

HARWICH PLANNING BOARD  
PUBLIC HEARING NOTICE

The Harwich Planning Board will hold a public hearing no earlier than 6:30 PM on Tuesday, December 1, 2020 to consider the following application(s). The meeting is via REMOTE PARTICIPATION ONLY. Anyone having an interest in the application(s) is invited to access the meeting via GoToMeeting.com. Instructions regarding how to access and participate in the meeting will be posted on the Planning Board's Agenda page for the date of the meeting: <https://www.harwich-ma.gov/node/2451/agenda/2020>. The application and plans can be accessed using the same website link posted under Planning Board Legal Notice December 1, 2020 or by emailing the Planning Department staff.

**PB2020-28 Cape Cod Oil Company, H. Tasha, TR. of M.J.T. Enterprises**, as applicant, Jacobs Driscoll Engineering, Inc., as representative, seeks approval of a Site Plan Review Special Permit with waiver to establish and install two (2) 30,000 gallon propane tanks along with appurtenant equipment fixtures and site features pertinent to the establishment of a new Heating Fuel Resale and Storage use, which is an allowable use within the zoning district. The application is pursuant to the Code of the Town of Harwich §325-55. The property is located at 6 Station Avenue, Map 39, Parcel K3, in I-L zoning district.

**PB2020-29 David & Kristen Kimball**, owners, William D. Crowell, Esq., representative, seeks approval of a Use Special Permit with waivers for a residential accessory structure with bedrooms. The application is pursuant to the Code of the Town of Harwich §§325-09 and -51. The property is located at 452 Long Pond Drive, Map 104, Parcel E8-2, in the R-R zoning district.

Written comments may be submitted to the Planning Board at the address shown below or emailing the Planning Assistant, Elaine Banta, at [ebanta@town.harwich.ma.us](mailto:ebanta@town.harwich.ma.us).

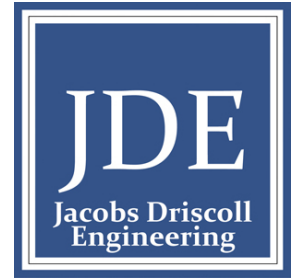
All documents related to the above cases are available on the Planning Board website or may be viewed by **appointment only** at the Planning Department, Town Hall, 732 Main Street, Harwich, MA 02645.

In accordance with state law, this legal notice will also be available electronically at '[www.masspublicnotices.org](http://www.masspublicnotices.org).' The Town is not responsible for any errors in the electronic posting of this legal notice.

Duncan Berry, Chair  
Cape Cod Chronicle Print Dates: November 12 & 19, 2020



# *Application for Site Plan Approval*



In Support of:

***Proposed Propane Tank Installation for  
Propane Tank Distribution Facility  
6 Station Avenue (Map 39, Plot K3)  
Harwich, MA 02601***

Applicant:

***M.J.T. Enterprises, Inc.***

227 Route 6

Provincetown, MA 02657

Submitted to:

***Town of Harwich  
Planning Board***

Dated: October 26, 2020

Prepared By:

**Jacobs Driscoll Engineering, Inc.**

**50 Oliver Street**

**North Easton, MA 02356**

JN: 01-2019-015

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# TOWN OF HARWICH PLANNING DEPARTMENT



**PLANNING BOARD APPLICATION  
SPECIAL PERMITS & SITE PLAN REVIEW FORM A**

TO THE TOWN CLERK, HARWICH, MA

DATE October 26, 2020

**PART A – APPLICANT INFORMATION/AUTHORIZATION**

Applicant Name(s)	Cape Cod Oil Company c/o Hurst Tasha
Representative/Organization <b>(Who will serve as the primary contact responsible for facilitating this application?)</b>	Jacobs Driscoll Engineering, Inc. Gregory Driscoll, Jr. P.E.
Mailing address	50 Oliver Street
Town, ST, Zip	North Easton, MA 02356
Phone	508-928-4400
Fax	
E-mail	GDriscoll@Jacobsdriscoll.com

The applicant is one of the following: *(please check appropriate box)*

- Owner      
  Prospective Buyer\*      
  Representative for Owner/Tenant/Buyer\*  
 Tenant\*      
  Other\* \_\_\_\_\_

**\*Written permission of the owner(s) and a municipal lien certificate (where applicable) is required.**

All other forms and information as required in the Harwich Code Chapter 400, Rules and Regulations, shall be submitted as part of this application.

**Authorization**

Your signature hereby asserts, to the best of your knowledge, that the information submitted in this application is true and accurate; that you agree to fully comply with the Town of Harwich Zoning By-laws and the terms and conditions of any approval of this application by the Planning Board; and authorizes the Members of the Planning Board and/or Town Staff to visit and enter upon the subject property for the duration of the consideration of this application.

Applicant \_\_\_\_\_  
                   See Attached

Owner(s) – Authorization must accompany application if the owner is not the applicant.

*Official use only:*

<b>PLANNING DEPARTMENT</b>	<b>TOWN CLERK</b>
----------------------------	-------------------

Case #

**PART B – PROJECT LOCATION**

Legal Street Address	6 Station Avenue	Village/Zip Code	02645
Title Book/Page or L.C.C. #	Deed Book 13840 - Page 205		
Map(s) / Parcel(s)	39-K3		
Zoning & Overlay Districts	Industrial	*Historic?	No
Frontage (linear feet)	109.60'		
Total land area (s.f.)	114,382 s.f.		
Upland (s.f.)	111,978 s.f.	Wetlands (s.f.)	2,404 s.f.

**PART C – PROJECT DESCRIPTION**

Existing Floor Area in Sq. Ft	Gross: 4,750 s.f.	Net:
Proposed Floor Area in Sq. Ft	Gross: No proposed change	Net:
Change in Sq. Ft + / -	Gross: No proposed change	Net:
Existing # of parking spaces	Proposed # of parking spaces: N/A	
Existing Use(s)	Warehouse	
Proposed Use(s)	Propane distribution facility	
<i>Attach a separate narrative if necessary.</i>		

The undersign hereby files an application with the Harwich Planning Board for the following special permits as proposed under the provisions of the Harwich Zoning Code: **(check all that apply)**

**Site Plan Review § 325-55:**

- Any floor area expansion of any structure or expansion of exterior space, other than parking, serving any of the following: commercial, industrial, multi-family or educational use or personal wireless service facility or the creation of a drive-up or drive-through window
- Expansion or reconfiguration of an existing parking lot and/or driveway(s) serving said parking lot.
- Establishment of any new commercial, industrial, multi-family, educational, fast food/take out restaurant or personal wireless service facility.
- Establishment of any new retail use(s) in the Industrial (IL) Zone.
- Waiver of Site Plan § 325-55.F

**Article V, Use Regulations:**

- Paragraph\_\_\_\_, sub-paragraph #\_\_\_\_
- Paragraph\_\_\_\_, sub-paragraph #\_\_\_\_
- Paragraph\_\_\_\_, sub-paragraph #\_\_\_\_, supplemental regulation #\_\_\_\_ § 325-14

**Article X, Special Permits:**

- Structures w/ gross floor area of 7,500+ s.f. § 325-51
- Structures requiring 20 or more new parking spaces § 325-51
- Accessory Apt./Shared Elderly Housing § 325-51.H
- Mixed Use § 325-51.M
- Drinking Water Resource Protection § 325-51.C
- Two Family § 325-51.N
- Village Commercial, Harwich Port § 325-51.L
- \*Harwich Center Overlay § 325-51.O
- Signage § 325-27.F Additional Cluster, Excess SF, Non-entry Facades

**Other Special Permits:**

- Six Ponds Special District - Article XVI
- Wind Energy Systems - Article XVIII
- Large Scale Wind Generation – Article XIX
- Other (i.e. Alternate Access § 325-18.P, Special Cases § 325-44.B) \_\_\_\_\_
- Repetitive Petition (MGL Ch 40A, §16): Proposed project evolved from a previously denied plan submitted to the Planning Board on \_\_\_\_\_ Year/Case # \_\_\_\_\_

*\*Note: Projects within the Harwich Center Overlay District may also be within the Harwich Center Historic District. This requires separate filing with the Historic District and Historical Commission. Please inquire for forms and instructions.*

# TOWN OF HARWICH PLANNING DEPARTMENT



**PLANNING BOARD APPLICATION  
SPECIAL PERMITS & SITE PLAN REVIEW FORM A**

TO THE TOWN CLERK, HARWICH, MA DATE \_\_\_\_\_

## PART A – APPLICANT INFORMATION/AUTHORIZATION

Applicant Name(s)	
Representative/Organization (Who will serve as the primary contact responsible for facilitating this application?)	Cape Cod Oil Company c/o Hurst Tasha
Mailing address	Jacobs Driscoll Engineering, Inc. Gregory Driscoll, Jr. P.E.
Town, ST, Zip	50 Oliver Street
Phone	North Easton, MA 02356
Fax	508-928-4400
E-mail	GDriscoll@jacobsdriscoll.com

The applicant is one of the following: (please check appropriate box)

Owner     
  Prospective Buyer\*     
  Representative for Owner/Tenant/Buyer\*  
 Tenant\*     
  Other\* \_\_\_\_\_

**\*Written permission of the owner(s) and a municipal lien certificate (where applicable) is required.**

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Your signature hereby asserts, to the best of your knowledge, that the information submitted in this application is true and accurate; that you agree to fully comply with the Town of Harwich Zoning By-laws and the terms and conditions of any approval of this application by the Planning Board; and authorizes the Members of the Planning Board and/or Town Staff to visit and enter upon the subject property for the duration of the consideration of this application.

Applicant Hurst Tasha

Owner(s) – Authorization must accompany application if the owner is not the applicant.

Official use only:

PLANNING DEPARTMENT	TOWN CLERK
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Case #

State Tax Form 290  
Certificate: 364  
Issuance Date: 10/07/2020

MUNICIPAL LIEN CERTIFICATE  
TOWN OF HARWICH - LIVE DATA  
COMMONWEALTH OF MASSACHUSETTS

Requested by JACOBS DRISCOLL ENGINEERING

I certify from available information that all taxes, assessments and charges now payable that constitute liens as of the date of this certificate on the parcel of real estate specified in your application received on 10/07/2020 are listed below.

DESCRIPTION OF PROPERTY

Parcel ID: 39/K3-R

6 STATION AV

TASHA MICHAEL J TRS  
MARTHA REALTY TRUST  
PO BOX 993  
PROVINCETOWN MA 02657-0993

Land area : 2.63 AC  
Land Value : 583,600  
Impr Value : 183,300  
Land Use : 0  
Exemptions : 0  
Taxable Value: 766,900

Deed date: 05/17/2001 Book/Page: 13840/205  
Class: 3160-GENL

FISCAL YEAR	2021	2020	2019
DESCRIPTION			
COMMUNITY PRESERVATION ACT	\$100.43	\$200.85	\$193.07
REAL ESTATE TAX	\$3,347.52	\$6,695.04	\$6,435.74
TOTAL BILLED:	\$3,447.95	\$6,895.89	\$6,628.81
Charges/Fees	\$0.00	\$0.00	\$0.00
Abatements/Exemptions	\$0.00	\$0.00	\$0.00
Payments/Credits	-\$1,723.98	-\$6,895.89	-\$6,628.81
Interest to 10/07/2020	\$0.00	\$0.00	\$0.00
TOTAL BALANCE DUE:	\$1,723.97	\$0.00	\$0.00

NOTE: Actual 2021 taxes not yet issued.

OTHER UNPAID BALANCES:  
2021 UTILITY BILLING \$142.87  
TOTAL OTHER UNPAID BALANCES: \$142.87

IF CHECKED, contact Treasurer's Office at 508-430-7501 for update

- This property is in TAX TITLE.
- This property has a BETTERMENT.
- This property has a DEFERRAL.
- This property is currently EXEMPT.

*Amy Bullock*

AMY BULLOCK  
TOWN COLLECTOR/TREASURER

THIS FORM APPROVED BY THE COMMISSIONER OF REVENUE



# Jacobs Driscoll Engineering, Inc.

REGISTERED PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS  
50 OLIVER STREET · NORTH EASTON, MA 02356  
PHONE: 508-928-4400 · WWW.JACOBSDRISCOLL.COM



October 19, 2020

Mr. Duncan Berry, Chair  
Harwich Planning Board  
732 Main Street  
Harwich, MA 02645

Re: Site Plan Review Waiver Request  
JDE Project Number: 01-2020-015

Dear Mr. Berry and Members of the Board,

The purpose of this letter is to list the Waiver Request from the Site Plan Review requirements as listed in Appendix 4, Requirements for Applications and Plans.

1. A waiver is requested from the requirement to provide two sets of drainage calculations and drainage area map prepared, stamped and signed by a registered professional engineer designed in compliance with Massachusetts Department of Environmental Protection Phase II Stormwater Regulations Best Management Practice.

Reason: We are requesting a waiver from the requirement to provide drainage calculations due to the fact that the project will not result in an increase in impervious area. The proposal is to install two (2) 30,000 gallon propane tanks at the property so that the Applicant may expand his business into the propane delivery sector. The Applicant currently operates Cape Cod Oil, a home heating oil delivery service out of the abutting 2 Station Avenue property. The addition of the propane heating fuel delivery service will complement the heating oil business as propane becomes more in demand as a heating fuel. The proposed installation of the two 30,000 gallon tanks will not result in the expansion of impervious area on the site. The existing surface treatments of either pavement or gravel will remain with no increase or alterations. Therefore, the property will not generate any more runoff than its current condition.

We look forward to presenting the project to the Harwich Planning Board at your next available meeting. Please contact me immediately at 508-928-4400 if you have any questions or require additional information.

Thank you,  
Jacobs Driscoll Engineering, Inc.

A handwritten signature in black ink, appearing to read "Gregory W. Driscoll, Jr.", is positioned above the typed name and title.

Gregory W. Driscoll, Jr., P.E.  
Partner, Principal Engineer

**Site Plan Application**  
*For*  
**Proposed Propane Distribution Facility**  
**6 Station Avenue, Harwich, MA 02601**

**2.0 PROJECT NARRATIVE**

**Introduction**

The applicant, Mr. Hurst Tasha of M.J.T. Enterprises, proposes to install two (2) 30,000 gallon propane tanks on his property at 6 Station Avenue in Harwich. The existing parcel can be identified on Assessor's Map 39, Plot K3 with a total area of approximately 2.57 +/- acres.

The installation of the propane tanks will expand their business into the delivery of propane to residences and businesses as a heating fuel and thereby establishing a new Heating Fuel Resale and Storage use (Table 1 Use Regulations, Paragraph IV, #13). The establishment of a new allowed use in the Industrial Limited (IL) zone requires Site Plan Approval pursuant to Section 325-55 (1) and (3). The Applicant currently operates a Heating Fuel Resale and Storage use on the abutting 2 Station Avenue property for their home heating oil delivery business.

**Locus**

The site is located on the westerly side of Station Avenue in Harwich. Station Avenue intersects with Main Street to the north east and Great Western Road to the south. The property is bordered by residential uses to the south and west and other industrial uses to the north and east. The Cape Cod Rail Trail abuts the property to the north. Refer to Figure 1 – USGS Map for the location of the site.

**Resource Areas**

The locus property contains a Bordering Vegetated Wetland (BVW) on the westerly side of the property (flags WF<sub>1</sub> – WF<sub>20</sub>), also BVW was located on the Rail Trail property as well as the property north of the Rail trail (B-series wetland flags). The property is located outside of NHESP Estimate & Priority Habitat for Rare Species. This property is also located outside of any critical area, FEMA flood zone, etc. The work area is located outside of the 100' buffer zones to the BVW's. We have coordinated with the Conservation office and a Conservation filing will not be required.

