Market where the tanker rollover occurred. The DPW Director is in the process of setting up a site visit with Steve Tupper (Editor Note: he is from the Cape Cod Commission) given the island was originally constructed as part of a DRI (Editor Note: Development of Regional Impact). It is also an insurance matter, which further complicates things.

Planning Staff Comments:

1. Town Staff met with the applicant for an initial review prior to file applications with the Town.

2. The Town Engineer and Town Planner have met on at least three occasions to review the various iterations of plans. To date the questions and/or concerns that were raised have been addressed.
3. Stormwater will be fully addressed by the Town Engineer through the Stormwater Discharge Permit process.
4. The proposed miniature golf and related parking does cross a lot line. The parcels should be combined prior to the commencement of any work on the property. In the alternative, an easement may be in order.
5. The rear portion of the property is located within the R-M Zoning District. A use variance from the Zoning Board of Appeals was granted.
6. Several conditions are recommended for primarily for the Site Plan Special Permit, and include but are not limited to:
 - a. All drainage and storm water requirements, local, state and federal, shall be met and approved by the Harwich Town Engineer prior to the commencement of construction operations, including a Stormwater Discharge Permit.
 - b. Prior to commencement of any work on the subject site, the two parcel shall either be combined by an Approval Not Required Plan or an Easement Agreement or some other legal agreement shall be executed. Neither document shall be valid nor work commence until said document is recorded at the Barnstable County Registry of Deeds and a copy of said document is filed with the Harwich Town Clerk and the Harwich Planning Board.
 - c. All Zoning Board of Appeals, Conservation Commission and Board of Health requirements shall be adhered to.
 - d. Signage shall comply with the requirements of the Code of the Town of Harwich and the Building Department.
 - e. Lighting shall comply with the requirements of the Code of the Town of Harwich.
 - f. Any changes to the site plan, other than those resulting from MassDOT review and approval, shall be subject to further Planning Board review and approval.
 - g. This decision shall be recorded at the Barnstable Registry of Deeds prior to the issuance of a building permit.
 - h. Conformance with all review procedure requirements outlined pursuant to §400-18.G Inspection, certificate of completion and as-built plan, of the Code of the Town of Harwich shall be met.
7. As of September 1, 2020, three letters of concern were received, copies are attached hereto.

BOARD VOTE

Continuance

If the Board will require additional information or wants to take the matter under advisement the following motion is recommended:

Move to continue the hearing for **PB2020-02 Steve Gopoyan & Swavi Osev**, to no earlier than 6:30 pm on _____ (Next Meeting Dates: *October 6, October 27, November 10*) for the following reason(s): *Need to provide reasons for the continuance...additional information.*

IF BOARD IS READY TO RENDER A DECISION, THE FOLLOWING MOTIONS ARE PROVIDED:

Vote to Close the Public Hearing

Vote to Adopt Proposed Findings:

To adopt the following finding of fact:

1. The property is located within the C-H-1 and the R-M zoning districts.
2. The Harwich Zoning Board of Appeals granted a variance, pursuant to case #2020-18, for the proposed use to be located within a residential zoning district.
3. The parking complies with the requirements of Article IX, Off-Street Parking Regulations.
4. Adequate landscaping and buffers for adjacent residential properties have been provided.
5. Screening of parking complies with the provisions of § 325-43.
6. The proposed use is allowable with a Special Permit.
7. The Conservation Commission approved the proposed improvements located within the FEMA Flood Zone.
8. The use as developed will not adversely affect the neighborhood.
9. The specific site is an appropriate location for such a use, structure or condition.
10. There will be no nuisance or serious hazard to vehicles or pedestrians.
11. Adequate and appropriate facilities will be provided for the proper operation of the proposed use.

Vote on Special Permit for the Use: (*Please Note:* An affirmative vote by at least five Planning Board members is required.)

- A. To **approve** case number PB2020-02 for a Use Special Permit for Steve Gopoyan & Swavi Osev, as applicant/tenant, Emulous E. Hall, et als., as owners, pursuant to the Code of Town of Harwich §325-13, ¶IV Line 30 and §325-51 to construct a miniature golf course on property located at 346 Route 28 and 0 Sisson Road, Maps 21, Parcels N1 & N2, respectively, in the C-H-1 and R-M zoning districts. The decision is based on the aforementioned findings of fact and the fact that the application meets the necessary requirements and criteria for approval pursuant to the Code of Town of Harwich.
- B. To **approve with conditions** case number PB2020-02 for a Use Special Permit for Steve Gopoyan & Swavi Osev, as applicant/tenant, Emulous E. Hall, et als., as owners, pursuant to the Code of Town of Harwich §325-13, ¶IV Line 30 and §325-51 to construct a miniature golf course on property located at 346 Route 28 and 0 Sisson Road, Maps 21, Parcels N1 & N2, respectively, in the C-H-1 and R-M zoning districts. The application is pursuant to the Code of the Town of Harwich §325-51.M, and 55. The decision is based on the aforementioned findings of fact and the fact that the application meets the necessary requirements and criteria for approval pursuant to the Code of Town of Harwich. The following conditions are imposed:
1. This decision shall be recorded at the Barnstable Registry of Deeds prior to the issuance of a building permit.

C. To **deny** case number case number PB2020-02 for a Use Special Permit for Steve Gopoyan & Swavi Osev, as applicant/tenant, Emulous E Hall, et als., as owners, pursuant to the Code of Town of Harwich §325-13, ¶IV Line 30 and §325-51 to construct a miniature golf course on property located at 346 Route 28 and 0 Sisson Road, Maps 21, Parcels N1 & N2, respectively, in the C-H-1 and R-M zoning districts. The decision is based on the fact that the application does not meet the necessary requirements and criteria for approval pursuant to the Code of Town of Harwich, specifically...*(Note: need to list the specific requirements that have not been satisfied.)*

Vote on Site Plan Review Special Permit: *(Please Note: An affirmative vote by at least five Planning Board members is required.)*

A. To **approve with conditions** case number PB2020-02 Steve Gopoyan & Swavi Osev, as applicant/tenant, Emulous E Hall, et als., f a Site Plan Review Special Permit pursuant to the Code of Town of Harwich §325-55 to construct a miniature golf course and expand and improve the parking and vehicle access for the property located at 346 Route 28 and 0 Sisson Road, Maps 21, Parcels N1 & N2, respectively, in the C-H-1 and R-M zoning districts. The decision is based on the aforementioned findings of fact and the fact that the application meets the necessary requirements and criteria for approval pursuant to the Code of Town of Harwich and following conditions:

1. All drainage and storm water requirements, local, state and federal, shall be met and approved by the Harwich Town Engineer prior to the commencement of construction operations, including a Stormwater Discharge Permit.
2. Prior to commencement of any work on the subject site, the two parcel shall either be combined by an Approval Not Required Plan or an Easement Agreement shall be executed. Neither document shall be valid nor work commence until said document is recorded at the Barnstable County Registry of Deeds and a copy of said document is filed with the Harwich Town Clerk and the Harwich Planning Board.
3. All Zoning Board of Appeals, Conservation Commission and Board of Health requirements shall be adhered to.
4. Signage shall comply with the requirements of the Code of the Town of Harwich and the Building Department.
5. Lighting shall comply with the requirements of the Code of the Town of Harwich.
6. Any changes to the site plan, other than those resulting from MassDOT review and approval or as a result of the Stormwater Discharge Permit, shall be subject to further Planning Board review and approval.
7. This decision shall be recorded at the Barnstable Registry of Deeds prior to the issuance of a building permit.
8. Conformance with all review procedure requirements outlined pursuant to §400-18.G Inspection, certificate of completion and as-built plan, of the Code of the Town of Harwich shall be met.

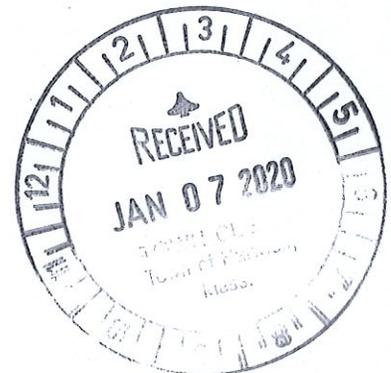
B. To **deny** case number PB2020-02 Steve Gopoyan & Swavi Osev, as applicant/tenant, Emulous E Hall, et als., for a Site Plan Review Special Permit pursuant to the Code of Town of Harwich §325-55 to construct a miniature golf course and expand and improve the parking and vehicle access for the property located at 346 Route 28 and 0 Sisson Road, Maps 21, Parcels N1 & N2, respectively, in the C-H-1 and R-M zoning districts. The decision is based on the fact that the Use Special Permit for the Miniature Golf was denied and therefore the Site Plan is no long viable or necessary.

Town of Harwich Planning Board

Petitioners: Steve Gopoyan and Swavi Osev
Owner: Andrew Hall, Successor Trustee of the Emulous Hall Realty Trust
Property: 0 Sisson Road and 346 Route 28, Harwichport, MA

The Petitioners are seeking a Use Special Permit and Site Plan Review Special Permit in accordance with Sections 325-13, Table 1, 325-51, and 325-55 of the Harwich Zoning By-Law ["Zoning By-Law"] and M.G.L. Chapter 40A, Section 9, in order to redevelop a previously-disturbed and commercially-used portion of the property located in two zoning districts, in connection with a seasonal, miniature golf course, as shown on the submitted plans.

The property is split-zoned with commercial land in the front and residential land in the rear. The proposed use is allowed by special permit in the commercially-zoned portion of the land. Relief has been requested from the Zoning Board of Appeals to redevelop the commercially-used, residential portion of the land. Site coverage and building coverage will be conforming. Lighting will comply with the Town of Harwich lighting regulations. The proposed location of the redevelopment will allow more environmentally-sensitive land in the front of the property to be better protected. Parking and landscape buffers will be conforming. Access, curb cuts, driveways, parking, and drainage will all be upgraded from existing conditions.



Law Office of Singer & Singer, LLC

26 Upper County Road
P. O. Box 67
Dennisport, Massachusetts 02639

Andrew L. Singer
Marian S. Rose

Myer R. Singer
Of Counsel

Tel: (508) 398-2221
Fax: (508) 398-1568
www.singer-law.com



Harwich Planning Board

0 Sisson Road & 346 Route 28, Harwichport

Summary of Reasoning

Steve Gopoyan and Swavi Osev [collectively “Applicants”] are seeking permission to redevelop a portion of the property owned by Andrew Hall, Successor Trustee of the Emulous Hall Realty Trust, at 0 Sisson Road and 346 Route 28, Harwichport [collectively “Property”]. The Property, which is shown as Parcels N2-0 & N1-0 on Harwich Assessors Map 21, is located in the CH-1 & RM Zoning Districts and consists of one parcel of vacant, developable, commercial land and one split-zoned parcel improved with a pre-existing, nonconforming retail building, a go-kart track, outside storage (boat, vehicle, trailer, and soils and other materials), and improved and unimproved parking areas. The retail building and go-kart track, neither of which are proposed to be affected by the proposed redevelopment, are located in the commercial CH-1 zoning district. The outside storage and portions of the unimproved parking areas are located in the RM Zoning District. The outside storage has historically included the bringing and removal of soils and other materials to the large cleared portion of the Property that is located predominantly in the residential district.

The commercial use of the residential portion of the Property and the parking areas, access, and buffers are all pre-existing nonconforming. The Applicant’s proposal includes redeveloping the previously-disturbed and commercially-used portion of the Property located in two zoning districts, in connection with a seasonal, miniature golf course. The outside storage use of the Property will cease, and the parking areas will be expanded and improved. The existing, dense vegetated buffer in the rear of the

Property will be preserved and enhanced. While the proposed use is allowed by Planning Board special permit in the commercially-zoned portion of the land, it also requires a variance from the Board of Appeals to redevelop the rear portion of the disturbed land that is in the residential zone. We met with the Board of Appeals in January and were continued to the Board's late February meeting. A number of the questions raised in connection with the relief requested involve matters reviewed by the Planning Board under site plan review and are discussed herein. Conservation Commission review has already been completed.

The Petitioners are thus seeking a Use Special Permit and Site Plan Review Special Permit in accordance with Sections 325-13, Table 1, 325-51, and 325-55 of the Harwich Zoning By-Law ["Zoning By-Law"] and M.G.L. Chapter 40A, Section 9, to complete the redevelopment as shown on the submitted plans. The Planning Board is authorized to grant use special permits when it finds that the use as developed will not adversely affect the neighborhood, the site is appropriate for the use, there will be no nuisance or serious hazard to vehicles or pedestrians, and adequate and appropriate facilities will be provided for the proper operation of the use. The Planning Board approves site plan review special permits when they meet the requirements of the Zoning By-Law and the Planning Board's Rules and Regulations.

The Applicants respectfully submit that the required special permit criteria are met in this instance and that the redeveloped site will be a benefit to the neighborhood and community and advance the purposes of the Zoning By-Law because:

1. The portion of the Property to be redeveloped has for many decades been cleared and used for storage of boats, vehicles, and trailers as well as soil and other materials that were brought onto and removed from the Property over time, and the proposal will remove all of this year-round use;
2. There will be a net decrease in the square footage of the Property used for outside commercial space in both zoning districts as a result of the redevelopment, and more of

- the use will be shifted to the commercial CH-1 Zoning District out front and less in the residential RM Zoning District that the historical development pattern of the Property;
3. The extensive, existing wooded area rising along the hill at the rear of the Property in the RM Zoning District will be retained in its existing, natural setting as a buffer to the residential condominiums to the rear along both Harold Street and Doane Road. In addition, a portion of the cleared land used for long-term commercial storage will be revegetated to deepen the buffer, and an additional green screen of new trees will be planted around the rear of the golf course;
 4. There is a flood plain located at the front of the Property with the land sloping up away from Sisson Road back to the high point at the rear of the Property. The proposal locates about two-thirds of the constructed portion of the seasonal miniature golf course in the residential portion of the Property in order to keep it farther away from the flood plain portion of the land. This lessens the change for property damage in flood events. The Harwich Conservation Commission has reviewed and approved the proposal determining that the redevelopment is advantageous to the environment;
 5. The proposed redevelopment will also result in improved protection of the more environmentally-sensitive portion of the Property by upgrading and enhancing stormwater management;
 6. As was presented to the Board of Appeals, designing the redevelopment as proposed with the improvements and reductions in scope inside the existing commercially-used portion of the rear land will result in less activity in the more environmentally-sensitive portions of the front of the land and will lead to significant enhancements to the buffer in the rear on the previously-disturbed land;
 7. Front, side, and rear yard setbacks will remain conforming;
 8. Site coverage and building coverage will remain conforming;
 9. Parking and landscape buffers, which do not exist today, will each become conforming;

10. Access, curb cuts, driveways, and drainage will all be upgraded from existing conditions. Specifically, as a result of talks during Town Department Head Review, including the Police Department, access from Sisson Road for both the proposal and the existing go-kart business is to be upgraded and channelized better to improve flow onto and from the Property. This was noted at the meeting as being a positive improvement and benefit. The Police Officer at the meeting also commented that one of the Town's goals is to ultimately remove the island in Sisson Road that is the cause of so much headache. The existing curb cut onto Harold Street in the commercial CH-1 zone will be maintained;
11. Parking will be shared with the other uses on the site. This eliminates the need for additional curb cuts onto Town roads here or elsewhere. The Applicants are requesting a waiver from the Planning Board to allow eight (8) of the required parking spaces to be held in reserve and remain as grassed area unless needed in the future. If there is no need to create more physical parking and it can left green, the Applicants believe that this is a benefit;
12. The proposal will be in keeping with and compatible with the character of the neighborhood. The intensity of the proposed seasonal use will be much less than what might otherwise be allowed under the Zoning By-Law in the CH-1 zone. Such year-round uses include restaurants, retail stores, repair facilities, and marine uses. Patrons to the site will now be able to spend longer at this property with multiple uses, rather than moving as frequently from one recreational activity property to others in Town;
13. Lighting will comply with the Town of Harwich lighting regulations, and there will be no negative change in artificial light, noise, litter, and odor. The Condominium properties to the rear beyond the natural buffer are located at the crest of the hill above the site of the proposed redevelopment. Since the proposed lighting will be shielded and dark-sky compliant, there will be no negative impact to the neighbors. Photometric plans have been submitted demonstrating that light will be contained on site as required. The

proposed structural features of the golf course, the lower elevation, and the natural and proposed screening will all prevent additional noise impacts to the neighborhood; and

14. The proposal is for a seasonal use on a piece of land that already contains similar, seasonal, recreational uses and will not create any nuisance, hazard or congestion or any harm to the neighborhood or neighboring properties.

For all of the above reasons, the Petitioners respectfully request that the Planning Board make findings that the statutory criteria for the requested relief are met and grant a Use Special Permit and Site Plan Review Special Permit to allow the redevelopment to be completed as shown on the submitted plans.

Law Office of Singer & Singer, LLC

26 Upper County Road
P. O. Box 67
Dennisport, Massachusetts 02639

Andrew L. Singer

Myer R. Singer
Of Counsel

Tel: (508) 398-2221

Fax: (508) 398-1568

www.singer-law.com

Harwich Planning Board

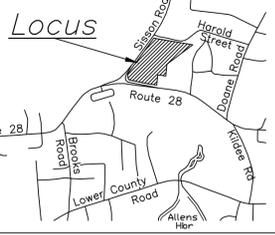
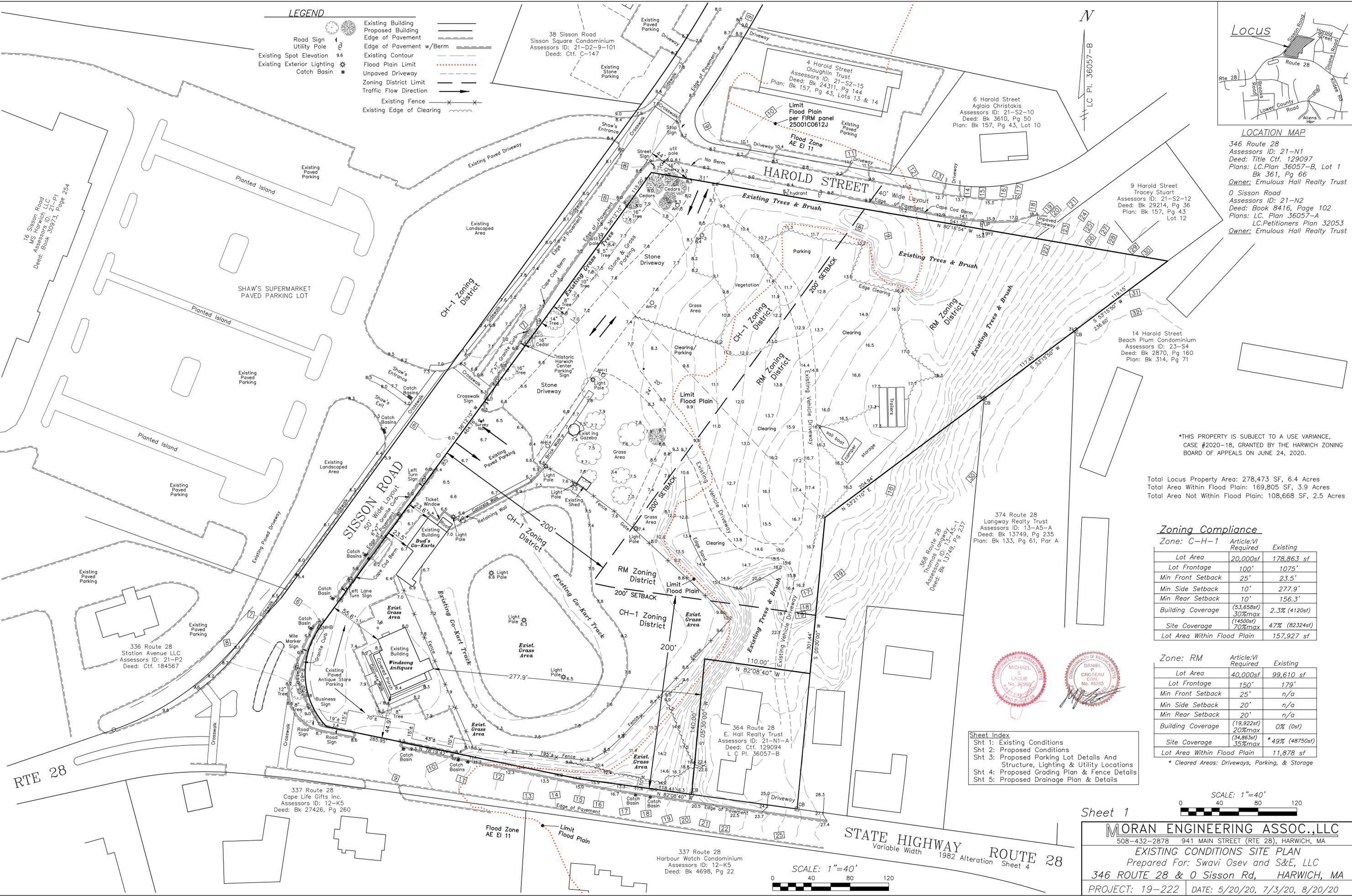
0 Sisson Road & 346 Route 28, Harwichport

PROJECT BENEFITS LIST

- Eliminate Long Time, Year-Round, Commercial Storage of Boats, Vehicles, and Trailers as well as Soil and Other Materials from Residentially-Zoned Portion of Property
- Replacement Use Will Be Seasonal May to September Located on Land that Already Contains Similar, Seasonal, Recreational (Go-Karts) Use
- Net Decrease of Commercial Use in Residentially-Zoned Portion of Property
- Protect Flood Plain Located at Front of Property Along Sisson Road
- Expanded and Enhanced Vegetated and Forested Buffer to Abutters at Top of Rear Hill
- Full Shielded and Dark-Sky Compliant Lighting Set Below Top of Rear Hill
- Improve Main Entrance on Sisson Road to Channelized Flow to and from Property
- Compliance with All Dimensional Setback Requirements of Zoning By-Law
- Compliance with All Building and Site Coverage Requirements of Zoning By-Law
- Provide Enhanced and Upgraded Stormwater Management
- Provide Enhanced Landscaping and Parking Buffers

LEGEND

- Existing Building
- Proposed Building
- Edge of Pavement
- Edge of Pavement w/Berm
- Existing Contour
- Flood Plain Limit
- Unpaved Driveway
- Zoning District Limit
- Traffic Flow Direction
- Existing Fence
- Existing Edge of Clearing
- Road Sign
- Utility Pole
- Existing Spot Elevation
- Existing Exterior Lighting
- Catch Basin



LOCATION MAP
 346 Route 28
 Assessors ID: 21-N1
 Deed: Title Ctf. 129097
 Plans: LC.Plan 36057-B, Lot 1
 Bk 361, Pg 66
 Owner: Emulous Hall Realty Trust
 0 Sisson Road
 Assessors ID: 21-N2
 Deed: Book 8416, Page 102
 Plans: LC. Plan 36057-A
 LC.Petitioners Plan 32053
 Owner: Emulous Hall Realty Trust

*THIS PROPERTY IS SUBJECT TO A USE VARIANCE, CASE #2020-18, GRANTED BY THE HARWICH ZONING BOARD OF APPEALS ON JUNE 24, 2020.

Total Locust Property Area: 278,473 SF, 6.4 Acres
 Total Area Within Flood Plain: 169,805 SF, 3.9 Acres
 Total Area Not Within Flood Plain: 108,668 SF, 2.5 Acres

Zoning Compliance

Zone: C-H-1	Article:VI Required	Existing
Lot Area	20,000sf	178,863 sf
Lot Frontage	100'	1075'
Min Front Setback	25'	23.5'
Min Side Setback	10'	277.9'
Min Rear Setback	10'	156.3'
Building Coverage	(53,658sf) 30%max	2.3% (4120sf)
Site Coverage	(14500sf) 70%max	47% (82324sf)
Lot Area Within Flood Plain		157,927 sf

Zone: RM	Article:VI Required	Existing
Lot Area	40,000sf	99,610 sf
Lot Frontage	150'	179'
Min Front Setback	25'	n/a
Min Side Setback	20'	n/a
Min Rear Setback	20'	n/a
Building Coverage	(19,922sf) 20%max	0% (0sf)
Site Coverage	(34,863sf) 35%max	*49% (48750sf)
Lot Area Within Flood Plain		11,878 sf

* Cleared Areas: Driveways, Parking, & Storage

374 Route 28
 Langway Realty Trust
 Assessors ID: 13-A5-A
 Deed: Bk 13749, Pg 235
 Plan: Bk 133, Pg 61, Par A

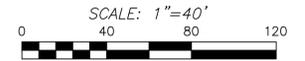
368 Route 28
 Thomas Langway
 Assessors ID: 13-A5-1
 Deed: Bk 13749, Pg 237

336 Route 28
 Station Avenue LLC
 Assessors ID: 21-P2
 Deed: Ctf. 184567

337 Route 28
 Cape Life Gifts Inc.
 Assessors ID: 12-K5
 Deed: Bk 27426, Pg 260

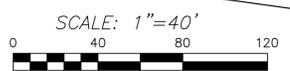
337 Route 28
 Harbour Watch Condominium
 Assessors ID: 12-K5
 Deed: Bk 4698, Pg 22

- Sheet Index**
- Sht 1: Existing Conditions
 - Sht 2: Proposed Conditions
 - Sht 3: Proposed Parking Lot Details And Structure, Lighting & Utility Locations
 - Sht 4: Proposed Grading Plan & Fence Details
 - Sht 5: Proposed Drainage Plan & Details



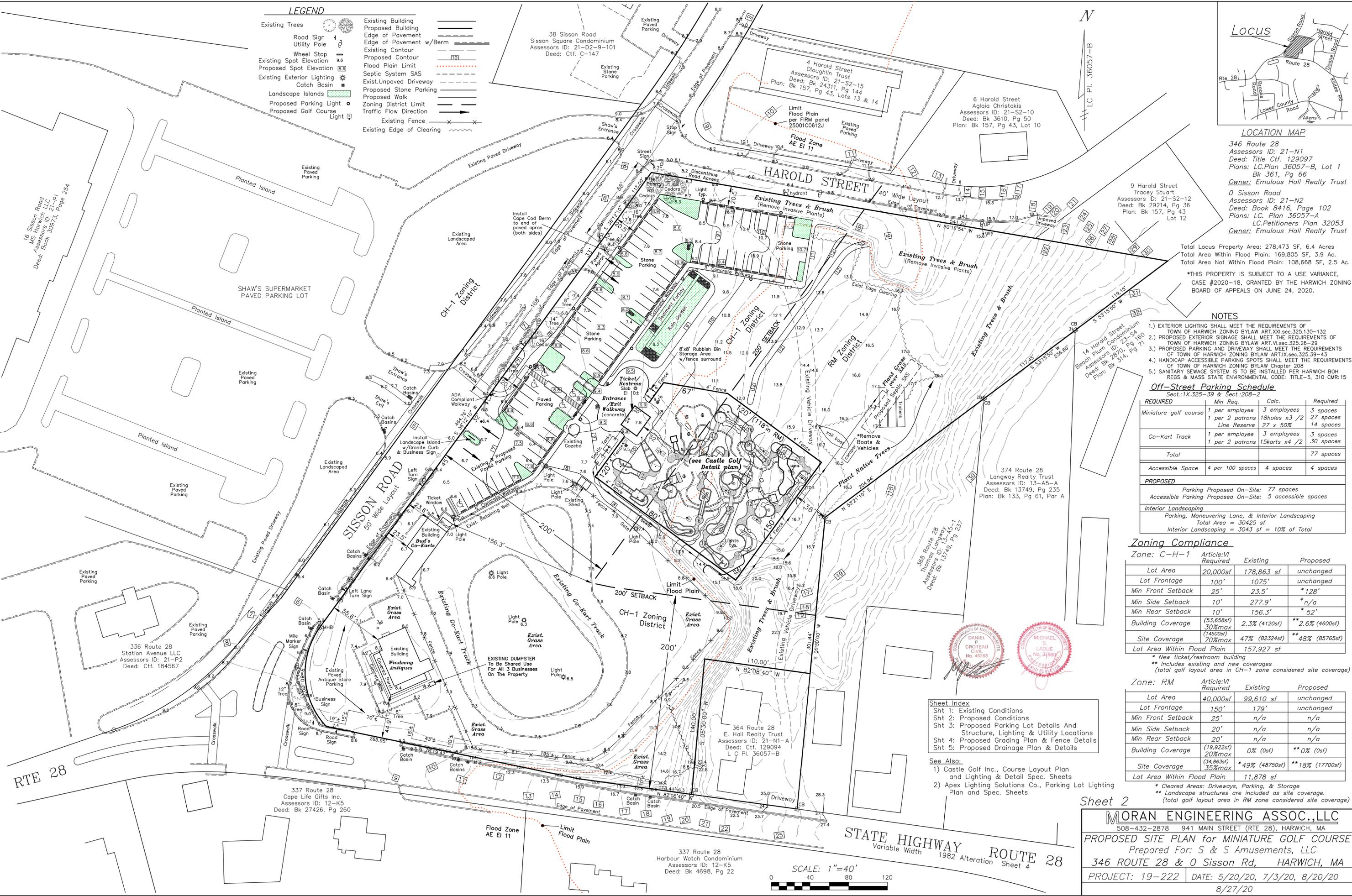
Sheet 1

MORAN ENGINEERING ASSOC., LLC
 508-432-2878 941 MAIN STREET (RTE 28), HARWICH, MA
EXISTING CONDITIONS SITE PLAN
 Prepared For: Swavi Osev and S&E, LLC
 346 ROUTE 28 & 0 Sisson Rd, HARWICH, MA
 PROJECT: 19-222 DATE: 5/20/20, 7/3/20, 8/20/20



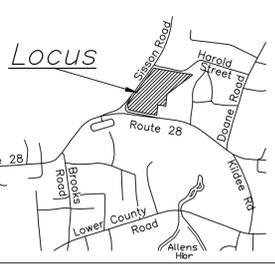
SCALE: 1"=40'

STATE HIGHWAY ROUTE 28
 Variable Width 1982 Alteration Sheet 4



LEGEND

Existing Trees		Existing Building	
Road Sign		Proposed Building	
Utility Pole		Edge of Pavement	
Wheel Stop		Edge of Pavement w/Berm	
Existing Spot Elevation	9.6	Existing Contour	
Proposed Spot Elevation	8.6	Proposed Contour	
Existing Exterior Lighting		Flood Plain Limit	
Catch Basin		Septic System SAS	
Landscaped Islands		Exist.Unpaved Driveway	
Proposed Parking Light		Proposed Stone Parking	
Proposed Golf Course Light		Proposed Walk	
		Zoning District Limit	
		Traffic Flow Direction	
		Existing Fence	
		Existing Edge of Clearing	



LOCATION MAP

346 Route 28
Assessors ID: 21-N1
Deed: Title Ctf. 129097
Plans: LC.Plan 36057-B, Lot 1
Bk 361, Pg 66
Owner: Emulous Hall Realty Trust

0 Sisson Road
Assessors ID: 21-N2
Deed: Book 8416, Page 102
Plans: LC.Plan 36057-A
LC.Petitioners Plan 32053
Owner: Emulous Hall Realty Trust

Total Locus Property Area: 278,473 SF, 6.4 Acres
Total Area Within Flood Plain: 169,805 SF, 3.9 Ac.
Total Area Not Within Flood Plain: 108,668 SF, 2.5 Ac.

*THIS PROPERTY IS SUBJECT TO A USE VARIANCE, CASE #2020-18, GRANTED BY THE HARWICH ZONING BOARD OF APPEALS ON JUNE 24, 2020.