**Proposed Project**

The Applicant proposes to obtain the necessary permits to install two (2) 30,000 gallon propane tanks on the existing 6 Station Avenue property. Currently, the 6 Station Avenue property contains a warehouse building and the business parks trucks on the property as well. The proposed site construction will include the tank foundations, installing the tanks on the foundations, running electrical to the tank area, installation of bollards and a fence around the tanks, and a small amount of grading to flatten out the tank area.

**Erosion and Sedimentation Control Plan**

Sedimentation and erosion controls are included on the site plan along with details of the measures utilized for the project. Silt fence and straw wattles will be installed at the perimeter of

the limit of work to prevent sedimentation from entering the resource areas. Additional erosion control materials will be stored onsite to be utilized for repairs, if necessary.

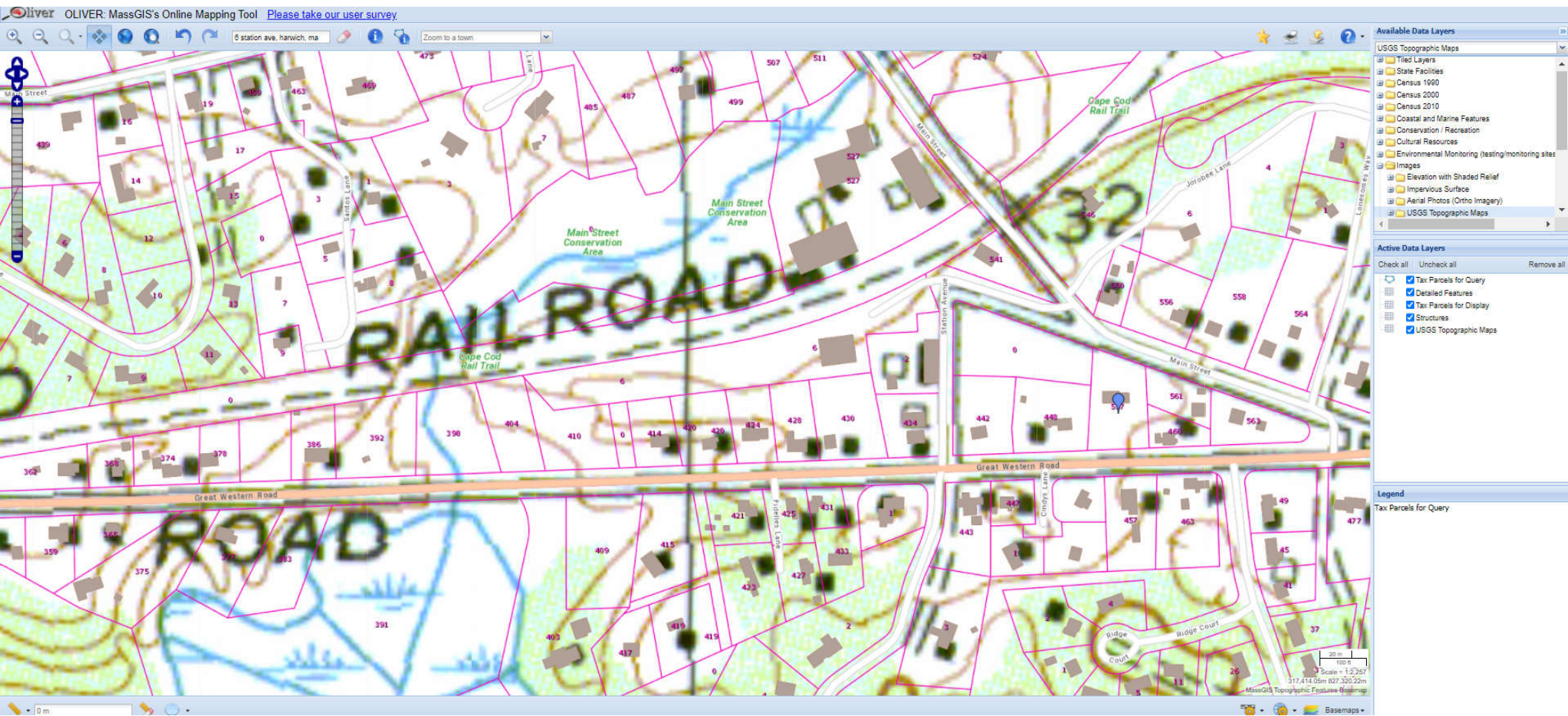
### Construction Sequence

The following Construction Sequence shall be followed by the contractor and is also outlined on the Notice of Intent Plan:

1. Install erosion control device to establish the limit of work as shown on plan.
2. Install silt sacks in catch basins.
3. Sweep existing paved driveway at the end of each work day.
4. Discharges from dewatering of excavations shall not be diverted directly into any wetlands or existing storm drains without pretreatment via settling basins.
5. Clear and grub site within the limit of work.
6. Establish rough grades for tank area.
7. Perform tank installation and install tank area appurtenances.
8. Inspect and maintain erosion control measures after rainfall events and a minimum of once per week.
9. Remove sediment buildup at erosion control devices as needed. Redistribute material over site in conformance with earthwork specifications.
10. Complete finish grading and stabilization of site.
11. Remove sediment from all drainage structures, drain manholes, pipes after completion of construction. Remove and regrade temporary berms, swales, check dams, etc. Stabilize disturbed areas, if necessary.
12. Remove erosion control devices & silt fence upon establishment of permanent ground cover. Stabilize all areas where straw wattles (erosion control device) were removed.

### Conclusion

It is our opinion that with the mitigation provided and the strict compliance to the plans and standard procedures that are required by the Planning Board. We look forward working with the Planning Board during the permitting process to satisfy any concerns that may arise.



USGS TOPOGRAPHIC MAP

# National Flood Hazard Layer FIRMMette



70°5'46"W 41°41'27"N



USGS The National Map: Orthoimagery. Data refreshed April 2020

0 250 500 1,000 1,500 2,000 Feet 1:6,000

70°5'8"W 41°41'N

## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- |                                    |  |   |
|------------------------------------|--|---|
| <b>SPECIAL FLOOD HAZARD AREAS</b>  |  | Without Base Flood Elevation (BFE)<br>Zone A, V, A99  |
|                                    |  | With BFE or Depth Zone AE, AO, AH, VE, AR   |
|                                    |  | Regulatory Floodway   |
| <b>OTHER AREAS OF FLOOD HAZARD</b> |  | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X |
|                                    |  | Future Conditions 1% Annual Chance Flood Hazard Zone X  |
|                                    |  | Area with Reduced Flood Risk due to Levee. See Notes, Zone X  |
|                                    |  | Area with Flood Risk due to Levee Zone D  |
| <b>OTHER AREAS</b>                 |  | NO SCREEN Area of Minimal Flood Hazard Zone X   |
|                                    |  | Effective LOMRs   |
|                                    |  | Area of Undetermined Flood Hazard Zone D  |
| <b>GENERAL STRUCTURES</b>          |  | Channel, Culvert, or Storm Sewer  |
|                                    |  | Levee, Dike, or Floodwall   |
| <b>OTHER FEATURES</b>              |  | 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation   |
|                                    |  | 17.5  |
|                                    |  | Coastal Transect  |
|                                    |  | Base Flood Elevation Line (BFE)   |
|                                    |  | Limit of Study  |
|                                    |  | Jurisdiction Boundary   |
|                                    |  | Coastal Transect Baseline   |
|                                    |  | Profile Baseline  |
|                                    |  | Hydrographic Feature  |
| <b>MAP PANELS</b>                  |  | Digital Data Available  |
|                                    |  | No Digital Data Available   |
|                                    |  | Unmapped  |
- The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 6/18/2020 at 4:37 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



# NHESP MAPPING

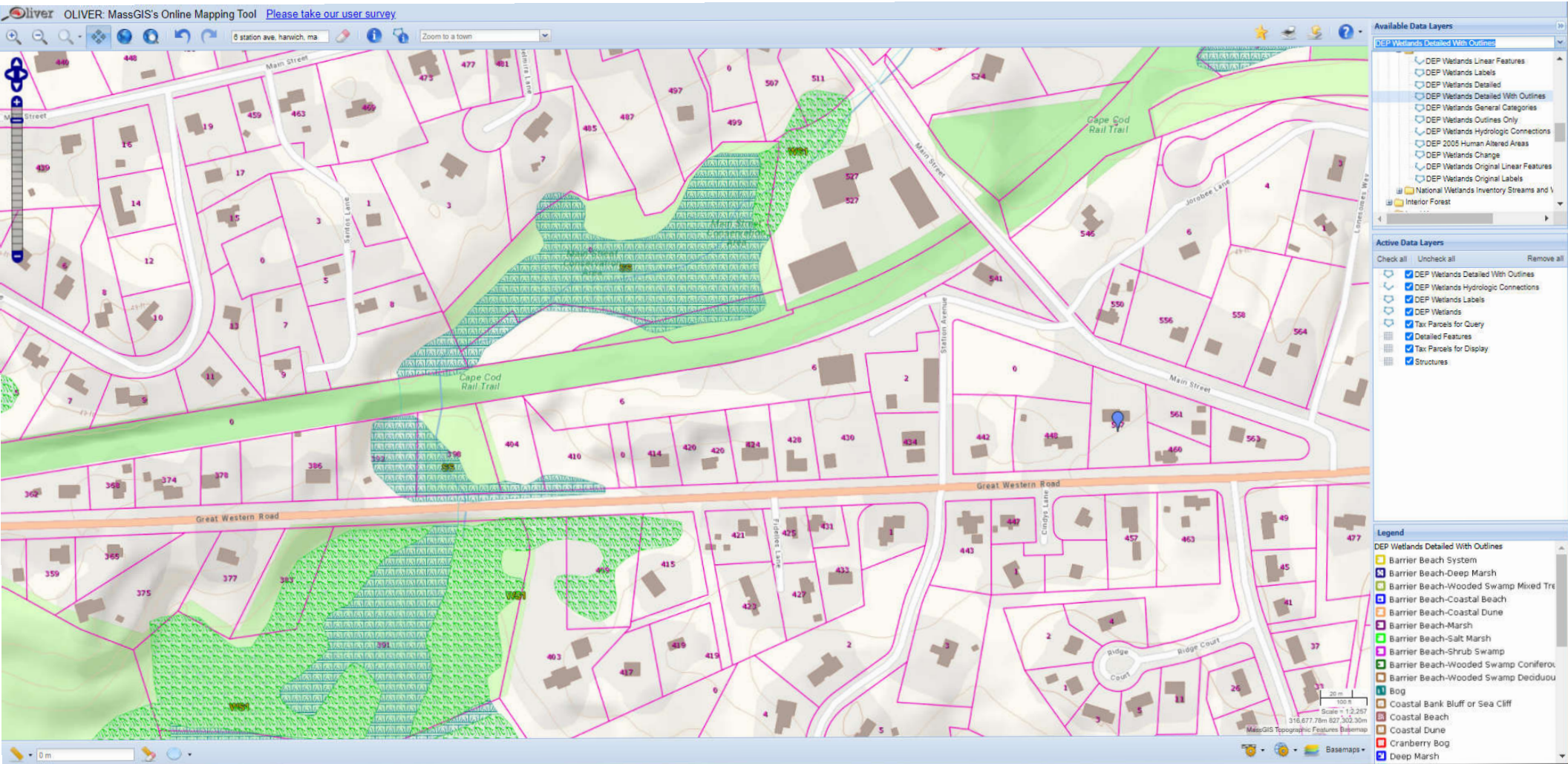


## SUBSURFACE WATER SUPPLY PROTECTION AREAS



# OUTSTANDING RESOURCE WATERS & SURFACE WATER SUPPLY PROTECTION AREA





## MASS GIS WETLANDS MAPPING

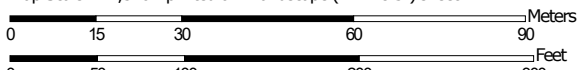


## AREAS OF CRITICAL ENVIRONMENTAL CONCERN

Hydrologic Soil Group—Barnstable County, Massachusetts



Map Scale: 1:1,320 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84

## MAP LEGEND

### Area of Interest (AOI)

 Area of Interest (AOI)

### Soils

#### Soil Rating Polygons





 A  
 A/D  
 B  
 B/D  
 C  
 C/D  
 D  
 Not rated or not available

#### Soil Rating Lines

 A  
 A/D  
 B  
 B/D  
 C  
 C/D  
 D  
 Not rated or not available

#### Soil Rating Points

 A  
 A/D  
 B  
 B/D

 C  
 C/D  
 D  
 Not rated or not available


### Water Features

 Streams and Canals

### Transportation

 Rails  
 Interstate Highways  
 US Routes  
 Major Roads  
 Local Roads

### Background

 Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:25,000.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Barnstable County, Massachusetts  
 Survey Area Data: Version 17, Jun 9, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 10, 2018—Nov 17, 2018

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
55A	Freetown coarse sand, 0 to 3 percent slopes, sanded surface	B/D	0.3	5.3%
252B	Carver coarse sand, 3 to 8 percent slopes	A	5.1	88.7%
252C	Carver coarse sand, 8 to 15 percent slopes	A	0.3	6.1%
<b>Totals for Area of Interest</b>			<b>5.8</b>	<b>100.0%</b>

### Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

## Rating Options

*Aggregation Method:* Dominant Condition

*Component Percent Cutoff:* None Specified

*Tie-break Rule:* Higher

**APPENDIX A**

**Property Deeds  
(Proof of Ownership)**

NOT AN NOT AN QUITCLAIM DEED NOT AN

Property Address: 1 Depot Road, Harwich, MA OFFICIAL OFFICIAL

COPY COPY *ARIA N S REALTY, INC* COPY COPY

N.S. Realty, Inc., a Massachusetts corporation, with a mailing address of 558 Cedar Street, West Barnstable, Massachusetts NOT NOT

AN AN AN AN

for consideration of Sixty-Five Thousand and 00/100 (\$65,000.00) Dollars paid,

OFFICIAL OFFICIAL OFFICIAL OFFICIAL

grant to Michael J. Tasha as Trustee of the Martha Realty Trust w/d/t dated August 22, 1992 and recorded with the Barnstable County Registry District of Land Court as Document No. 57723. NOT NOT NOT NOT

AN AN AN AN

WITH QUITCLAIM COVENANTS OFFICIAL OFFICIAL

COPY COPY COPY COPY

The land with any buildings thereon situated on Depot Road, Harwich, Barnstable

County, Massachusetts, being bound and described as follows: NOT NOT

AN AN AN AN

BEGINNING at a point at the intersection of the Southwesterly line of Main Street with the Southerly railroad right-of-way line of the former Penn Central

COPY COPY COPY COPY

Transportation Company South Dennis Secondary Track which was conveyed to the Commonwealth of Massachusetts Department of Environmental Management by

NOT AN NOT AN NOT AN NOT AN

Instrument dated September 21, 1978, said point being 0.511425 feet measured Southeastwardly at right angles from the centerline of said railroad right-of-way; thence

COPY COPY COPY COPY

extending from said Beginning Point the following eleven (11) courses and distances:

NOT AN NOT AN NOT AN NOT AN

(1) South 27° 44' 53" East along the Southwesterly line of Main Street for a distance of 10.75 feet to a point; thence

OFFICIAL OFFICIAL OFFICIAL OFFICIAL

(2) South 23° 14' 53" East continuing along said line of Main Street for a distance of 77.10 feet to a point in the Westerly line of Depot Road; thence

COPY COPY COPY COPY

(3) South 0° 05' 17" West along said line of Depot Road for a distance of 21.75 feet to a corner of land now or formerly of Thomas R. Eldredge; thence

NOT AN NOT AN NOT AN NOT AN

(4) South 72° 54' 31" West, 43.55 feet; thence

OFFICIAL OFFICIAL OFFICIAL OFFICIAL

(5) South 02° 59' 43" East, 38.00 feet to a point; thence by land of others by the following four (4) courses and distance:

COPY COPY COPY COPY

(6) South 87° 00' 17" West, 119.00 feet;

OFFICIAL OFFICIAL OFFICIAL OFFICIAL

(7) South 08° 13' 56" East, 100.00 feet;

COPY COPY COPY COPY

(8) South 83° 20' 12" West, 700.00 feet; and



- (9) North 51° 39' 48" West 135.63 feet to a point in the aforesaid Southerly railroad right-of-way line and distant 41.25 feet measured Southeastwardly at right angles from the center line of said right-of-way, the following two (2) courses and distances being along said Southerly line and parallel with the centerline of said right-of-way;
- (10) North 80° 27' 07" East 318.68 feet to a point of curvature; and
- (11) Northeastwardly along a curve to the left having a radius of 1,951.33 feet and a central angle of 18° 31' 12" and arc distance of 630.72 feet to the Place of Beginning.