- NOTES**
- 1.) EXTERIOR LIGHTING SHALL MEET THE REQUIREMENTS OF TOWN OF HARWICH ZONING BYLAW ART.XI.sec.325.130-132
 - 2.) PROPOSED EXTERIOR SIGNAGE SHALL MEET THE REQUIREMENTS OF TOWN OF HARWICH ZONING BYLAW ART.VI.sec.325.26-29
 - 3.) PROPOSED PARKING AND DRIVEWAY SHALL MEET THE REQUIREMENTS OF TOWN OF HARWICH ZONING BYLAW ART.IX.sec.325.39-43
 - 4.) HANDICAP ACCESSIBLE PARKING SPOTS SHALL MEET THE REQUIREMENTS OF TOWN OF HARWICH ZONING BYLAW Chapter 208
 - 5.) SANITARY SEWAGE SYSTEM IS TO BE INSTALLED PER HARWICH BOH REGS & MASS STATE ENVIRONMENTAL CODE: TITLE-5, 310 CMR:15

Off-Street Parking Schedule
Sect.1X.325-39 & Sect.208-2

REQUIRED	Min Req.	Calc.	Required
Miniature golf course	1 per employee	3 employees	3 spaces
	1 per 2 patrons	18holes x3 /2 Line Reserve	27 spaces 14 spaces
Go-Kart Track	1 per employee	3 employees	3 spaces
	1 per 2 patrons	15karts x4 /2	30 spaces
Total			77 spaces
Accessible Space	4 per 100 spaces	4 spaces	4 spaces

PROPOSED

Parking Proposed On-Site: 77 spaces
Accessible Parking Proposed On-Site: 5 accessible spaces

Interior Landscaping

Parking, Maneuvering Lane, & Interior Landscaping
Total Area = 30425 sf
Interior Landscaping = 3043 sf = 10% of Total

Zoning Compliance

Zone: C-H-1 Article:VI Required Existing Proposed

Lot Area	20,000sf	178,863 sf	unchanged
Lot Frontage	100'	1075'	unchanged
Min Front Setback	25'	23.5'	*128'
Min Side Setback	10'	277.9'	*n/a
Min Rear Setback	10'	156.3'	*52'
Building Coverage	(53,658sf) 30%max	2.3% (4120sf)	**2.6% (4600sf)
Site Coverage	(14500sf) 70%max	47% (82324sf)	**48% (85765sf)
Lot Area Within Flood Plain		157,927 sf	

* New ticket/restrroom building
** Includes existing and new coverages
(total golf layout area in CH-1 zone considered site coverage)

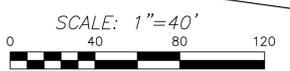
Zone: RM Article:VI Required Existing Proposed

Lot Area	40,000sf	99,610 sf	unchanged
Lot Frontage	150'	179'	unchanged
Min Front Setback	25'	n/a	n/a
Min Side Setback	20'	n/a	n/a
Min Rear Setback	20'	n/a	n/a
Building Coverage	(19,922sf) 20%max	0% (0sf)	**0% (0sf)
Site Coverage	(34,853sf) 35%max	*49% (48750sf)	**18% (17700sf)
Lot Area Within Flood Plain		11,878 sf	

* Cleared Areas: Driveways, Parking, & Storage
** Landscape structures are included as site coverage.
(total golf layout area in RM zone considered site coverage)

- Sheet Index**
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 - Sht 2: Proposed Conditions
 - Sht 3: Proposed Parking Lot Details And Structure, Lighting & Utility Locations
 - Sht 4: Proposed Grading Plan & Fence Details
 - Sht 5: Proposed Drainage Plan & Details

- See Also:**
- 1) Castle Golf Inc., Course Layout Plan and Lighting & Detail Spec. Sheets
 - 2) Apex Lighting Solutions Co., Parking Lot Lighting Plan and Spec. Sheets



Sheet 2

MORAN ENGINEERING ASSOC.,LLC
508-432-2878 941 MAIN STREET (RTE 28), HARWICH, MA

PROPOSED SITE PLAN FOR MINIATURE GOLF COURSE
Prepared For: S & S Amusements, LLC

346 ROUTE 28 & 0 Sisson Rd, HARWICH, MA

PROJECT: 19-222 DATE: 5/20/20, 7/3/20, 8/20/20

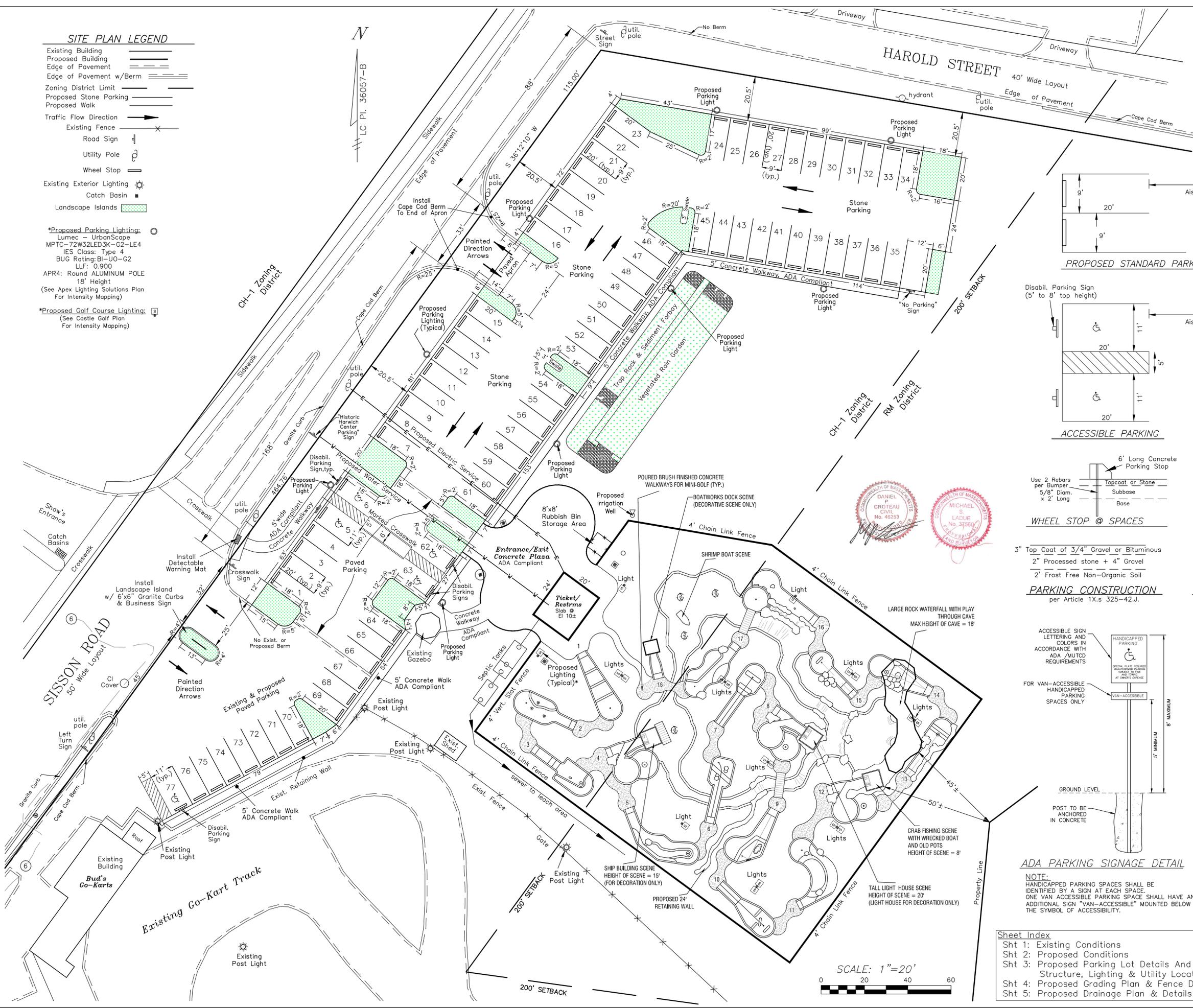
8/27/20

SITE PLAN LEGEND

- Existing Building
- Proposed Building
- Edge of Pavement
- Edge of Pavement w/Berm
- Zoning District Limit
- Proposed Stone Parking
- Proposed Walk
- Traffic Flow Direction
- Existing Fence
- Road Sign
- Utility Pole
- Wheel Stop
- Existing Exterior Lighting
- Catch Basin
- Landscape Islands

***Proposed Parking Lighting:**
 Lumec - UrbanScape
 MPTC-72W32LED3K-G2-LE4
 IES Class: Type 4
 BUG Rating: BI-UO-G2
 LLF: 0.900
 APR4: Round ALUMINUM POLE
 18' Height
 (See Apex Lighting Solutions Plan
 For Intensity Mapping)

***Proposed Golf Course Lighting:**
 (See Castle Golf Plan
 For Intensity Mapping)



Off-Street Parking Schedule

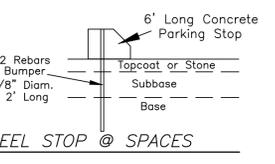
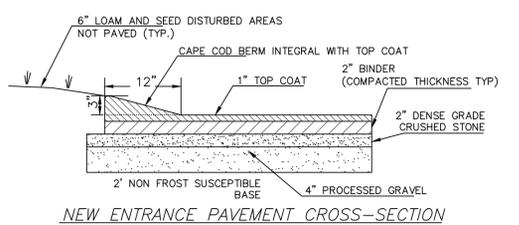
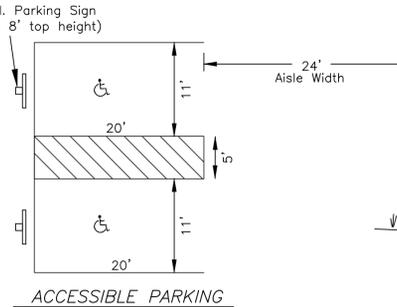
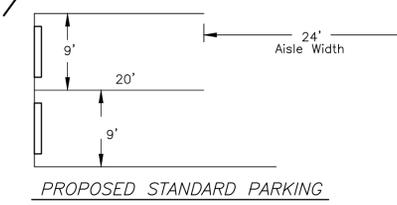
Sect. 1X.325-39 & Sect. 208-2

REQUIRED	Min. Req.	Calc.	Required
Miniature golf course	1 per employee	3 employees	3 spaces
	1 per 2 patrons	18holes x3 /2	27 spaces
	Line Reserve	27 x 50%	14 spaces
Go-Kart Track	1 per employee	3 employees	3 spaces
	1 per 2 patrons	15karts x4 /2	30 spaces
Total			77 spaces
Accessible Space	4 per 100 spaces	4 spaces	4 spaces

PROPOSED
 Parking Proposed On-Site: 77 spaces
 Accessible Parking Proposed On-Site: 5 accessible spaces

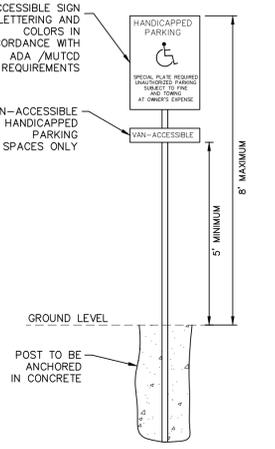
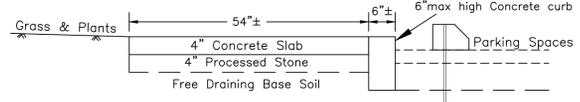
Interior Landscaping
 Parking, Maneuvering Lane, & Interior Landscaping
 Total Area = 30425 sf
 Interior Landscaping = 3043 sf = 10% of Total

Zone: C-H-1	Article IX Required	Existing	Proposed
Driveway Width @ Lot Line	50' max	85', 31'	45' & 32', 33'
Driveway Distance to Intersecting Street	50' min	44'	88'
Driveway Distance to Other Drives	50' min	N/A	168'
Driveway Distance to Side Lot Line	10' min	N/A	N/A
Parking Setback to Street	20' min	14'	20.5'
Parking Setback to Side Line	10' min	N/A	N/A



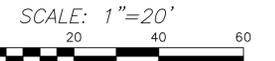
3" Top Coat of 3/4" Gravel or Bituminous
 2" Processed stone + 4" Gravel
 2" Frost Free Non-Organic Soil

PARKING CONSTRUCTION
 per Article 1X.s 325-42.J.



NOTE:
 HANDICAPPED PARKING SPACES SHALL BE IDENTIFIED BY A SIGN AT EACH SPACE.
 ONE VAN ACCESSIBLE PARKING SPACE SHALL HAVE AN ADDITIONAL SIGN "VAN-ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY.

- DISABILITY/ACCESSIBILITY NOTES**
- Project Facilities Are To Be Constructed In Conformance With Mass 521 CMR: Architectural Access Board Regulations.
- Including:
- 1) An accessible route shall be provided to establish a continuous unobstructed pathway through the accessible parking spaces and the facility's accessible areas and elements. (521 CMR 20.1)
 - 2) Accessible Walkways shall be not less than 48 inches wide, excluding curb stones. (521 CMR 22.2)
 - 3) Walkway running slopes shall be a maximum of one-in-twenty, 5%. (521 CMR 22.3)
 - 4) Walkway cross slopes shall be a maximum of one-in-fifty, 2%. (521 CMR 22.3.1)
 - 5) Plaza areas shall have a maximum slope of one-in-fifty, 2%. (521 CMR 22.3.2)
 - 6) Gratings in walkways shall have spaces of no greater than 1/2 inch in the direction of travel. (521 CMR 22.7 & 29.4)
 - 7) Accessible Parking spaces shall be Level in both directions. (CMR 23.4.3)
 - 8) Parking spaces shall be marked with signs showing the international symbol of accessibility and be installed at 5' min, 8' max top height. (CMR 23.6.2 & 23.6.4)
 - 9) Any section of an accessible route with a slope greater than one-in-twenty shall be considered a ramp and shall comply with 521 CMR 24.
 - a) maximum running slope of a ramp is one-in-twenty, 5%. (521 CMR 24.2.1)
 - b) maximum rise for any ramp run shall be 30 inches. (521 CMR 24.2.2)
 - c) minimum clear width of a ramp shall be 48 inches between railings. (521 CMR 24.3)
 - d) maximum length of a ramp run between landings shall be 30 feet. (521 CMR 24.4)
 - e) minimum 60" long level landings shall be provided at the top and bottom of each ramp run. (521 CMR 24.4 & 24.4.3)
 - f) handrails complying with 521 CMR 24, shall be provided at all ramps. (521 CMR 24.5)
 - 10) Ground and floor surfaces of accessible routes, accessible walkways, and other accessible areas shall be stable, firm, slip resistant, and maintained with materials that ensure continued slip resistance. (521 CMR 29.1)
 - 11) Areas required to be Level shall not have a slope in any direction exceeding 1:50, 2%. (521 CMR 3.0)



- Sheet Index**
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 - Sht 2: Proposed Conditions
 - Sht 3: Proposed Parking Lot Details And Structure, Lighting & Utility Locations
 - Sht 4: Proposed Grading Plan & Fence Details
 - Sht 5: Proposed Drainage Plan & Details

Sheet 3

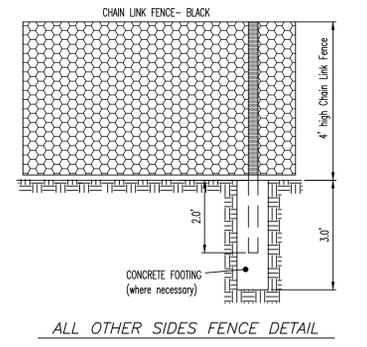
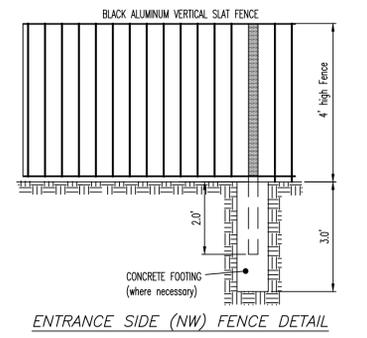
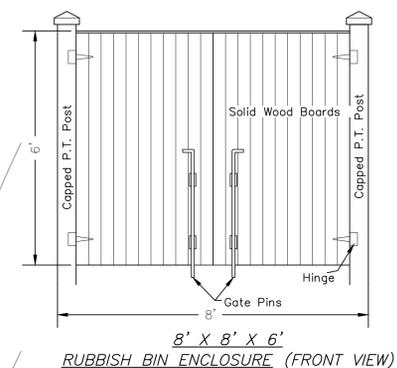
MORAN ENGINEERING ASSOC., LLC
 508-432-2878 941 MAIN STREET (RTE 28), HARWICH, MA

PROPOSED PARKING LOT DETAILS AND STRUCTURE, LIGHTING & UTILITY LOCATIONS
 Prepared For: S & S Amusements, LLC
 346 ROUTE 28 & 0 Sisson Rd, HARWICH, MA

PROJECT: 19-222 DATE: 8/20/20, 8/27/20

SITE PLAN LEGEND

- Existing Building
- Proposed Building
- Edge of Pavement
- Edge of Pavement w/Berm
- Existing Contour
- Proposed Contour
- Proposed Stone Parking
- Proposed Walk
- Flood Plain Limit
- Traffic Flow Direction
- Existing Fence
- Utility Pole
- Wheel Stop
- Proposed Spot Elevation
- Existing Spot Elevation
- Catch Basin
- Landscape Islands



Miniature Golf Surround Fencing

DISABILITY/ACCESSIBILITY GRADING NOTES
Project Facilities Are To Be Constructed in Conformance With Mass 521 CMR: Architectural Access Board Regulations.
Including:
a) Walkway running slopes shall be a maximum of one-in-20, 5% (521 CMR 22.3)
b) Walkway cross slopes shall be a maximum of one-in-50, 2% (521 CMR 22.3.1)
c) Plaza areas shall have a maximum slope of one-in-50, 2% (521 CMR 22.3.2)
d) Any section of an accessible route with a slope greater than one-in-20 shall be considered a ramp and shall comply with 521 CMR 24.
(Areas required to be Level shall not have a slope in any direction exceeding 1:50, 2%) (521 CMR 3.0)

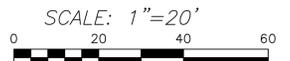
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Sheet 4

MORAN ENGINEERING ASSOC.,LLC
508-432-2878 941 MAIN STREET (RTE 28), HARWICH, MA
PROPOSED GRADING PLAN & FENCE DETAILS
Prepared For: S & S Amusements, LLC
346 ROUTE 28 & 0 Sisson Rd, HARWICH, MA
PROJECT: 19-222 DATE: 8/20/20, 8/27/20



Limit Flood Plain per FIRM panel 25001C0612J

SITE PLAN LEGEND

- Existing Building
- Proposed Building
- Edge of Pavement
- Edge of Pavement w/Berm
- Existing Contour
- Proposed Contour
- Zoning District Limit
- Proposed Stone Parking
- Proposed Walk
- Flood Plain Limit
- Existing Fence
- Stormwater Flow
- Proposed Spot Elevation
- Existing Spot Elevation
- Catch Basin
- Landscape Islands

N
LC Pl. 36057-B



HIGH GROUNDWATER CALC.

Groundwater Found, 11/22/19	
Groundwater Found, avg.3 holes: El. 3.1	
Index Well: TSW-89	
Zone A (11/22/19,11.5')=>	+1.3'
Adj. High GW =	El. 4.4
Groundwater Found, 7/1/20	
Groundwater Found, avg.3 holes: El. 2.5	
Index Well: TSW-89	
Zone A (11/22/19,11.5')=>	1.2'
Adj. High GW =	El. 3.7
Est. Site High GW Elev. = $(4.4+3.7)/2 =$	El. 4.05

****NOTE:** This Development Is Subject To The Town of Harwich Comprehensive Stormwater and Illicit Discharge Regulations and the Stormwater Drainage System Must Receive A Stormwater Permit As Required By This Regulation.

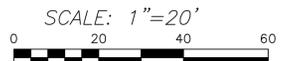
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Sheet 5

MORAN ENGINEERING ASSOC.,LLC
 508-432-2878 941 MAIN STREET (RTE 28), HARWICH, MA
PROPOSED DRAINAGE PLAN & DETAILS
 Prepared For: S & S Amusements, LLC
 346 ROUTE 28 & 0 Sisson Rd, HARWICH, MA
 PROJECT: 19-222 DATE: 8/20/20, 8/27/20



Limit Flood Plain per FIRM panel 25001C0612J

N

HAROLD STREET

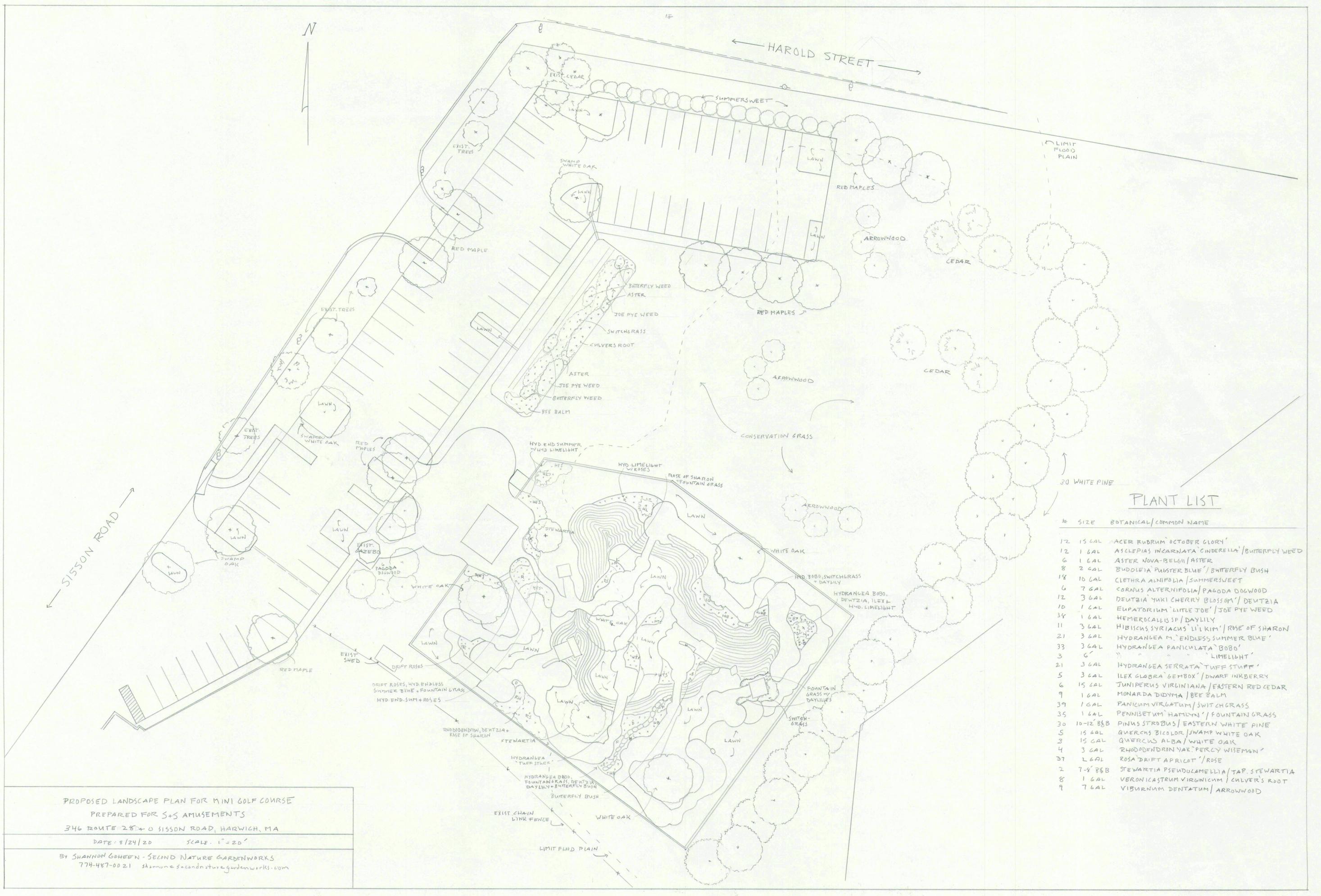
SISSON ROAD

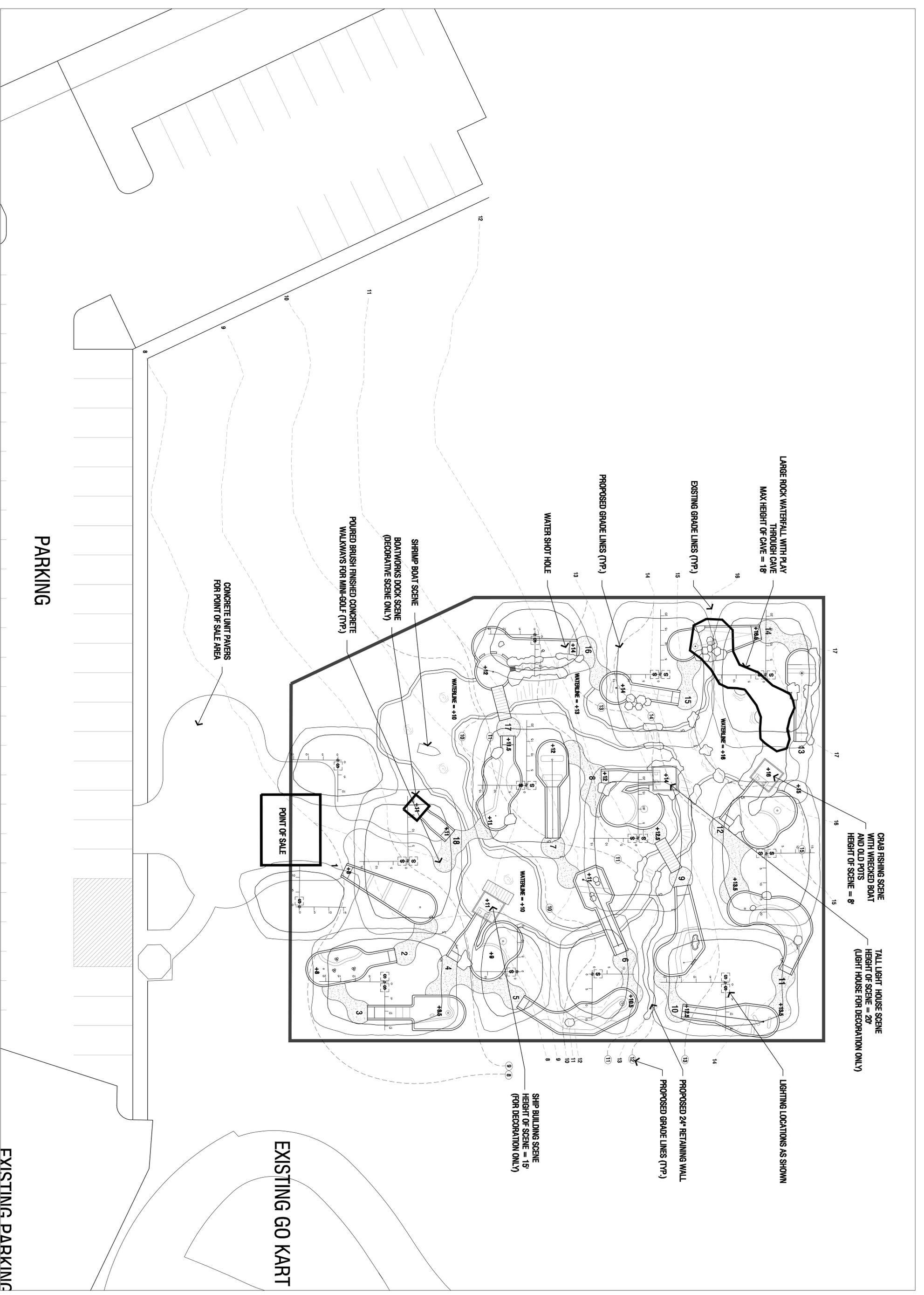
LIMIT FLOOD PLAIN

PLANT LIST

#	SIZE	BOTANICAL/COMMON NAME
12	15 GAL	ACER RUBRUM 'OCTOBER GLORY'
12	1 GAL	ASCLEPIAS INCARNATA 'CINDERELLA' / BUTTERFLY WEED
6	1 GAL	ASTER NOVA-BELGII / ASTER
8	2 GAL	Buddleia PUGSTER BLUE' / BUTTERFLY BUSH
18	10 GAL	CLETHRA ALNIFOLIA / SUMMERSWEET
6	7 GAL	CORNUS ALTERNIFOLIA / PAGODA DOGWOOD
12	3 GAL	DEUTZIA YUKI CHERRY BLOSSOM' / DEUTZIA
10	1 GAL	EUPATORIUM 'LITTLE JOE' / JOE PYE WEED
34	1 GAL	HEMEROCALLIS SP / DAYLILY
11	3 GAL	HIBISCUS SYRIACUS 'LIL'KIM' / ROSE OF SHARON
21	3 GAL	HYDRANGEA M. 'ENDLESS SUMMER BLUE'
33	3 GAL	HYDRANGEA PANICULATA 'BOBO'
3	6"	" 'LIMELIGHT'
21	3 GAL	HYDRANGEA SERRATA 'TUFF STUFF'
5	3 GAL	ILEX GLABRA 'GEMBOX' / DWARF INK BERRY
6	15 GAL	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR
9	1 GAL	MONARDA DIDYMA / BEE BALM
1	1 GAL	PANICUM VIRGATUM / SWITCH GRASS
35	1 GAL	PENNISETUM HATUM' / FOUNTAIN GRASS
30	10-12 B&B	PINUS STROBUS / EASTERN WHITE PINE
5	15 GAL	QUERCUS BICOLOR / SWAMP WHITE OAK
3	15 GAL	QUERCUS ALBA / WHITE OAK
4	3 GAL	RHOODENDRON YAK. 'PERCY WISEMAN'
37	2 GAL	ROSA 'DRIFT APRICOT' / ROSE
2	7-8 B&B	STEWARTIA PSEUDOLAMELLIA / JAP. STEWARTIA
8	1 GAL	VERONICASTRUM VIRGINICUM / CULVER'S ROOT
9	7 GAL	VIBURNUM DENTATUM / ARROWWOOD

PROPOSED LANDSCAPE PLAN FOR MINI GOLF COURSE
 PREPARED FOR S+S AMUSEMENTS
 346 ROUTE 28 + 0 SISSON ROAD, HARWICH, MA
 DATE: 8/24/20 SCALE: 1"=20'
 BY SHANNON COHEN - SECOND NATURE GARDENWORKS
 774-487-0021 shannon@secondnaturegardenworks.com





NO.	DATE	REVISION	BY

castle golf

3033 N. NORFOLK ST.
MESA, ARIZONA, 85215
PHONE: 480-868-1955 FAX: 480-868-1915

S & S AMUSEMENTS LLC.
346 RT. 28&0 SISSON RD.
HARWICH, MA.

MINI-GOLF LAYOUT

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PROPERTY OF CASTLE GOLF
NO UNAUTHORIZED COPYING
OR REPRODUCTION OF THIS
DRAWING IS PROHIBITED.

JOB NO. XXXX	DRAWN BY DHP	SCALE NTS	DATE 8-14-2020	SHEET NO.	C-1A
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XSP Series

XSP2™ LED Street/Area Luminaire – Double Module – Version C

Product Description

Designed from the ground up as a totally optimized LED street and area lighting system, the XSP Series delivers incredible efficiency without sacrificing application performance. Beyond substantial energy savings and reduced maintenance, Cree achieves greater optical control with our NanoOptic® Precision Delivery Grid™ optic when compared to traditional cobra head luminaires. The XSP Series is the better alternative for traditional street and area lighting with quick payback and improved performance.

Applications: Roadway, parking lots, walkways and general area spaces

Performance Summary

NanoOptic® Precision Delivery Grid™ optic

Made in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

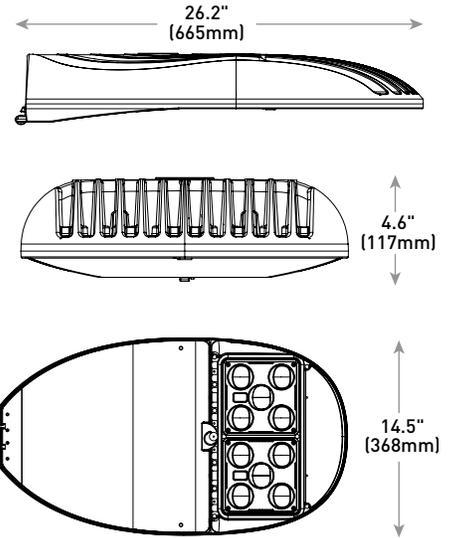
CCT: 3000K (+/- 300K); 4000K (+/- 300K); 5700K (+/- 500K)

Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

*See <http://lighting.cree.com/warranty> for warranty terms

Accessories

Field-Installed	
Backlight Control Shield XA-SP2BLS - Provides 1/2 mounting height cutoff	Bird Spikes XA-SP2BRDSPK



Weight
24 lbs. (11kg)

Ordering Information

Example: BXSP-C-HT-2ME-F-30K-UL-SV

BXSP	C	HT		F				
Product	Version	Mounting	Optic	Input Power Designator	CCT	Voltage	Color Options	Options
BXSP	C	HT Horizontal Tenon	2ME* Type II Medium 2LG* Type II Long 3ME* Type III Medium 4ME* Type IV Medium	F 139W	30K 3000K 40K 4000K 57K 5700K	UL Universal 120-277V UH Universal 347-480V	BK Black BZ Bronze SV Silver	N-Q9 Utility Label and NEMA® Photocell Receptacle - External wattage label per ANSI C136.15 - 7-pin receptacle per ANSI C136.41 - Factory connected 0-10V dim leads - Photocell and shorting cap by others - Includes Q9 option - Refer to Field Adjustable Output spec sheet for details Q9 Field Adjustable Output - Refer to Field Adjustable Output spec sheet for details R NEMA® Photocell Receptacle - 7-pin receptacle per ANSI C136.41 - Factory connected 0-10V dim leads - Photocell and shorting cap by others

* Available with Backlight Shield when ordered with field-installed accessory (see table above)
 NOTE: Price adder may apply depending on configuration

Rev. Date: V6 08/24/2016



US: lighting.cree.com/lighting

T (800) 236-6800 F (262) 504-5415

Canada: www.cree.com/canada



T (800) 473-1234 F (800) 890-7507

Product Specifications

CONSTRUCTION & MATERIALS

- Die cast aluminum housing
- Tool-less entry
- Mounts on 1.25" [32mm] IP, 1.66" [42mm] O.D. or 2" [51mm] IP, 2.375" [60mm] O.D. horizontal tenon (minimum 8" [203mm] in length) and is adjustable +/- 5° to allow for fixture leveling (includes two axis T-level to aid in leveling)
- Luminaire secures with two mounting bolts
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze and silver are available
- **Weight:** 24 lbs. (11kg)

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Class 1 driver
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Designed with 0-10V dimming capabilities. Controls by others
- **10V Source Current:** 0.15mA

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Certified to ANSI C136.31-2001, 3G bridge and overpass vibration standards
- Meets CALTrans 611 Vibration testing
- 10kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A standards for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Meets Buy American requirements within ARRA
- DLC qualified. Exceptions apply when N-Q9 or Q9 (select adjustments) options are ordered. Please refer to www.designlights.org/QPL for most current information
- RoHS compliant. Consult factory for additional details
- Dark Sky Friendly, IDA Approved when ordered with 30K CCT. Please refer to <http://darksky.org/fsa/fsa-products/> for most current information

Electrical Data*								
Input Power Designator	System Watts 120-277V	System Watts 347-480V	Total Current (A)					
			120V	208V	240V	277V	347V	480V
F	139	135	1.22	0.68	0.59	0.52	0.40	0.29

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-480V +/- 10%

Recommended XSP Series Version C Luminaire Lumen Maintenance Factors (LMF) ¹						
Ambient	Input Power Designator	Initial LMF	25K hr Projected ² LMF	50K hr Projected ² LMF	75K hr Calculated ³ LMF	100K hr Calculated ³ LMF
5°C (41°F)	F	1.04	0.97	0.91	0.85	0.80
10°C (50°F)	F	1.03	0.96	0.90	0.84	0.79
15°C (59°F)	F	1.02	0.95	0.89	0.83	0.78
20°C (68°F)	F	1.01	0.94	0.88	0.82	0.77
25°C (77°F)	F	1.00	0.93	0.87	0.81	0.76

¹Lumen maintenance values at 4000K and 25°C (77°F) are calculated per TM-21 based on LM-80 data and in-situ luminaire testing

²In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip

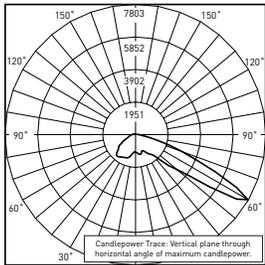
³In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip



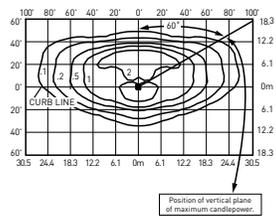
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/street-and-roadway/xsp-series-1>

2ME



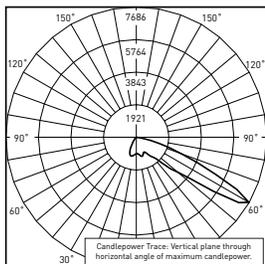
RESTL Test Report #: PL06675-001
BXSP-C--2ME-E-40K-UL**
Initial Delivered Lumens: 8,850