CONTAINING 2.63 acres, more or less

The grantor represents and warrants to this grantee that the conveyance of this property does not constitute a sale or transfer of all or substantially all of grantor's assets.

For title reference see deed dated March 28, 1997 and recorded at the Barnstable County Registry of Deeds at Book 10674, Page 305.

IN WITNESS WHEREOF, the said N.S. REALTY, INC. has caused its corporate seal to be hereto affixed and these presents to be signed and acknowledged in its name and behalf by JAMES NORTON, its President and Treasurer, thereunto duly authorized, this 11 day of May, 2001.

N.S. REALTY, INC. *AKA N.S. Realty, Inc*  
 JAMES NORTON  
 It's President and Treasurer

DATE OF REG. '01 THU  
 TAX \$148.20  
 TOTAL \$148.20  
 CHECK \$148.20  
 REG. FEE \$205.45  
 TIME 19:35  
 1111


**CANCELLED**  
 BARNSTABLE COUNTY  
 REGISTRY OF DEEDS  
 COUNTY EXCISE TAX

COMMONWEALTH OF MASSACHUSETTS

Barnstable, ss *May 11*, 2001

Then personally appeared before me the above-named James Norton, as President and Treasurer of N.S. Realty, Inc. and acknowledged the foregoing instrument to be the corporations duly authorized free act and deed as aforesaid, before me.

*Margaret Burns Norton*  
 Notary Public  
 My commission expires: *Sept 3, 2004*



REG OF DEEDS  
 REG # 01  
 BARNSTABLE  
 g\deeds\depot.dd  
 77D1 10:36AM 01  
 000000 #4149  
 FEE \$222.30  
 CASH \$222.30

**CANCELLED**



Delmira

Cape Cod Rail Trail

Depot Rd

Station Ave

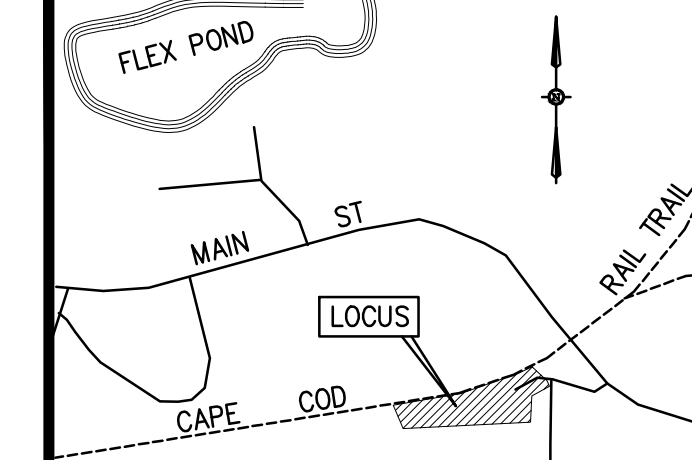
2 Station Ave

Great Western Rd



**GENERAL NOTES**

- LOCUS PROPERTY IS COMPRISED OF :  
ASSESSOR'S MAP 39 PLOT K3  
DEED BOOK 13840 / PAGE 205  
OWNER OF RECORD: MICHAEL J. TASHA TRS.
- PLAN REFERENCES :  
P-1.) PLAN BOOK 377 PAGE 20
- PROJECT BENCHMARKS :  
BM-A DRILL HOLE SET IN CONC. PAD ELEVATION = 26.00'  
BM-B CORNER OF CONC. PAD OF BUILDING ELEVATION = 27.00'  
(DATUM: NAVD88)
- ZONING INFORMATION ZONING DISTRICT : IL (INDUSTRIAL LIMITED)  
MINIMUM / MAXIMUM ZONING REQUIREMENTS  
MIN. LOT AREA = 20,000 S.F.  
MIN. LOT FRONTAGE = 100'  
MIN. BUILDING SETBACKS : FRONT = 25' SIDE = 25' REAR = 50'  
MAX. BUILDING HEIGHT = 40' OR 2.5 STORIES  
MAX. BUILDING COVERAGE % = 40%  
MIN. GREEN SPACE % = 30%
- THE PROPERTY LINE INFORMATION SHOWN IS BASED ON CURRENT AVAILABLE RECORD INFORMATION CONSISTING OF PLANS AND DEEDS AND AN ACTUAL ON THE GROUND FIELD SURVEY PERFORMED BY THIS FIRM ON AND BETWEEN 7-13-20 AND 8-18-20.
- COMMUNITY PANEL NUMBER: 25001C0612J (DATE: 7-16-2014) THE FLOOD INSURANCE RATE MAP DEFINES THIS AREA AS ZONE X, AREA OUTSIDE THE 0.2% CHANCE ANNUAL FLOOD PLAIN.



LOCUS MAP  
NOT TO SCALE

**PERMITTING SET**

REVISIONS		
No.	DATE	DESCRIPTION
1	10-19-20	REVISE PER TOWN COMMENTS

DRAWN BY: TME  
CHECKED BY: EPJ  
DESIGNED BY: TME / GWD

**EXISTING CONDITIONS PLAN**  
6 STATION AVENUE  
IN  
HARWICH  
(BARNSTABLE COUNTY)  
MASSACHUSETTS

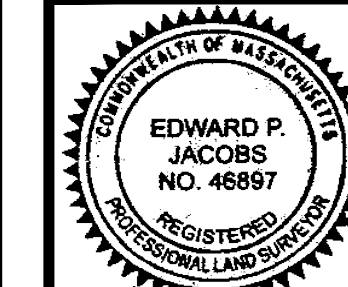
SEPTEMBER 24, 2020

PREPARED FOR:  
CAPE COD OIL  
COMPANY  
227 ROUTE 6  
PROVINCETOWN  
MASSACHUSETTS  
02657



**JDE**  
Jacobs Driscoll  
Engineering

50 Oliver Street  
North Easton, Massachusetts 02356  
Phone: 508-928-4400  
www.JacobsDriscoll.com

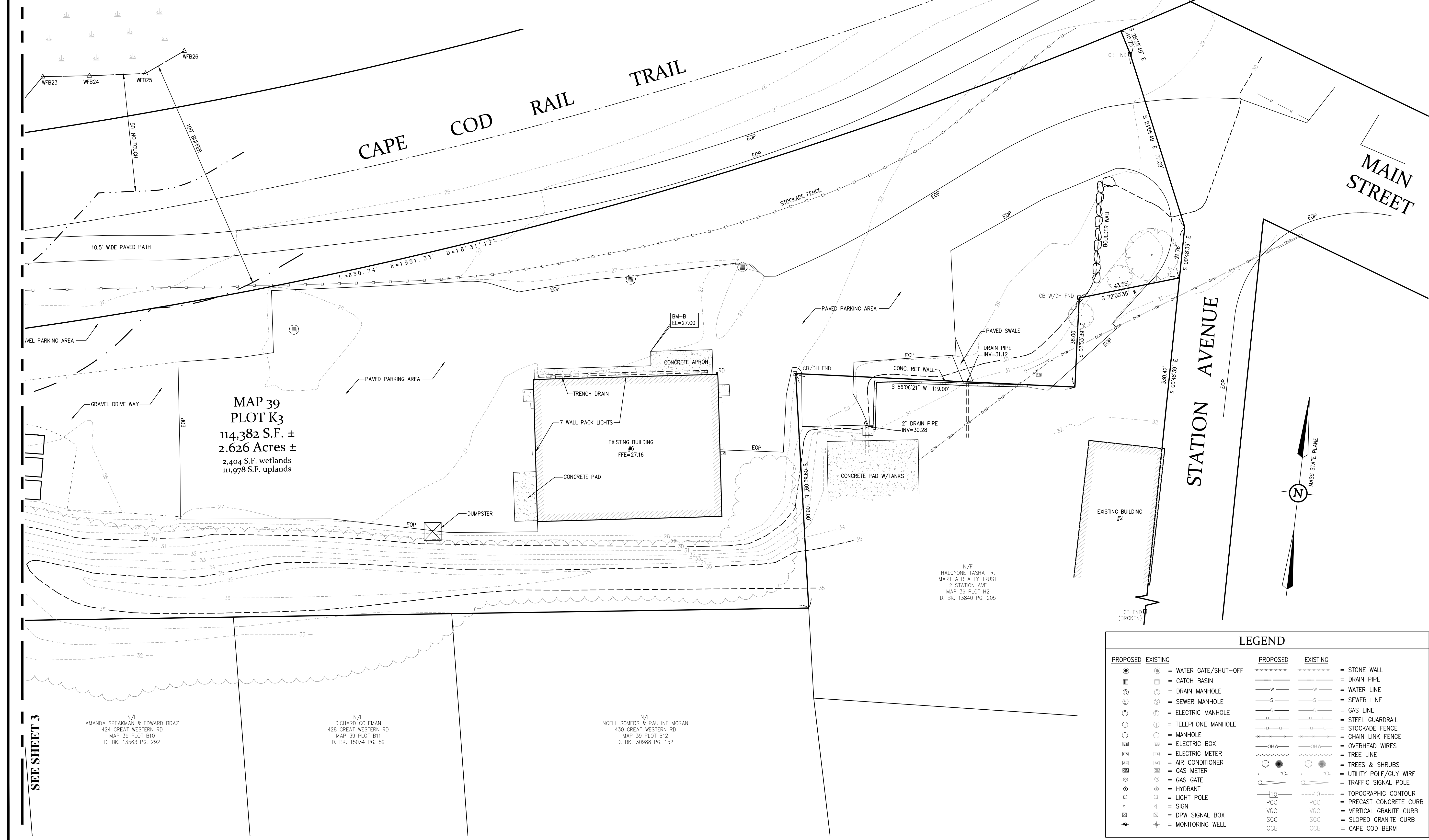


**SHEET 2 OF 5**

JOB NUMBER: 01-2020-015

MATCH LINE

SEE SHEET 3



MAP 39  
PLOT K3  
114,382 S.F. ±  
2.626 Acres ±  
2,404 S.F. wetlands  
111,978 S.F. uplands

N/F  
HALCYONE TASHA TR.  
MARtha REALTY TRUST  
2 STATION AVE  
MAP 39 PLOT H2  
D. BK. 13840 PG. 205

N/F  
AMANDA SPEAKMAN & EDWARD BRAZ  
424 GREAT WESTERN RD  
MAP 39 PLOT B10  
D. BK. 13563 PG. 292

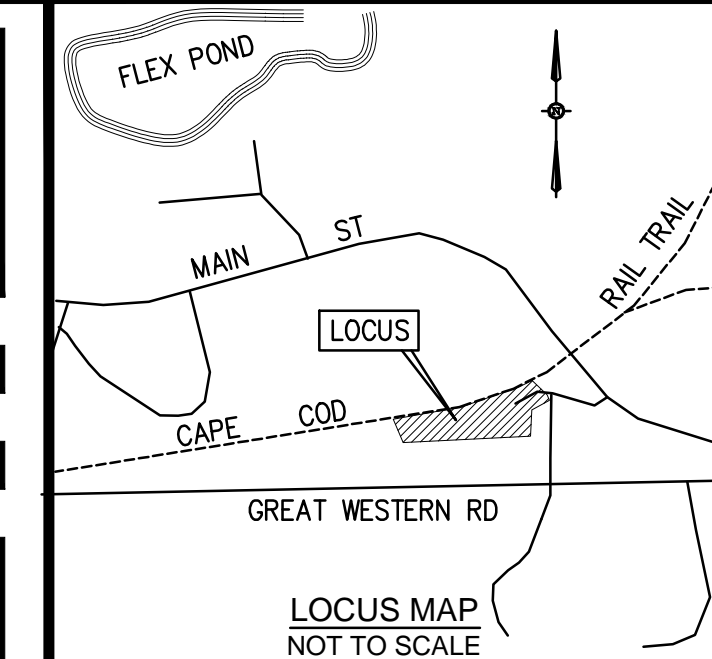
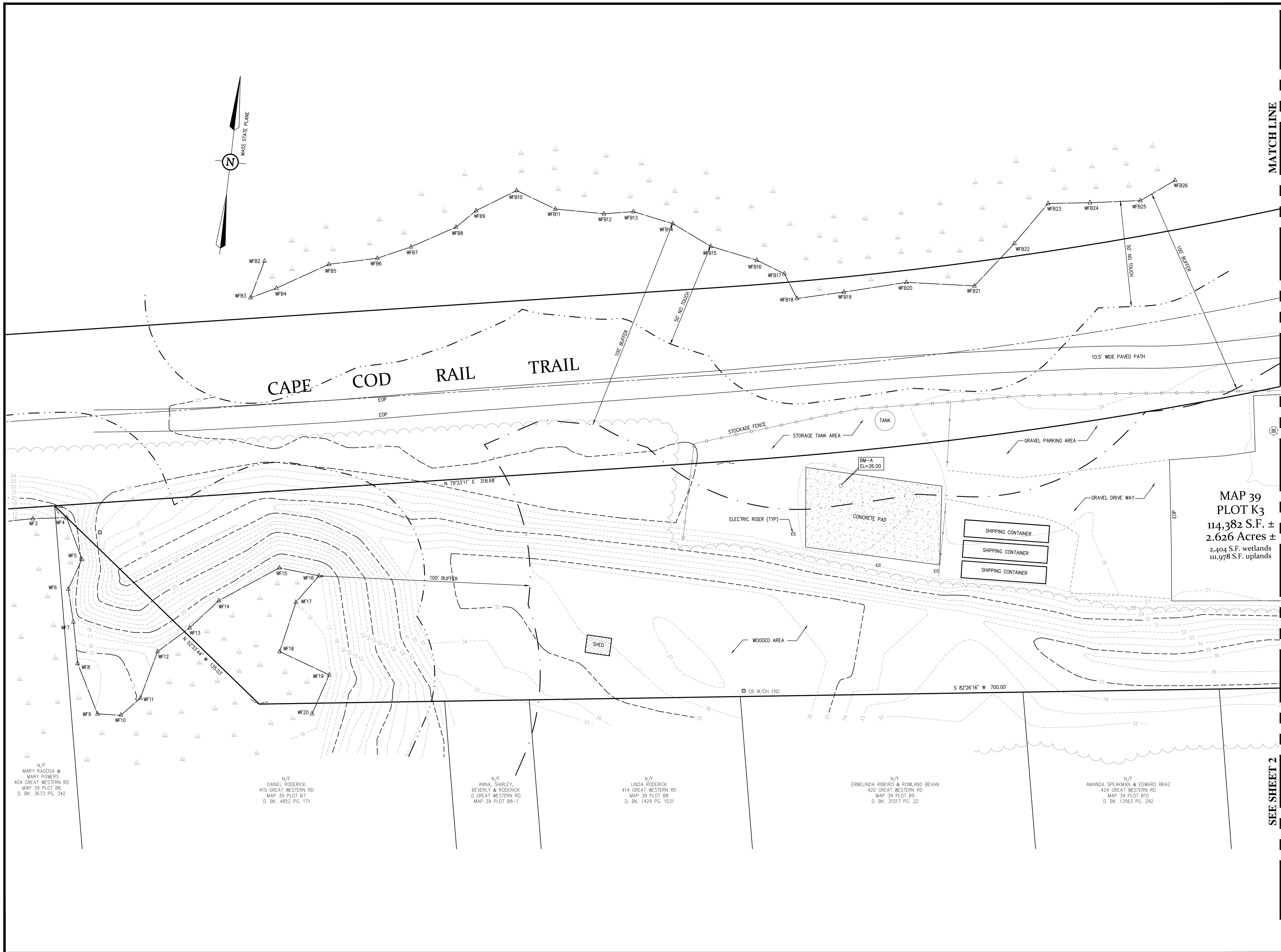
N/F  
RICHARD COLEMAN  
428 GREAT WESTERN RD  
MAP 39 PLOT B11  
D. BK. 15034 PG. 59