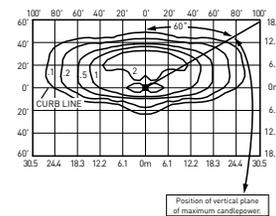
BXSP-C--2ME-F-30K-UL**
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 11,256
Initial FC at grade

Type II Medium Distribution						
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
F	11,256	B2 U0 G2	13,732	B2 U0 G2	14,408	B3 U0-G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf. Valid with no tilt



RESTL Test Report #: PL06675-002
BXSP-C--2ME-E-40K-UL w/XA-SP1BLS**
Initial Delivered Lumens: 7,078

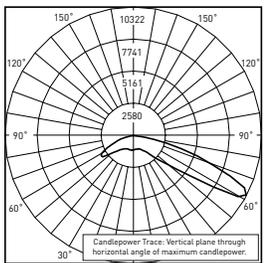


BXSP-C--2ME-F-30K-UL w/XA-SP2BLS**
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 9,543
Initial FC at grade

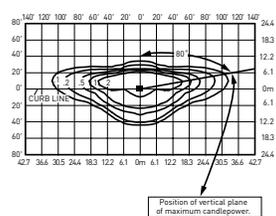
Type II Medium w/BLS Distribution						
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
F	9,543	B1 U0 G2	11,643	B2 U0 G2	12,215	B2 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf. Valid with no tilt

2LG



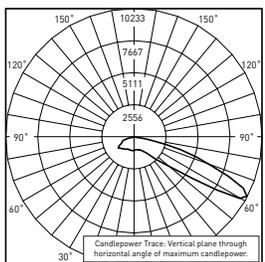
CESTL Test Report #: PL04154-001
BXSP-C--2LG-E-30K-UL**
Initial Delivered Lumens: 6,944



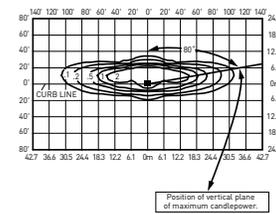
BXSP-C--2LG-F-30K-UL**
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 11,134
Initial FC at grade

Type II Long Distribution						
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
F	11,134	B2 U0 G2	13,583	B3 U0 G3	14,251	B3 U0 G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf. Valid with no tilt



CESTL Test Report #: PL04155-001
BXSP-C--2LG-E-30K-UL w/XA-SP1BLS**
Initial Delivered Lumens: 5,302



BXSP-C--2LG-F-30K-UL w/XA-SP2BLS**
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 8,197
Initial FC at grade

Type II Long w/BLS Distribution						
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
F	8,197	B1 U0 G2	10,001	B2 U0 G2	10,493	B2 U0 G2

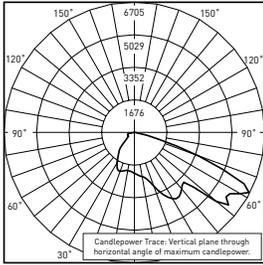
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf. Valid with no tilt



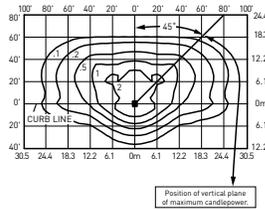
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/street-and-roadway/xsp-series-1>

3ME



CESTL Test Report #: PL04093-001
BXSP-C--3ME-F-30K-UL**
Initial Delivered Lumens: 10,671

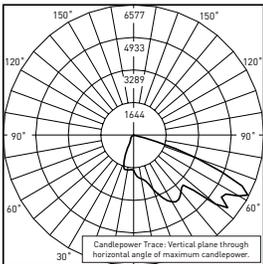


BXSP-C--3ME-F-30K-UL**
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 11,011
 Initial FC at grade

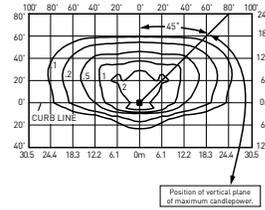
Type III Medium Distribution						
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
F	11,011	B2 U0 G2	13,434	B3 U0 G2	14,095	B3 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf. Valid with no tilt



CESTL Test Report #: PL04094-001
BXSP-C--3ME-F-30K-UL w/XA-SP2BLS**
Initial Delivered Lumens: 9,009



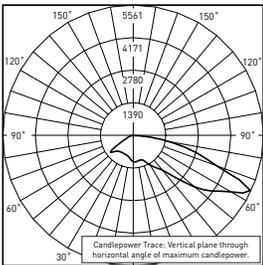
BXSP-C--3ME-F-30K-UL w/XA-SP2BLS**
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 9,176
 Initial FC at grade

Type III Medium w/BLS Distribution						
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
F	9,176	B2 U0 G2	11,195	B2 U0 G2	11,746	B2 U0 G2

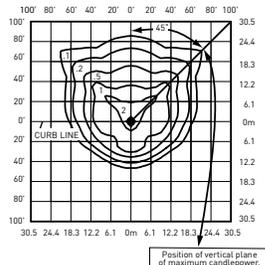
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf. Valid with no tilt

4ME



CESTL Test Report #: PL04091-001
BXSP-C--4ME-E-30K-UL**
Initial Delivered Lumens: 6,923

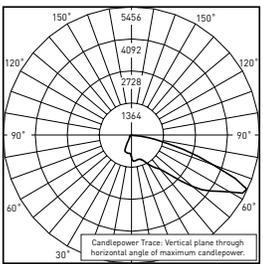


BXSP-C--4ME-F-30K-UL**
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 11,134
 Initial FC at grade

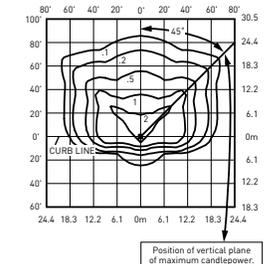
Type IV Medium Distribution						
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
F	11,134	B2 U0 G2	13,583	B3 U0 G3	14,251	B3 U0 G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf. Valid with no tilt



CESTL Test Report #: PL04092-001
BXSP-C--4ME-E-30K-UL w/XA-SP1BLS**
Initial Delivered Lumens: 5,530



BXSP-C--4ME-F-30K-UL w/XA-SP2BLS**
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 8,687
 Initial FC at grade

Type IV Medium w/BLS Distribution						
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
F	8,687	B1 U0 G2	10,598	B2 U0 G2	11,119	B2 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf. Valid with no tilt



Luminaire EPA

Horizontal Tenon Mount – Weight: 24 lbs. (11kg)				
Single	2 @ 90°	2 @ 180°	3 @ 90°	4 @ 90°
Tenon Configuration If used with Cree tenons, please add tenon EPA with luminaire EPA				
				
PD-1H4; PT-1H	PD-2H4(90); PT-2H(90)	PD-2H4(180); PT-2H(180)	PD-3H4(90); PT-3H(90)	PD-4H4(90); PT-4H(90)
0.69	1.14	1.38	1.83	2.28

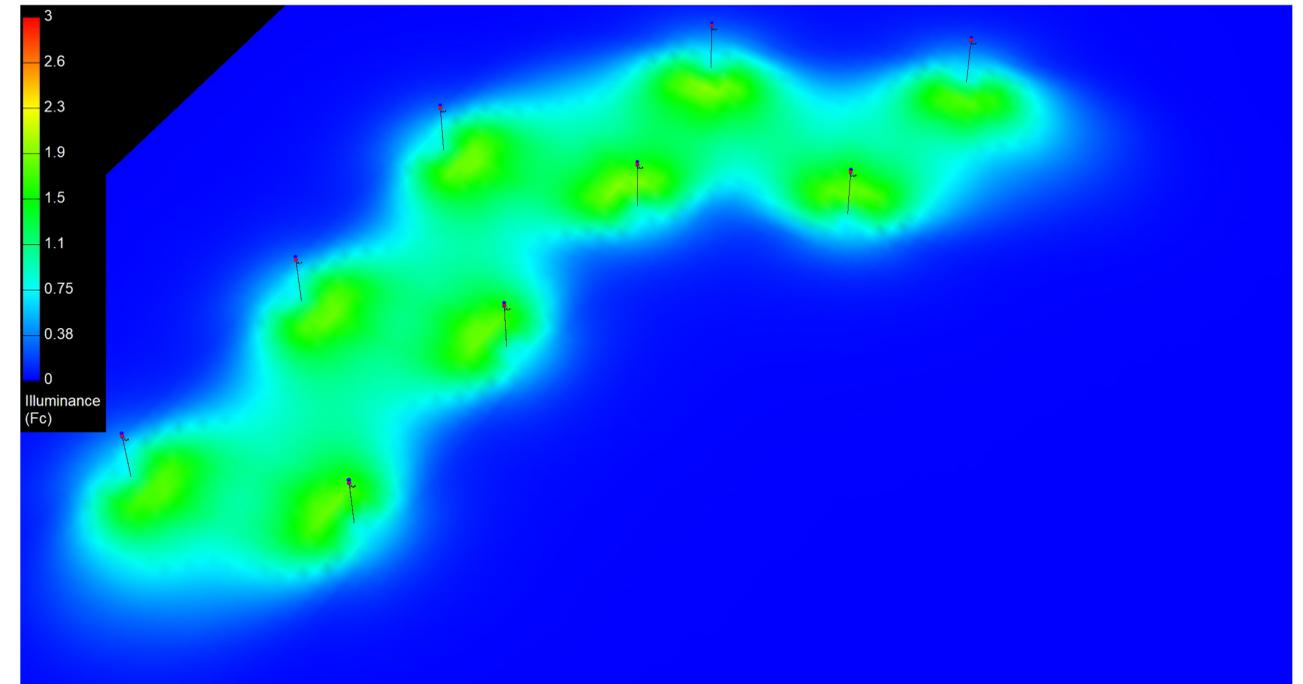
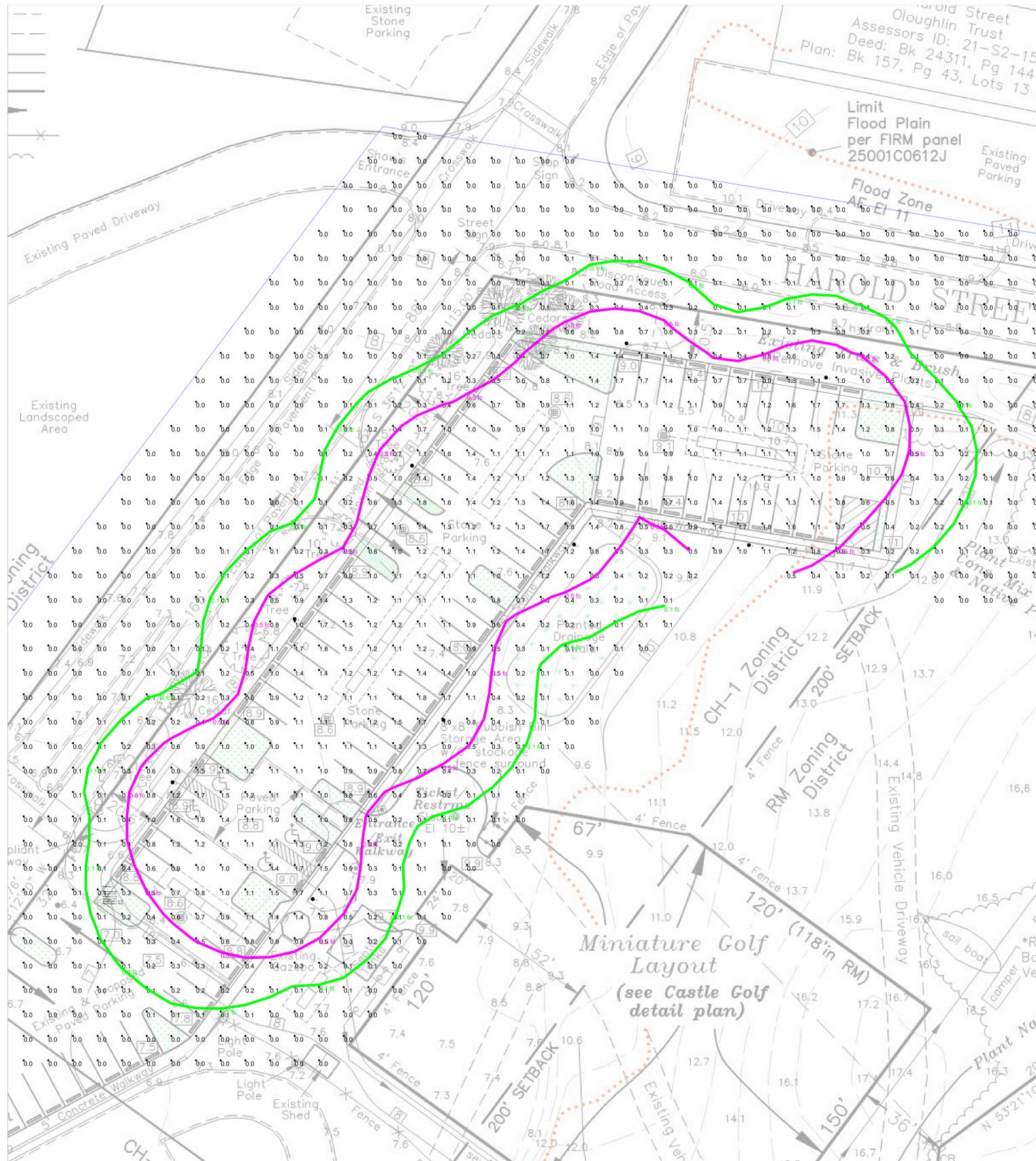
Tenon EPA

Part Number	EPA
PD Series Tenons	0.09
PT Series Tenons	0.10
WM-2L	0.13
XA-TMDA8	0.19

Tenons and Brackets* (must specify color)	
<p>Square Internal Mount Horizontal Tenons (Aluminum) - Mounts to 4" (102mm) square aluminum or steel poles PD-1H4 – Single PD-3H4(90) – 90° Triple PD-2H4(90) – 90° Twin PD-4H4(90) – 90° Quad PD-2H4(180) – 180° Twin</p>	<p>Round External Mount Horizontal Tenons (Aluminum) - Mounts to 2.375"-3" (60-76mm) O.D. round aluminum or steel poles or tenons - Mounts to 3" (76mm), 5" (127mm), or 6" (152mm) square pole with PB-1A* tenon PT-1H – Single PT-3H(90) – 90° Triple PT-2H(90) – 90° Twin PT-4H(90) – 90° Quad PT-2H(180) – 180° Twin</p>
<p>Wall Mount Brackets - Mounts to wall or roof WM-2L – Extended Horizontal</p>	<p>Direct Arm Pole Adaptor Bracket - Mounts to 3-6" (76-152mm) round or square aluminum or steel poles XA-TMDA8</p>

* Refer to the [Bracket and Tenons spec sheet](#) for more details

* Specify pole size: 3 (3"), 5 (5"), or 6 (6") for single, double or triple luminaire orientation or 5 (5") or 6 (6") for quad luminaire orientation



Luminaire Schedule						
Qty	Label	Manufacturer - Series	Description	IES Class	BUG Rating	LLF
9	L1_4	Lumec - UrbanScape	MPTC-72W32LED3K-G2-LE4	Type IV	B1-U0-G2	0.900

GENERAL DISCLAIMER:

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation method, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature. Input data used to generate the attached calculations such as room dimensions, reflectance, furniture and architectural elements significantly affect the lighting calculations. If the real environmental conditions do not match the input data, differences will occur between measured values and calculated values.

NOTE TO REVIEWER:

Total Light Loss Factor (LLF) applied at the time of design is determined by applying the Luminaire Depreciation Factor (LDF) from current luminaire manufacturer's catalog, a Luminaire Dirt Depreciation Factor (LDD) based on IES recommended values and a Ballast Factor (BF) from current ballast specification sheets. Application of an increased Light Loss Factor (LLF) will result in forecasts of performance that will not accurately depict actual results.

For proper comparison of photometric layouts, it is essential that you install all designers use correct Light Loss Factors.

REVISIONS:

- REV. 1 012820
- REV. 2 081020



20-30 BEARVER ROAD
WETHERFIELD, CT 06109
TELEPHONE 860.632.8766
FACSIMILE 860.632.8296

PROJECT TITLE:

HARWICH MINIATURE GOLF

DRAWING TITLE:

PRELIMINARY PARKING LOT LIGHTING

SCALE: NTS

DATE: 01/08/2020

DRAWN BY: DP

SHEET:

L-1.R2

Made from a one-piece, seamless 4" round (102 mm) tube of extruded aluminum welded to both the top and bottom of a cast-aluminum anchor plate. A 2" by 4-1/2" (51 by 114 mm) maintenance opening is complete with cover and copper ground lug.

Project: _____
 Location: _____
 Cat.No: _____
 Type: _____
 Lamps: _____ Qty: _____
 Notes: _____

Ordering guide

example: APR4-F-8-LS-BE2TX

Pole Family	Wall Thickness	Nominal Height	Options	Finish
APR4				
APR4	F 0.125"	8 8'	DE Pole buried 5' (1524 mm) in the ground	BE2TX Midnight Blue Textured
		10 10'	LS Provision for loudspeaker outlet	BE6TX Ocean Blue Textured
		12 12'	PH7 Button-type photoelectric cell (specify operating voltage)	BE8TX Royal Blue Textured
		14 14'	PH8 Quarter-turn type photoelectric cell (specify operating voltage)	BG2TX Sandstone Gold Textured
		15 15'	DR Duplex receptacle (120V line voltage, only)	BKTX Black Textured
		16 16'	GFI DR with common ground fault interrupter (120V line voltage only)	BRTX Bronze Textured
	U 0.226"	8 8'	HB Hinged base (16.0 ft./4.8 m max.)	GN4TX Blue Green Textured
		10 10'	BA Banner arm	GN6TX Forest Green Textured
		12 12'	PS Plant support	GN8TX Dark Forest Green Textured
		14 14'	MPL Mid-pole luminaire	GNTX Green Textured
		15 15'	Two-piece round decorative base covers	GY3TX Medium Grey Textured
		16 16'	LBC1 Cast-aluminum	RD2TX Burgundy Textured
	W 0.318"	18 18'	LBC2 Cast-aluminum	RD4TX Scarlet Textured
		12 12'	LBC3 Cast-aluminum	WHTX White Textured
		14 14'	LBC4C Cast-aluminum	GR Gray Sandtex
		15 15'		NP Natural Alum.
		16 16'		TG Hammer-tone
		18 18'		TS Hammer-tone Silver
		20 20'		

Note: The recommended method for calculating EPA (Effective Projected Area) is in accordance with AASHTO 2001 standards: for three seconds, the pole is tested in wind gusts equivalent to the strongest winds on record over the past 50 years, and with a 50 pound load (22.7 kg) placed at 1 foot (305 mm) above its center.

Outdoor Poles and Brackets

APR4 – Round Aluminum Pole

Pole Data

Pole Family	Catalog Number	Nominal Height (ft)	Nominal Height (m)	Tenon Section (in)	Tenon Section (mm)	Wall Thickness (in)	Wall Thickness (mm)	Weight (lbs)	Weight (kg)	EPA Rating 90 MPH (sq. ft.)	EPA Rating 110 MPH (sq. ft.)	EPA Rating 120 MPH (sq. ft.)	EPA Rating 150 MPH (sq. ft.)	Anchor Bolts (in)	Anchor Bolts (mm)
APR4	APR4F-8	8	2.44	4	102	0.125	3.2	21	10	10.18	6.55	5.38	3.34	3/4-20	19-508
APR4	APR4U-8	8	2.44	4	102	0.226	5.7	32	14	18.64	12.35	10.28	6.53	3/4-20	19-508
APR4	APR4F-10	10	3.05	4	102	0.125	3.2	24	11	7.7	4.73	3.79	2.27	3/4-20	19-508
APR4	APR4U-10	10	3.05	4	102	0.226	5.7	38	17	14.58	9.44	7.78	4.87	3/4-20	19-508
APR4	APR4F-12	12	3.66	4	102	0.125	3.2	28	13	5.86	3.36	2.58	1.45	3/4-20	19-508
APR4	APR4U-12	12	3.66	4	102	0.226	5.7	44	20	11.65	7.31	5.94	3.64	3/4-20	19-508
APR4	APR4W-12	12	3.66	4	102	0.318	8.1	58	26	16.27	10.5	8.64	5.4	3/4-20	19-508
APR4	APR4F-14	14	4.27	4	102	0.125	3.2	31	14	4.44	2.27	1.63	-	3/4-20	19-508
APR4	APR4U-14	14	4.27	4	102	0.226	5.7	51	23	9.38	5.67	4.5	2.68	3/4-20	19-508
APR4	APR4W-14	14	4.27	4	102	0.318	8.1	67	30	13.34	8.4	6.82	4.18	3/4-20	19-508
APR4	APR4F-15	15	4.57	4	102	0.125	3.2	33	15	3.81	1.8	1.19	-	3/4-20	19-508
APR4	APR4U-15	15	4.57	4	102	0.226	5.7	54	24	8.42	4.97	3.88	2.25	3/4-20	19-508
APR4	APR4W-15	15	4.57	4	102	0.318	8.1	71	32	11.84	7.25	5.82	3.5	3/4-20	19-508
APR4	APR4F-16	16	4.88	4	102	0.125	3.2	35	16	3.27	1.36	-	-	3/4-20	19-508
APR4	APR4U-16	16	4.88	4	102	0.226	5.7	57	26	7.15	4.05	3.13	1.77	3/4-20	19-508
APR4	APR4W-16	16	4.88	4	102	0.318	8.1	75	34	10.06	6	4.76	2.82	3/4-20	19-508
APR4	APR4U-18	18	5.49	4	102	0.226	5.7	63	29	5.55	3.15	2.27	1.16	3/4-27	19-686
APR4	APR4W-18	18	5.49	4	102	0.318	8.1	84	38	7.78	4.67	3.7	2.19	3/4-27	19-686
APR4	APR4W-20	20	6.1	4	102	0.318	8.1	93	42	6.31	3.83	2.92	1.57	3/4-27	19-686

Specifications

Base cover

Square base cover made from two pieces of formed aluminum mechanically fastened to the base with stainless steel hardware.

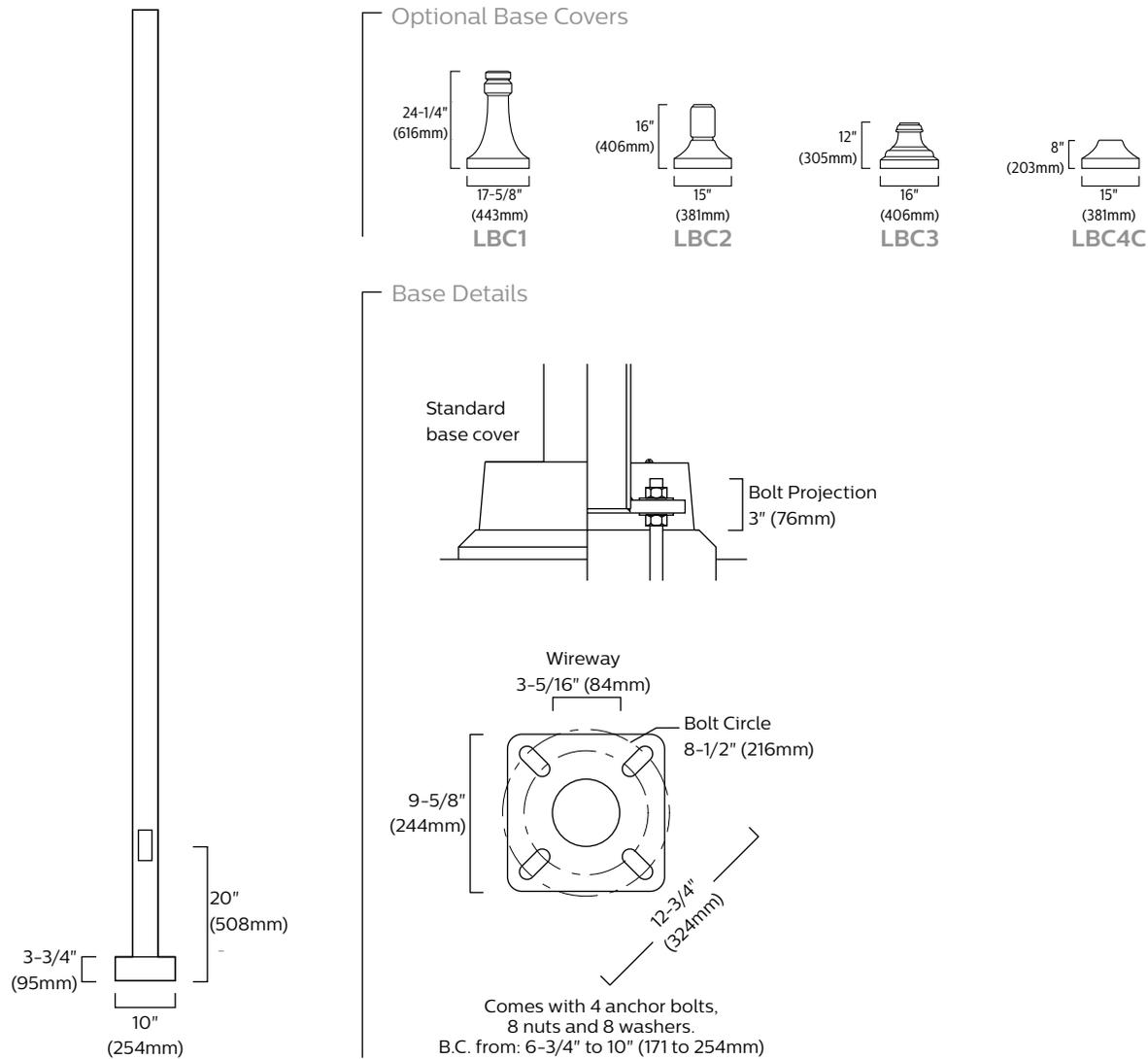
Finish

Color to be in accordance with the AAMA 2603 standard. Application of polyester powder coat paint (4 mils/100 microns) with ± 1 mils/24 microns of tolerance. The Thermosetting resins provides a discoloration resistant finish in accordance with the ASTM D2244 standard, as well as luster retention in keeping with the ASTM D523 standard and humidity proof in accordance with the ASTM D2247 standard.

Outdoor Poles and Brackets

APR4 – Round Aluminum Pole

Dimensions





Lumec **UrbanScape LED** post top luminaire features flexible, robust energy-saving solutions for modern-styled urban architectural lighting. With its slightly rounded hood, the post top model comes with a flat lens to highlight the thinness of the LEDs. The luminaire provides attractive lighting at night, adding appeal to the surroundings and promoting safe use of the environment. Includes Service Tag, innovative way to provide assistance throughout the life of the product.

Project: _____
 Location: _____
 Cat.No: _____
 Type: _____
 Lamps: _____ Qty: _____
 Notes: _____

Luminaire ordering guide

Example: MPTC-42W32LED4K-T-LE3-120-CDMGM25-PH8-BKTX

Series	LED Module	CCT	Gen.	Optical System	Voltage	Driver	Luminaire option	Mounting	Pole	Finish
MPTC			G2							
MPTC¹ UrbanScape LED post top luminaire	35W32LED² 55W32LED² 72W32LED² 97W32LED² 55W48LED 80W48LED 108W48LED 140W48LED² 70W64LED 110W64LED 90W80LED 135W80LED	3K 3000K 4K 4000K	G2 Gen2	LE2 Type II (ASYM) flat lens LE3 Type III (ASYM) flat lens LE3W³ Type III (ASYM) wide flat lens LE4 Type IV (ASYM) flat lens LE5 Type V (SYMM) flat lens	120 120V 208 208V 240 240V 277 277V 347 347V 480 480V	CDMG² Dynadimmer for standard dimming (consult complete Dynadimmer scenarios on pg 3) CLO² Pre-set driver to manage lumen depreciation AST² Pre-set driver for progressive start-up OTL² Pre-set driver to signal end of life of the lamp DALI Pre-set driver compatible with the DALI control system DMG 0-10 volt SRD² Sensor ready driver (standard configuration) SRD1² Sensor ready driver (alternate configuration)	HS House Side Shield OVR Dynadimmer override function PH8 Photoelectric cell PH9 Shorting Cap PHXL² Photoelectric cell, extended life RCD⁴ 5-Pin receptacle for dimming photoelectric cell RCD7⁴ 7-Pin receptacle for photoelectric cell TN3⁵ Fitter to fit over a 3" (76 mm) O.D. by 4" (102 mm) long tenon TN3.5⁵ Fitter to fit over a 3 1/2" (89 mm) O.D. by 4" (102 mm) long tenon	Consult the Signify web site for details and the complete line of Mountings	Consult the Signify web site for details and the complete line of Poles	BE2TX BE6TX BE8TX BG2TX BKTX BRTX GN4TX GN6TX GN8TX GNTX GR GY3TX NP RD2TX RD4TX TG TS WHTX (consult pg 4 for code descriptions)

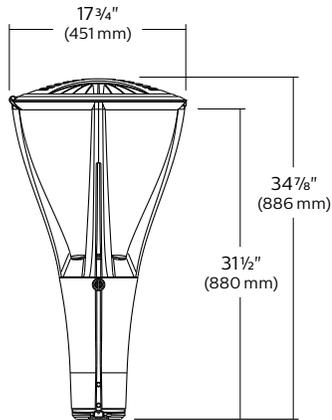
- DMG 0-10V driver come standard.
- The 347V and 480V are not available.
- Not available with HS option.
- Use of photoelectric cell or shorting cap is required to ensure proper illumination.
- Not available with Motion Response.



MPTC MetroScape post top

urban luminaire

Dimensions



Motion Response* (must be ordered as a separate item) Example: ACC-120-MR4PGI-BKTX

Series	Voltage	Motion Response module	Finish
ACC			
ACC Accessory	120 120 volt 277 120 volt	MR4PG1 Single grey MR4PG2 Double grey MR4PW1 Single white MR4PW2 Double white	Consult Lumec's Color Chart for complete specifications.

*OVR option is required for Motion Response Accessory

LED Wattage and Lumen Values for 3000K & 4000K fixtures

Ordering Code:	Total LEDs	System current (mA)	Average System Watts ¹ (W)	LE2			LE3			LE3W			LE4			LE5		
				Lumen Output ²	Efficacy (LPW)	BUG Rating	Lumen Output ²	Efficacy (LPW)	BUG Rating	Lumen Output ²	Efficacy (LPW)	BUG Rating	Lumen Output ²	Efficacy (LPW)	BUG Rating	Lumen Output ²	Efficacy (LPW)	BUG Rating
MPTC 3000K																		
35W32LED3K-G2	32	350	37	2875	77.7	B1-U0-G1	2895	78.2	B1-U0-G1	2948	79.7	B1-U0-G1	2893	78.2	B1-U0-G1	3107	84.0	B2-U0-G1
55W32LED3K-G2	32	530	56	4124	73.8	B1-U0-G1	4152	74.3	B1-U0-G1	4228	75.6	B1-U0-G1	4149	74.2	B1-U0-G1	4457	79.7	B3-U0-G1
72W32LED3K-G2	32	700	70	5201	74.0	B1-U0-G1	5237	74.5	B1-U0-G1	5333	75.9	B1-U0-G2	5233	74.4	B1-U0-G2	5621	80.0	B3-U0-G1
97W32LED3K-G2	32	1050	104	7172	68.8	B1-U0-G1	7221	69.2	B1-U0-G2	7353	70.5	B1-U0-G2	7216	69.2	B1-U0-G2	7751	74.3	B3-U0-G2
55W48LED3K-G2	48	350	54	4313	79.3	B1-U0-G1	4342	79.8	B1-U0-G1	4422	81.3	B1-U0-G1	4339	79.8	B1-U0-G1	4661	85.7	B3-U0-G1
80W48LED3K-G2	48	530	81	6186	76.1	B1-U0-G1	6229	76.6	B1-U0-G2	6342	78.0	B1-U0-G2	6224	76.6	B1-U0-G2	6686	82.2	B3-U0-G2
108W48LED3K-G2	48	700	105	7802	74.0	B1-U0-G1	7855	74.5	B1-U0-G2	7999	75.9	B1-U0-G2	7850	74.5	B1-U0-G2	8432	80.0	B3-U0-G2
140W48LED3K-G2	48	1050	157	10758	68.7	B2-U0-G2	10832	69.2	B2-U0-G2	11030	70.5	B2-U0-G2	10824	69.2	B2-U0-G2	11627	74.3	B4-U0-G2
70W64LED3K-G2	64	350	73	5750	78.8	B1-U0-G1	5790	79.3	B1-U0-G1	5896	80.8	B1-U0-G2	5785	79.2	B1-U0-G2	6215	85.1	B3-U0-G1
110W64LED3K-G2	64	530	105	8248	78.6	B2-U0-G2	8305	79.1	B1-U0-G2	8457	80.5	B1-U0-G2	8299	79.0	B1-U0-G2	8914	84.9	B3-U0-G2
90W80LED3K-G2	80	350	91	7188	79.3	B1-U0-G1	7237	79.8	B1-U0-G2	7370	81.3	B1-U0-G2	7232	79.7	B1-U0-G2	7768	85.6	B3-U0-G2
135W80LED3K-G2	80	530	136	10310	76.1	B2-U0-G2	10381	76.6	B2-U0-G2	10571	78.0	B2-U0-G2	10373	76.6	B2-U0-G2	11143	82.2	B4-U0-G2
MPTC 4000K																		
35W32LED4K-G2	32	350	37	3462	93.6	B1-U0-G1	3624	97.9	B1-U0-G1	3610	97.6	B1-U0-G1	3650	98.6	B1-U0-G1	3695	99.9	B3-U0-G1
55W32LED4K-G2	32	530	56	4966	88.8	B1-U0-G1	5198	93.0	B1-U0-G1	5178	92.6	B1-U0-G2	5235	93.6	B1-U0-G2	5300	94.8	B3-U0-G1
72W32LED4K-G2	32	700	70	6263	89.1	B1-U0-G1	6556	93.3	B1-U0-G2	6531	92.9	B1-U0-G2	6603	93.9	B1-U0-G2	6684	95.1	B3-U0-G2
97W32LED4K-G2	32	1050	104	8636	82.8	B2-U0-G2	9040	86.7	B1-U0-G2	9005	86.3	B1-U0-G2	9105	87.3	B1-U0-G2	9217	88.4	B4-U0-G2
55W48LED4K-G2	48	350	54	5255	96.6	B1-U0-G1	5349	98.3	B1-U0-G1	5422	99.7	B1-U0-G2	5362	98.6	B1-U0-G2	5659	104.0	B3-U0-G1
80W48LED4K-G2	48	530	81	7538	92.7	B1-U0-G1	7673	94.4	B1-U0-G2	7777	95.7	B1-U0-G2	7691	94.6	B1-U0-G2	8117	99.8	B3-U0-G2
108W48LED4K-G2	48	700	105	9507	90.2	B2-U0-G2	9677	91.8	B2-U0-G2	9808	93.1	B2-U0-G2	9700	92.0	B2-U0-G2	10237	97.1	B4-U0-G2
140W48LED4K-G2	48	1050	157	13109	83.8	B2-U0-G2	13344	85.3	B2-U0-G2	13525	86.4	B2-U0-G3	13376	85.5	B2-U0-G2	14116	90.2	B4-U0-G2
70W64LED4K-G2	64	350	73	7007	96.0	B1-U0-G1	7132	97.7	B1-U0-G2	7229	99.0	B1-U0-G2	7150	97.9	B1-U0-G2	7545	103.4	B3-U0-G2
110W64LED4K-G2	64	530	105	10050	95.7	B2-U0-G2	10231	97.4	B2-U0-G2	10369	98.8	B2-U0-G2	10255	97.7	B2-U0-G2	10822	103.1	B4-U0-G2
90W80LED4K-G2	80	350	91	8759	96.6	B2-U0-G2	8916	98.3	B1-U0-G2	9036	99.6	B2-U0-G2	8937	98.5	B1-U0-G2	9431	104.0	B4-U0-G2
135W80LED4K-G2	80	530	136	12563	92.7	B2-U0-G2	12788	94.4	B2-U0-G2	12962	95.7	B2-U0-G2	12819	94.6	B2-U0-G2	13528	99.8	B4-U0-G2

Actual performance may vary due to installation variables including optics, mounting/ceiling height, dirt depreciation, light loss factor, etc.; highly recommended to confirm performance with a layout - contact Applications at signify.com/outdoorluminaire.

Note: Some data may be scaled based on tests of similar. But not identical luminaires.

MPTC MetroScape post top

urban luminaire

Specifications

Cage

In a round shape with 4 arms and a built-in mechanical ring, this cage is a one piece die cast A360 Aluminum alloy 0.100 (2.5mm) minimum thickness, mechanically assembled to the fitter.

Fitter:

Made of die cast A360.1 Aluminum alloy 0.100 (2.5mm) minimum thickness, the fitter is complete with a watertight access door giving access to the driver rated IP66, and a terminal block that accepts (#2 max.) wires from the primary circuit. Comes with an easy self adjusting system with two (2) set screws 3/8 16 UNC for ease of maintenance and installation. Fits on a 4" (102mm) outside diameter by 4" (102mm) long tenon.

Finial

Decorative cast 356 aluminum, mechanically assembled.

Hood

Made of die cast A360.1 Aluminum alloy 0.1 (2.5mm) minimum thickness, mechanically assembled to the cast aluminum heat sink.

Access-Mechanism

A die cast A360.1 Aluminum alloy 0.1 (2.5mm) minimum thickness technical ring with latch and hinge.

Light Engine

LED engine is composed of 4 main components: LED lamp / Optical System / Heat Sink / Driver. Electrical components are RoHS compliant.

LEx Lens

Flat Lens: Made of soda lime clear tempered glass, mechanically assembled and sealed onto the ring of the access mechanism.

LED Module

Composed of high-performance white LEDs. Color temperature as per ANSI/NEMA bin Neutral White, 4000 Kelvin nominal (3985K +/- 275K or 3710K to 4260K) or Warm white, 3000 Kelvin nominal (3045K +/- 175K or 2870K to 3220K), CRI 70 Min. 75 Typical.

Optical System

Composed of high performance optical polymer refractor lenses to achieve desired distribution optimized to get maximum spacing, target lumens and a superior lighting uniformity. System is rated IP66. Performance shall be tested per LM 63, LM 79 and TM 15 (IESNA) certifying its photometric performance. Street side indicated. Dark Sky compliant with 0% uplight and U0 per IESNA TM 15.

Heat Sink

Made of cast aluminum optimizing the LEDs efficiency and life. Product does not use any cooling device with moving parts (only passive cooling device).

Driver

High power factor of 95%. Electronic driver, operating range 50/60 Hz. Auto adjusting universal voltage input from 120 to 277 and 347 to 480 VAC rated for both application line to line or line to neutral, Class I, THD of 20% max. Maximum ambient operating temperature from 40F (40C) to 130F (55C) degrees. Certified in compliance to UL1310 cULus requirement. Dry and damp location. Assembled on a unitized removable tray with Tyco quick disconnect plug resisting to 221F(105C) degrees. Dimmable driver 0-10V.

The current supplying the LEDs will be reduced by the driver if the driver experiences internal overheating as a protection to the LEDs and the electrical components. Output is protected from short circuits, voltage overload and current overload. Automatic recovery after correction. Standard built in driver surge protection of 2.5kV (min).

Driver options

AST: Pre-set driver for progressive start-up of the LED module(s) to optimize energy management and enhance visual comfort at start-up.

CLO: Pre-set driver to manage the lumen depreciation by adjusting the power given to the LEDs offering the same lighting intensity during the entire lifespan of the LED module.

DMG: Dimmable driver 0-10V.

OTL: Pre-set driver to signal end of life of the LED module(s) for better fixture management.

CDMG: Dynadimmer standard dimming functionalities including pre-programmed scenarios to suit many applications and needs from safety to maximum energy savings.

Order Code	Scenario	Dim. Time	Dim. Level
CDMGS25	Safety	4 hours	25% power
CDMGS50	Safety	4 hours	50% power
CDMGS75	Safety	4 hours	75% power
CDMGM25	Median	6 hours	25% power
CDMGM50	Median	6 hours	50% power
CDMGM75	Median	6 hours	75% power
CDMGE25	Economy	8 hours	25% power
CDMGE50	Economy	8 hours	50% power
CDMGE75	Economy	8 hours	75% power

SRD: Sensor Ready Driver including SR communication (used for dimming and other functionalities), 24V auxiliary supply and a logical signal input (LSI) connected to the top NEMA twist lock receptacle.

SRDI: Sensor Ready Driver including SR communication (used for dimming and other functionalities) but with 24V auxiliary supply and a logical signal input (LSI) not connected to the top NEMA twist lock.

Luminaire options



HS
House side shield



PH8 (allows a 90° rotation)
Photoelectric cell, twist-lock type complete with receptacle and decorative polycarbonate (grey) cap with a plastic lens.



PH9
Shorting cap, twist-lock type complete with receptacle.



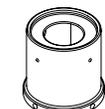
PHXL (allows a 90° rotation)
Extended life Photoelectric cell, twist-lock type complete with receptacle and decorative polycarbonate (grey) cap with a plastic lens.



RCD
Receptacle 5-pins allowing dimming, can be used with a twist-lock Starsense, shorting cap or a photoelectric cell.



RCD7
Receptacle 7-pins.



TN3
Fitter to fit over a 3" (76 mm) O.D. by 4" (102 mm) tenon.



TN3.5
Fitter to fit over a 3-1/2" (89 mm) O.D. by 4" (102 mm) tenon.

OVR
Dynadimmer override function.

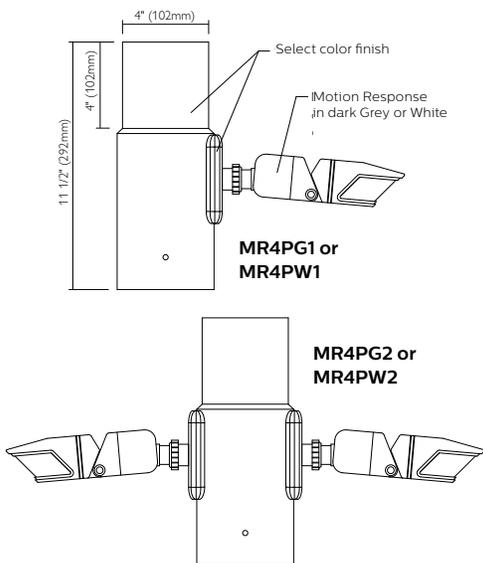
MPTC MetroScape post top

urban luminaire

Specifications (continued)

Luminaire accessories

Motion Response: Tenon mount motion response provides 270° coverage on an adjustable knuckle. The coverage equals to up to 6 times the sensor height. It is an option offered jointly with the Dynadimmer OVR option, that can bring the light up to 100% when the motion response is triggered. It is available in a single or double mounting option. Finish options for the motion response device are white or dark gray. Finish options for the tenon must be specified to match the luminaire and pole. The tenon mount is fully rotatable 360°. This option is available for a 4" OD x 4" long tenon. See instruction sheet for time setting functionality (12 second to 16 minute turn off options) and for mounting instructions.



Surge Protector

Surge protector tested in accordance with ANSI/IEEE C62.45 per ANSI/IEEE C62.41.2 Scenario I Category C High Exposure 10kV/10kA waveforms for Line Ground, Line Neutral and Neutral Ground, and in accordance with U.S. DOE (Department of Energy) MSSLC (Municipal Solid State Street Lighting Consortium) model specification for LED roadway luminaires electrical immunity requirements for High Test Level 10kV / 10kA.

Finish

The Thermosetting powder coating provided meets the color requirements of the AAMA 2604 specification as measured per ASTM D2244. The Thermosetting product is applied at a dry film of 2.5 to 4.0 mils (64-102 microns) on textured finishes, resulting in a durable long lasting finish.

Textured Finishes:

- BE2TX:** Midnight Blue
- BE6TX:** Ocean Blue
- BE8TX:** Royal Blue
- BG2TX:** Sandstone
- BKTX:** Black
- BRTX:** Bronze
- GN4TX:** Blue Green
- GN6TX:** Forest Green
- GN8TX:** Dark Forest Green
- GNTX:** Green
- GY3TX:** Medium Grey
- RD2TX:** Burgundy
- RD4TX:** Scarlet
- WHTX:** White

Other Finishes:

- GR:** Gray Sandtex
- NP:** Natural Alum.
- TG:** Hammer-tone Gold
- TS:** Hammer-tone Silver

LED manufacturing standard

The electronic components sensitive to electrostatic discharge (ESD) such as light emitting diodes (LEDs) are assembled in compliance with IEC61340 5-1 and ANSI/ESD S20.20 standards so as to eliminate ESD events that could decrease useful life of the product.

Quality Control

Manufactured to ISO 9001 2008 and ISO 14001 2004 International Quality Standards Certification.

Vibration Resistance

Meets the ANSI C136.31, American National Standard for Roadway Luminaire Vibration specifications for Bridge/overpass applications. (Tested for 3G over 100 000 cycles by an independent lab).

Service Tag

Each individual luminaire is uniquely identifiable, thanks to the Service tag application. With a simple scan of a QR code, placed inside the luminaire, you gain instant access to the luminaire configuration, making installation and maintenance operations faster and easier, no matter what stage of the luminaire's lifetime. Just download the APP and register your product right away.

For more details visit: signify.com/servicetag

Certifications and Compliance

CSA, cULus Listed for Canada and USA. MetroScape is on the DesignLights.

LED Performance

Predicted lumen depreciation data ¹					
Ordering Code	Ambient Temperature (°C)	Driver mA	Calculated L ₇₀ hours ^{1,2}	L ₇₀ per TM-21 ^{2,3}	Lumen Maintenance % @ 60,000 hours
MPTC-135W80LED4K	25°C	530 mA	>100,000	>60,000	94.01%
MPTC-140W48LED4K	25°C	1050 mA	>100,000	>60,000	96.78%

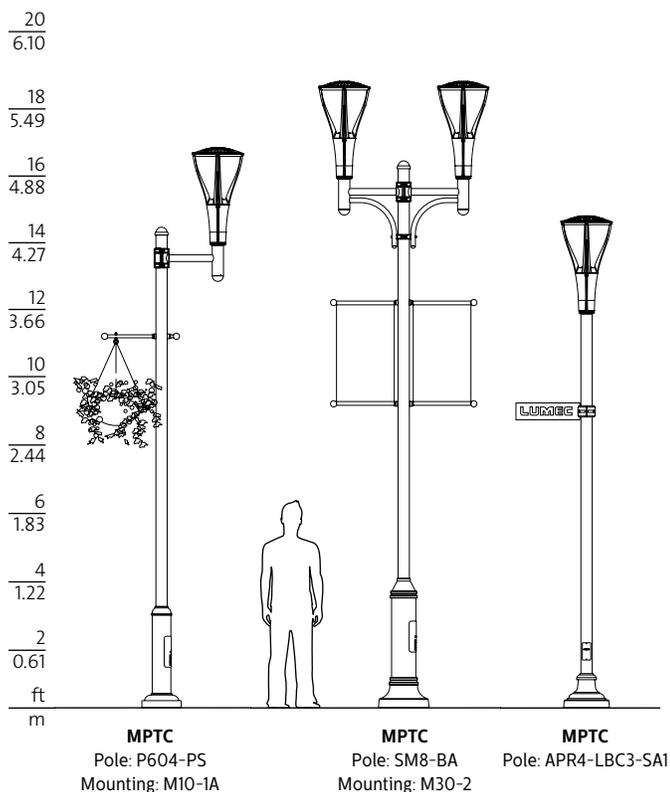
1. Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions.
 2. L₇₀ is the predicted time when LED performance depreciates to 70% of initial lumen output.
 3. Calculated per IESNA TM21-11. Published L₇₀ hours limited to 6 times actual LED test hours.

MPTC MetroScape post top

urban luminaire

Specifications (continued)

Poles



Consult Signify.com/outdoorluminaires for details and the complete line of Signify poles and brackets.



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Signify North America Corporation
200 Franklin Square Drive,
Somerset, NJ 08873
Telephone 855-486-2216

Signify Canada Ltd.
281 Hillmount Road,
Markham, ON, Canada L6C 2S3
Telephone 800-668-9008

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FRONT ELEVATION



FRONT PERSPECTIVE



SIDE ELVATION



REAR PERSPECTIVE



SIDE ELEVATION



PERSPECTIVE



FRONT ELEVATION

DRAWN BY
DHP

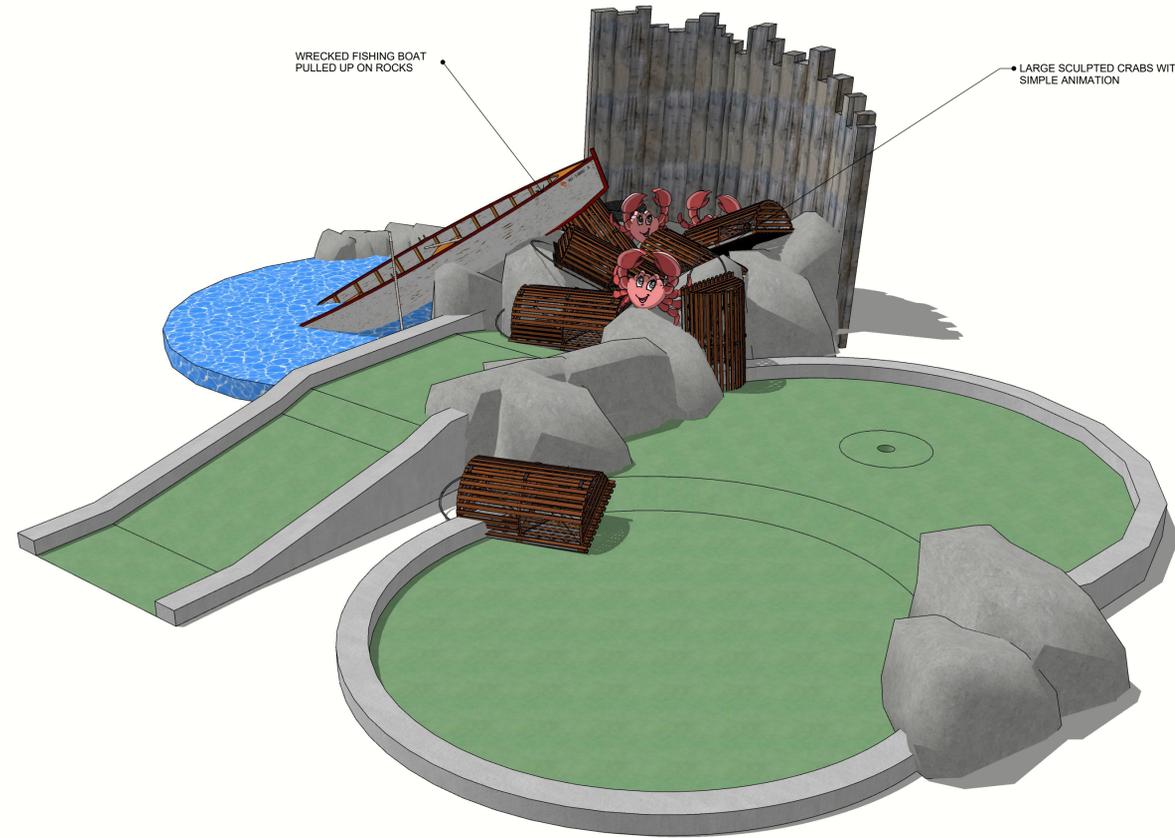
DESCRIPTION
Light House Hole 8

PROJECT
S&S AMUSEMENTS MINI-GOLF
PROJECT NO.
SWAVI

Swavi Osew
S&S Amusements LLC.
346 Rt. 28 & 0 Sisson Rd.
Harwich, MA.

Castle Golf Inc.
1733 N. Greenfield Rd. Suite 101
Mesa, AZ. 85205
Phone: 480-968-1955
www.castlegolf.com

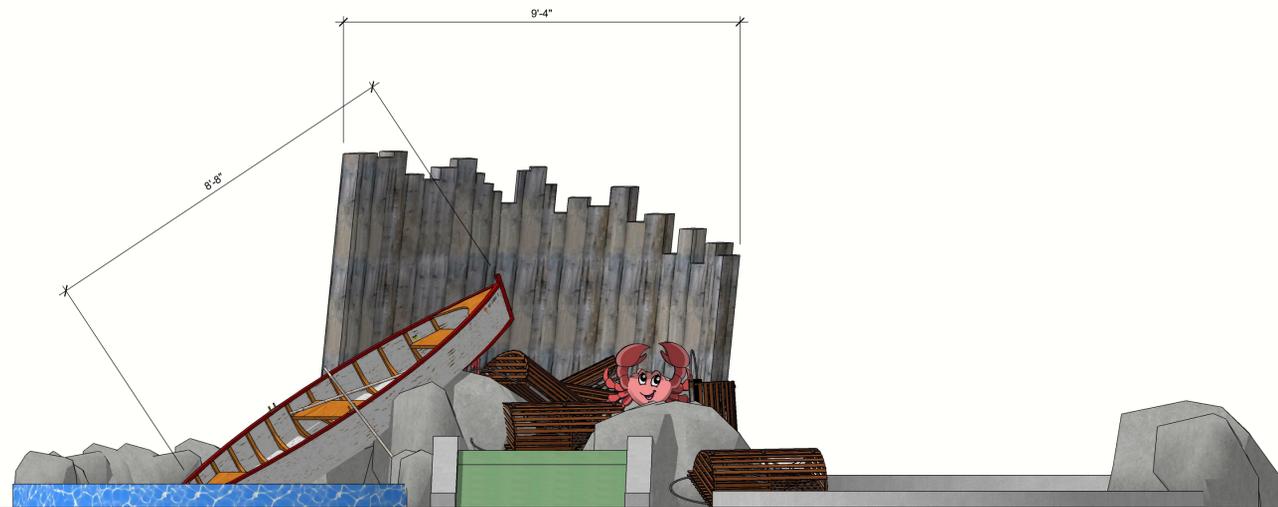




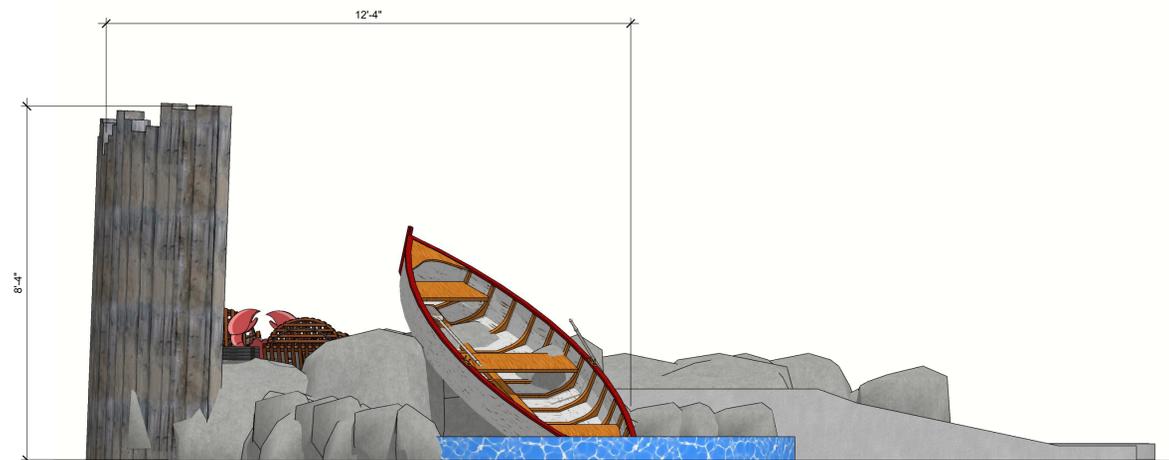
WRECKED FISHING BOAT
PULLED UP ON ROCKS

LARGE SCULPTED CRABS WITH
SIMPLE ANIMATION

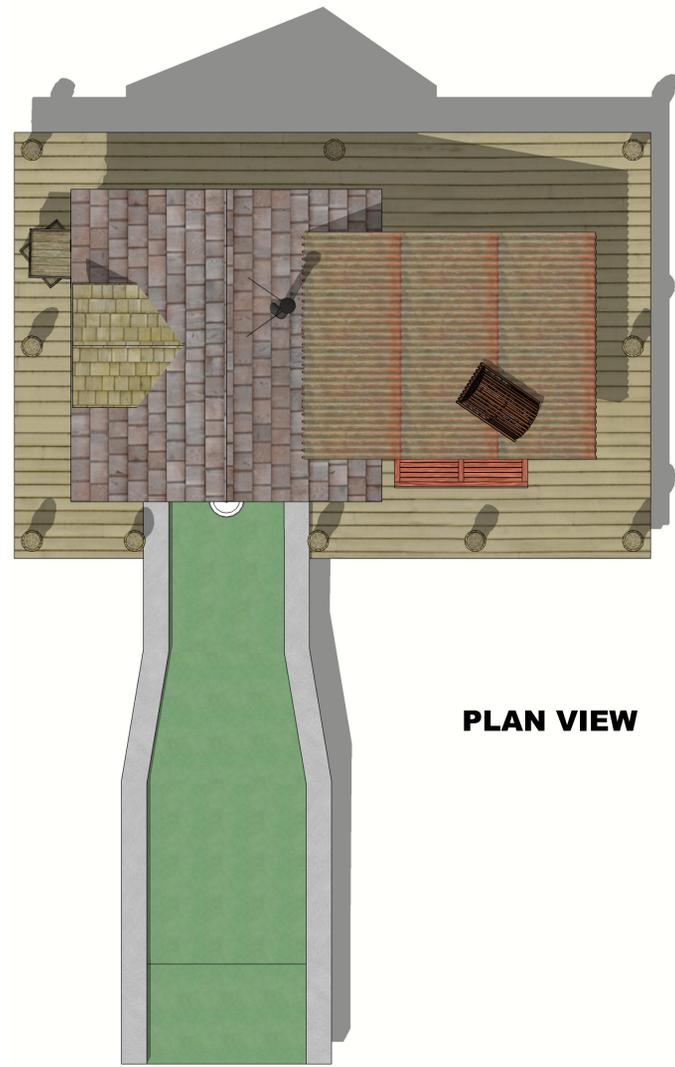
PERSPECTIVE



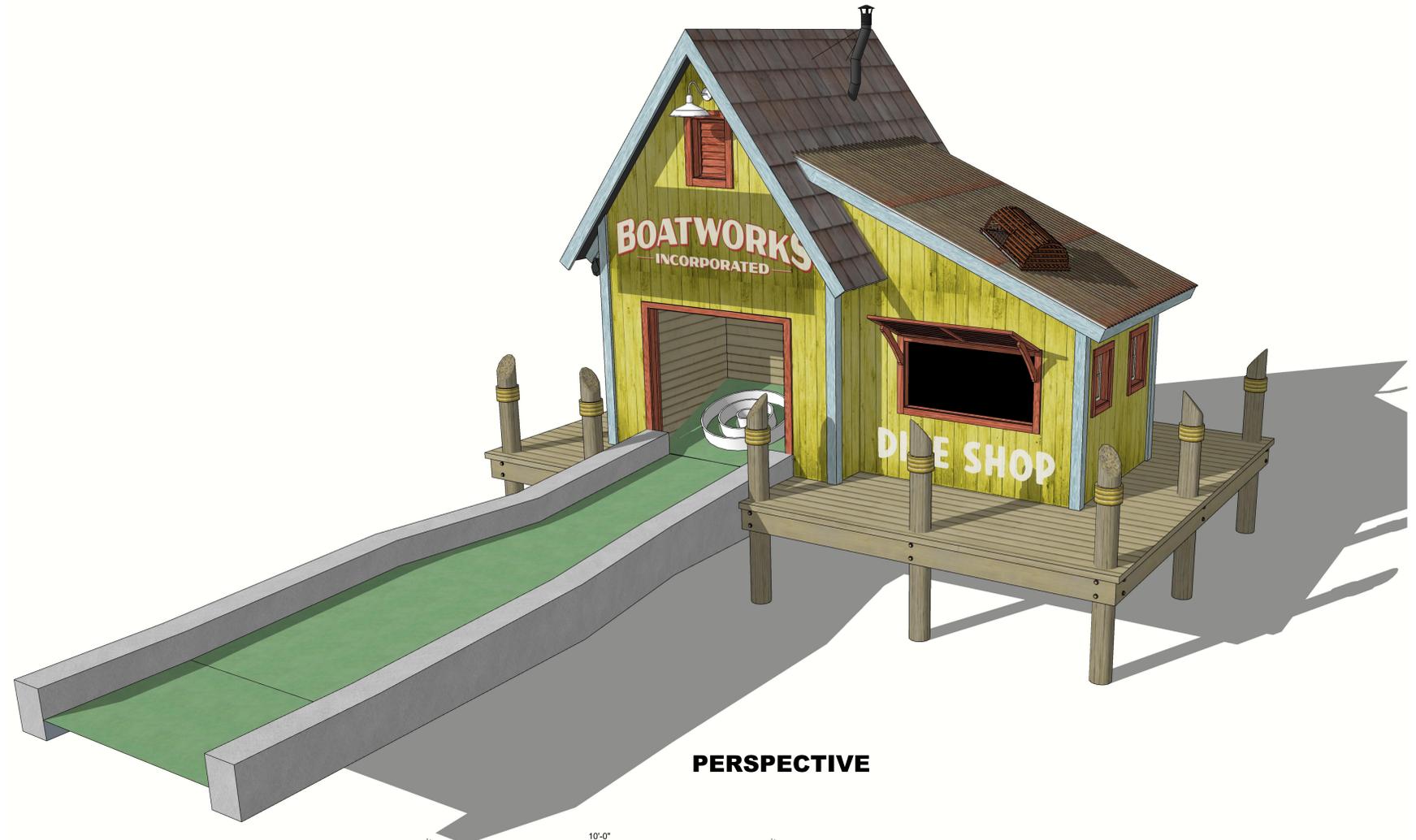
FRONT ELEVATION



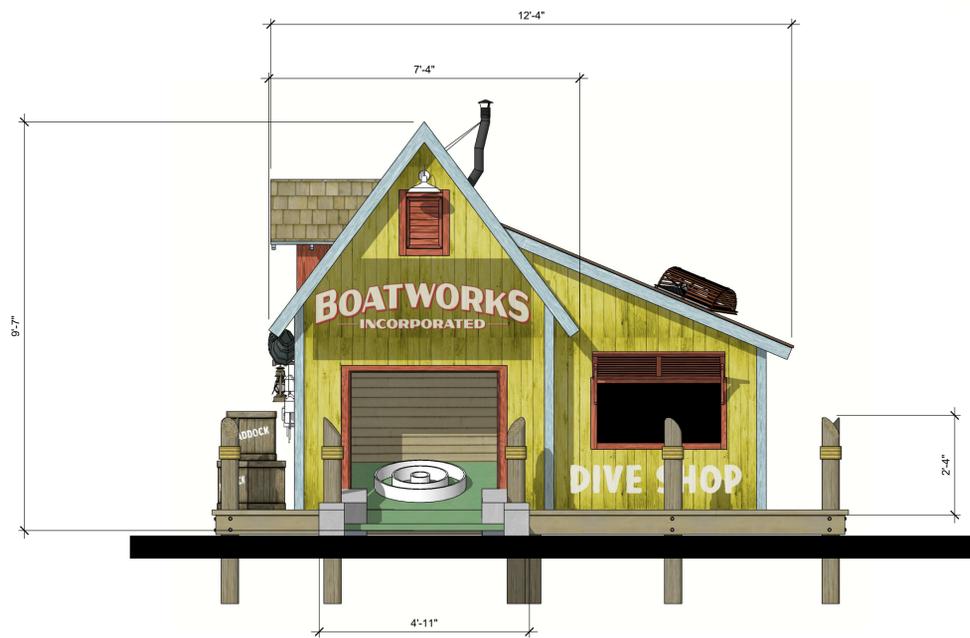
SIDE ELEVATION



PLAN VIEW



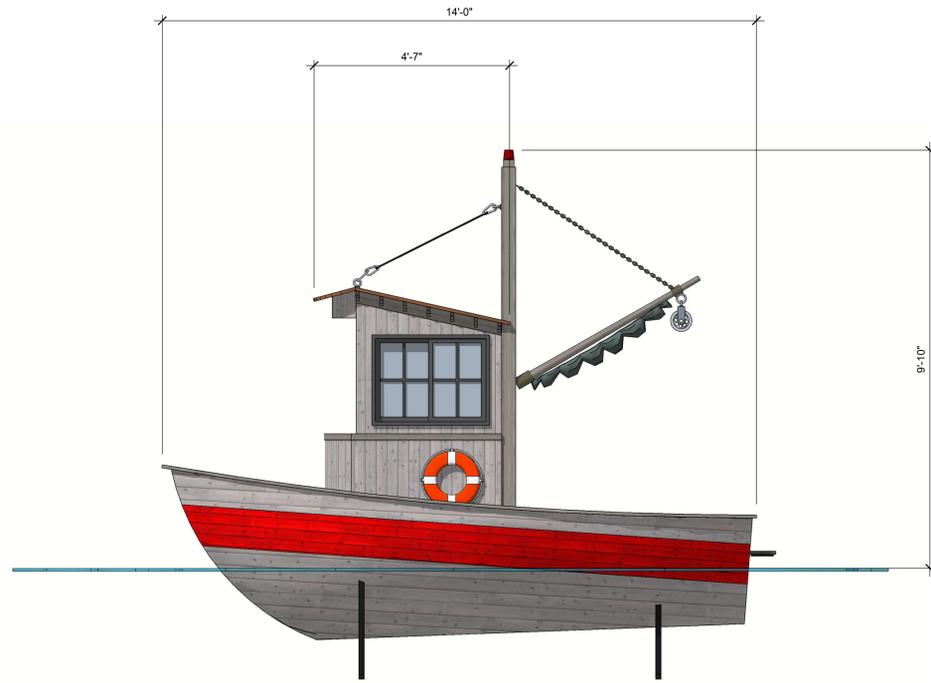
PERSPECTIVE



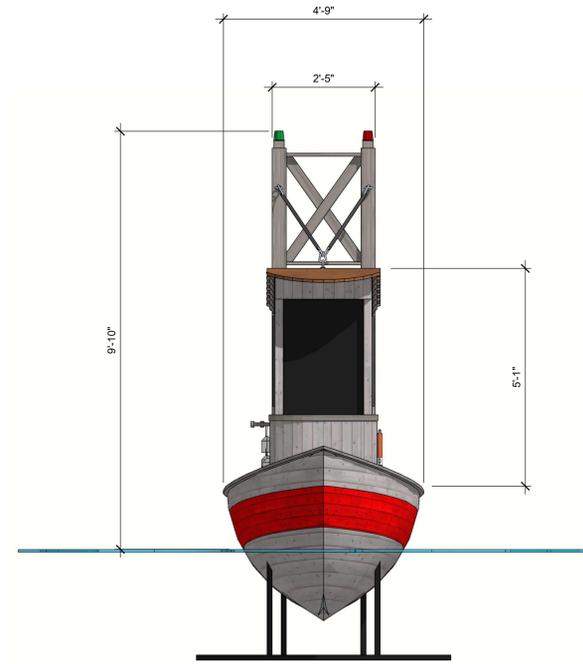
FRONT ELEVATION



SIDE ELEVATION



SIDE ELEVATION



FRONT ELEVATION



PERSPECTIVE

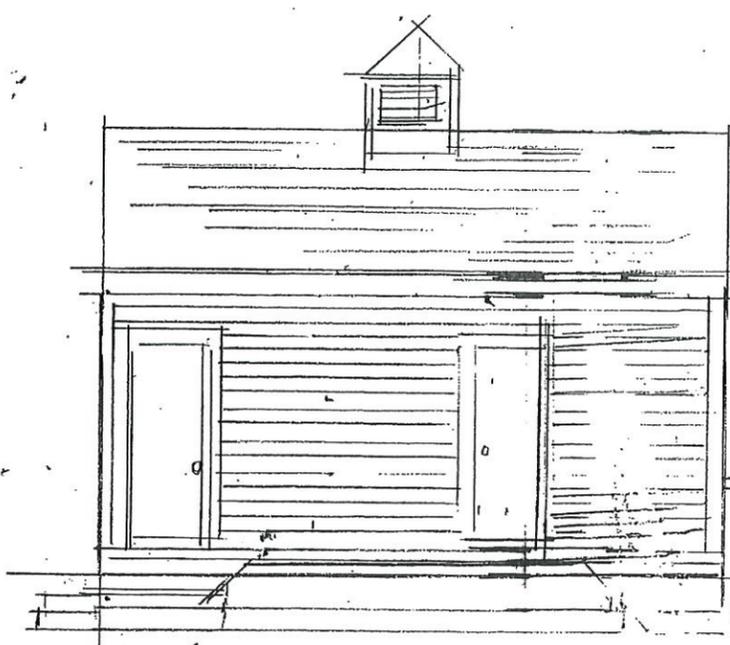
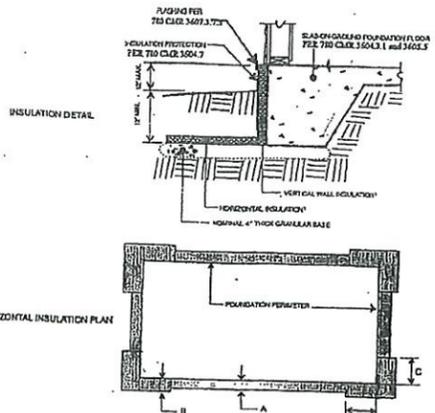


FIGURE 3604.3a
INSULATION PLACEMENT FOR FROST-PROTECTED FOOTINGS
IN HEATED BUILDINGS



For SI: 1 inch = 25.4 mm.