N/F  
NOELL SOMERS & PAULINE MORAN  
430 GREAT WESTERN RD  
MAP 39 PLOT B12  
D. BK. 30988 PG. 152

**LEGEND**

PROPOSED	EXISTING	PROPOSED	EXISTING

X:\2020\01-2020-015\MT\_2 & 6 Station Ave, Harwich\CIVIL\DESIGN\01-2020-015 E.dwg



MATCH LINE

**PERMITTING SET**

REVISIONS		
No.	DATE	DESCRIPTION
1	10-19-20	REVISE PER TOWN COMMENTS

DRAWN BY: TME  
 CHECKED BY: EPJ  
 DESIGNED BY: TME / GWD

**EXISTING CONDITIONS PLAN**

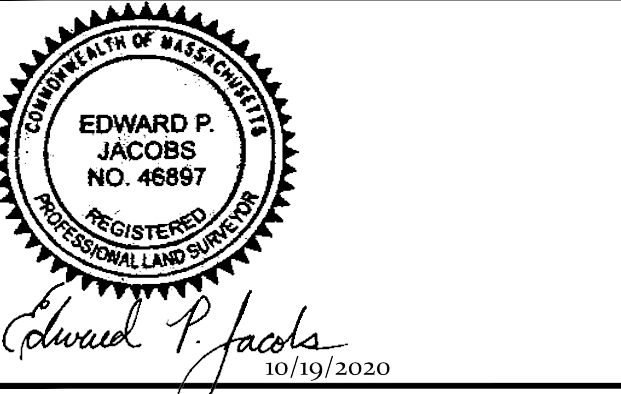
6 STATION AVENUE  
 IN  
 HARWICH  
 (BARNSTABLE COUNTY)  
 MASSACHUSETTS  
 SEPTEMBER 24, 2020

PREPARED FOR:  
**CAPE COD OIL COMPANY**  
 227 ROUTE 6  
 PROVINCETOWN  
 MASSACHUSETTS  
 02657



**JDE**  
 Jacobs Driscoll  
 Engineering

50 Oliver Street  
 North Easton, Massachusetts 02356  
 Phone: 508-928-4400  
 www.JacobsDriscoll.com



X:\2020\01-2020-015\MT - 2 & 6 Station Ave. Harwich\CIVIL\DESIGN\01-2020-015 E.dwg

N/F  
 MARY RADOSA &  
 MARY POWERS  
 404 GREAT WESTERN RD  
 MAP 39 PLOT B6  
 D. BK. 3673 PG. 342

N/F  
 DANIEL RODERICK  
 410 GREAT WESTERN RD  
 MAP 39 PLOT B7  
 D. BK. 4852 PG. 171

N/F  
 ANNA, SHIRLEY,  
 BEVERLY & RODERICK  
 0 GREAT WESTERN RD  
 MAP 39 PLOT B8-1

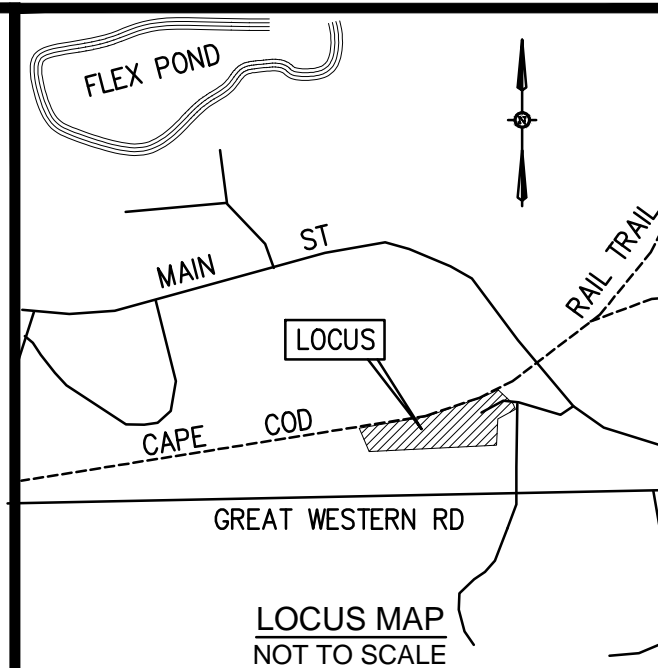
N/F  
 LINDA RODERICK  
 414 GREAT WESTERN RD  
 MAP 39 PLOT B8  
 D. BK. 1429 PG. 1031

N/F  
 ERMELINDA RIBEIRO & ROWLAND BEVAN  
 420 GREAT WESTERN RD  
 MAP 39 PLOT B9  
 D. BK. 3107 PG. 22

N/F  
 AMANDA SPEAKMAN & EDWARD BRAZ  
 424 GREAT WESTERN RD  
 MAP 39 PLOT B10  
 D. BK. 13563 PG. 292

SEE SHEET 2

ZONING TABLE		
ZONE: INDUSTRIAL - LIMITED (I-L) MINIMUM / MAXIMUM ZONING REQUIREMENTS PROPOSED USE: PROPANE DISTRIBUTION FACILITY		
CRITERIA	REQUIRED	PROVIDED
MIN. LOT AREA	20,000 S.F. (0.459 ACRES)	114,382±S.F. (2.626±AC.)
MIN. FRONTAGE	100'	109.60'
MIN. FRONT BUILDING SETBACK	25'	208.43'
MIN. SIDE BUILDING SETBACK	25'	38.65'
MIN. REAR BUILDING SETBACK	50'	586.37'
MAX. BUILDING LOT COVERAGE %	40%	4.20%
MIN. GREEN SPACE %	30%	59.78%
MAX. IMPERVIOUS AREA %	70%	40.22%
MAX. BUILDING HEIGHT	40' (2 1/2 STORIES)	1 STORY



**PERMITTING SET**

REVISIONS		
No.	DATE	DESCRIPTION
1	10-19-20	REVISE PER TOWN COMMENTS

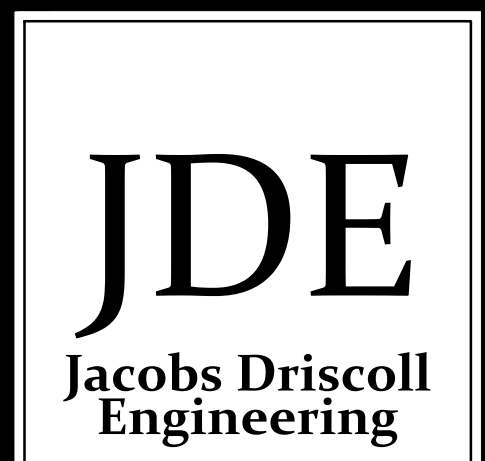
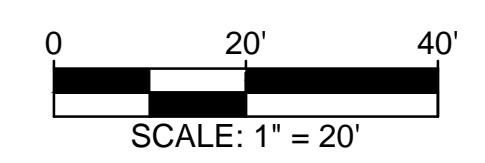
DRAWN BY: TME  
CHECKED BY: EPJ  
DESIGNED BY: TME / GWD

**LAYOUT & MATERIALS PLAN**

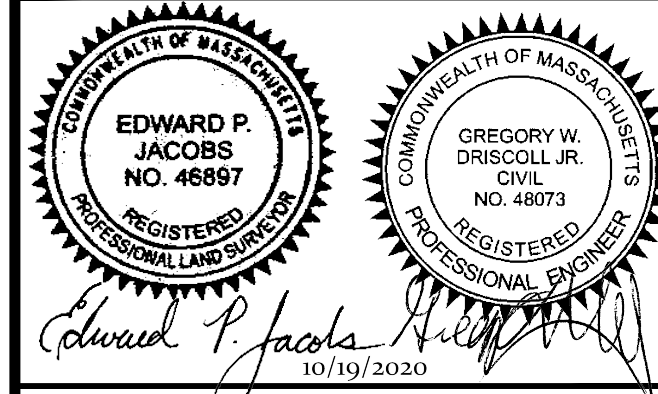
6 STATION AVENUE  
IN  
HARWICH  
(BARNSTABLE COUNTY)  
MASSACHUSETTS

SEPTEMBER 24, 2020

PREPARED FOR:  
CAPE COD OIL  
COMPANY  
227 ROUTE 6  
PROVINCETOWN  
MASSACHUSETTS  
02657

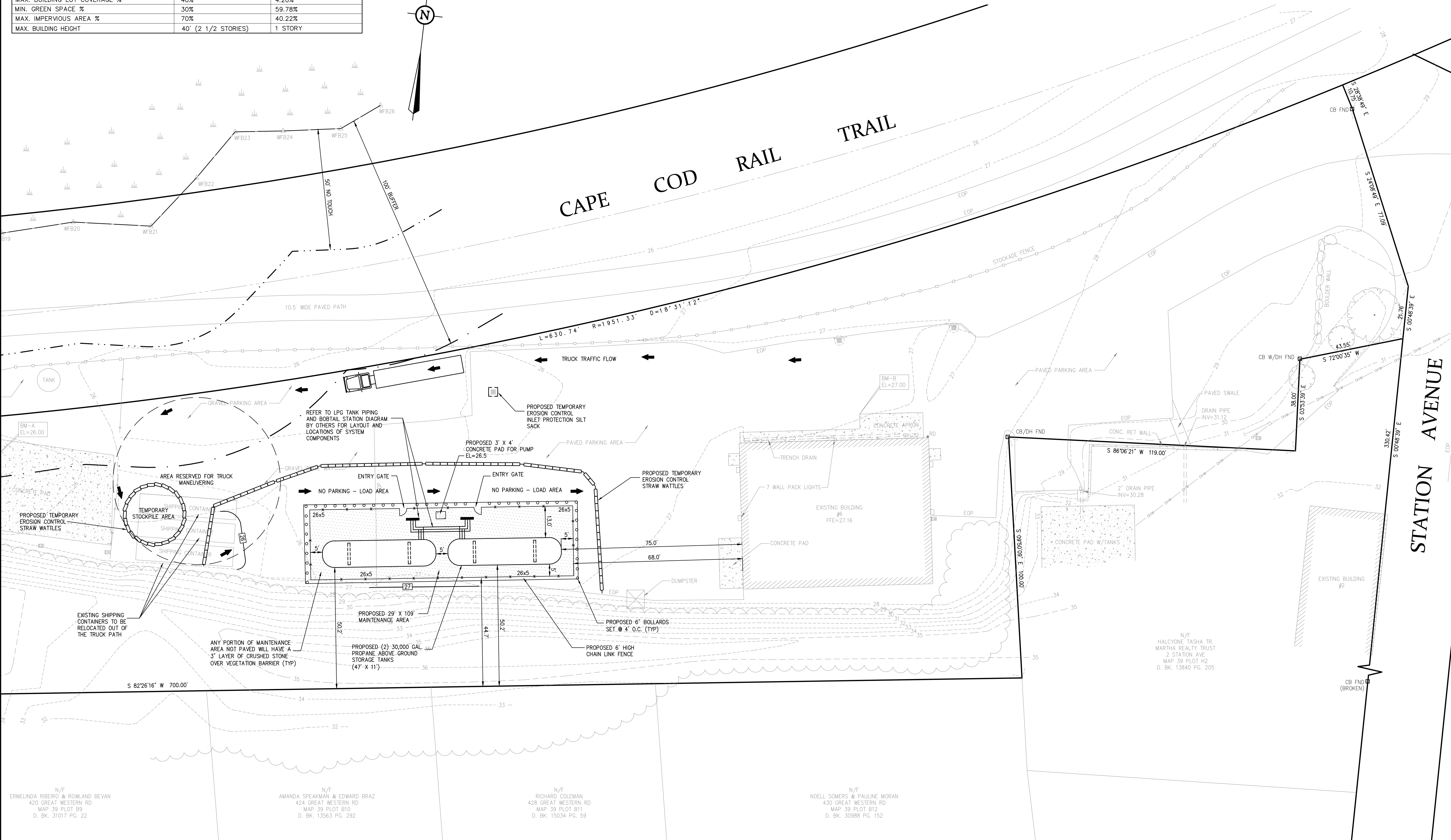


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North Easton, Massachusetts 02356  
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www.JacobsDriscoll.com