1. See table 3604.3.3 for required dimensions and R-values for vertical and horizontal insulation.

780 CMR 3604.4 FOUNDATION WALLS

3604.4.1 Concrete and masonry foundation walls: Foundation walls shall be constructed in accordance with the provisions of 780 CMR 3604.4 or in accordance with ACI 318, ACI 318.1, NCMA TR68-A or ACI 530/ASCE 5/TMS 402 as listed in Appendix A, or other approved structural systems.

3604.4.1.1 Masonry and concrete wall construction: Masonry and concrete foundation walls shall be constructed as in accordance with Table 3604.4.1.1a.

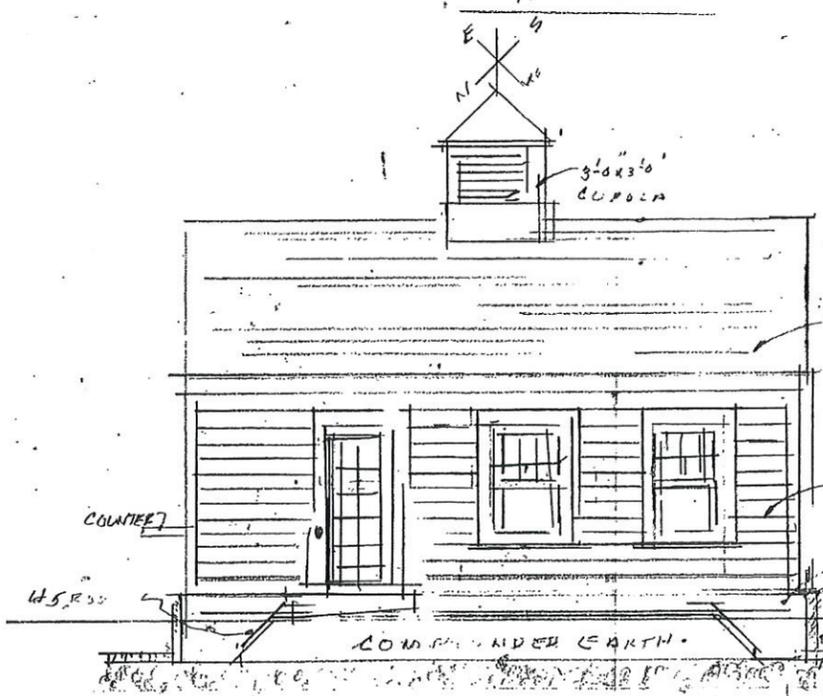
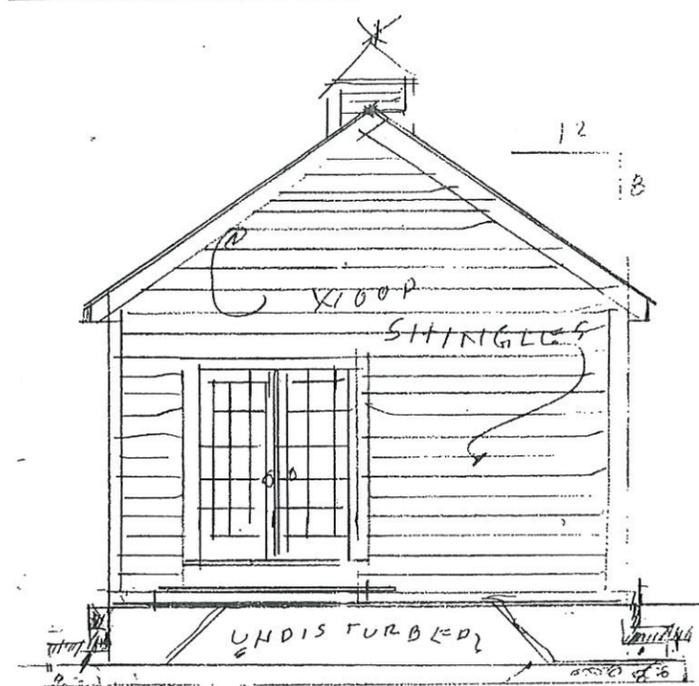
Exception: Where unstable soil conditions exist or where the foundation extends to or below the seasonal high groundwater table,

foundation walls shall be constructed in accordance with Table 3604.4.1.2b.

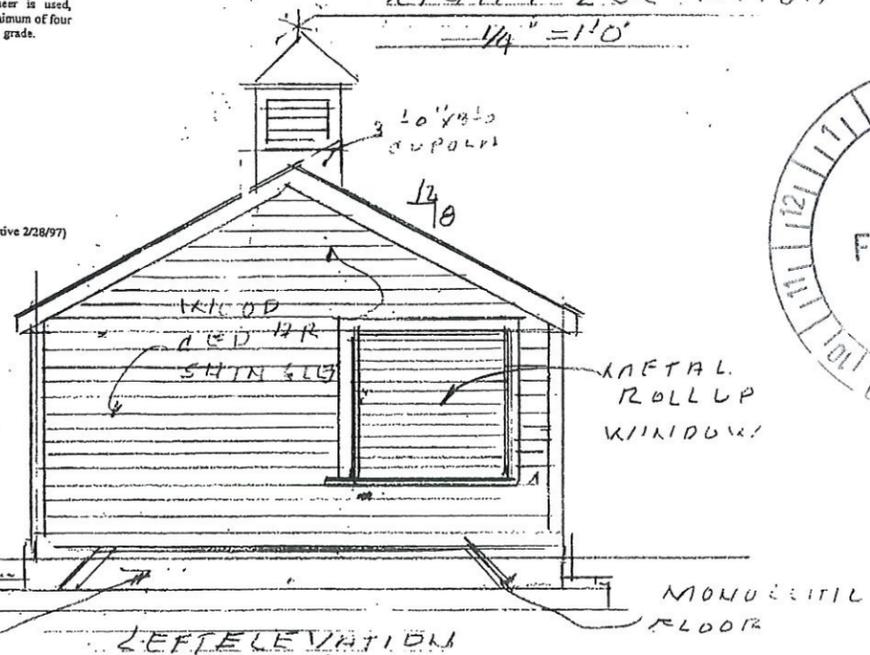
3604.4.1.2 Design: Foundation walls subject to more pressure than would be exerted by backfill having an equivalent fluid weight of 30 pounds per cubic foot (141 kN/m³) shall be designed in accordance with accepted engineering practice by a registered professional engineer or registered architect.

3604.4.1.3 Grade Clearance: Foundation walls shall extend at least eight inches above the finished grade adjacent to the foundation at all points.

Exception: Where masonry veneer is used, foundation walls shall extend a minimum of four inches (102 mm) above the finished grade.



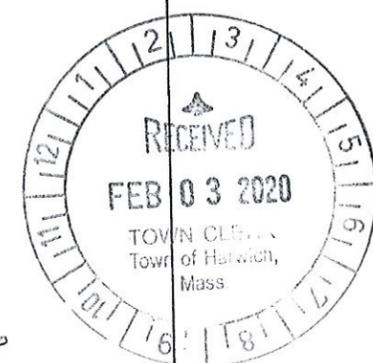
FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"

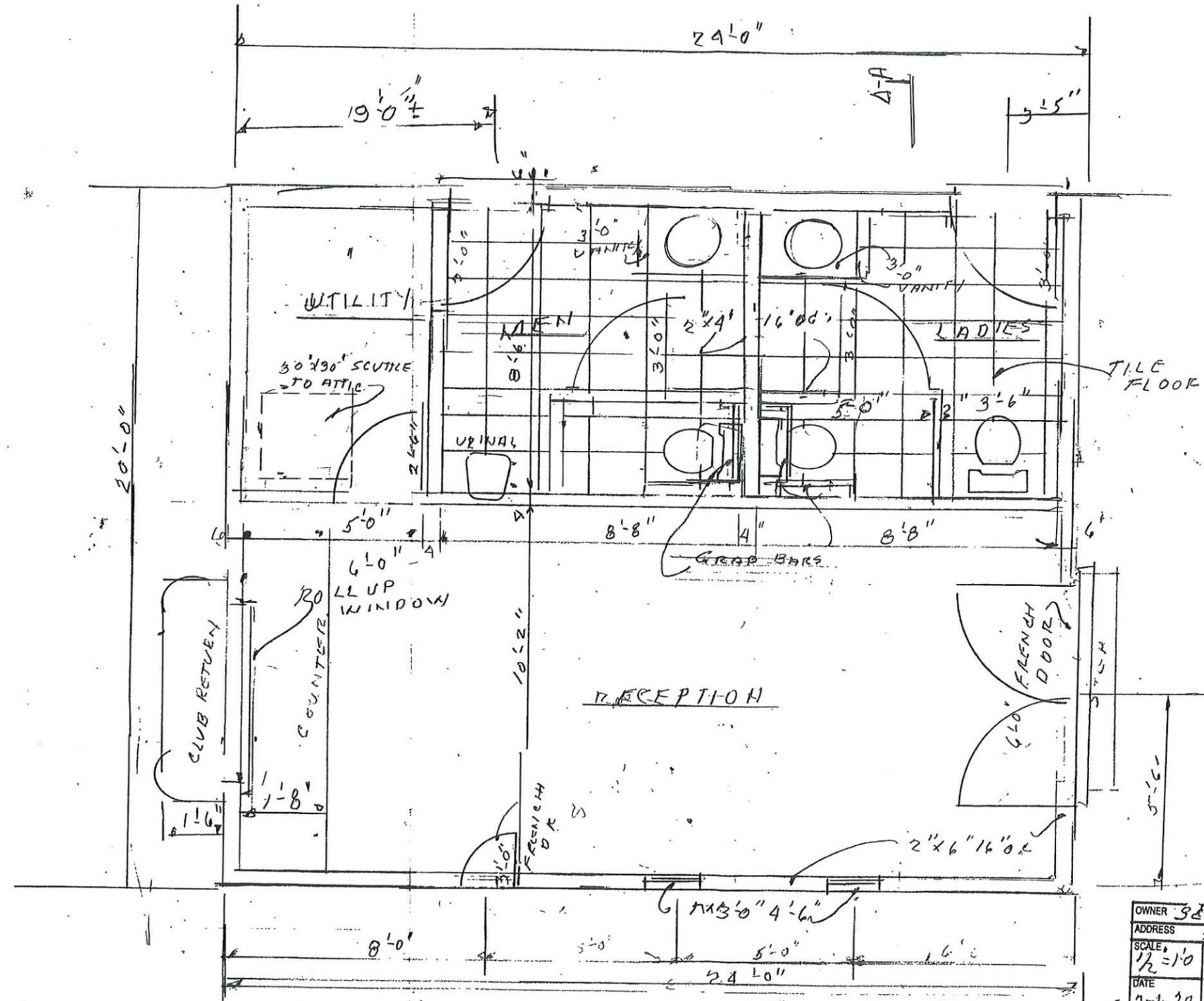
NOTES:

- 1- BUILDER WILL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- 2- SOME DIMENSIONS MAY VARY. FIELD CONDITIONS WILL PREVAIL AS LONG AS THE STRUCTURAL INTEGRITY IS NOT AFFECTED.
- 3- STRUCTURAL CHANGES MUST BE APPROVED BY SEA & B ENGINEERING.
- 4- WINDOW & DOOR SIZES TO BE VERIFIED BY BUILDER PRIOR TO CONSTRUCTION.



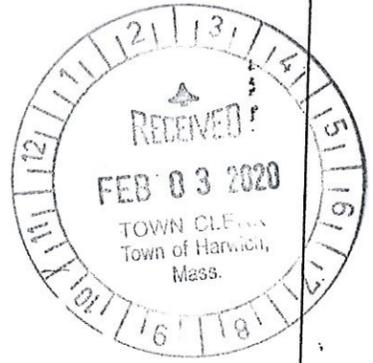
OWNER: S.B.S. AMUSEMENTS LLC		DRAWN: F.D.C.	
ADDRESS: 346 RT. 28 SCITUATE, MA 01964		REV.	
SCALE: AS SHOWN	DESIGNED BY: FRANK D. CIAMBRIELLO	REV.	
DATE: 2-1-20	508.385.2266 OFFICE/FAX 774.353.6329 CELL FACIAM@COMCAST.NET	REV.	
	302 SETUCKET ROAD DENNIS, MA 01918	REV.	
	BOSTON SOCIETY OF ARCHITECTS PROFESSIONAL AFFILIATE AND PART OF INSTITUTE OF ARCHITECTS	REV.	
	ALL ELEVATIONS	DWG. NO. 1.02-49	

McQuinn
2/1/2020

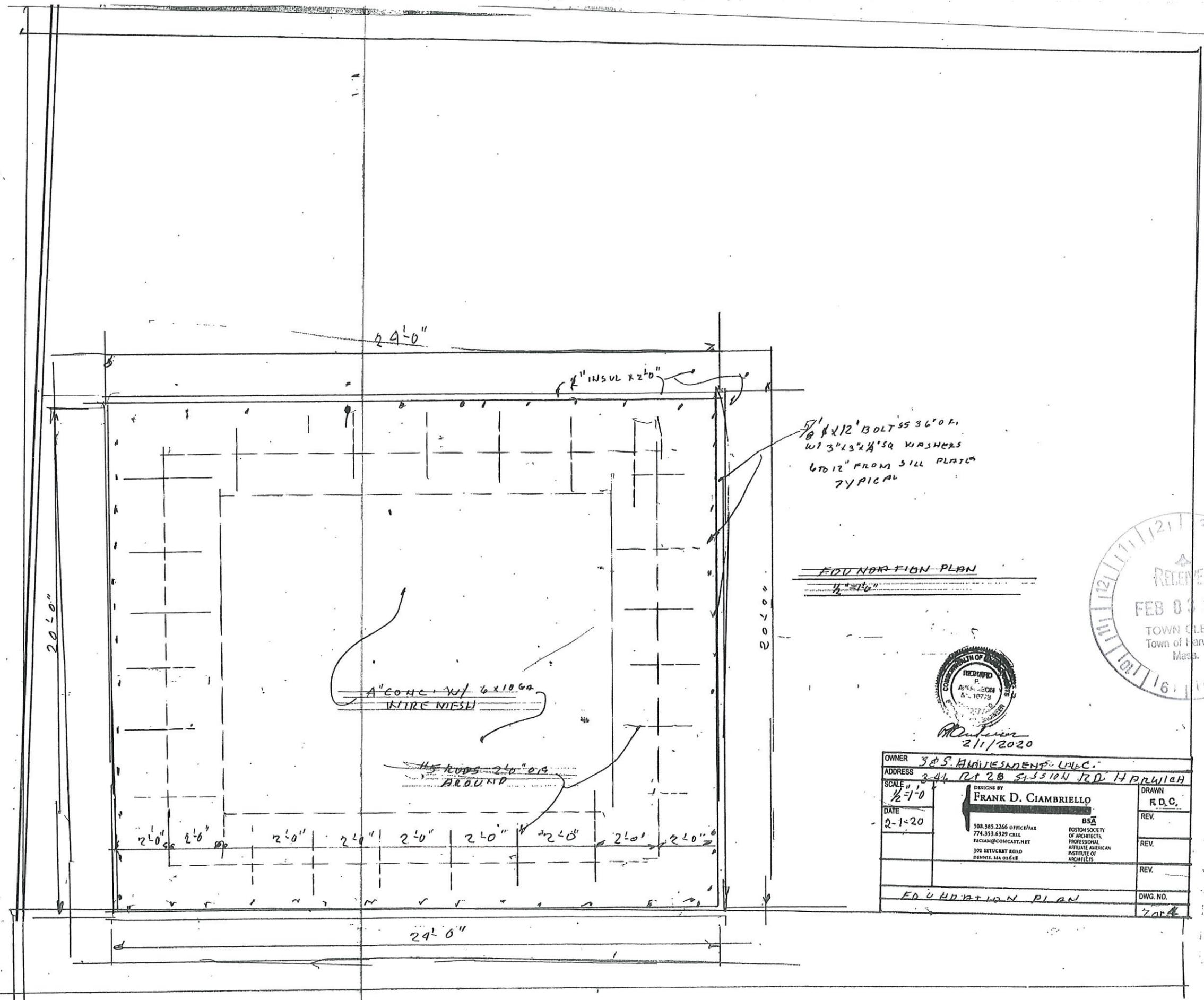


FLOOR PLAN

1/2" = 1'-0"



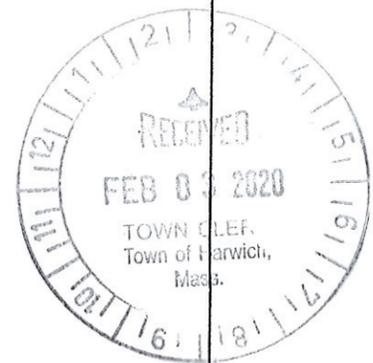
OWNER	S&S AMUSEMENT LLC	
ADDRESS	346 RT2B SISSIQUA RD HARWICH	
SCALE	1/2" = 1'-0"	DESIGNED BY
DATE	2-1-20	FRANK D. CIAMBRIELLO
		508.385.2266 office/fax 774.353.6329 cell FACIAM@COMCAST.NET 302 SETUCKET ROAD DENNIS, MA 01918
		BSA BOSTON SOCIETY OF ARCHITECTS, PROFESSIONAL AFFILIATE AMERICAN INSTITUTE OF ARCHITECTS
		DRAWN F.D.C.
		REV.
		REV.
		REV.
		DWG. NO. 3054



5/8" x 12" BOLT SS 36" O.P.
 W/ 3" x 3" x 1/4" SQ WASHERS
 6 TO 12" FROM SILL PLATE
 TYPICAL

FOUNDATION PLAN

1/2" = 1'-0"



2/1/2020

OWNER	305. ADRIAN DENTON LLC.	
ADDRESS	344 RT 20 STATION RD HARWICH	
SCALE	1/2" = 1'-0"	DESIGNED BY FRANK D. CIAMBRIELLO
DATE	2-1-20	DRAWN F.D.C.
	508.385.2266 OFFICE/FAX 774.353.6329 CELL FACILAM@COMCAST.NET 302 BUCKLEY ROAD DANVER, MA 01918	BSA BOSTON SOCIETY OF ARCHITECTS PROFESSIONAL AFFILIATE AMERICAN INSTITUTE OF ARCHITECTS
		REV.
		REV.
		REV.
	FOUNDATION PLAN	DWG. NO. 7014



AGENDA ITEM # II.B

To: Planning Board
From: Charleen Greenhalgh, Town Planner
Date: August 31, 2020
Re: Staff Report – Site Plan Review Special Permit

PB2020-23 Wychmere Harbor Real Estate LLC, applicant & owner, c/o Attorney Andrew Singer, representative, seeks to amend a Site Plan Review Special Permit and a Special Permit for a structure greater than 7,500 s.f. granted in Case PB2019-27, or in the alternative a new Special Permit, to make alterations to the previously approved design at the north and south ends of the replacement restaurant building as well as reducing the size of the gatehouse building and accompanying landscape revisions. The application is pursuant to the Code of the Town of Harwich §325-55 (Site Plan Review), §325-51 (structure greater than 7500 s.f.) and Chapter 400. The property is located in the RH-3 and R-L zoning districts at 23 Snow Inn Road, Map 8, Parcel P2-12.

The Planning Board will hold a public hearing on this matter on Thursday, September 10, 2020 not earlier than 6:30pm. Abutters were notified via certified mail on August 21, 2020.

Description

The applicant seeks approval to amend a Site Plan Review Special Permit and a Special Permit for a structure greater than 7,500 s.f. granted in Case PB2019-27, or in the alternative a new Special Permit, to make alterations to the previously approved design at the north and south ends of the replacement restaurant building as well as reducing the size of the gatehouse building and accompanying landscape revisions. The application was filed with the Town Clerk on August 4, 2020 and additional information, documents and plans were filed on August 24, 2020, August 31, 2020 and September 1, 2020 and include the following:

1. Form A – Special Permits & Site Plan Review.
2. A project narrative, date stamped received August 4, 2020.
3. Project Description prepared by Attorney Andrew Singer, received stamp date September 1, 2020.
4. Fee of \$525.00.
5. Site Plan prepared by Coastal Engineering Co., for Wychmere Harbor Real Estate, LLC., entitled “Proposed Building and Site Improvements at Wychmere Beach Club”, dated 6-12-19, last revised 08/28/2020, prepared by David J. Michniewicz, P.E., and scale as noted, Sheet C2.2.1;
6. Illustrative Site Plan by Coastal Engineering Co., for Wychmere Harbor Real Estate, LLC., entitled “Illustrative Plan Showing Approved and Now-Proposed Building Outlines,” dated 8-28-2020, prepared by David J. Michniewicz, P.E., and scale as noted;

7. Landscape Submission Set prepared by Hawk Design, Inc., for Wychmere Beach Club, entitled "Landscape Submission Plan," dated 08/28/20, scale as noted, Sheets:
 - A. Cover Sheet;
 - B. L1.0 Overall Site Plan;
 - C. L1.1 Materials Enlargement Plan;
 - D. L1.2 Materials Enlargement Plan;
 - E. L2.0 Planting Site Plan;
 - F. L2.1 Planting Details;
 - G. L3.0 Lighting Site Plan;
 - H. L3.1 Lighting Enlargement Plan;
 - I. L3.2 Lighting Enlargement Plan;
 - J. L4.0 Grading Site Plan;
 - K. L4.1 Grading Enlargement Plan;
 - L. L4.2 Grading Enlargement Plan;
 - M. D1.0 Construction Details;
 - N. D2.0 Lighting Specifications; and

8. Architectural Plans prepared by GS Design Group Inc., dated 8/21/2020, scaled as noted and includes the following sheets:

"The Beach Grill"

- A. A1.0 Ground Floor Plan;
- B. A1.1 First Floor Floor Plan;
- C. A1.2 Roof Deck Plan;
- D. A1.3 Roof Plan;
- E. RC.2 Reflected Ceiling Plan;
- F. A2.1 Elevations;
- G. A2.2 Elevations; and
- H. EBO-1 Proposed Elevation Overlay.

Per Attorney Andrew Signer, the amendment proposal includes the following:

1. Square off south end of the replacement restaurant building by pulling back from the west and south property lines and extending easterly to match eastern side of the building;
2. Extend the entry octagon and neck at the north end of the replacement restaurant building, including a roof overhang and an increase in the height of the octagon roof only by 4.5 feet to remain conforming to the height limit in the Zoning By-Law. The approved height of the remainder of the replacement restaurant building will remain as approved. The size of the approved replacement restaurant building will increase by a net 129 sq. ft. over that approved;
3. Re-use, relocate, and re-orient the existing gate house entry building (12 ft. x 18 ft.) to the Beach Club in lieu of the approved, larger new gate house entry building (14 ft. x 20 ft.);
4. Widen the entry circle within existing radius of the circle (reduce center island) to improve emergency vehicle access as well as re-align the drive into the entry circle to be direct north-south in approach in lieu of former angle;
5. Re-align and redesign the walkways and stairs into the pool area at the east side of the replacement restaurant building, while maintaining ADA-compliant access;

6. Eliminate the two southerly infinity edges of the two southerly pools to comply with State regulations and replace with walkways around both pools; and
7. Make corresponding adjustments to locations and design of planters, walkways, etc. within the beach club fences.

MGL Reference and Planning Board Jurisdiction

Pursuant to MGL c.40 A, §9 the Planning Board must, within 65 days of submission of application for a special permit hold a public hearing. The decision of the Planning Board shall take place within 90 days following the close of the public hearing. Further, a special permit issued shall require a two-thirds vote of the Board.

The Planning Board has jurisdiction to review this application pursuant to the Code of Town of Harwich:

§325-55 for Site Plan Review Special Permit for the reconfiguration of an existing parking lot. Further, pursuant to §325-55.E.(1) *“If the site plan meets the requirements of this By-law and the Planning Board Rules and Regulations Governing Subdivision of Land and Site Plan Review, as amended, the Planning Board shall approve it”*. However, the Board cannot deny approval of a site plan for a use which is allowed by right (not by special permit) in the district, but may impose reasonable conditions on the proposed use. Please refer to §325-55.E. for specific allowable conditions.

Additionally however, please also note that §325-9 – Permitted Uses, provides in part that, *[A]ny use presently listed as a permitted use in the Table of Use Regulations shall be designated as a special permit if the use proposes a structure or structures having a gross floor area of more than 7,500 square feet or 20 or more new parking spaces on the site, except that single-family, religious and educational uses shall be exempt from this provision. Some uses listed in the table as allowed as of right (P) or on special permit (S) require a special permit under the site plan provisions of this bylaw.*

Waivers At this time no waivers have been requested.

Comments from other Boards, Departments, Committees

Health: The septic system is regulated through the Department of Environmental Protection with a groundwater discharge permit. I recommend referral to the DEP to ensure the changes are within the scope of the wastewater system and do not require additional inspections. A new grease trap is also needed, and will need to be permitted through DEP.

The proposed restaurant will require a new food service permit through the Health Department. Review of the floor plans and finishes is required prior to approval of a building permit application. Full compliance with the 2013 Federal Food Code is required.

The new swimming pools fall under the jurisdiction of the Health Department and will require a full plan review through our office in addition to the Building Department. Full compliance with 105 CMR 435.00: Minimum Standards for Swimming Pools, the State Sanitary Code Chapter V is required. The infinity pool does not meet this criteria, and will not be approved.

Fire, Police, Water & Highway: No issues or concerns.

Conservation: Review and approvals were received by the Conservation Commission.

Engineering: The Town Engineer reviewed the plans with the Town Planner; comments are noted below.

Planning Staff Comments

1. The infinity pools and spa pool have been change to typical pools.
2. As noted, the Town Engineer and Town Planner met to review the various revised plans and application. Several questions arose, and on August 27, 2020 the Town Engineer met with the applicant and representatives on site to discuss the Stormwater Discharge Permit and the Town Planner met with the applicant and representatives on site on August 31, 2020 to review the latest set of revised plan.
3. The Conservation Commission did approve the portion of this project that falls within its jurisdiction.
4. Zoning Board of Appeals approved a Special Permit on January 29, 2020 and an amended/modified Special Permit on August 26, 2020.
5. The building plans for the “Coastal Building” are not changing from what was approved pursuant to PB2019-27.
6. An amended Site Plan and Use Special Permit are recommended as opposed to new Special Permits.
7. Standard conditions with respect to the Site Plan Special Permit are recommended, including, but not limited to compliance with Zoning Board of Appeals, Health Department, Conservation Commission and Stormwater Discharge Permit requirements.

VOTES

Continuance

If the Board will require additional information or wants to take the matter under advisement the following motion is recommended:

Move to continue the hearing for **PB2020-23 Wychmere Harbor Real Estate LLC**, to no earlier than 6:30 pm on _____ (Next Meeting Dates: *Oct. 6, Oct. 27, Nov. 10*) for the following reason(s): *Need to provide reasons for the continuance...additional information.*

IF BOARD IS READY TO RENDER A DECISION, THE FOLLOWING MOTIONS ARE PROVIDED:

I. Vote to close the public hearing.

II. Vote to Adopt Proposed Findings:

To adopt the following finding of fact:

1. The property is located within the RH-3 and R-L zoning districts. The proposed changes of use and alterations to the site were approved by the Zoning Board of Appeals pursuant to Board of Appeals Case #2019-28 and #2020-32.
2. The Conservation Commission approved the changes within conservation jurisdiction pursuant to MA DEP SE32-2383 and SE32-2387.
3. The height of the proposed Beach Grill is within the height limitations of the Zoning Code.

4. Building coverage limitations have not been exceeded; 15% is allowable and 11.5% is proposed.
5. The restaurant building has a net increase of 129 square feet over the previously approved building.
6. No changes to the Coastal Bar are proposed.
7. The existing gate house entry building will be re-used and relocated.
8. Amenity and site coverages have decreased slightly.
9. Green space coverages have increased slightly.
10. The use as developed will not adversely affect the neighborhood.
11. The specific site is an appropriate location for such a use, structure or condition.
12. There will be no nuisance or serious hazard to vehicles or pedestrians.
13. Adequate and appropriate facilities will be provided for the proper operation of the proposed use.

III. Vote on the Special Permit for structure greater than 7,500 s.f. (Please Note: An affirmative vote by at least five Planning Board members is required.)

1. To **approve** case PB2020-23 Wychmere Harbor Real Estate LLC to amend a Special Permit for a structure greater than 7,500 s.f. granted in Case PB2019-27 to make alterations to the previously approved design at the north and south ends of the replacement restaurant building as well as reducing the size of the gatehouse building pursuant to the Code of the Town of Harwich §325-51 (structure greater than 7500 s.f.) and Chapter 400 for property located in the RH-3 and R-L zoning districts at 23 findings of fact and the fact that the application meets all the necessary requirements for the granting of the Special Permit.
2. To **approve with conditions** PB2020-23 Wychmere Harbor Real Estate LLC to amend a Special Permit for a structure greater than 7,500 s.f. granted in Case PB2019-27 to make alterations to the previously approved design at the north and south ends of the replacement restaurant building as well as reducing the size of the gatehouse building pursuant to the Code of the Town of Harwich §325-51 (structure greater than 7500 s.f.) and Chapter 400 for property located in the RH-3 and R-L zoning districts at 23 Snow Inn Road, Map 8, Parcel P2-12. The decision is based on the aforementioned findings of fact and the fact that the application meets all the necessary requirements for the granting of the Special Permit with the following conditions imposed: (*Need to state any and all conditions*)
3. To **deny** PB2020-23 Wychmere Harbor Real Estate LLC to amend a Special Permit for a structure greater than 7,500 s.f. granted in Case PB2019-27 to make alterations to the previously approved design at the north and south ends of the replacement restaurant building as well as reducing the size of the gatehouse building pursuant to the Code of the Town of Harwich §325-51 (structure greater than 7500 s.f.) and Chapter 400 for property located in the RH-3 and R-L zoning districts at 23 Snow Inn Road, Map 8, Parcel P2-12. The decision is based on the fact that the application does not meet all the necessary requirements for the granting of the Special Permit. (**NOTE: need to be specific as to what requirement(s) are not being met.**)

IV. Vote on Site Plan Review Special Permit: (*Please Note:* An affirmative vote by at least five Planning Board members is required.)

1. To **approve with conditions** case number **PB2020-23 Wychmere Harbor Real Estate LLC** to amend, pursuant to the Code of the Town of Harwich §325-55 (Site Plan Review) and Chapter 400, a Site Plan Review Special Permit previously granted under PB2019-27 to make alterations to the previously approved design at the north and south ends of the replacement restaurant building as well as reducing the size of the gatehouse building and accompanying landscape revisions for the property located in the RH-3 and R-L zoning districts at 23 Snow Inn Road, Map 8, Parcel P2-12. The decision is based on the aforementioned findings of fact and the fact that the application meets the necessary requirements and criteria for approval pursuant to the Code of Town of Harwich and following conditions:
 - A. All Zoning Board of Appeals and Conservation Commission requirements shall be met.
 - B. The restaurant will require a new food service permit through the Health Department; and shall include the review of the floor plans and finishes which shall be required prior to approval of a building permit application. Full compliance with the 2013 Federal Food Code is required.
 - C. The new swimming pools fall under the jurisdiction of the Health Department and shall require a full plan review through both Health and Building Departments; which shall also include full compliance with 105 CMR 435.00: Minimum Standards for Swimming Pools, the State Sanitary Code Chapter V.
 - D. The building plans for the “Coastal Building” are subject to the plans approved pursuant to PB2019-27.
 - E. All signage shall comply with the Sign Code and Building Department Requirements.
 - F. All lighting shall comply with the Lighting Code Requirements.
 - G. All drainage and storm water requirements, local, state and federal, shall be met and approved by the Harwich Town Engineer via a Stormwater Discharge Permit prior to the issuance of building permits to construct.
 - H. This decision shall be recorded at the Barnstable Registry of Deeds.
 - I. Conformance with all review procedure requirements outlined pursuant to §400-18.G Inspection, certificate of completion and as-built plan, of the Code of the Town of Harwich shall be met.

Alternatively, the Planning Board may approve the site plan special permit with or without additional conditions.

Law Office of Singer & Singer, LLC

26 Upper County Road
P. O. Box 67
Dennisport, Massachusetts 02639

Andrew L. Singer

Myer R. Singer
Of Counsel

Tel: (508) 398-2221

Fax: (508) 398-1568

www.singer-law.com

Harwich Planning Board

23 Snow Inn Road, Harwichport

PROJECT DESCRIPTION

The Planning Board granted a special permit authorizing upgrades to the beach club facilities at the southern end of the Wychmere Harbor Beach Club Property in Case No. PB2019-27. The Applicant is requesting an amendment to this approval to reflect changes shown on the submitted plans and described below. There will be no change in the existing use. The proposal will enable a better operational use of the replacement restaurant building and Beach Club portion of the Property and will result in additional environmental benefits to the adjacent wetlands and buffer zones. The Board of Appeals and Conservation Commission have each approved the amendment request.

The amendment proposal includes the following:

1. Square off south end of the replacement restaurant building by pulling back from the west and south property lines and extending easterly to match eastern side of the building;
2. Extend the entry octagon and neck at the north end of the replacement restaurant building, including a roof overhang and an increase in the height of the octagon roof only by 4.5 feet to remain conforming to the height limit in the Zoning By-Law. The approved height of the remainder of the replacement restaurant building will remain as approved. The size of the approved replacement restaurant building will increase by a net 129 sq. ft. over that approved;

3. Re-use, relocate, and re-orient the existing gate house entry building (12 ft. x 18 ft.) to the Beach Club in lieu of the approved, larger new gate house entry building (14 ft. x 20 ft.);
4. Widen the entry circle within existing radius of the circle (reduce center island) to improve emergency vehicle access as well as re-align the drive into the entry circle to be direct north-south in approach in lieu of former angle;
5. Re-align and redesign the walkways and stairs into the pool area at the east side of the replacement restaurant building, while maintaining ADA-compliant access;
6. Eliminate the two southerly infinity edges of the two southerly pools to comply with State regulations and replace with walkways around both pools; and
7. Make corresponding adjustments to locations and design of planters, walkways, etc. within the beach club fences.

TOWN OF HARWICH PLANNING DEPARTMENT

**PLANNING BOARD APPLICATION
SPECIAL PERMITS & SITE PLAN REVIEW**

FORM A



TO THE TOWN CLERK, HARWICH, MA

DATE August 4, 2020

PART A – APPLICANT INFORMATION/AUTHORIZATION

Applicant Name(s)	Wychmere Harbor Real Estate, LLC
Representative/Organization (Who will serve as the primary contact responsible for facilitating this application?)	Andrew L. Singer, Esq. Law Office of Singer & Singer, LLC
Mailing address	c/o Law Office of Singer & Singer, LLC P.O. Box 67
Town, ST, Zip	Dennisport, MA 02639
Phone	508-398-2221
Fax	508-398-1568
E-mail	alsinger@singer-law.com

The applicant is one of the following: *(please check appropriate box)*

- Owner
 Prospective Buyer*
 Representative for Owner/Tenant/Buyer*
 Tenant*
 Other* _____

***Written permission of the owner(s) and a municipal lien certificate (where applicable) is required.**

All other forms and information as required in the Harwich Code Chapter 400, Rules and Regulations, shall be submitted as part of this application.

Authorization

Your signature hereby asserts, to the best of your knowledge, that the information submitted in this application is true and accurate; that you agree to fully comply with the Town of Harwich Zoning By-laws and the terms and conditions of any approval of this application by the Planning Board; and authorizes the Members of the Planning Board and/or Town Staff to visit and enter upon the subject property for the duration of the consideration of this application.

Wychmere Harbor Real Estate, LLC

Applicant By: Andrew L. Singer, Esq.

Owner(s) – Authorization must accompany application if the owner is not the applicant.

Official use only:

PLANNING DEPARTMENT	TOWN CLERK
---------------------	------------

Case #

PART B – PROJECT LOCATION

Legal Street Address	23 Snow Inn Road, Unit 12	Village/Zip Code	Harwichport
Title Book/Page or L.C.C. #	Book 24547, Page 55		
Map(s) / Parcel(s)	Map 8, Parcel P-2 -12		
Zoning & Overlay Districts	RH-3 and RL	*Historic?	
Frontage (linear feet)	See Plans		
Total land area (s.f.)			
Upland (s.f.)			Wetlands (s.f.)

PART C – PROJECT DESCRIPTION

Existing Floor Area in Sq. Ft	Gross:	See Plans	Net:
Proposed Floor Area in Sq. Ft	Gross:		Net:
Change in Sq. Ft + / -	Gross:		Net:
Existing # of parking spaces	See Plan & Narrative		Proposed # of parking spaces: See Plan & Narrative
Existing Use(s)	Recreation and Amusement Services & Restaurant - Beach Club		
Proposed Use(s)	Proposed uses are same as existing uses. See attached.		
<i>Attach a separate narrative if necessary.</i>			

The undersign hereby files an application with the Harwich Planning Board for the following special permits as proposed under the provisions of the Harwich Zoning Code: **(check all that apply)**

Site Plan Review § 325-55:

- Any floor area expansion of any structure or expansion of exterior space, other than parking, serving any of the following: commercial, industrial, multi-family or educational use or personal wireless service facility or the creation of a drive-up or drive-through window
- Expansion or reconfiguration of an existing parking lot and/or driveway(s) serving said parking lot.
- Establishment of any new commercial, industrial, multi-family, educational, fast food/take out restaurant or personal wireless service facility.
- Establishment of any new retail use(s) in the Industrial (IL) Zone.
- Waiver of Site Plan § 325-55.F

Article V, Use Regulations:

- Paragraph____, sub-paragraph #____ Paragraph____, sub-paragraph #____
- Paragraph____, sub-paragraph #____, supplemental regulation #____ § 325-14

Article X, Special Permits:

- Structures w/ gross floor area of 7,500+ s.f. § 325-51
- Structures requiring 20 or more new parking spaces § 325-51
- Accessory Apt./Shared Elderly Housing § 325-51.H Mixed Use § 325-51.M
- Drinking Water Resource Protection § 325-51.C Two Family § 325-51.N
- Village Commercial, Harwich Port § 325-51.L *Harwich Center Overlay § 325-51.O
- Signage § 325-27.F Additional Cluster, Excess SF, Non-entry Facades

Other Special Permits:

- Six Ponds Special District - Article XVI
- Wind Energy Systems - Article XVIII Large Scale Wind Generation – Article XIX
- Other (i.e. Alternate Access § 325-18.P; Special Cases § 325-44.B) _____
- Repetitive Petition (MGL Ch 40A, §16): Proposed project evolved from a previously denied plan submitted to the Planning Board on _____ Year/Case # _____

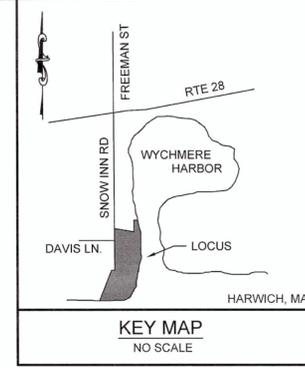
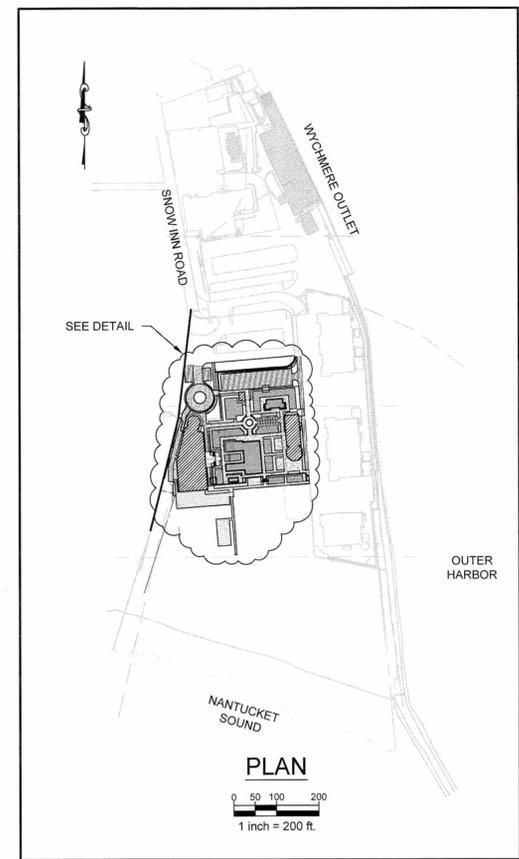
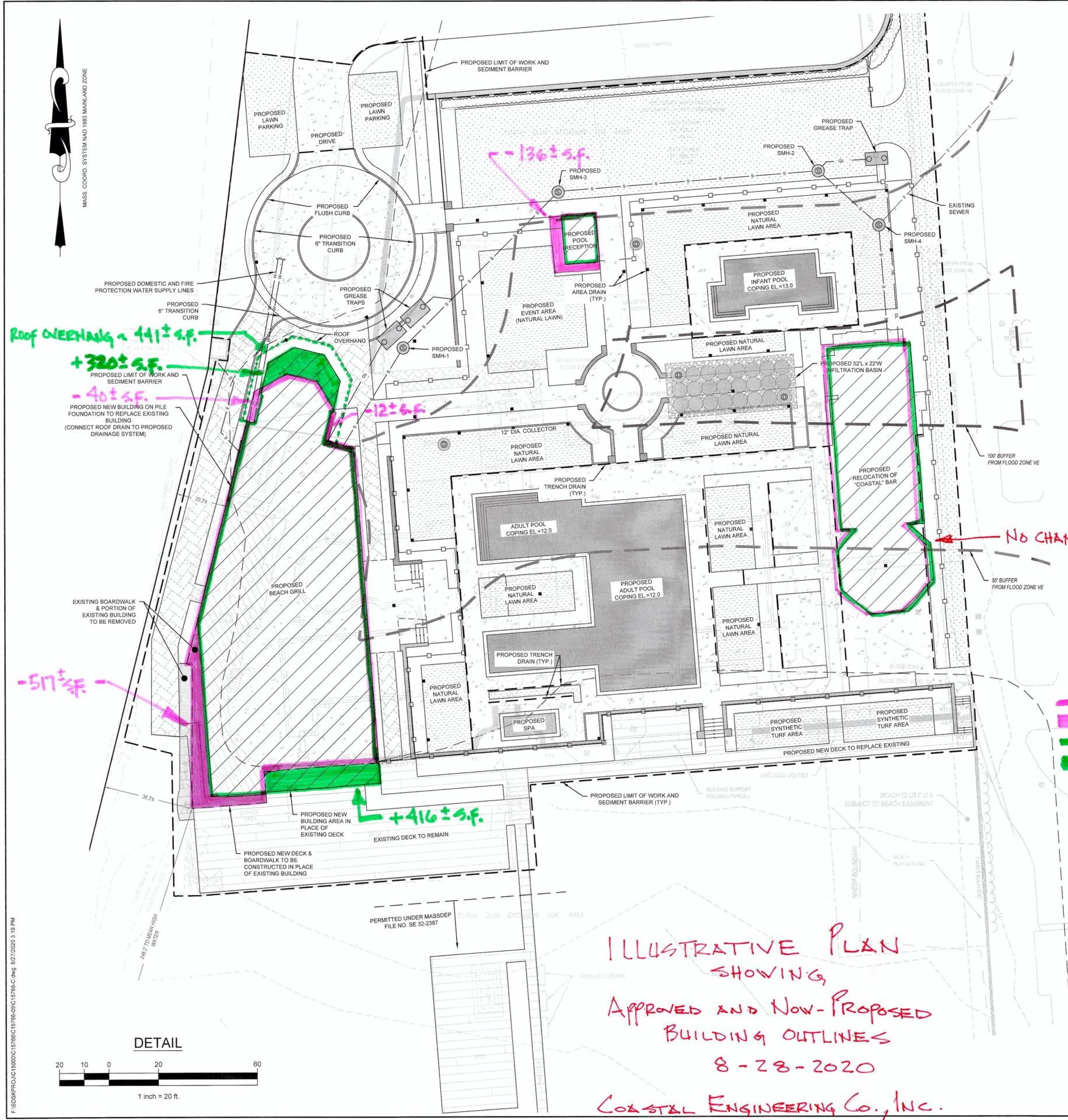
**Note: Projects within the Harwich Center Overlay District may also be within the Harwich Center Historic District. This requires separate filing with the Historic District and Historical Commission. Please inquire for forms and instructions.*

Town of Harwich Planning Board

Applicant: Wychmere Harbor Real Estate, LLC
Property: 23 Snow Inn Road, Harwichport, MA

Applicant/Property. The Applicant, Wychmere Harbor Real Estate, LLC, is seeking to amend the Site Plan Review Special Permit granted in case No. PB2019-27. The Applicant owns the Wychmere Beach Club located at 23 Snow Inn Road in Harwichport. The Property, which is shown as Parcel P-2 on Harwich Assessors Map 8, is currently improved with the buildings, amenities, and facilities that comprise the Wychmere Beach Club, including the Snow Inn Hotel and Channel House, and the separate Wychmere Shores residences.

Proposal. The Applicant is seeking permission to amend the Special Permit Decision granted earlier this year in Case No. PB2019-27, or in the alternative, a new Special Permit, to make alterations to the previously-approved design at the north and south ends of the replacement restaurant building as well as reduce the size of the gatehouse building and make accompanying landscape revisions.



REFERENCE:
 ASSESSORS MAP 8, PARCEL P2
 DEED BOOK 24547, PAGE 55
 PLAN BOOK 634, PAGES 57-66

FLOOD ZONE:
 FLOOD ZONE VE (EL. 15, EL. 14 & EL. 13), ZONE AE (EL. 11 & EL. 12), & ZONE X AS SHOWN ON FEMA FIRM PANEL #25001C0612J EFFECTIVE JULY 16, 2014. COMMUNITY FLOOD PLANE MANAGERS SHALL CONFIRM LOCATION OF SITE SPECIFIC FLOOD PLANE BOUNDARIES. PRIOR TO DESIGNING STRUCTURES, A CONDITIONAL LETTER OF MAP AMENDMENT (LOMA) DETERMINATION SHOULD BE APPLIED FOR TO CONFIRM FLOOD INSURANCE REQUIREMENTS.

DATUM:
 ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)

OWNER:
 WYCHMERE HARBOR REAL ESTATE, LLC
 23 SNOW INN ROAD
 HARWICHPORT, MA 02646



CEM	CEM	MJB	CEM	CEM	CPM	CPM	TRG	BY
UPDATE FOR HARDSCAPE/LANDSCAPE REVISIONS	UPDATE ZONING TABLE	UPDATE ZONING TABLE	REVISIONS TO BUILDINGS & AMENITIES	CHANGE SYNTHETIC TURF TO NATURAL LAWN AT POOL PATIO LEVEL	UPDATE LOT AREA AND COVERAGE AREAS IN ZONING TABLE	REVISE PROPOSED POOL AREA AND DRAINAGE	UPDATE PROPOSED BUILDING FOOTPRINT, POOL LOCATIONS, AND UTILITIES	DATE
7	6	5	4	3	2	1	NO.	



LEGEND

EXISTING	PROPOSED
■ BOUND	⊙ AREA DRAIN
☆ LIGHT POLE	— FENCING
⊞ TRANSFORMER	⊙ DRAIN MANHOLE
⊞ ELECTRIC METER	— DRAIN LINE
⊞ PULL BOX	⊙ SEWER MANHOLE
⊞ SEWER MANHOLE	— GREASE LINE
— CONTOUR	— SEWER LINE
⊞ SPOT GRADE	
⊞ STOCKADE FENCE	

SEE PLANS BY HAWK DESIGN, INC. FOR PROPOSED HARDSCAPE AND LANDSCAPE LAYOUT AND MATERIALS, AND PROPOSED GRADING

- OUTLINE OF APPROVED BUILDING
- APPROVED BUILDING AREA TO BE DELETED
- BUILDING OUTLINE NOW PROPOSED
- PROPOSED BUILDING AREA OUTSIDE OF APPROVED BUILDING OUTLINE

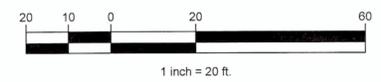
ZONING DISTRICT: RH-3 (RESIDENTIAL-HIGH DENSITY) AND R-L (RESIDENTIAL - LOW DENSITY) (1)
 USE GROUP: PARAGRAPH IV - USE: 30 (RECREATION AND AMUSEMENT SERVICES)
 32 (RESTAURANT OR LOUNGE)

SUBJECT	REQUIRED	EXISTING	PROPOSED
LOT AREA (TO M.L.W.)	40,000 S.F. MINIMUM	661,500 S.F. (3)	NO CHANGE
FRONTAGE	150 FT MINIMUM	447.91 FT	NO CHANGE
(2) FRONT SETBACK (BUILDING)	25 FT MINIMUM	301.9± FT	257± FT
(2) SIDE SETBACK (BUILDING)	20 FT MINIMUM	20.3± FT (4)	NO CHANGE
(2) REAR SETBACK (BUILDING)	20 FT MINIMUM	246.2± FT (TO MHW)	NO CHANGE
BUILDING COVERAGE	15% MAXIMUM	10.2% (67,683± S.F.)	11.5% (76,217± S.F.)
AMENITIES COVERAGE	15% MAXIMUM	29.9% (197,824± S.F.)	28.2% (186,630± S.F.)
SITE COVERAGE (TOTAL)	35% MAXIMUM	40.1% (265,507± S.F.)	39.7% (262,847± S.F.)
GREEN SPACE	15% MINIMUM	59.9% (395,993± S.F.)	60.3% (398,653± S.F.)
BUILDING HEIGHT	50 FT & 4 STORIES MAXIMUM	---	SEE ARCH. PLANS

(1) THIS PROJECT IS LOCATED ENTIRELY WITHIN THE RH-3 ZONING DISTRICT.
 (2) REQUIRED SETBACKS SHOWN ARE FOR RH-3 ZONING DISTRICT.
 (3) DEC SURVEY AUGUST 15, 2019.
 (4) ROOF OVERHANG AT NORTHWEST CORNER OF BEACH GRILL BUILDING PROJECTS INTO SIDE YARD SETBACK 1.4' < 2' ALLOWED (325-18 F.(3))

ILLUSTRATIVE PLAN
 SHOWING
 APPROVED AND NOW-PROPOSED
 BUILDING OUTLINES
 8-28-2020
 COASTAL ENGINEERING Co., INC.

DETAIL



ISSUED FOR PLANNING BOARD AND ZBA REVIEW

PROJECT: WYCHMERE HARBOR REAL ESTATE, LLC HARWICHPORT, MA
 23 SNOW INN ROAD
 SHEET TITLE: PROPOSED BUILDING AND SITE IMPROVEMENTS AT WYCHMERE BEACH CLUB

SCALE: AS NOTED
 DRAWING FILE: C15766-C.dwg
 DATE: 6/4/2019
 DRAWN BY: TRG/CEM/MJB
 CHECKED BY: DJM

ANNOTATED
C2.2.1

1 OF 1 SHEETS
 PROJECT NO: C15766.05

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MASS. COORD. SYSTEM NAD 1983 MAINLAND ZONE

BENCHMARK
TOP OF ROUND
EL. = 6.40 NAVD83

PROPOSED NEW BUILDING ON PILE
FOUNDATION TO REPLACE EXISTING
BUILDING
(CONNECT ROOF DRAIN TO PROPOSED
DRAINAGE SYSTEM)

EXISTING BOARDWALK
& PORTION OF
EXISTING BUILDINGS
TO BE REMOVED

PROPOSED NEW DECK &
BOARDWALK TO BE
CONSTRUCTED IN PLACE
OF EXISTING BUILDING

EXISTING DECK TO REMAIN

PERMITTED UNDER MASSDEP
FILE NO. SE 32-2387

PROPOSED LIMIT OF WORK AND
SEDIMENT BARRIER

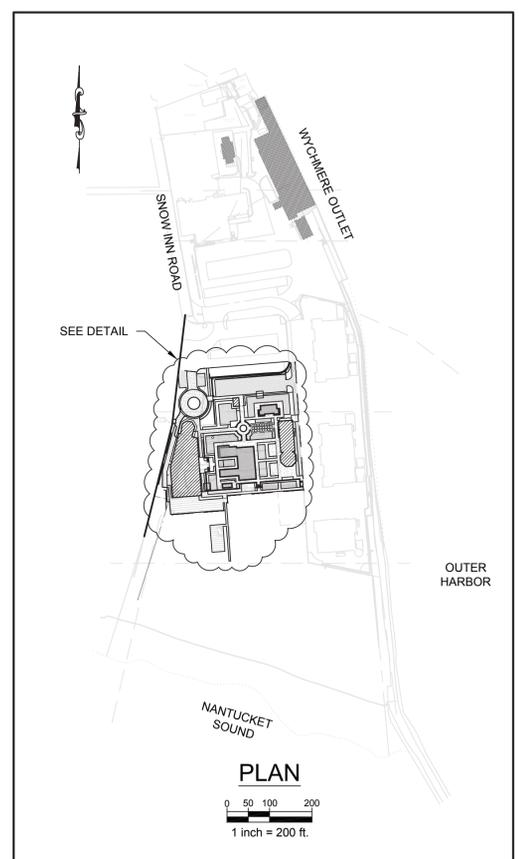
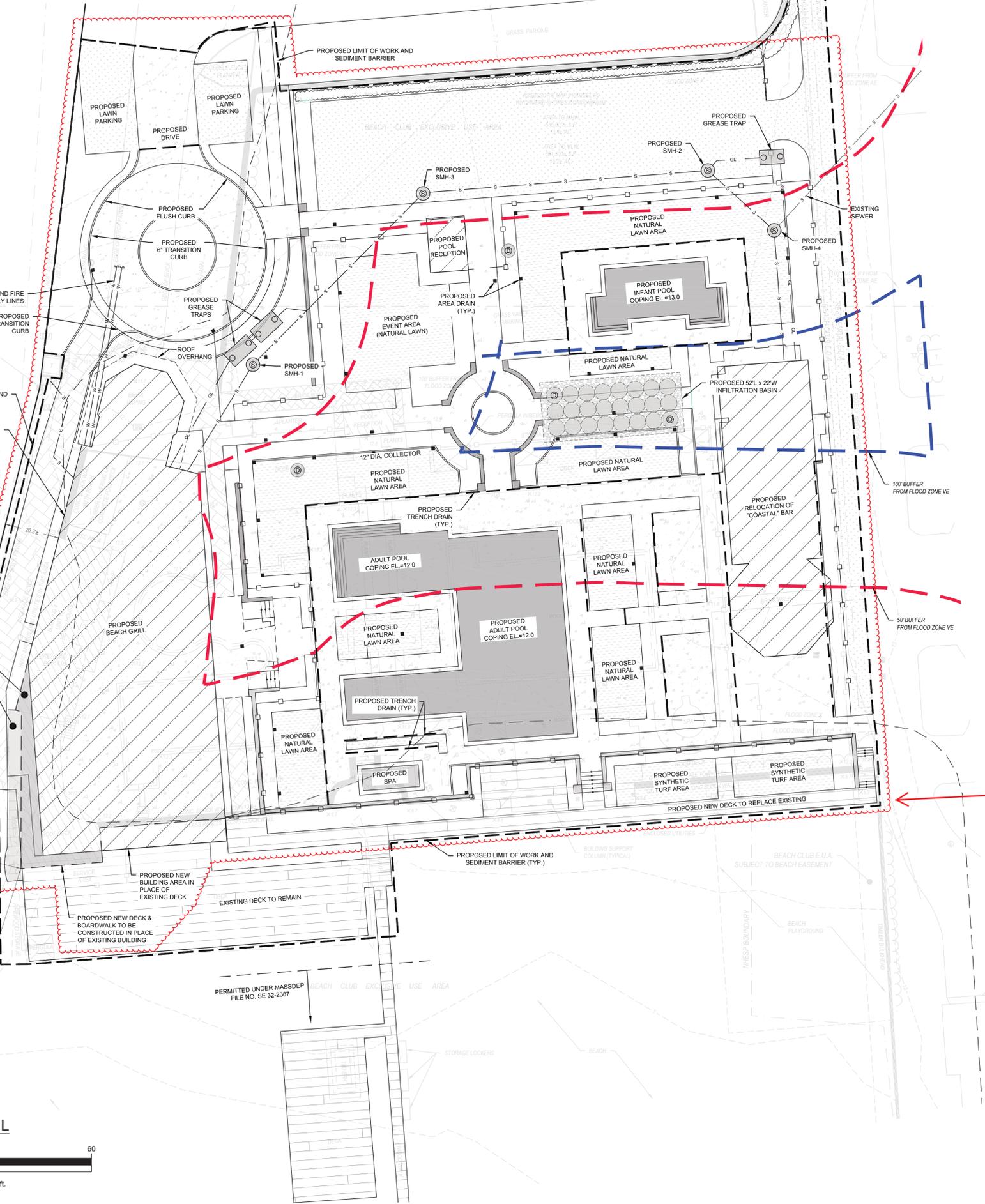
PROPOSED GREASE TRAPS

PROPOSED FLUSH CURB

PROPOSED DRIVE

PROPOSED LAWN PARKING

PROPOSED GREASE TRAPS



SEE PLANS BY HAWK DESIGN,
INC. FOR PROPOSED
HARDSCAPE AND LANDSCAPE
LAYOUT AND MATERIALS,
AND PROPOSED GRADING

REV. 7
8-28-2020

EXISTING		PROPOSED	
■	BOUND	⊙	AREA DRAIN
☆	LIGHT POLE	—○—	FENCING
⊡	TRANSFORMER	⊕	DRAIN MANHOLE
⊞	ELECTRIC METER	—	DRAIN LINE
⊞	PULL BOX	⊙	SEWER MANHOLE
⊙	SEWER MANHOLE	—	GREASE LINE
- - -	CONTOUR	—	SEWER LINE
x 12.2	SPOT GRADE		
—○—	STOCKADE FENCE		

ZONING DISTRICT: RH-3 (RESIDENTIAL-HIGH DENSITY) AND R-L (RESIDENTIAL - LOW DENSITY) (1)			
USE GROUP: PARAGRAPH IV - USE: 30 (RECREATION AND AMUSEMENT SERVICES) 32 (RESTAURANT OR LOUNGE)			
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BUILDING HEIGHT	50 FT & 4 STORIES MAXIMUM	---	SEE ARCH. PLANS

- (1) THIS PROJECT IS LOCATED ENTIRELY WITHIN THE RH-3 ZONING DISTRICT.
- (2) REQUIRED SETBACKS SHOWN ARE FOR RH-3 ZONING DISTRICT.
- (3) CEC SURVEY AUGUST 15, 2019.
- (4) ROOF OVERHANG AT NORTHWEST CORNER OF BEACH GRILL BUILDING PROJECTS INTO SIDE YARD SETBACK 1.4' ± < 2' ALLOWED (325-18 F.(3))

REV. 7
8-28-2020

ISSUED FOR PLANNING BOARD
AND ZBA REVIEW

REFERENCE:
ASSESSORS MAP 8, PARCEL P2
DEED BOOK 24547, PAGE 55
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FLOOD ZONE:
FLOOD ZONE VE (EL. 15, EL. 14 & EL. 13), ZONE AE (EL. 11 & EL. 12), & ZONE X AS SHOWN ON FEMA FIRM PANEL #25010612J EFFECTIVE JULY 16, 2014. COMMUNITY FLOOD PLANE MANAGERS SHALL CONFIRM LOCATION OF SITE SPECIFIC FLOOD PLANE BOUNDARIES PRIOR TO DESIGNING STRUCTURES. A CONDITIONAL LETTER OF MAP AMENDMENT (CLOMA) DETERMINATION SHOULD BE APPLIED FOR TO CONFIRM FLOOD INSURANCE REQUIREMENTS.

DATUM:
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OWNER:
WYCHMERE HARBOR REAL ESTATE, LLC
23 SNOW INN ROAD
HARWICHPORT, MA 02646

LEGEND



NO.	DATE	REVISION
7	08/28/2020	UPDATE FOR HARDSCAPE/LANDSCAPE REVISIONS; UPDATE ZONING TABLE
6	08/21/2020	UPDATES TO MATCH LANDSCAPE PLAN; UPDATE ZONING TABLE
5	07/30/2020	REVISIONS TO BUILDINGS & AMENITIES
4	02/10/2020	CHANGE SYNTHETIC TURF TO NATURAL LAWN AT POOL PATIO LEVEL
3	01/17/2020	UPDATE LOT AREA AND COVERAGE AREAS IN ZONING TABLE
2	12/20/2019	REVISE PROPOSED POOL AREA AND DRAINAGE
1	07/02/2019	UPDATE PROPOSED BUILDING FOOTPRINT; POOL LOCATIONS, AND UTILITIES



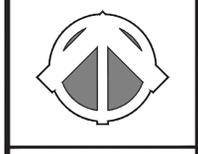
PROJECT: WYCHMERE HARBOR REAL ESTATE, LLC
HARWICHPORT, MA
23 SNOW INN ROAD
SHEET TITLE: PROPOSED BUILDING AND SITE IMPROVEMENTS AT WYCHMERE BEACH CLUB

SCALE: AS NOTED
DRAWING FILE: C15766-C.dwg
DATE: 8/12/2019
DRAWN BY: TRG/CEM/MJB
CHECKED BY: DJM

C2.2.1
1 OF 1 SHEETS
PROJECT NO. C15766.05

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Date: 02/11/20

Revisions:

Num.	Date	Description
1	08/28/20	



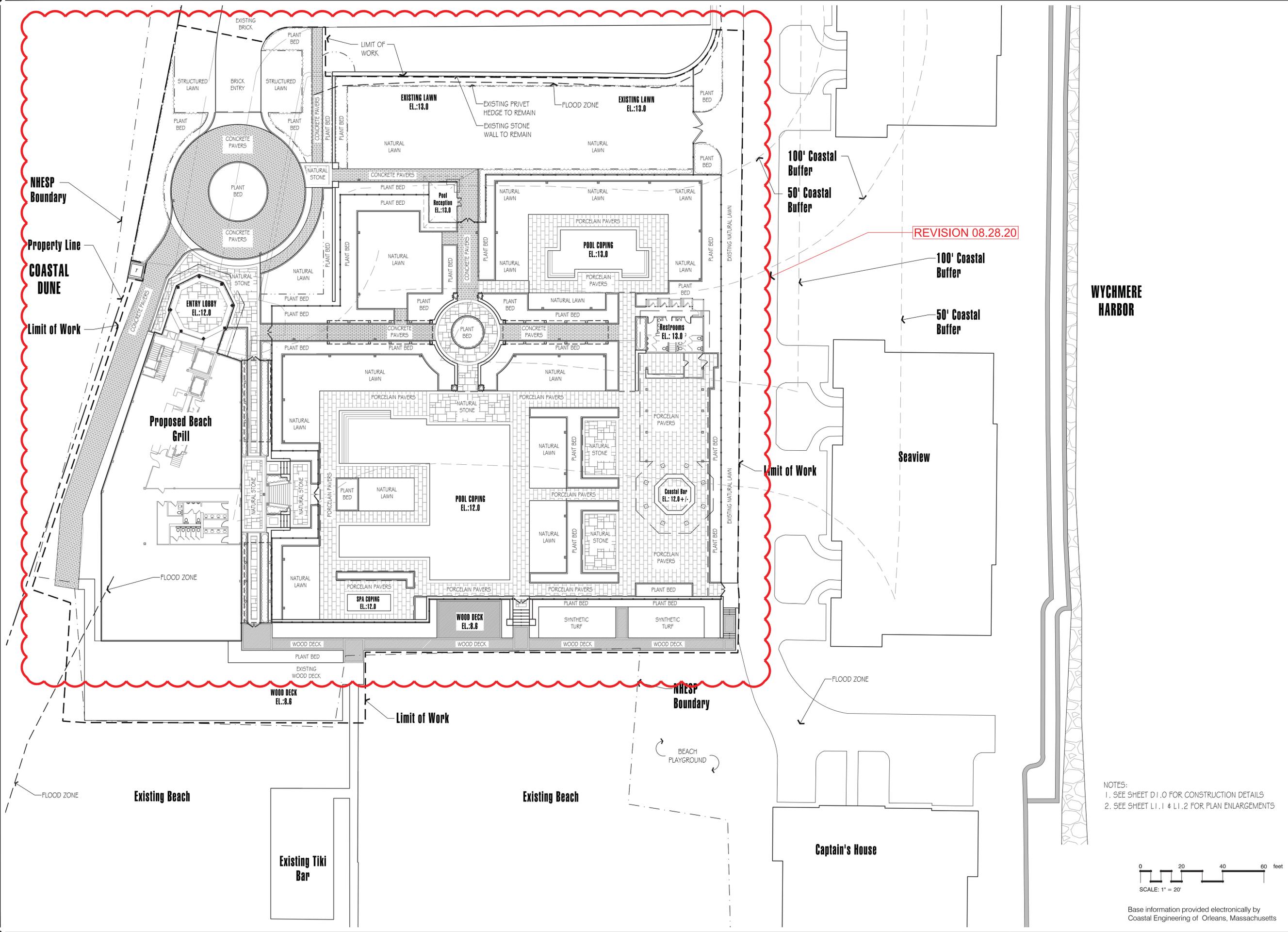
Wychmere Beach Club
 22 Snow Inn Rd, Harwich Port, MA
 Wychmere Harbor Real Estate LLC

Drawn By: TM Checked By: DH

Overall Site Plan

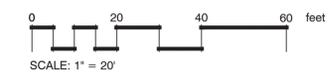
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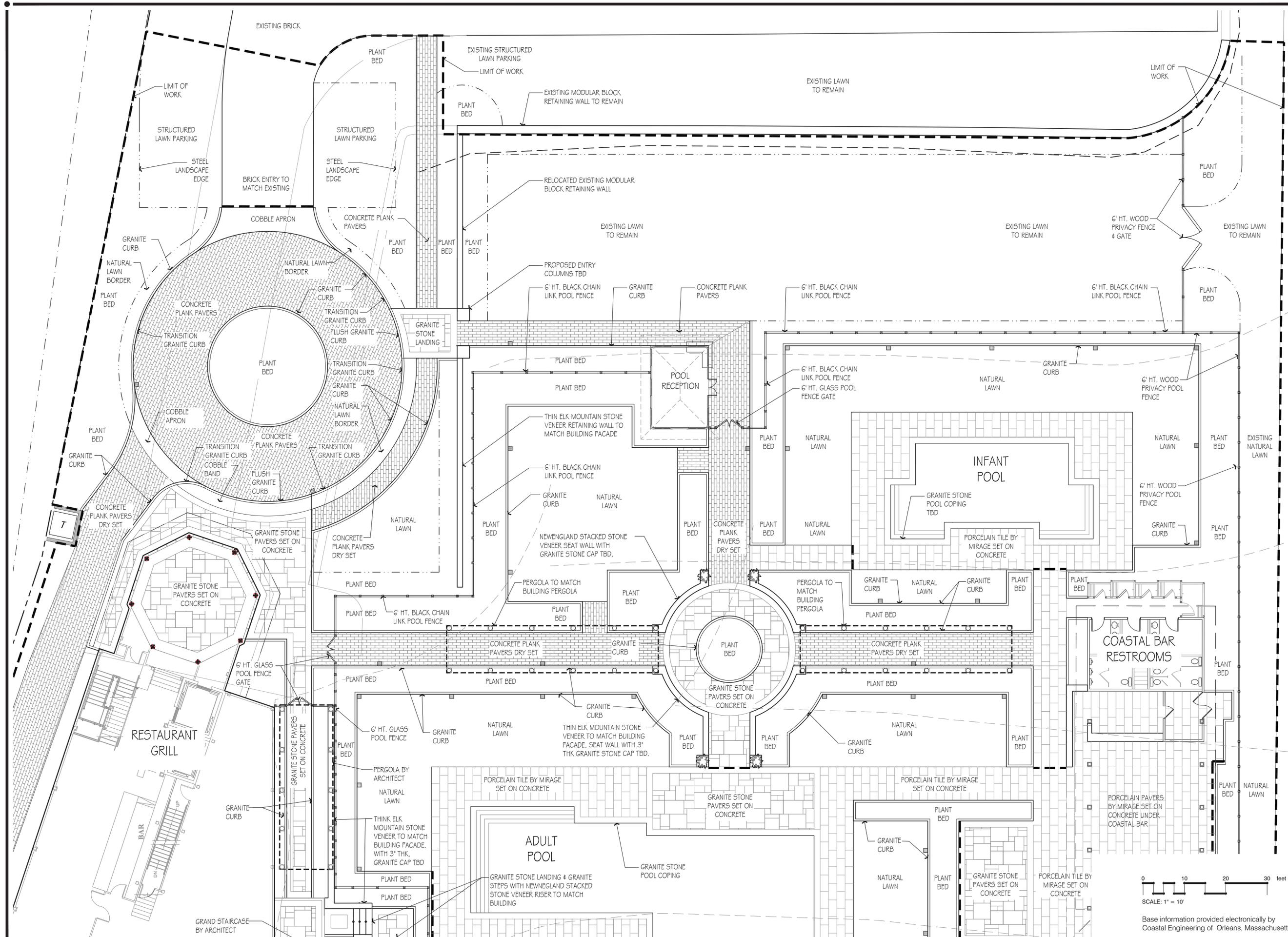