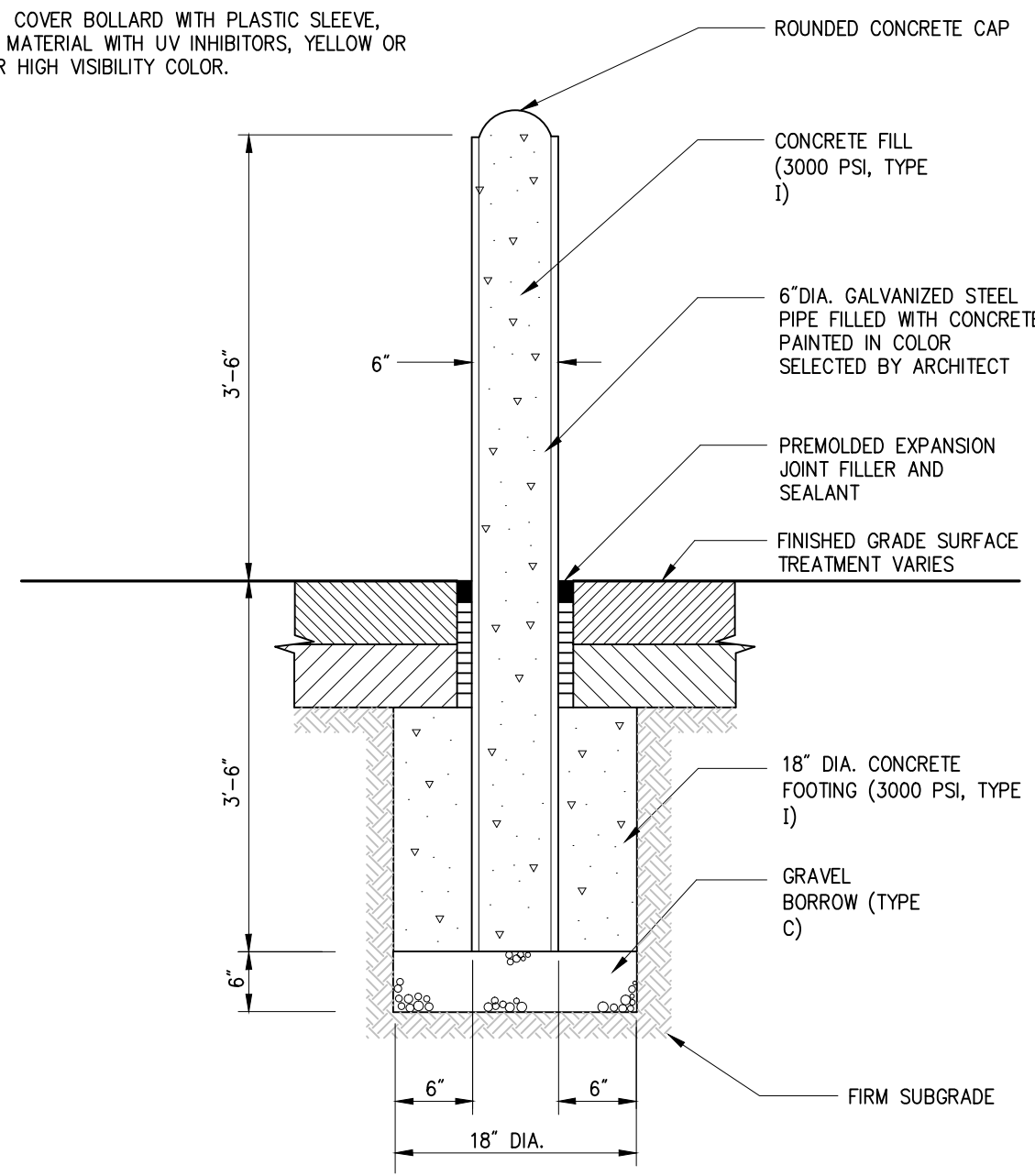
SHEET 4 OF 5

JOB NUMBER: 01-2020-015

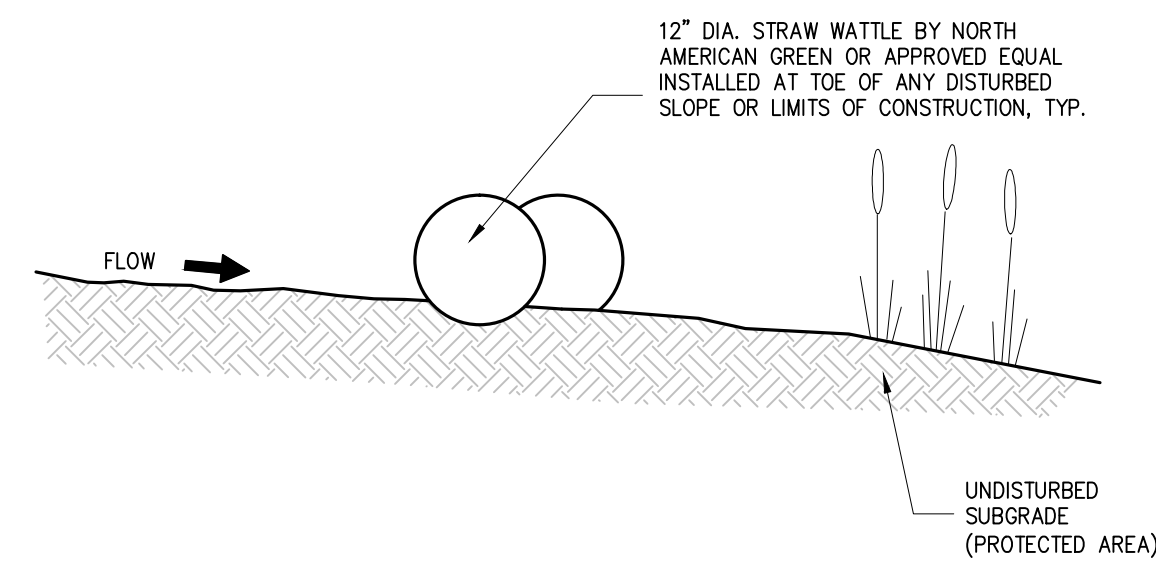


X:\1000\2020\015 MFT - 2 & 6 Station Ave, Harwich\CIVIL\DESIGN\01-2020-015 LM.dwg

NOTE: COVER BOLLARD WITH PLASTIC SLEEVE, HOPE MATERIAL WITH UV INHIBITORS, YELLOW OR OTHER HIGH VISIBILITY COLOR.



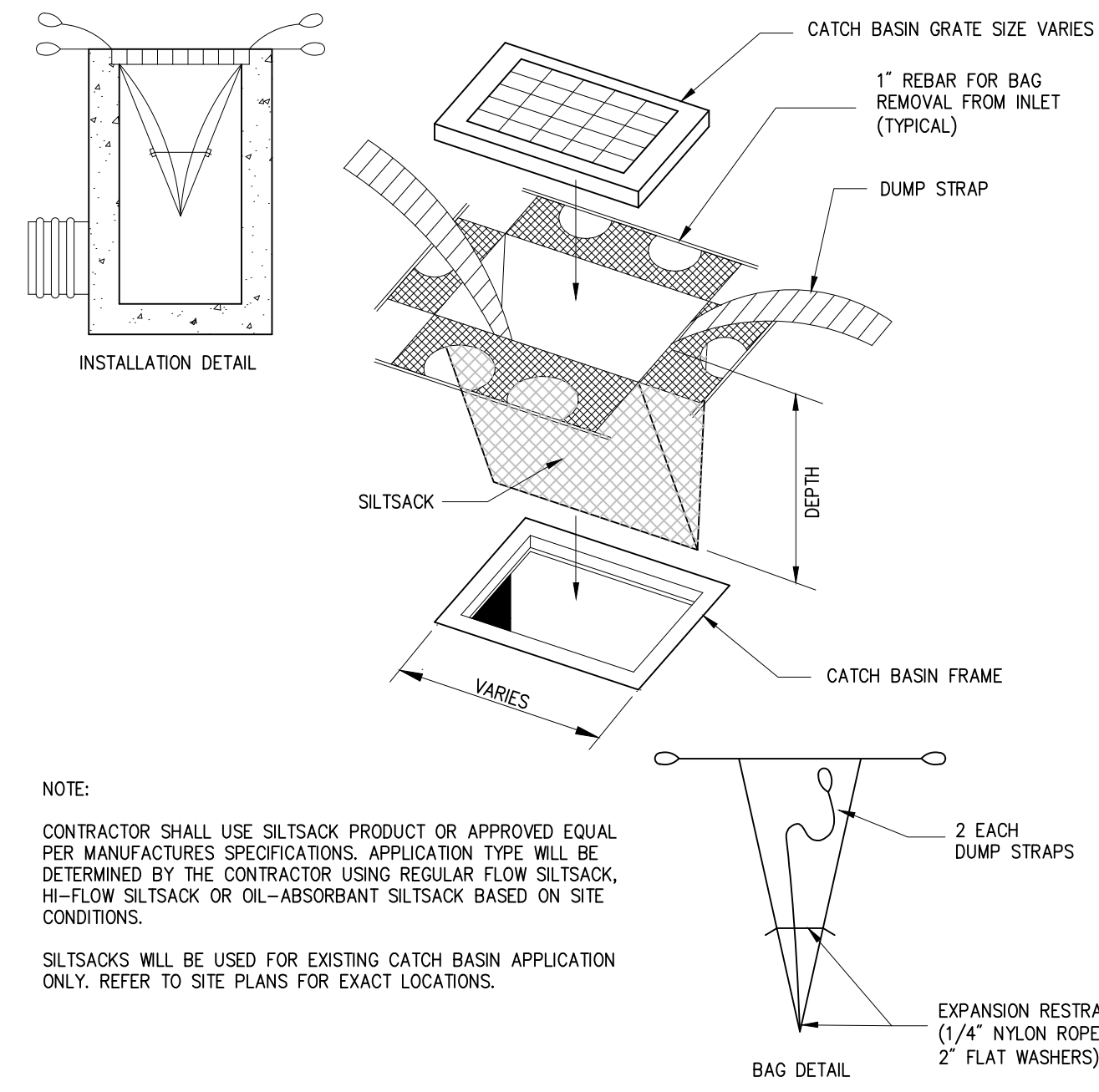
DETAIL # 446 CONCRETE FILLED BOLLARD JDE



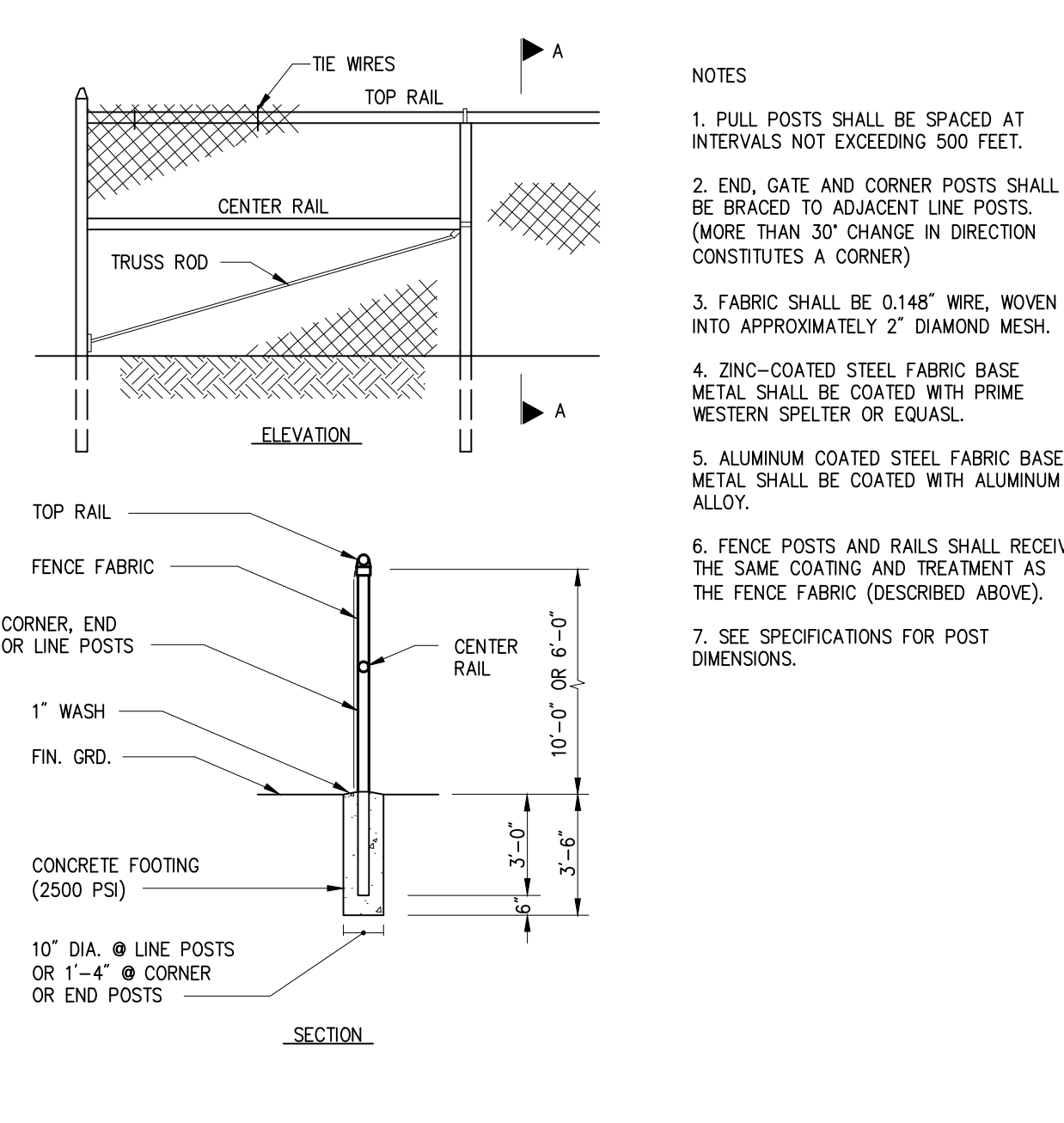
NOTES:

- PRIOR TO INSTALLATION, CLEAR ALL OBSTRUCTIONS INCLUDING ROCKS, CLODS, AND DEBRIS GREATER THAN ONE INCH THAT MAY INTERFERE WITH PROPER FUNCTION OF STRAW WATTLE.
- INSTALL STRAW WATTLES PERPENDICULAR TO THE FLOW DIRECTION AND PARALLEL TO THE SLOPE WITH THE BEGINNING AND END OF THE INSTALLATION POINTING SLIGHTLY UP THE SLOPE CREATING A "J" SHAPE AT EACH END TO PREVENT BYPASS. EXCAVATE A 4" DEEP X 9" WIDE TRENCH, EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
- PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT OR OVERLAP.
- SECURE WATTLES WITH 1"x1/2" STAKES EVERY 3'-4' AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2"-3" OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.
- STRAW WATTLE TO BE 12" DIA. MANUFACTURED BY NORTH AMERICAN GREEN OR APPROVED EQUAL.
- EROSION CONTROL MEASURES SHALL FOLLOW THE PERFORMANCE STANDARDS OF THE USDA SOIL CONSERVATION SERVICE, AND ANY APPLICABLE STATE/LOCAL CONSERVATION AUTHORITY.
- IF PLACING ON PAVEMENT OF IMPERVIOUS MATERIAL LAY WATTLES DIRECTLY ON SURFACE WITH NO EXCAVATION OR STAKING AND OVERLAP EDGES.

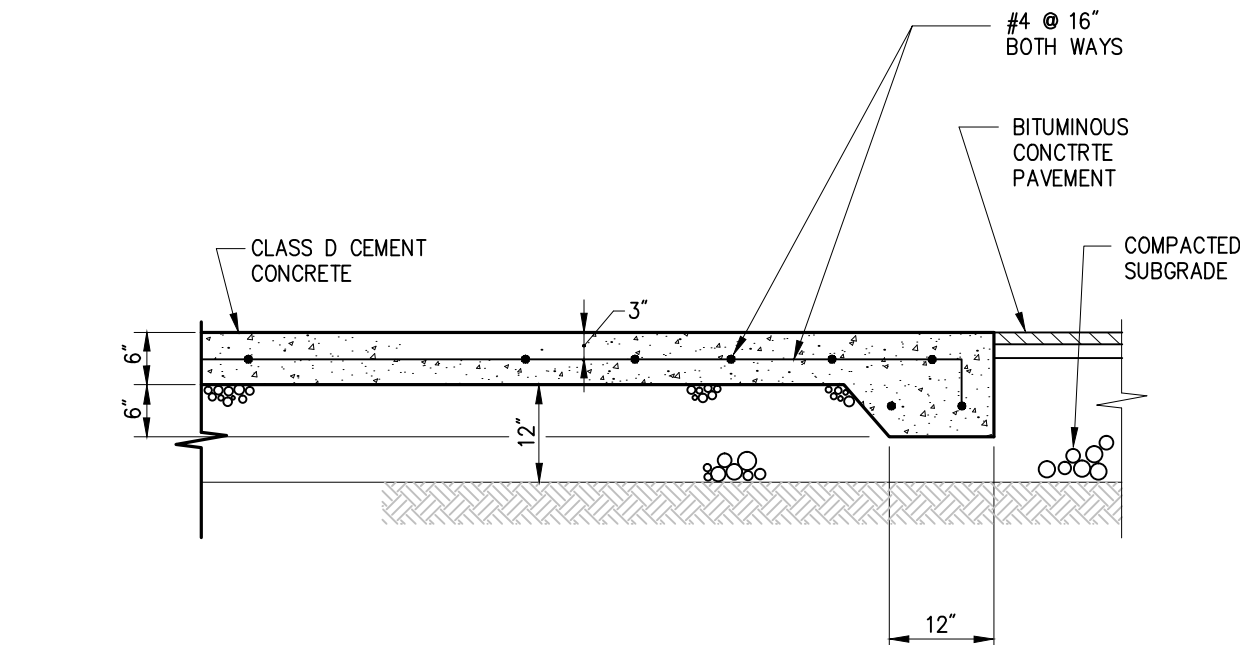
DETAIL # 519 STRAW WATTLE EROSION CONTROL JDE



DETAIL # 514 INLET PROTECTION SILTSACK JDE



DETAIL # 806 CHAIN LINK FENCE (CLF) JDE



DETAIL # 444 CONCRETE PAD JDE

## GRADING AND DRAINAGE NOTES

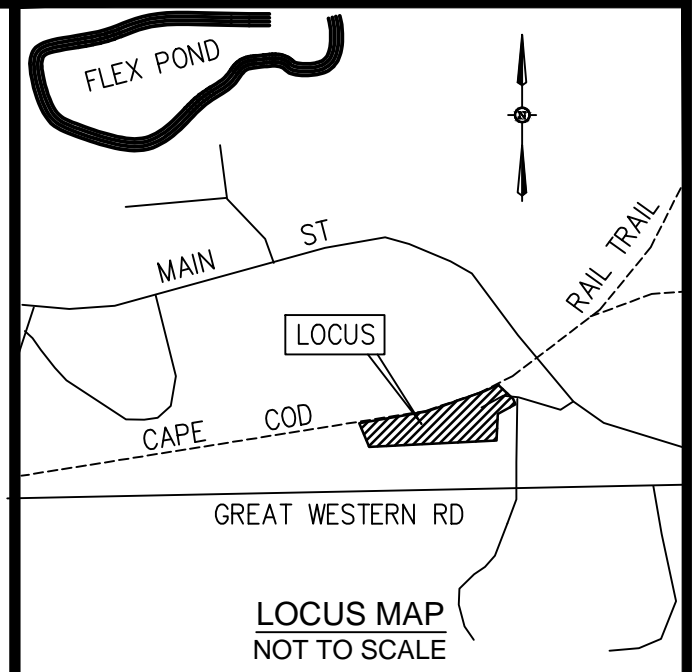
- THE PROJECT ELEVATIONS ARE BASED ON THE NAVD88 VERTICAL DATUM.
- DEMOLITION DEBRIS, EXCESS AND UNSUITABLE MATERIALS FROM THE DEMOLITION OPERATION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR.
- DISTURBED AREAS SHALL BE PROTECTED AT ALL TIMES TO CONTROL SEDIMENT TRANSPORT BEYOND THE LIMIT OF WORK.
- DISTURBED AREAS SHALL BE TREATED WITH WATER DURING EXCAVATION, OR APPROVED ALTERNATIVE, FOR DUST CONTROL.
- ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL BE STABILIZED WITH 4" LOAM, SEED, & MULCH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AREAS UNTIL VEGETATION HAS BEEN PERMANENTLY ESTABLISHED. SLOPES IN EXCESS OF 3:1 SHALL BE FURTHER STABILIZED WITH EROSION CONTROL BLANKETS (ECB) OF CURLEX OR EQUAL.
- ALL PIPE INSTALLATIONS SHALL FOLLOW PROJECT SPECIFICATIONS AND PIPE MANUFACTURER RECOMMENDATIONS.

## UTILITY NOTES

- 12" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN ALL UTILITY CROSSINGS.
- GAS, ELECTRIC, DATA/COM IS SHOWN SCHEMATICALLY HEREON. THESE UTILITIES SHALL BE INSTALLED WITH A MINIMUM COVER OF 3 FEET UNLESS OTHERWISE NOTED OR OTHERWISE DIRECTED BY THE CONTROLLING UTILITY COMPANY. CONTRACTOR SHALL COORDINATE FINAL LAYOUT WITH APPLICABLE UTILITY COMPANY.
- ALL COMMERCIAL LIGHTING SHALL DIRECT ALL LIGHT SO AS TO KEEP ALL LIGHTING WITHIN SUBJECT LOT.
- ALL UTILITY CUTS THROUGH EXISTING CONCRETE OR BITUMINOUS CONCRETE PAVED SURFACES SHALL BE SAW CUT. BACK FILLING OF TRENCH SHALL INCLUDE 12" IN DEPTH FLOWABLE FILL TO BE THE BASE COURSE OF THE SURFACE TREATMENT. THE SURFACE TREATMENT SHALL THEN BE REPLACED IN KIND. IF THE BITUMINOUS CONCRETE SURFACE IS WITHIN THE ROADWAY THE BITUMINOUS CONCRETE TOP COURSE SHALL BE FINISHED WITH INFRARED TREATMENT TO BLEND EXISTING & NEWLY PAVED SURFACES.

## EROSION CONTROL NOTES

- MAINTAIN A STOCKPILE OF 50 HAY BALES, 100 FEET OF SILT FENCE AND 3 CUBIC YARDS OF RIP-RAP ON SITE AT ALL TIMES UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
- STUMPS FROM THE CLEARING OPERATION SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
- DISTURBED AREAS SHALL BE PROTECTED AT ALL TIMES TO CONTROL SEDIMENT TRANSPORT BEYOND THE LIMIT OF WORK.
- DISTURBED AREAS SHALL BE TREATED WITH WATER DURING EXCAVATION, OR APPROVED ALTERNATIVE, FOR DUST CONTROL.



## PERMITTING SET

REVISIONS		
No.	DATE	DESCRIPTION
1	10-19-20	REVISE PER TOWN COMMENTS

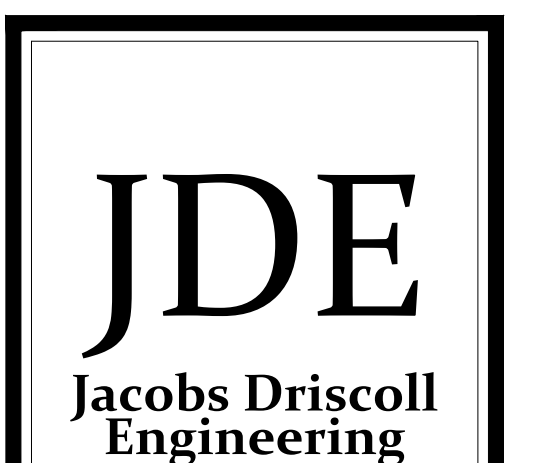
DRAWN BY: TME  
CHECKED BY: EPJ  
DESIGNED BY: TME / GWD

## CONSTRUCTION NOTES AND DETAILS

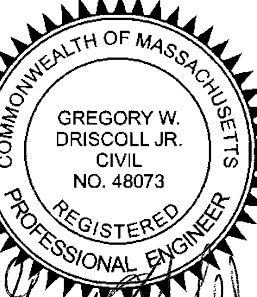
6 STATION AVENUE  
IN  
HARWICH  
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MASSACHUSETTS

SEPTEMBER 24, 2020

PREPARED FOR:  
CAPE COD OIL  
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227 ROUTE 6  
PROVINCETOWN  
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50 Oliver Street  
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10/19/2020

SHEET 5 OF 5

JOB NUMBER: 01-2020-015

# TOWN OF HARWICH PLANNING DEPARTMENT

## PLANNING BOARD APPLICATION



TO THE TOWN CLERK, HARWICH, MA

DATE 10/27/20

### PART A - APPLICANT INFORMATION/AUTHORIZATION

Applicant Name(s)	DAVID KIMBALL + KRISTEN H. KIMBALL
Representative/Organization (Who will serve as the primary contact responsible for facilitating this application?)	William D. Crowell, Esq. 465 Main Street P.O. Box 185 Harwich Port, MA 02646
Mailing address	
Town, ST, Zip	
Phone	508-432-1643
Fax	508-430-0631
E-mail	WCROWELL.OFFICE1@COMCAST.NET

The applicant is one of the following: (please check appropriate box)

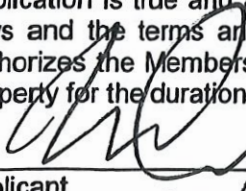
- Owner       Prospective Buyer\*       Representative for Owner/Tenant/Buyer\*  
 Tenant\*       Other\*

**\*Written permission of the owner(s) and a municipal lien certificate (where applicable) is required.**

All other forms and information as required in the Harwich Code Chapter 400, Rules and Regulations, shall be submitted as part of this application.

#### Authorization

Your signature hereby asserts, to the best of your knowledge, that the information submitted in this application is true and accurate; that you agree to fully comply with the Town of Harwich Zoning By-laws and the terms and conditions of any approval of this application by the Planning Board; and authorizes the Members of the Planning Board and/or Town Staff to visit and enter upon the subject property for the duration of the consideration of this application.

  
 Attorney for David & Kristen H. Kimball  
 Applicant SEE ATTACHED E-MAIL

Owner(s) - Authorization must accompany application if the owner is not the applicant.

Official use only:

PLANNING DEPARTMENT

TOWN CLERK

Case # PB 2020-29





**PART B - PROJECT LOCATION**

Legal Street Address	452 LONG POND DRIVE	Village/Zip Code	02645
Title Book/Page or L.C.C. #	12821/130		
Map(s) / Parcel(s)	MAP 104 PCISE 8-2+3		
Zoning & Overlay Districts	R-R	*Historic?	NO - 2013
Frontage (linear feet)	487.07		
Total land area (s.f.)	140,900 ±		
Upland (s.f.)	138,150 ±	Wetlands (s.f.)	≈ 2%

**PART C - PROJECT DESCRIPTION**

Existing Floor Area in Sq. Ft	Gross:	Net:
Proposed Floor Area in Sq. Ft	Gross:	Net:
Change in Sq. Ft +/-	Gross:	Net:
Existing # of parking spaces	Proposed # of parking spaces:	
Existing Use(s)		
Proposed Use(s)	SEE ATTACHED	
<i>Attach a separate narrative if necessary.</i>		

The undersign hereby files an application with the Harwich Planning Board for the following special permits as proposed under the provisions of the Harwich Zoning Code: **(check all that apply)**

**Site Plan Review § 325-55:**

- Any floor area expansion of any structure or expansion of exterior space, other than parking, serving any of the following: commercial, industrial, multi-family or educational use or personal wireless service facility or the creation of a drive-up or drive-through window
- Expansion or reconfiguration of an existing parking lot and/or driveway(s) serving said parking lot.
- Establishment of any new commercial, industrial, multi-family, educational, fast food/take out restaurant or personal wireless service facility.
- Establishment of any new retail use(s) in the Industrial (IL) Zone.
- Waiver of Site Plan § 325-55.F

**Article V, Use Regulations:**

- Paragraph I, sub-paragraph # 1b       Paragraph \_\_\_\_\_, sub-paragraph # \_\_\_\_\_
- Paragraph \_\_\_\_\_, sub-paragraph # \_\_\_\_\_, supplemental regulation # \_\_\_\_\_ § 325-14

**Article X, Special Permits:**

- Structures w/ gross floor area of 7,500+ s.f. § 325-51
- Structures requiring 20 or more new parking spaces § 325-51
- Accessory Apt./Shared Elderly Housing § 325-51.H       Mixed Use § 325-51.M
- Drinking Water Resource Protection § 325-51.C       Two Family § 325-51.N
- Village Commercial, Harwich Port § 325-51.L       \*Harwich Center Overlay § 325-51.O
- Signage § 325-27.F Additional Cluster, Excess SF, Non-entry Facades

**Other Special Permits:**

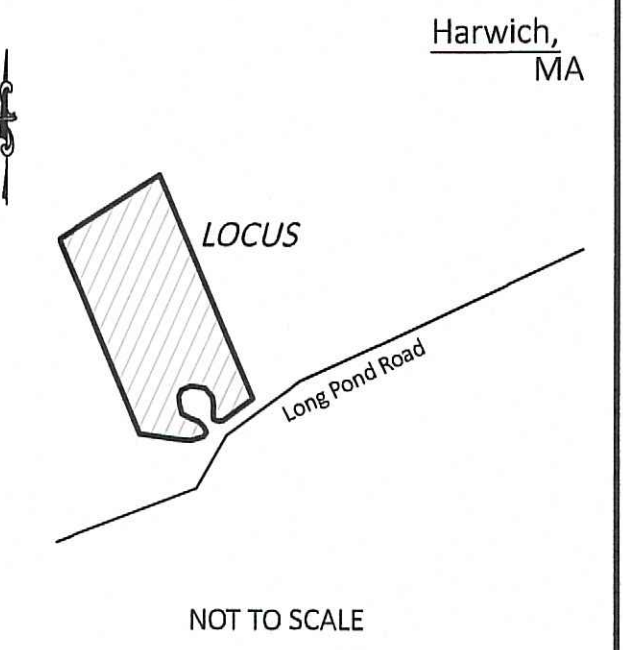
- Six Ponds Special District - Article XVI
- Wind Energy Systems - Article XVIII       Large Scale Wind Generation - Article XIX
- Other (i.e. Alternate Access § 325-18.P, Special Cases § 325-44.B) **DETACHED RES. ACCESS. STRUCTURE**
- Repetitive Petition (MGL Ch 40A, §16): Proposed project evolved from a previously denied plan w/ BORMS (2) submitted to the Planning Board on \_\_\_\_\_ Year/Case # \_\_\_\_\_

*\*Note: Projects within the Harwich Center Overlay District may also be within the Harwich Center Historic District. This requires separate filing with the Historic District and Historical Commission. Please inquire for forms and instructions.*

The Petitioners hereby request a Special Permit for a detached residential accessory building with two bedrooms pursuant to Table 1. Use Regulations, Paragraph I-Residential Uses, subparagraph 1b in R-R Zoning District as shown on the Certified Plot Plan by J.M. O'Reilly & Associates, Inc. dated 10/21/20 filed herewith and as shown on the Building and Elevation Plans dated 10/9/20 by Encore Construction filed herewith. The proposed use will not adversely affect the neighborhood, the site is an appropriate location for the use, there will be no nuisance or serious hazard to vehicles or pedestrians, and adequate and appropriate facilities are provided for the proper operation of the proposed use.

The Petitioners hereby request Administrative Waivers of any and all commercial or residential requirements of the Bylaw that are not applicable to this Petition.

Plan Book 424 Page 71

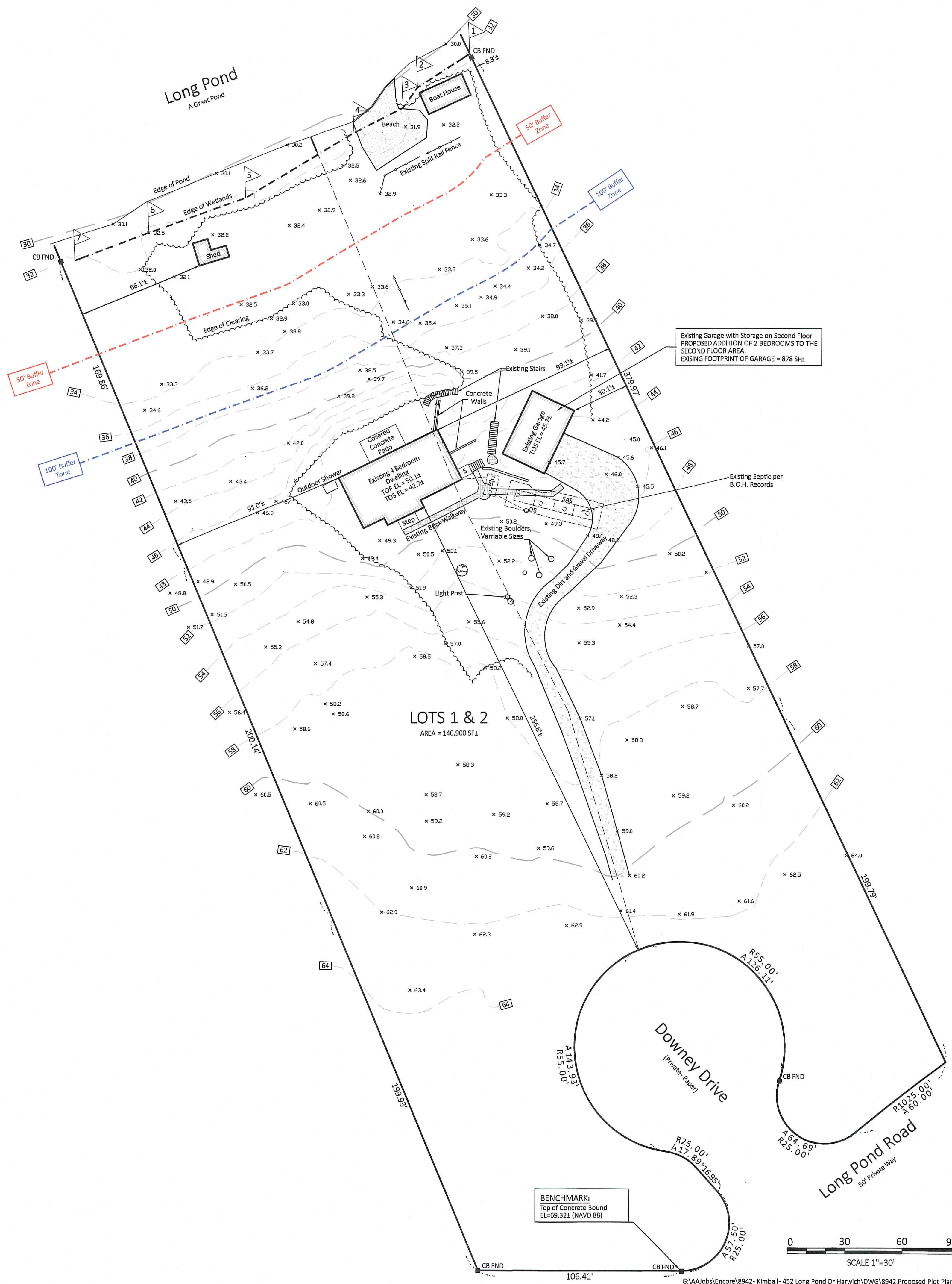


NOT TO SCALE

PLAN BOOK 424 PAGE 71  
DEED BOOK 12821 PAGE 130  
ASSESSORS' MAP 104 PARCEL EB-2

**LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- WATER SERVICE LINE
- OVERHEAD UTILITY SERVICE
- UNDERGROUND UTILITY SERVICE
- GAS SERVICE LINE
- TEST HOLE / BORING LOCATION
- SEPTIC TANK
- DISTRIBUTION BOX
- SOIL ABSORPTION SYSTEM
- RESERVED FOR FUTURE
- UTILITY POLE
- CATCH BASIN
- FIRE HYDRANT
- WELL
- DRAINAGE MANHOLE
- CONCRETE BOUND, FOUND
- LIMIT OF WORK
- FENCE
- EDGE OF CLEARING



Existing Garage with Storage on Second Floor  
PROPOSED ADDITION OF 2 BEDROOMS TO THE  
SECOND FLOOR AREA.  
EXISTING FOOTPRINT OF GARAGE = 878 SF±

Existing Septic per  
B.O.H. Records

**LOTS 1 & 2**  
AREA = 140,900 SF±

**BENCHMARK**  
Top of Concrete Bound  
EL=69.32± (NAVD 88)

**ZONING TABLE**

ZONE: (RESIDENTIAL)	R-R (Residential)
FRONT YARD SETBACK	25 FEET
SIDE YARD SETBACKS	20 FEET
REAR YARD SETBACKS	20 FEET
BUILDING HEIGHT	30 FEET
BUILDING HEIGHT	30'
BUILDING COVERAGE	15%
SITE COVERAGE	25%
EXISTING LOT AREA (TOTAL)	140,900 SF
LOT AREA: UPLAND	138,150 SF
<b>EXISTING BUILDING COVERAGE:</b>	
HOUSE AREA:	1,770 SF±
GARAGE:	878 SF±
SHED:	150 SF±
BOATHOUSE:	290 SF±
TOTAL:	3,088 SF±
COVERAGE = (3088/138150) x 100% = 2.2 %±	



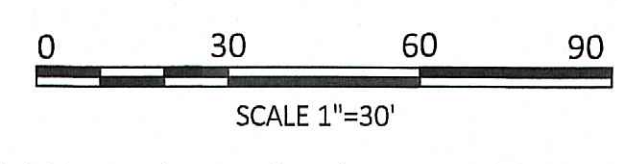
**David and Kristen Kimball**  
26 Caspian Way Dorchester, MA 02125

**PROPOSED PLOT PLAN**  
452 Long Pond Drive Harwich, MA

**J.M. O'REILLY & ASSOCIATES, INC.**  
Professional Engineering & Land Surveying Services

1673 Main Street - Route 6A  
P.O. Box 1773  
Brewster, MA 02631 (508)898-8802 Fax

DATE:	SCALE:	CHECK:	JOB NUMBER:
10-21-2020	As Noted	BSH	JMO - 8942



## DRAWING INDEX

### GENERAL

A0.0 TITLE PAGE

### CONSTRUCTION PLANS

- A1.1 EXISTING FOUNDATION AND ROOF PLANS
- A1.2 EXISTING AND PROPOSED FIRST FLOOR PLANS
- A1.3 EXISTING AND PROPOSED SECOND FLOOR PLANS AND DOOR SCHEDULE

### ELEVATIONS AND SECTIONS

- A2.1 EXISTING AND PROPOSED FRONT AND LEFT ELEVATIONS
- A2.2 EXISTING AND PROPOSED REAR AND RIGHT ELEVATIONS
- A2.3 EXISTING AND PROPOSED BUILDING SECTIONS THRU STAIR

### FINISH PLANS AND INTERIOR ELEVATIONS

- A3.1 PROPOSED 1ST AND 2ND FLOOR FINISH PLANS AND INTERIOR BATH ELEVATIONS

### FRAMING/STRUCTURAL PLANS

- S1 PROPOSED FRAMING PLANS

### MEP

- MEP1 PROPOSED MEP PLANS

## APPLICABLE CODES

BUILDING CODE: 2015 IRC WITH 780 CMR NINTH EDITION MASSACHUSETTS AMENDMENTS

ENERGY CODE: BBRs STRETCH CODE

## ZONING INFO.

ZONING DISTRICT  
TOWN OF HARWICH, MA  
R-R RESIDENTIAL - RURAL ESTATE  
EFFECTIVE DATE: AUGUST 8, 2007

## SCOPE OF WORK

FINISH SECOND FLOOR OF GARAGE WITH TWO BEDROOMS AND TWO BATHROOMS.  
MOVE STAIRS TO CENTER AND CONSTRUCT HALLWAY FROM SIDE DOOR TO EXISTING STAIRS. PROPOSED WORK IS IN ACCORDANCE WITH SKETCH PLAN. AGREEMENT PRICE DOESN'T INCLUDE ANY UNSPECIFIED ITEMS REQUIRED BY THE LOCAL BUILDING, CONSERVATION OR BOARD OF HEALTH OFFICIALS.

## GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE AND FEDERAL CODES AND ORDINANCES.
2. GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES.
3. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES AND NOTIFY ARCHITECT/ OWNER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. ALL EXISTING DIMENSIONS ARE TO THE FACE OF FINISHED SURFACE UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS.
4. GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS.
5. FOR THE PURPOSE OF THE DOCUMENTS, TO "INSTALL" SHALL MEAN TO PROVIDE ALL FASTENERS, MISCELLANEOUS HARDWARE, BLOCKING, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS, AND OTHER ITEMS REQUIRED FOR A COMPLETE AN OPERATION INSTALLATION, UNLESS OTHERWISE NOTED.

THE RENDERINGS ARE FOR VISUALIZATION PURPOSES ONLY - MAY DIFFER SLIGHTLY FROM ACTUAL



**PROPOSED FRONT RENDERING**



**PROPOSED REAR RENDERING**

**PROPOSED SITE: 452 LONG POND DRIVE,  
HARWICH, MA 02645**

### Assumptions & Design Criteria

To be applied as needed on a member by member basis

1. Building Design Code Reference
  - a. Massachusetts Building Code – 9<sup>th</sup> Edition + Amendments
2. Building Design Loads Used
  - a. Dead Loads
    - i. Roof Framing - 20 psf
    - ii. Attic Framing - 10 psf
    - iii. Floor Framing - 15 psf
    - iv. Wall Framing - 15 psf
  - b. Live Loads (Per ASCE 07 and Mass Bldg Code 9<sup>th</sup> Edition)
    - i. Attic Loading - 20 psf
      - 1. Minimum no storage - 10 psf
    - ii. Floor Loading - 40 psf
    - iii. Rafter loading (Pg) - 25 psf
      - 1. .
3. Design Criteria Used
  - a. Deflection
    - i. Total Load Deflection - L/360
    - ii. Live Load Deflection - L/480 or L/360 as noted
4. Specified Materials
  - a. Misc. Members and Posts (if specified)
    - i. Sawm Lumber: Spruce Pine Fir #1/2
    - ii. Engineered Lumber: VersaLAM or Equal
    - iii. Support Posts: As Noted

## DESIGN/BUILD CONTRACTOR:



**encore**  
DESIGN | REMODEL

encoreco.com  
(508) 760-6900 Office

DESIGN/BUILD  
CONTRACTOR

103 Main Street  
Dennisport, MA 02639

TITLE PAGE

SHEET TITLE:

PROJECT ADDRESS:  
Kimball Leslie  
452 Long Pond Drive  
Harwich, MA 02645

REV. DATE:

10/9/2020

SHEET:

A0.0

**WALL LEGEND:**

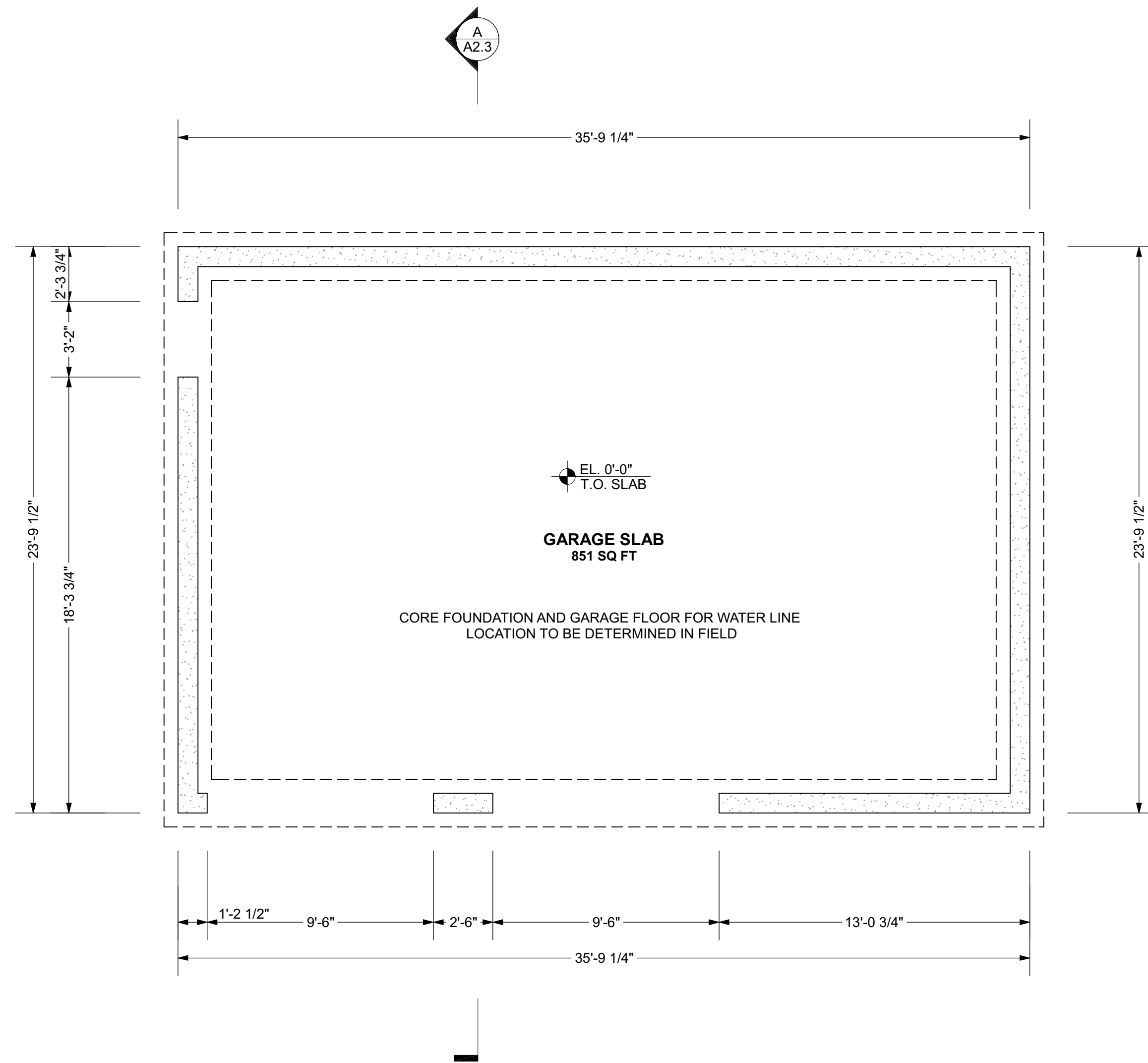
 CONCRETE FOUNDATION, EXISTING

**DEMOLITION NOTES: FOUNDATION**

- CORE FOUNDATION AND GARAGE FLOOR FOR WATER LINE
- REMOVE ALL DEMOLITION AND CONSTRUCTION DEBRIS FROM SITE

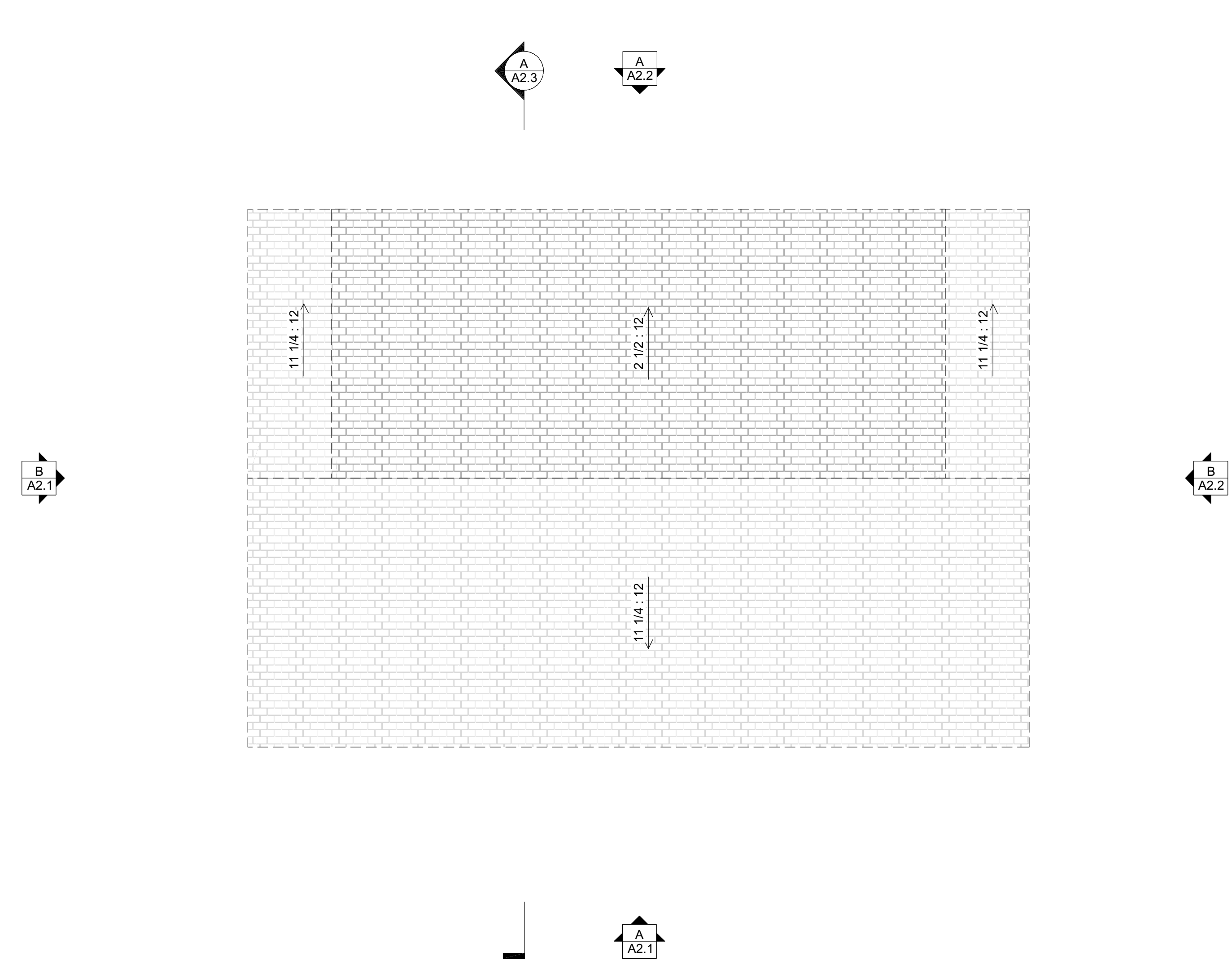
**DIMENSIONS:**

- ALL EXTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE OF STUD TO OUTSIDE OF STUD
- ALL INTERIOR DIMENSIONS ARE TAKEN FROM STUD TO STUD UNLESS OTHERWISE NOTED

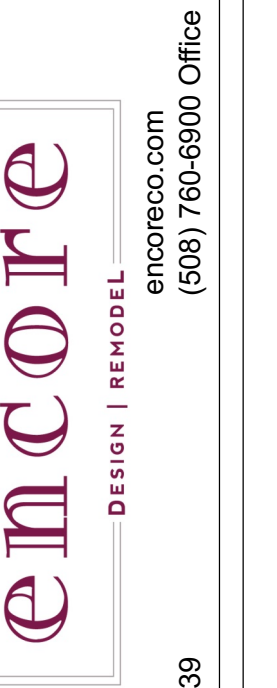


**A**  
A1.1 **EXISTING FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

NO WORK ON ROOF PLAN,  
SHOWN FOR REFERENCE



**B**  
A1.4 **EXISTING ROOF PLAN**  
SCALE: 1/4" = 1'-0"



DESIGN/BUILD  
CONTRACTOR  
103 Main Street  
Dennisport, MA 02639

EXISTING FOUNDATION  
AND ROOF PLANS

SHEET TITLE:

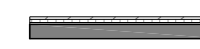



PROJECT ADDRESS:  
Kimball Leslie  
452 Long Pond Drive  
Harwich, MA 02645

REV. DATE:  
10/9/2020

SHEET:

A1.1

**WALL LEGEND:**

-  EXTERIOR 2X4 WALL, EXISTING
-  EXTERIOR 2X4 WALL, EXISTING WITH NEW INTERIOR FINISH
-  INTERIOR 2X4 WALL, PROPOSED
-  INTERIOR 2X4 FIRE-RATED WALL, PROPOSED

**DEMOLITION NOTES: FIRST FLOOR**

- REMOVE STAIRS AND PLATFORM
- REMOVE OVERHEAD TRACK IN ORDER TO CHANGE STAIR OPENING AND INSULATE AND PLASTER GARAGE CEILING AND REINSTALL WHEN COMPLETED
- REMOVE ALL DEMOLITION AND CONSTRUCTION DEBRIS FROM SITE

**CONSTRUCTION NOTES: FIRST FLOOR**

**FRAME:**  
 GARAGE LEVEL  
 INTERIOR WALLS – 2X4 STUDS 16" ON CENTER WITH PRESSURE TREATED SOLE PLATES TO CREATE HALLWAY AND ENCLOSE STAIRS  
 STRAPPING – 1X3 SPRUCE STRAPPING 16" ON CENTER ON GARAGE CEILING  
 SECOND FLOOR  
 EXTERIOR WALLS – 2X4 STUDS AS NEEDED FOR TWO SLIDER OPENINGS WITH 1/2" CDX EXTERIOR SHEATHING AND NEW HEADERS  
 INTERIOR WALLS – 2X4 STUDS 16" ON CENTER

**BLUEBOARD & PLASTER:** 1/2" BLUEBOARD ON WALLS AND CEILING WITH SMOOTH SKIM COAT OF PLASTER EXCEPT WHERE 5/8" FIRE CODE IS REQUIRED. INCLUDES GARAGE CEILING.

**INSULATION:**  
 EXTERIOR ENVELOPE INSULATION TO CODE

**EXTERIOR DOOR**  
 GARAGE DOORS  
 REMOVE OVERHEAD TRACK IN ORDER TO CHANGE STAIR OPENING AND INSULATE AND PLASTER GARAGE CEILING AND REINSTALL WHEN COMPLETED

**EXTERIOR PAINTING**  
 PREP, CAULK AND TWO COATS OF FINISH ON NEW AZEK TRIM, AND NEW CLAPBOARD PATCHING.

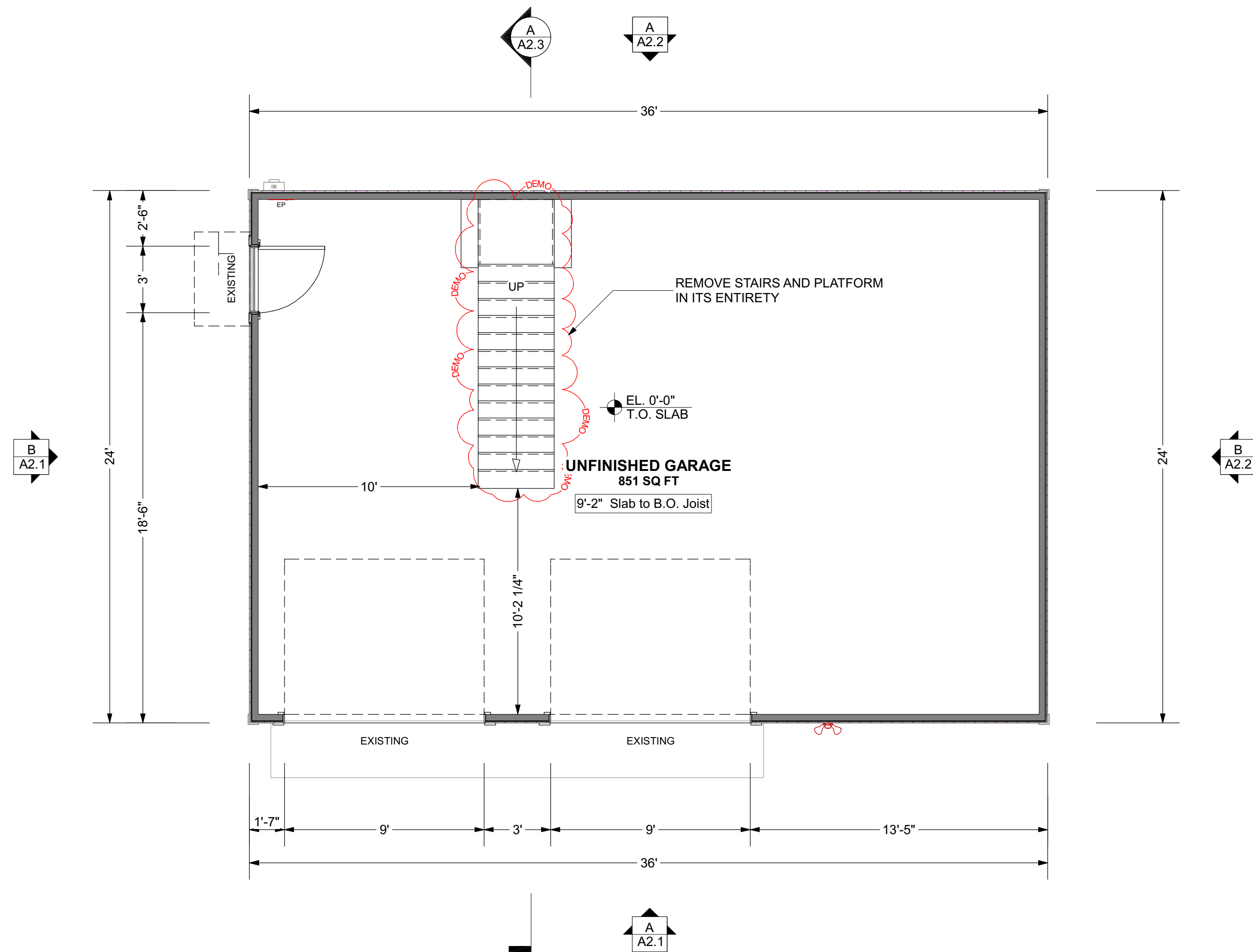
**DIMENSIONS:**

- ALL EXISTING INTERIOR DIMENSIONS ARE FROM PLASTERED SURFACE TO SURFACE  
 - ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR WALL SURFACES

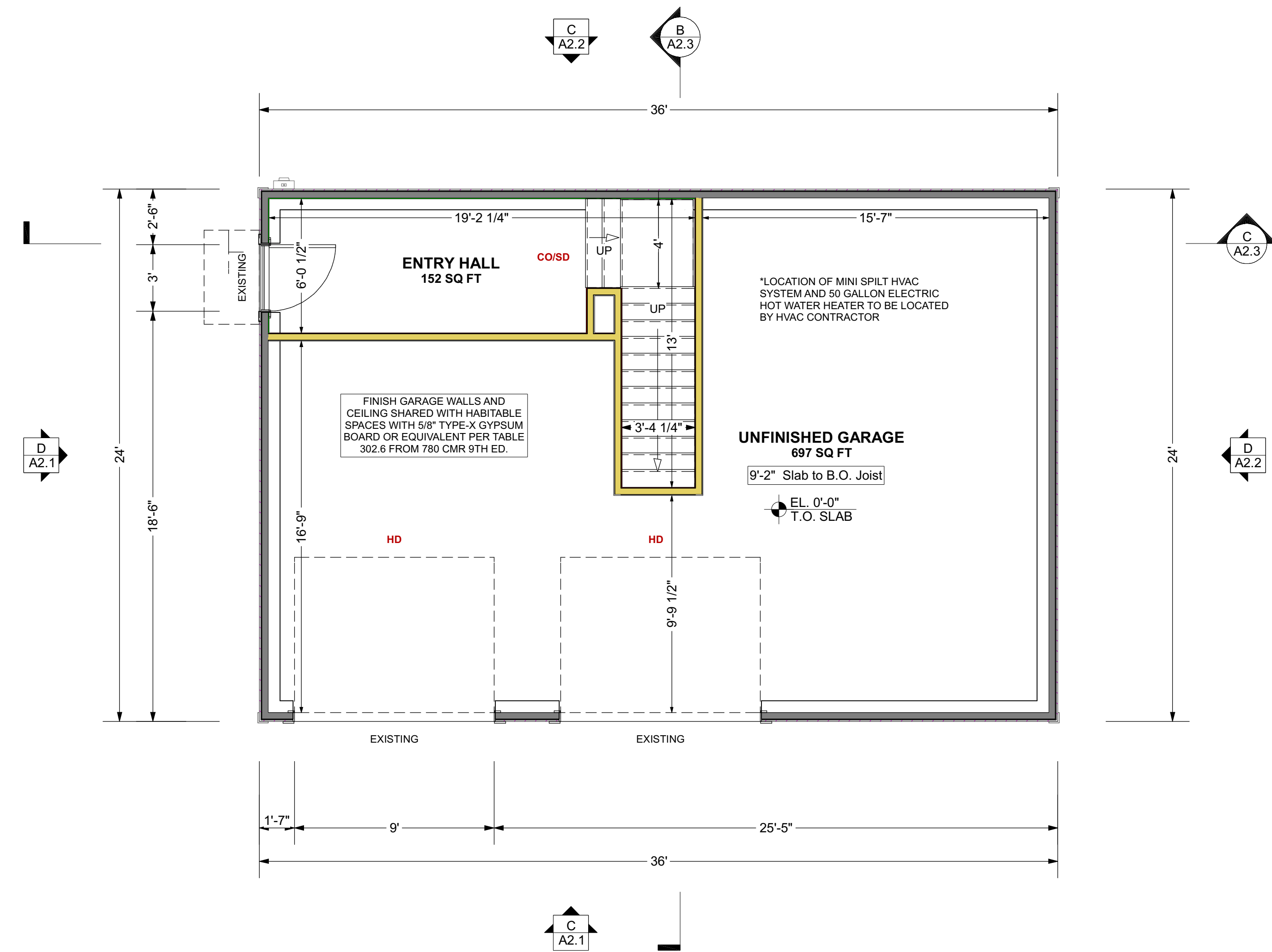
- ALL PROPOSED DIMENSIONS ARE TAKEN FROM STUD TO STUD

**SPECIAL NOTE:**

ALL EXISTING FRAMING MEMBERS SIZES AND DIRECTION OF JOISTS TO BE CONFIRMED IN FIELD

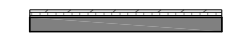





**A** EXISTING FIRST FLOOR PLAN  
 A1.2 SCALE: 1/4" = 1'-0"



**