WYCHMERE HARBOR

- NOTES:
- SEE SHEET D1.0 FOR CONSTRUCTION DETAILS
 - SEE SHEET L1.1 & L1.2 FOR PLAN ENLARGEMENTS



Base information provided electronically by Coastal Engineering of Orleans, Massachusetts



Hawk Design, Inc.
 Landscape Architecture
 Land Planning
 Sagamore, MA
 508-833-8800
 info@hawkdesigninc.com
 www.hawkdesigninc.com

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Date: 08/28/20

Revisions:
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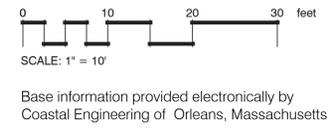
Wychmere Beach Club
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 Wychmere Harbor Real Estate LLC

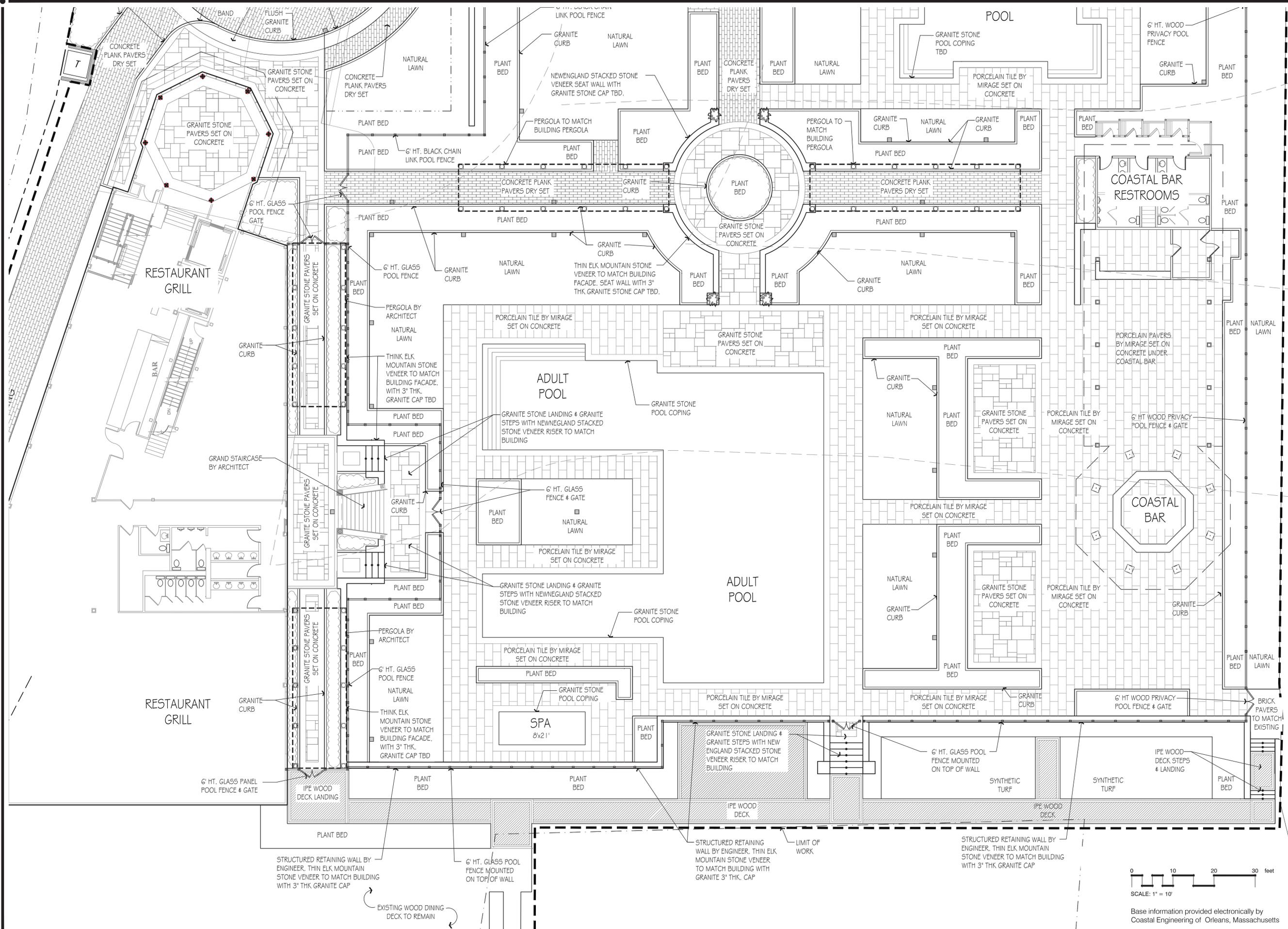
Drawn By: TM Checked By: TM

**Materials
 Enlargement Plan**

Scale: 1" = 10'-0"

Sheet: **L1.1**





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 Landscape Architecture
 Land Planning
 Sagamore, MA
 508-833-8800
 info@hawkdesigninc.com
 www.hawkdesigninc.com

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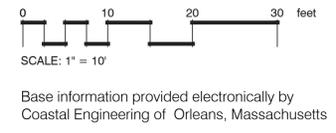
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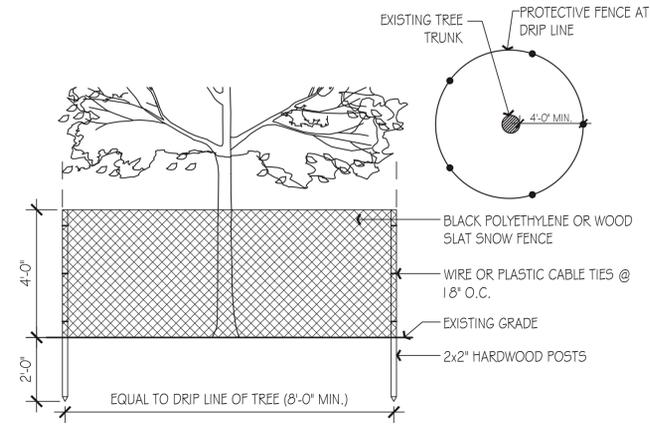
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Materials
 Enlargement Plan

Scale: 1" = 10'-0"

Sheet: **L1.2**

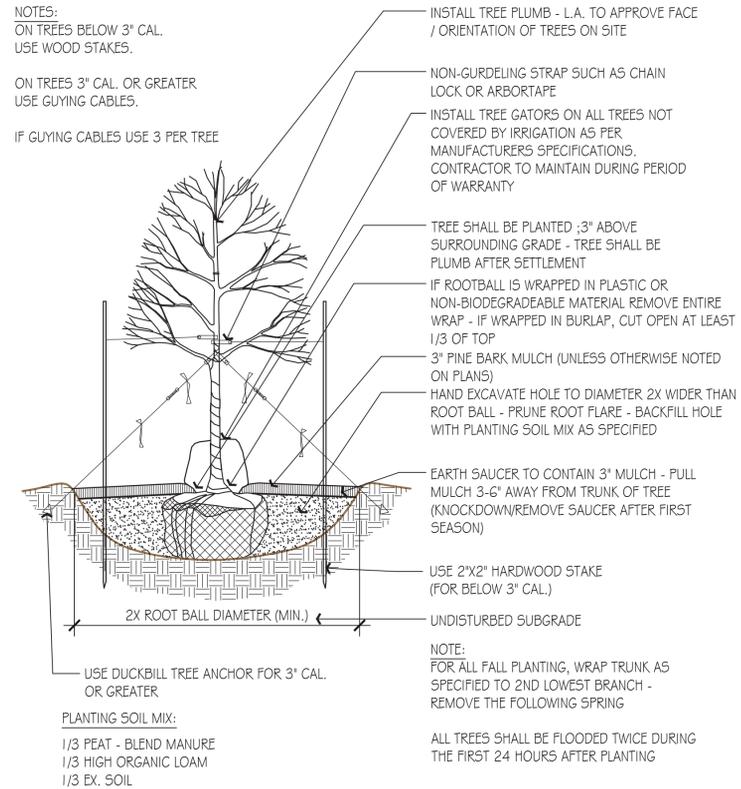




- NOTES:
- PROTECTIVE FENCE TO REMAIN UNTIL CONSTRUCTION IS COMPLETE.
 - NO TREE SHALL BE REMOVED UNLESS SPECIFICALLY TAGGED FOR REMOVAL BY THE LANDSCAPE ARCHITECT.
 - CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE TREES THAT ARE TO REMAIN.
 - DO NOT NAIL BOARDS OR FENCING TO TREES DURING CONSTRUCTION.
 - ANY EXCAVATING WITHIN DRIPLINE MUST BE APPROVED BY LANDSCAPE ARCHITECT AND MUST BE HAND-DUG. CONTRACTOR SHALL NOT CUT ANY ROOTS AND/OR BRANCHES UNLESS APPROVED BY LANDSCAPE ARCHITECT.
 - ROOTS EXPOSED AND/OR DAMAGED DURING GRADING & CONSTRUCTION OPERATIONS SHALL BE CUT OFF CLEANLY INSIDE THE EXPOSED OR DAMAGED AREA AND TOPSOIL BE PLACED OVER THE ROOTS IMMEDIATELY. FEEDER ROOTS SHALL NOT BE CUT IN AN AREA INSIDE DRIP LINE OF THE TREE BRANCHES.
 - ROOTS GREATER THAN 1" DIAMETER SHALL NOT BE CUT UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
 - STOCKPILED MATERIALS OR UNNECESSARY VEHICULAR TRAFFIC SHALL NOT BE ALLOWED OVER ANY TREE ROOT SYSTEM.
 - INSPECT FENCE ON WEEKLY BASIS AND REPAIR DAMAGE IMMEDIATELY.

1 Tree Protection

Scale: N.T.S.

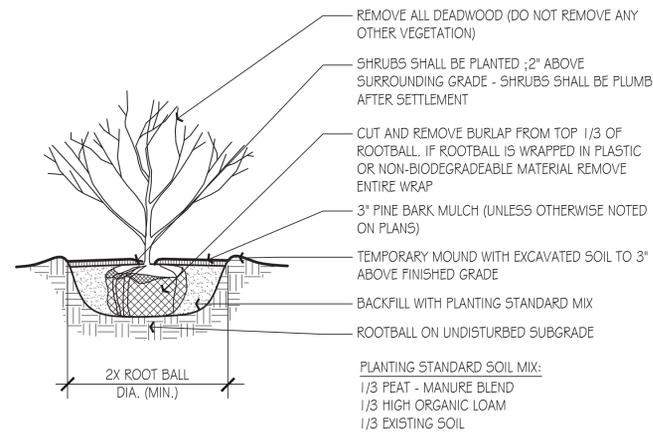


2 Deciduous Tree Planting

Scale: N.T.S.

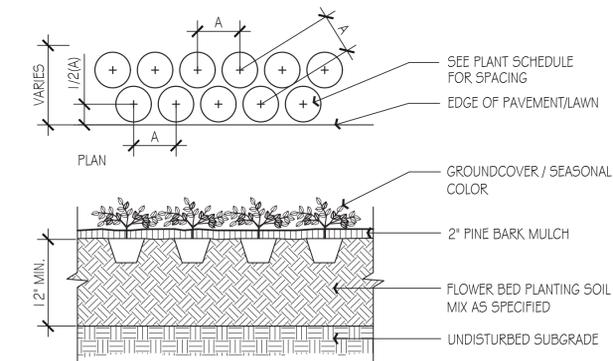
SCHEDULE OF TOPSOILS & ADDITIVES

LOCATION	DEPTH	DESCRIPTION
GENERAL PLANTING BEDS	12"	1/3 PEAT - MANURE BLEND 1/3 HIGH ORGANIC LOAM 1/3 EXISTING SOIL
FLOWER BEDS	12"	SCREENED LOAM 1/3 PEAT - MANURE BLEND LIME - PELATIZED OR GROUND (50 LB. PER 100 SF.) GROUND BONE MEAL (50 LB. PER 100 SF.) 10-10-10 INORGANIC FERTILIZER (50 LB. PER 5000 SF.)
LAWNS - SOD & SEED	6"	6" SCREENED LOAM
PITS/TREE WELLS 'STANDARD MIX' FOR BACKFILL	12"	1/3 PEAT - MANURE BLEND 1/3 HIGH ORGANIC LOAM 1/3 EXISTING SOIL



3 Shrub Planting

Scale: N.T.S.



4 Seasonal Color / Perennial / Groundcover

Scale: N.T.S.



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Land Planning
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Date: 02/11/20

Revisions:

Num. Date Description
1. 02/28/20



Wychmere Beach Club
22 Snow Inn Rd, Harwich Port, MA
Wychmere Harbor Real Estate LLC

Drawn By: TM Checked By: DH

Planting Details

Scale: nts

Sheet: **L2.1**

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Date: 02/11/20

Revisions:

Num.	Date	Description
1	08/28/20	



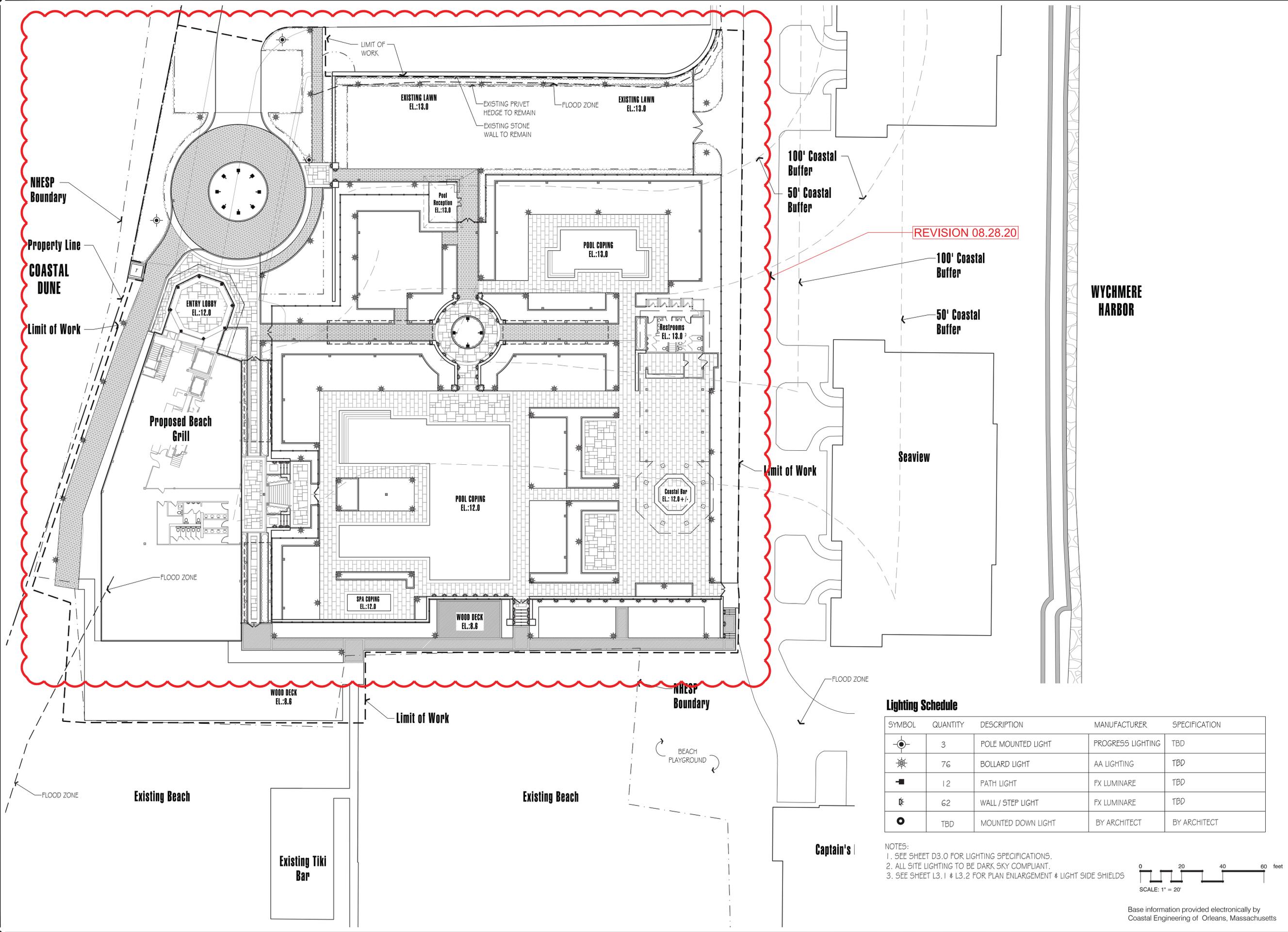
Wychmere Beach Club
 22 Snow Inn Rd, Harwich Port, MA
 Wychmere Harbor Real Estate LLC

Drawn By: TM Checked By: DH

**Overall Site
 Lighting Plan**

Scale: 1" = 20'-0"

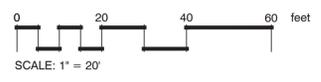
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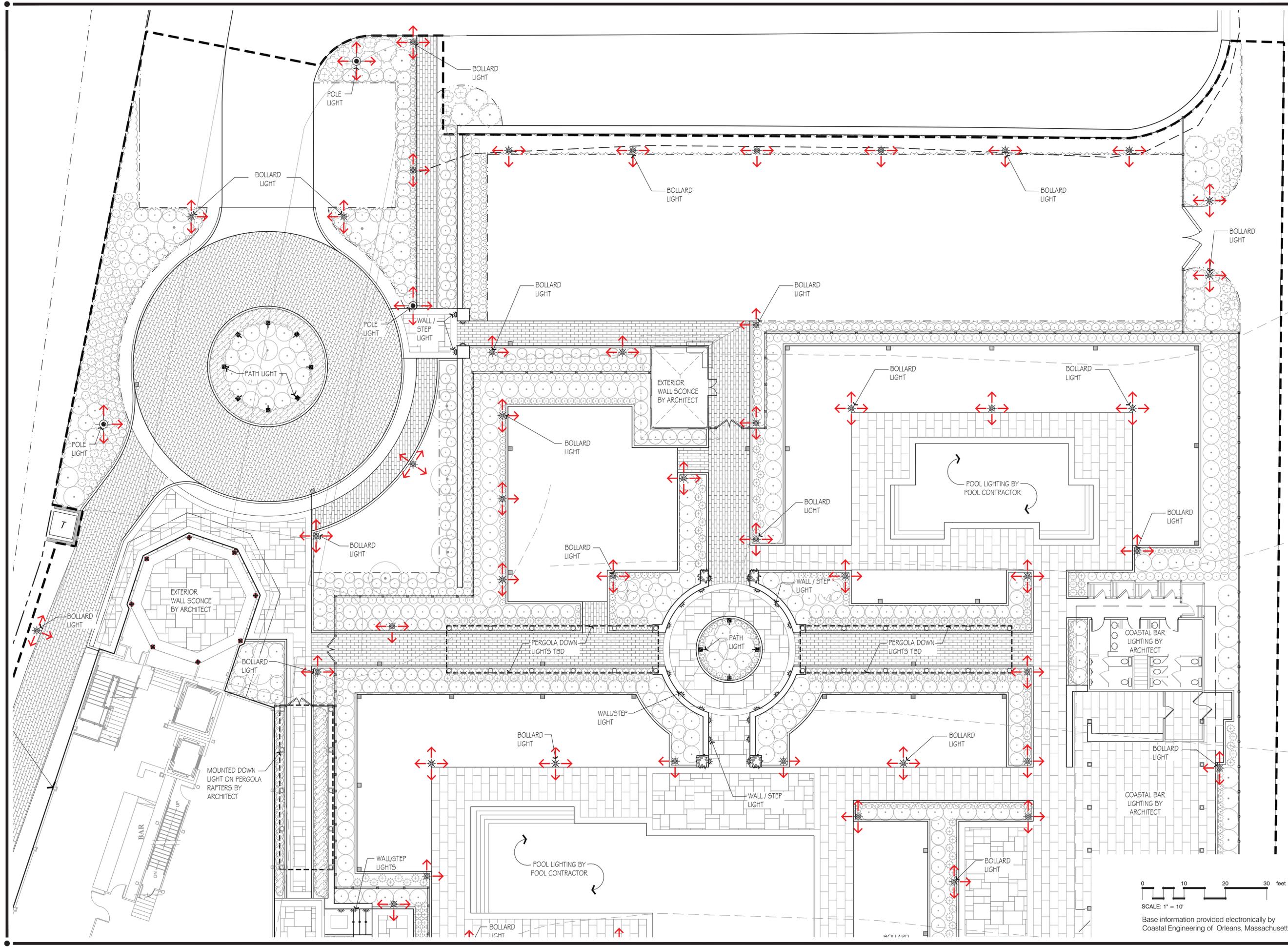
Lighting Schedule

SYMBOL	QUANTITY	DESCRIPTION	MANUFACTURER	SPECIFICATION
☉	3	POLE MOUNTED LIGHT	PROGRESS LIGHTING	TBD
☀	76	BOLLARD LIGHT	AA LIGHTING	TBD
■	12	PATH LIGHT	FX LUMINARE	TBD
⊞	62	WALL / STEP LIGHT	FX LUMINARE	TBD
○	TBD	MOUNTED DOWN LIGHT	BY ARCHITECT	BY ARCHITECT

NOTES:
 1. SEE SHEET D3.0 FOR LIGHTING SPECIFICATIONS.
 2. ALL SITE LIGHTING TO BE DARK SKY COMPLIANT.
 3. SEE SHEET L3.1 & L3.2 FOR PLAN ENLARGEMENT & LIGHT SIDE SHIELDS



Base information provided electronically by
 Coastal Engineering of Orleans, Massachusetts



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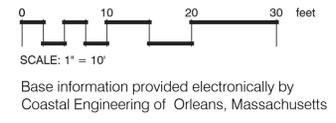
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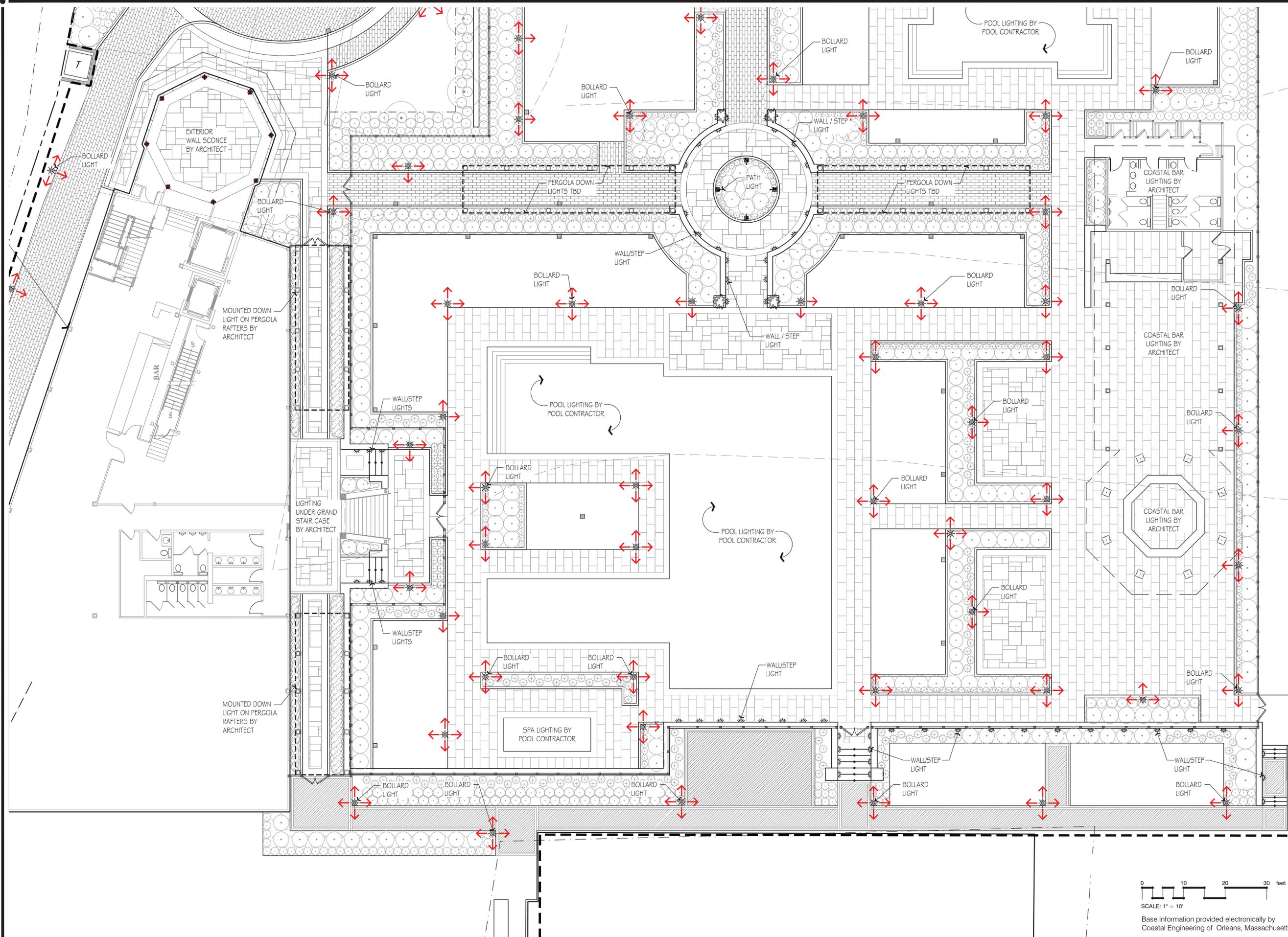
Drawn By: TM Checked By: DH

**Lighting
 Enlargement Plan**

Scale: 1" = 10'-0"

Sheet: **L3.1**





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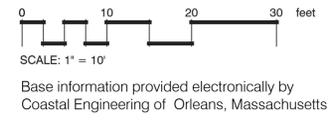
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 Wychmere Harbor Real Estate LLC

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Lighting
 Enlargement Plan

Scale: 1" = 10'-0"

Sheet: **L3.2**



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Revisions:
Num. Date Description



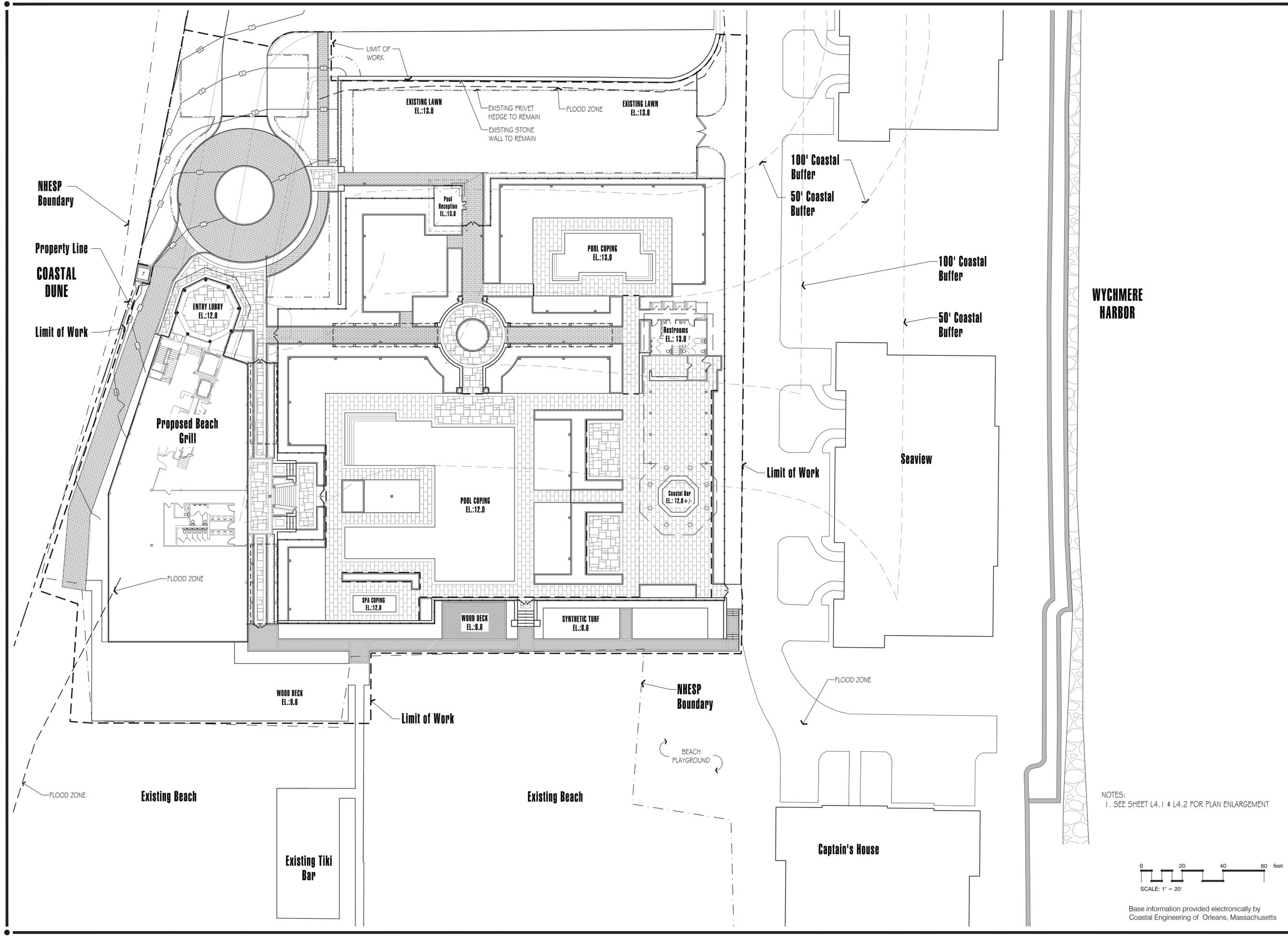
Wychmere Beach Club
22 Snow Inn Rd, Harwich Port, MA
Wychmere Harbor Real Estate LLC

Drawn By: TM Checked By: DH

Overall Grading Plan

Scale: 1" = 20'-0"

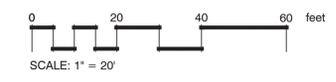
Sheet: **L4.0**



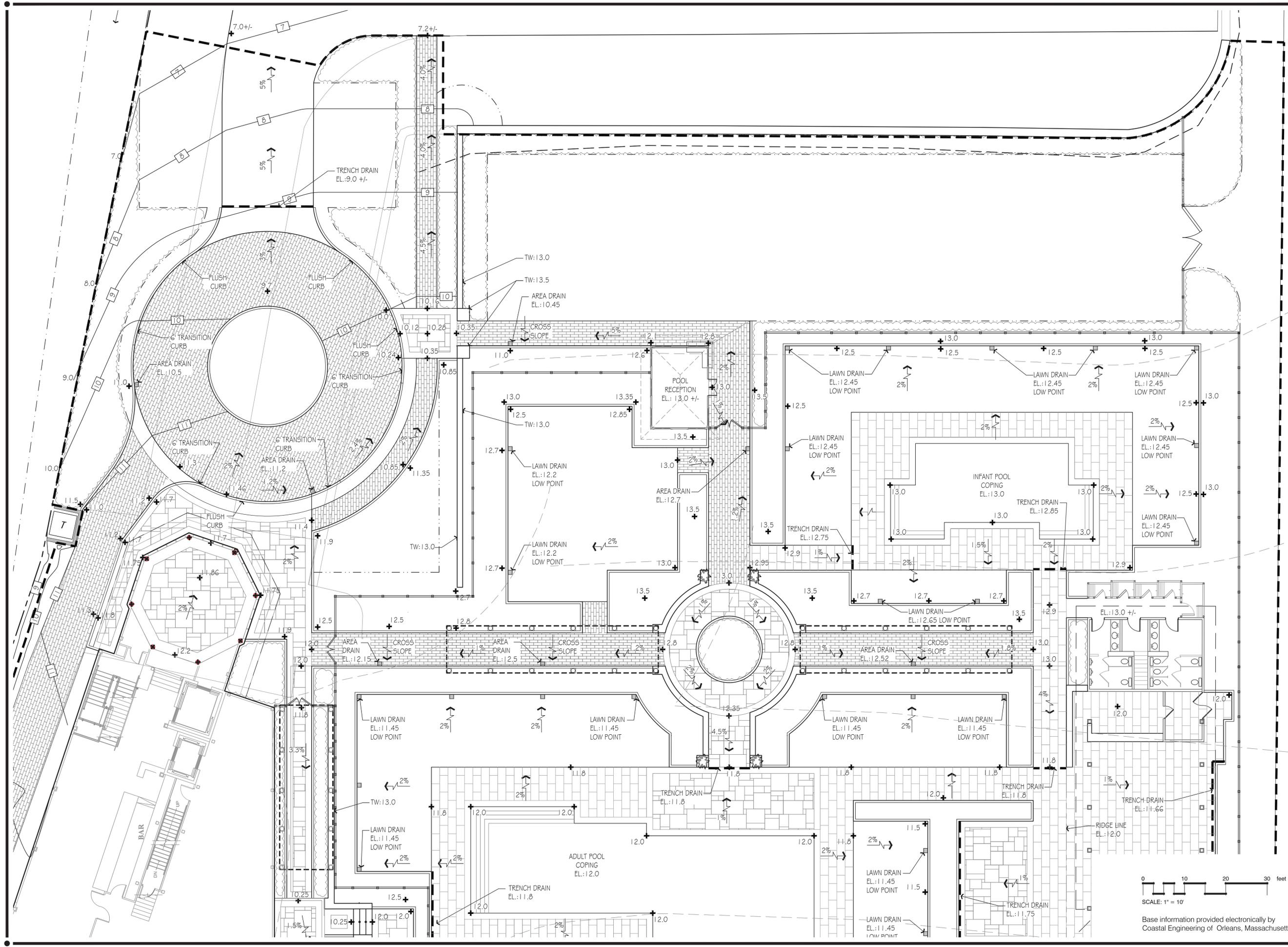
WYCHMERE HARBOR

Seaview

NOTES:
1. SEE SHEET L4.1 & L4.2 FOR PLAN ENLARGEMENT



Base information provided electronically by Coastal Engineering of Orleans, Massachusetts



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 Landscape Architecture
 Land Planning
 Sagamore, MA
 508-833-8800
 info@hawkdesigninc.com
 www.hawkdesigninc.com

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Date: 08/28/20

Revisions:
 Num. Date Description



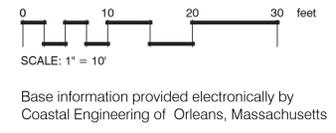
Wychmere Beach Club
 22 Snow Inn Rd, Harwich Port, MA
 Wychmere Harbor Real Estate LLC

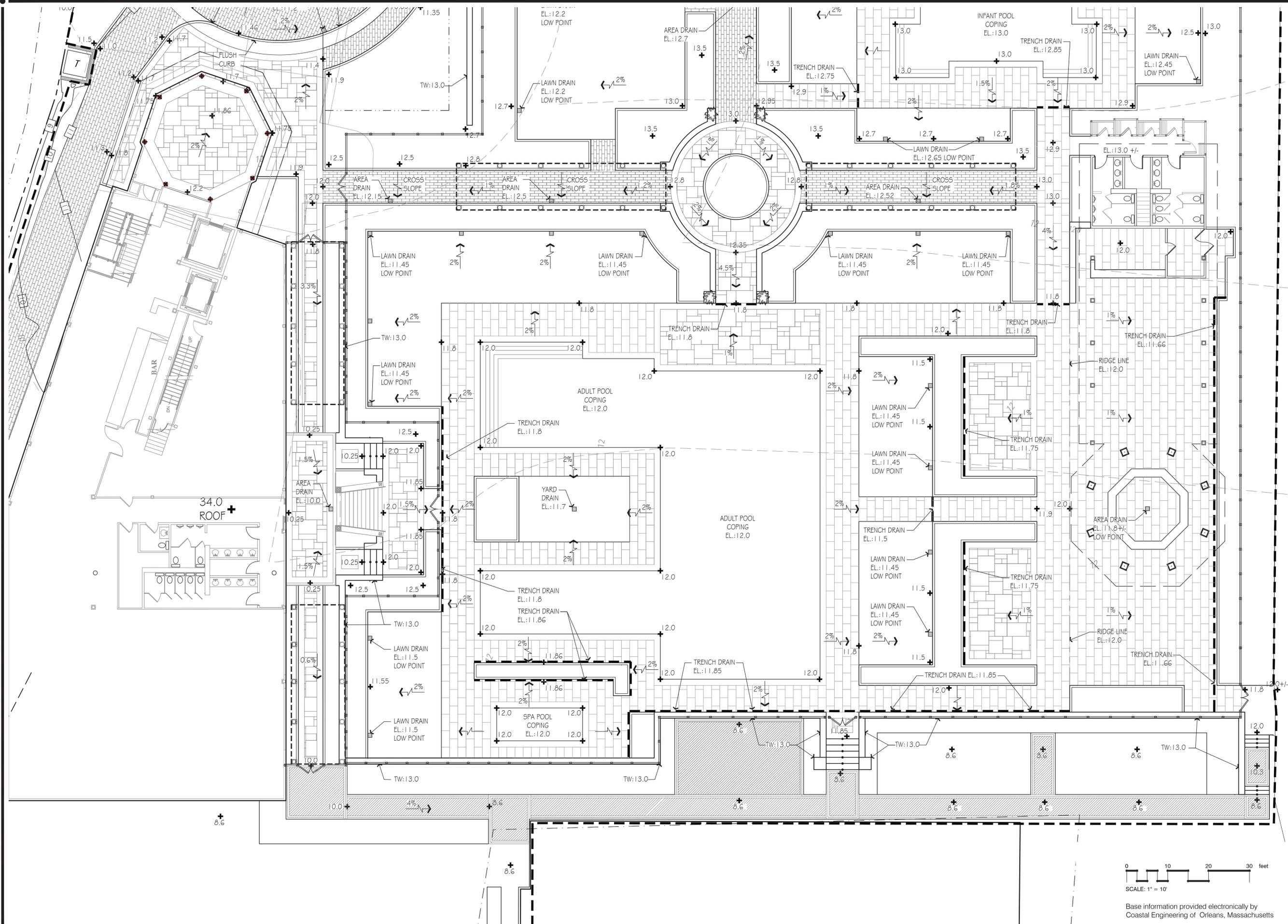
Drawn By: TM Checked By: DH

**Grading
 Enlargement Plan**

Scale: 1" = 10'-0"

Sheet: **L4.1**





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Date: 08/28/20

Revisions:
 Num. Date Description



Wychmere Beach Club
 22 Snow Inn Rd, Harwich Port, MA
 Wychmere Harbor Real Estate LLC

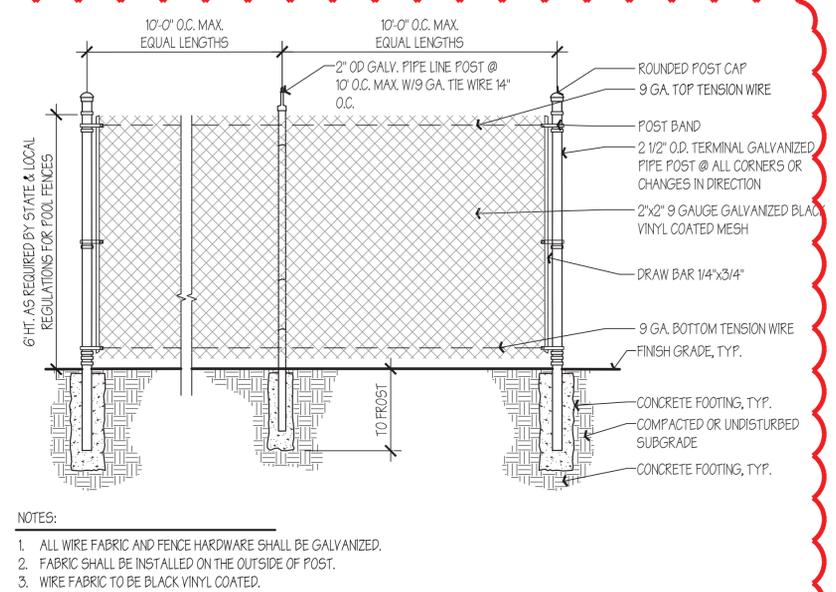
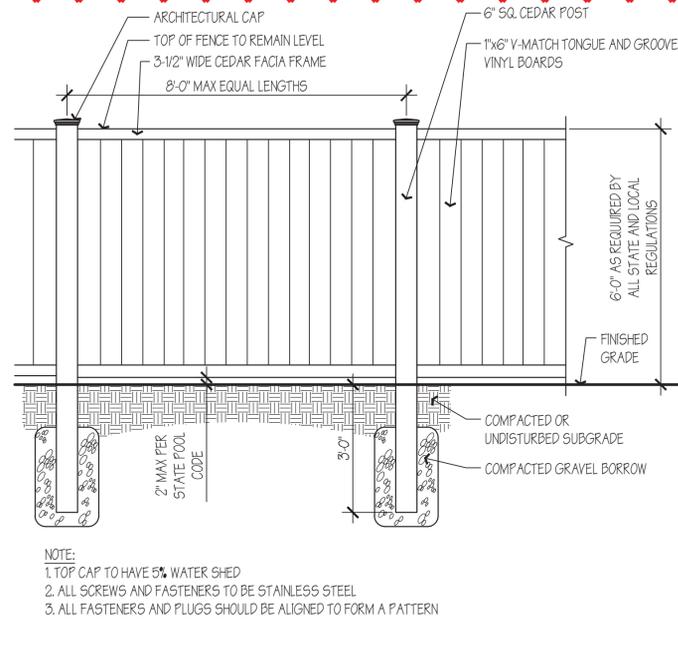
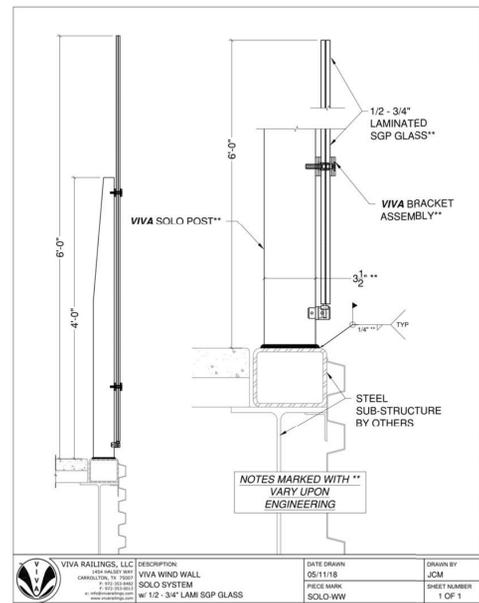
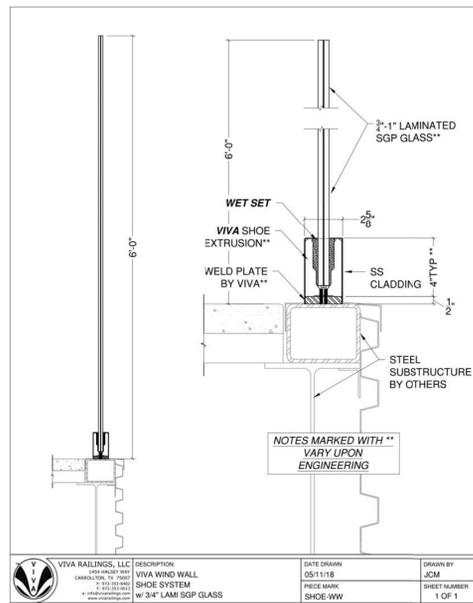
Drawn By: TM Checked By: DH

Grading
 Enlargement Plan

Scale: 1" = 10'-0"

Sheet: **L4.2**

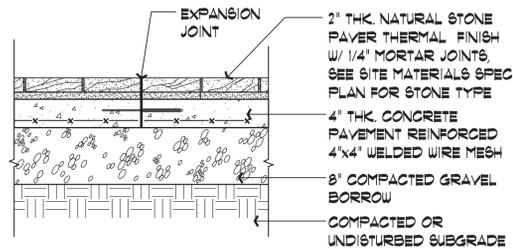
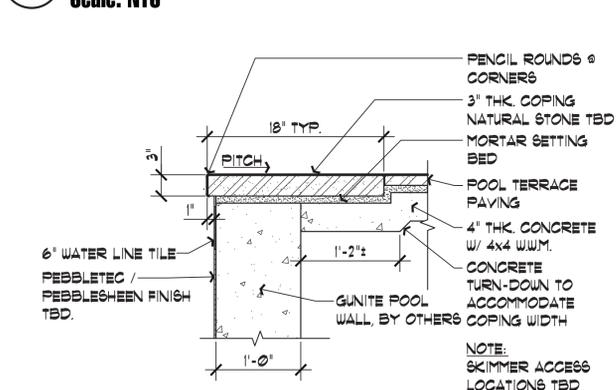
0 10 20 30 feet
 SCALE: 1" = 10'
 Base information provided electronically by
 Coastal Engineering of Orleans, Massachusetts



VIVA Railings Glass Panel Pool Fence 6' HT.
Scale: NTS

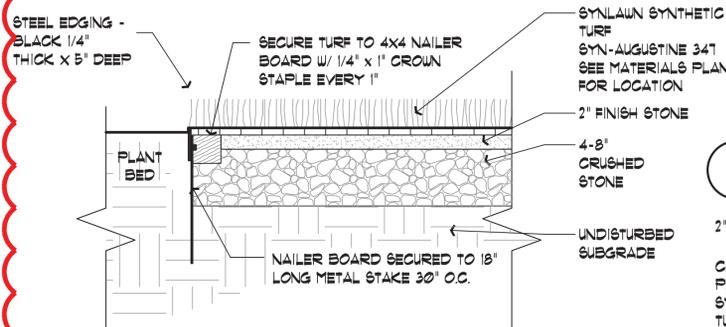
Wood Privacy Pool Fence 6' HT.
Scale: 1/2" = 1'-0"

Chain Link Pool Fence 6' HT.
Scale: 1/2" = 1'-0"



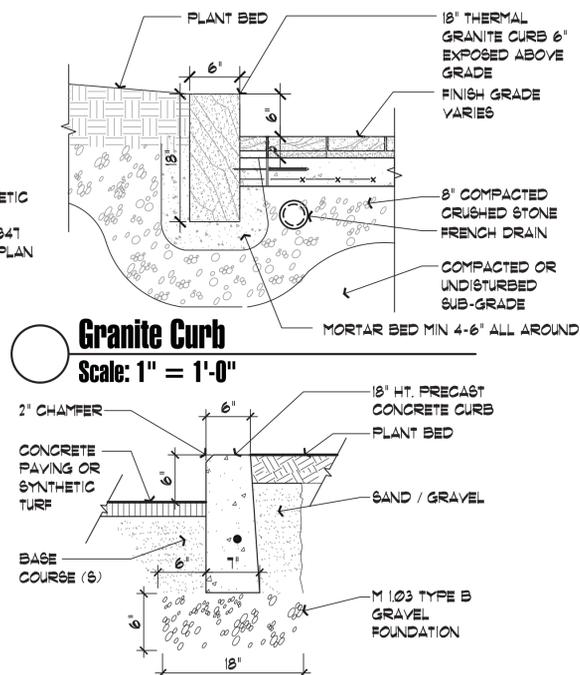
Natural Stone Paver Wet Set TBD
Scale: 1" = 1'-0"

Pool Coping
Scale: 1" = 1'-0"



NOTES:
1. REFER TO MANUFACTURER'S SPECIFICATIONS FOR FURTHER INFORMATION. LA TO BE NOTIFIED OF ANY DISCREPANCIES.
2. TO BE INSTALLED BY AUTHORIZED SYNLAWN INSTALLER IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND GUIDELINES.

SYNLAWN Synthetic Turf
Scale: 1" = 1'-0"

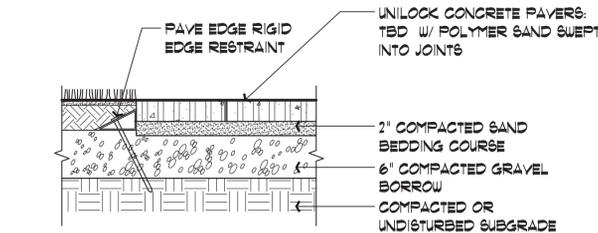


Granite Curb
Scale: 1" = 1'-0"

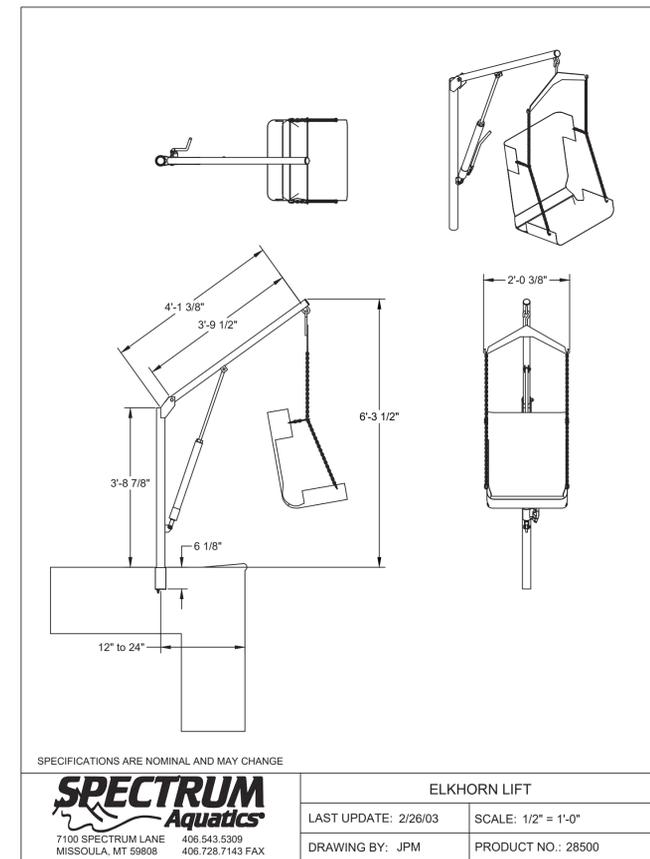
Alternate Precast Concrete Curb
Scale: nts



Mirage Porcelain Paver Wet Set TBD
Scale: NTS



Concrete Paver Dry Set TBD
Scale: 1" = 1'-0"



Swim Handicap Lift
Scale: NTS

Date: 02/11/20

Revisions:
Num. Date Description
1. 08/28/20



Wychmere Beach Club
22 Snow Inn Rd, Harwich Port, MA
Wychmere Harbor Real Estate LLC

Drawn By: TM Checked By: DH

Construction Details

Scale: As Noted

Sheet: **D1.0**

SPECIFICATIONS ARE NOMINAL AND MAY CHANGE

SPECTRUM Aquatics
7100 SPECTRUM LANE MISSOULA, MT 59808 406.543.5309 406.728.7143 FAX

ELKHORN LIFT
LAST UPDATE: 2/26/03 SCALE: 1/2" = 1'-0"
DRAWING BY: JPM PRODUCT NO.: 28500

Project: _____
 Fixture Type: _____
 Location: _____
 Contact: _____

PCPTS SERIES

LED Post-Top Designer

Specifications:

Construction:

Traditional style post top luminaire with decorative cast aluminum cap mechanically attached to optical chamber. Cast aluminum multi-sided cap with UV stabilized acrylic lenses sealed for weather tight operation. Aluminum lower electrical chamber with bottom flange to mount to 3" O.D. x 4" H. stem.

Optics:

One piece optical system with internal brass standoffs soldered to the board which can be field replaced. Two piece die cut silicone and polycarbonate foam gasket ensures weather proof seal around each individual LED and allows luminaires to be rated for high pressure hose down applications. The optical cartridge is secured to the aluminum heat sink with fasteners to ensure thermal conductivity. Optics held into place without use of adhesives and complete assembly is gasketed for high pressure hose down cleaning.

Electrical:

Luminaire equipped with LED driver that operates with 120-277V universal voltage, 50/60Hz and includes 0-10V dimming capability. Power factor is 0.92 at full load. All electrical components rated at 50,000 hours at full load and 40°C ambient conditions. Thermal feedback between PCB and driver to protect luminaire from excessive temperature by reducing drive current as necessary. Surge protection standard with device providing surge current rating of 20KA using 8/20 pulse wave. LSP clamping voltage of 80V and surge rating of 50kA.

Finish:

Polyester powder paint finish that is corrosion resistant and resists surface impacts up to 160 inch-pound.

Listing/Certification:

The luminaire bears an NRTL label and is marked suitable for wet locations.

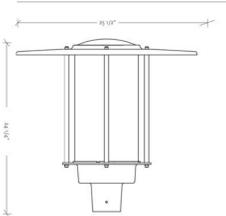
Warranty:

5 year limited warranty covering LED array and LED driver(s).

Images:



Dimensions & Mounting



Wattage	Lumens
55W	9810-9770
80W	8410-8200
110W	11220-12340

Series	Wattage	Distribution	Finish	Options
PCPTS	55 - 55W 80 - 80W 110 - 110W	3 - Type 3 4 - Type 4 4B - Type 4, Backlight Control	BZ - Bronze BL - Black ON - Green	IP - Photocell

For more information visit our website: www.progresscommercial.com

Progress Lighting - 701 Millennium Boulevard - Greenville, SC 29607

Project: _____
 Fixture Type: _____
 Location: _____
 Contact: _____

PCAD SERIES

LED Area Designer Lighting

Specifications:

Construction:

The decorative pendant mount luminaire is pendant mounted in place with stainless steel bolts. The driver is located in the cast aluminum top housing and is accessible without tools by lifting the lower shade assembly. The lower shade assembly is a one-piece aluminum spinning.

Optics:

One piece optical system with internal brass standoffs soldered to the board which can be field replaced. Two piece die cut silicone and polycarbonate foam gasket ensures weather proof seal around each individual LED and allows luminaires to be rated for high pressure hose down applications. The optical cartridge is secured to the aluminum heat sink with fasteners to ensure thermal conductivity. Optics held into place without use of adhesives and complete assembly is gasketed for high pressure hose down cleaning.

Electrical:

Luminaire equipped with LED driver that operates with 120-277V universal voltage, 50/60Hz and includes 0-10V dimming capability. Power factor is 0.92 at full load. All electrical components rated at 50,000 hours at full load and 40°C ambient conditions. Thermal feedback between PCB and driver to protect luminaire from excessive temperature by reducing drive current as necessary. Surge protection standard with device providing surge current rating of 20KA using 8/20 pulse wave. LSP clamping voltage of 80V and surge rating of 50kA.

Finish:

Polyester powder paint finish that is corrosion resistant and resists surface impacts up to 160 inch-pound.

Listing/Certification:

The luminaire bears a CSA label and is marked suitable for wet locations.

Warranty:

5 year limited warranty covering LED array and LED driver(s).

Catalog number:

Series	Engine/Wattage	Color Temp	Distribution	Finish	Options
PCADS - Designer Small	27LED - 24LEDS @ 27W	3K - 3000K, 70 CRI	2 - Type 2	BZ - Bronze	PCB30 - 120V Photocell
PCADS - Designer Large	55LED - 24LEDS @ 55W	4K - 4000K, 70 CRI	3 - Type 3 4 - Type 4	BL - Black ON - Green	PCZ77 - 277V Photocell CR - Cast Rings BC - Backlight Control

*** LSP Only

For more information visit our website: www.progresslighting.com

Progress Lighting - 701 Millennium Boulevard - Greenville, SC 29607

Images:



Dimensions & Mounting



Engine/Wattage	# of LEDs	Delivered Lumens (varies by optics)	Delivered LPW	Drive Current (milliamps)
27	24	3500-3500	131-139	350 mA
55	24	6100-6450	107-113	300 mA
85	36	9100-9700	108-114	300 mA
110	48	12400-1800	110-116	300 mA
136	60	15200-16000	111-117	300 mA

Kick™ - KB6 Bollard

TYPE

FEATURES

- Sensor and wireless operation
- Field installable optics and housing
- Customizable side panels
- 120-277, 347 and 480VAC input
- IMA Dark Sky Approved with clear lenses and 3000K
- True IES distributions
- 3000K, 4000K, 5000K CCT
- Uniformly diffused lens
- 20kV/10kA surge protection
- Integral thermal protection and 3000K
- IP66



DIMENSIONS

MODEL	KB6
OVERALL HEIGHT	42" / 1067mm
OVERALL LENGTH	8" / 203mm
OVERALL WIDTH	6" / 152mm
WINDOW HEIGHT	18" / 457mm
WINDOW WIDTH	4" / 102mm
WEIGHT	3.15 lbs / 1.43kg

* Housing and optical distribution are independently field-assemble in 90° increments. Default factory orientations shown above.



ORDERING INFORMATION

1	2	3	4	5	6	7
KB6	YS	No Shield	3000k	TBD	TBD	TBD
Model	Distribution	Shielding	Light Engine	Controls	Voltage	Fixture Finish

- MODEL**
KB6: 6" Square x 42" Hx16" dia
- DISTRIBUTION**
Y2: IES Type II, clear lens
Y3: IES Type III, clear lens
Y4: IES Type IV, clear lens
Y5: IES Type V, clear lens
YD: Symmetric distribution, diffused lens
- SHIELDING**
Optional, may choose from 1 to 3 sides chosen from options A, B, C, D or you may choose HSS option.
A: Street side closed
B: Side 90° counter-clockwise from street side closed
C: Side 180° counter-clockwise from street side closed
D: Side 270° counter-clockwise from street side closed
HSS: House side shield*
- LIGHT ENGINE**
2050: 5000K CCT 29 watts
2040: 4000K CCT 29 watts
2030: 3000K CCT 29 watts
1050: 5000K CCT 14 watts
1040: 4000K CCT 14 watts
1030: 3000K CCT 14 watts
500mm monochromatic amber and/or custom lumen package available by request. †
- CONTROL**
May choose one:
SC-WM: Motion Sensor
WIR: iSense Connectivity
BPC: Button Type Photocell
- VOLTAGE**
120-277VAC input or may choose one:
347: 347VAC input
480: 480VAC input
- FIXTURE FINISH**
Standard Color:
AGN: Antique Green
BL: Black
BLT: Matte Black
CR: Cast Rings
DB: Dark Bronze
DGN: Dark Green
GT: Graphite
LG: Light Grey
MAL: Matte Aluminum
MDB: Bronze Metallic
MG: Medium Grey
TT: Titanium
WH: Arctic White
WDB: Weathered Bronze
VBU: Venetian Blue
Premium Color:
SPP: Salt and Pepper
SFM: Seafoam
WCP: Weathered Copper
RAL: RAL 4 digit Color
CUSTOM: Custom Color

1 Contact factory
2 House side shield assemblies to optical lens and is independent of outer housing.

PROGRESS LIGHTING AREA LIGHTING
 17760 Riverside Street, Columbia, SC 29210
 803-766-9888 | 1-800-368-9888 | www.progresslighting.com
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JOB TYPE NOTES

architectural lighting

Project: _____
 Fixture Type: _____
 Location: _____
 Contact: _____

PCBO SERIES

Walkway Lighting

Specifications:

Construction:

- Extruded aluminum square or round housing, with tamper resistant hardware; Flat top, for round. Single screw access for top relamping.
- Sealed one-piece, clear acrylic lens; Spectral-anodized aluminum optical systems; dual reflector or tube optics.
- Concealed, galvanized steel anchor base; Four 3/4" x 10" anchor bolts.
- Durable, galvanized TFC thermoseal polyester powder coat paint finish assures long life and maintenance-free service.

Electrical:

- Universal voltage (120-277V) drivers with +/- 10% tolerance, starting temperature rated at -30°C.
- Rotatable LED assembly adjustment for ideal placement and aiming of symmetric light pattern.
- 24 high brightness LEDs at 500 mA deliver symmetric distribution at 46 Watts.
- 12 high brightness LEDs at 700 mA deliver asymmetric distribution at 31 Watts.

Warranty:

5 year limited warranty for LED system.

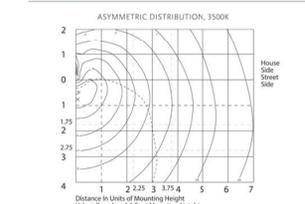
Listing/Certification:

The luminaire is listed to UL 1598 for use in wet locations.

Catalog number:

Series	Distribution	Finish
PCB0R - Bollard Round	ASY - 12 LEDs @ 31W	BZ - Bronze
PCB0S - Bollard Square	SYM - 24 LEDs @ 46W	BL - Black

Photometry:

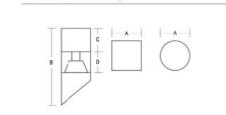


For more information visit our website: www.progresscommercial.com

Images:



Dimensions & Mounting



Square	A	B	C	D	Weight
Round	6.75" dia	42.0"	6.0"	4.0"	41 lbs
	7.0" dia	42.0"	6.0"	4.0"	41 lbs
	178 mm	1067 mm	152 mm	102 mm	19 kg



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Date: 02/11/20

Revisions:
 Num. Date Description
 1. 08/28/20



Wychmere Beach Club
 22 Snow Inn Rd, Harwich Port, MA
 Wychmere Harbor Real Estate LLC

Drawn By: TM | Checked By: DH

Site Lighting Specifications

Scale: nts

Sheet: **D2.0**

REVISION 08.28.20

Site Light on 12' HT. Pole
 Scale: nts

Alternate Site Light on 12' HT. Pole
 Scale: nts

Bollard Light
 Scale: nts

Alternate Bollard Light
 Scale: nts

FXLuminaire

LED Wall Lights



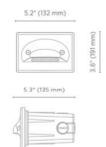
PROJECT: _____
 CATALOG # _____
 TYPE _____
 NOTES _____

UN Wall Light DESIGNER PREMIUM

Subtle, curved design elements adds style to this recessed wall light. 1 LED. Available in brass.

Quick Facts

- Die-cast brass construction
- Natural, powder coated, or antiqued brass finish
- Cree® integrated LEDs
- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V



UN Wall Light ORDERING INFORMATION

Fixture	Luxor Option	Output	Finish
UN*	[default] Zone	1LED 71 Lumens	BS Natural Brass
	2D Zone/Dim		BZ Bronze Metallic
			DG Desert Granite
			WI Weathered Iron
			SB Sedona Brown
			FB Black
			WG White Gloss
			FW Flat White
			AL Almond
			SV Silver
			NP Nickel Plate
			AB Antique Bronze
			AT Antique Tumbled

EXAMPLE FIXTURE CONFIGURATION: UN - [] - [] - 1LED - []

MOUNTING OPTIONS: Specify Separately

Accessories	Code
WALL LIGHT CONNECTION KIT	CE - EXIT WALL

LANDSCAPE LIGHTING

FXLuminaire



PF Path Light DESIGNER PREMIUM

Sleek hat area light in 1 LED. Copper and brass construction.

Quick Facts

- Copper/brass construction
- Natural, powder coated, or antiqued copper/brass
- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V



LANDSCAPE LIGHTING

Path Light
 Scale: nts

PF Path Light ORDERING INFORMATION

Fixture	Luxor Option	Output	Riser	Finish
PF*	[default] Zone	1LED 83 Lumens	BR 8" (203mm) Riser	CU Natural Copper
	2D Zone/Dim		12RA 12" (305mm) Riser	BZ Bronze Metallic
			18RA 18" (457mm) Riser	DG Desert Granite
			24RA* 24" (610mm) Riser	WI Weathered Iron
			36RA* 36" (914mm) Riser	FB Black
				WG White Gloss
				NP Nickel Plate

EXAMPLE FIXTURE CONFIGURATION: PF-2D-1LED-12R-CU
 * Ships with Super Slim Spike (753900)

MOUNTING OPTIONS: Specify Separately

Mounts	Code
SUPER J-BOX 2.5" (64mm) x 12" (305mm)	SI-XX*
POST MOUNT 2.5" (64mm) x 13" (33mm)	PM-XX*
GROUND MOUNT 2.7" (67mm) Diameter	GM-XX*
VERSABOX™ 2.2" (57mm) x 1.5" (39mm)	VB-OSD-XX*
PROAIM RATCHETING SPIKE 4.0" (102mm) x 4.0" (102mm)	PARS
3-PRONG SPIKE 5.1" (129mm) x 9" (229mm)	2500200-20000

*Y = riser height in inches (6" increments between 6" and 36"); 150 mm increments between 150 mm and 900 mm, XX = finish code

LANDSCAPE LIGHTING

**HARWICH PLANNING BOARD
HARWICH TOWN HALL - 732 MAIN STREET, HARWICH
VIA REMOTE PARTICIPATION GoToMeeting.com
TUESDAY AUGUST 25, 2020 – 6:30 PM
MEETING MINUTES**

BOARD MEMBERS PRESENT: Chairman, Duncan Berry; Vice-Chairman, Allan Peterson; Arthur Rouse; David Harris; Mary Maslowski; William Stoltz; and Craig Chadwick were all present via remote participation.

BOARD MEMBERS ABSENT: Joseph McParland.

OTHERS PRESENT: Charleen Greenhalgh; and others.

CALL TO ORDER - 6:30 PM by Chairman Berry with a quorum present.

Pursuant to Governor Baker's March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, G.L. c. 30A, §20, and the Governor's March 15, 2020 Order imposing strict limitations on the number of people that may gather in one place, this meeting of the Harwich Planning Board is being conducted via remote participation. No in-person attendance of members of the public will be permitted, but every effort will be made to ensure that the public can adequately access the proceedings as provided for in the Order. A reminder that persons who would like to listen or view this meeting while in progress may do so by logging in or calling in as specified above on this agenda.

PB2020-02 Steve Gopoyan & Swavi Osev, 346 Route 28 and 0 Sisson Road, Use Special Permit

Ms. Maslowski recused herself from the hearing. Chairman Berry re-opened the hearing. Emulous E Hall, et als., as owners, seeks approval of a Site Plan Review Special Permit and a Use Special Permit with waivers, pursuant to the Code of Town of Harwich §§325-13, ¶IV Line 30, -55 and -51 to construct a miniature golf course and expand and improve the parking and vehicle access. The property is located at 346 Route 28 and 0 Sisson Road, Maps 21, Parcels N1 & N2, respectively, in the C-H-1 and R-M zoning districts. Continued from 7/28/20.

The Applicant requested a continuance to September 10, 2020. Mr. Chadwick made the motion to continue the public hearing for case PB2020-02 Gopoyan & Osev to Thursday, September 10, 2020 not earlier than 6:30 pm, seconded by Vice-Chairman Peterson, unanimously so voted via roll call (6-0-0).

Ms. Maslowski then returned to the meeting.

ZONING BOARD OF APPEALS ADVISORY OPINIONS: August 26, 2020 - No comments or action were made by the Board.

MEETING MINUTES: August 11, 2020 - Mr. Harris made the motion to approve the minutes from August 11, 2020, seconded by Mr. Chadwick, unanimously so voted via roll call.

STATUS OF PROPOSED ZONING AMENDMENTS: Multifamily and West Harwich Special District - Mrs. Greenhalgh updated the Board on the timeframe and process of the DCPC. The selectmen did vote to support this, and the multi-family dwelling amendment, and they will be on the town meeting warrant. A zoning amendment public hearings will be held for both items on September 22nd. The Board of Health and Conservation commission both voted in support of the West Harwich DCPC as well. The Cape Cod Commission will hold a hearing on September 3, 2020.

BRIEFINGS AND REPORTS BY BOARD MEMBERS:

Ms. Maslowski updated the Board on the Historic Commission. The commission is developing revisions to demolition delay, but they are not complete yet. She will share the revisions with the Planning Board when they are complete.

Mrs. Greenhalgh reminded everyone the next meeting will be Thursday, September 10th, 2020.

ADJOURNMENT:

Ms. Harris made the motion to adjourn at 6:45 PM, seconded by Ms. Maslowski, unanimously so voted via roll call.

Respectfully Submitted,
Kathleen A. Tenaglia, Board Secretary

Adopted: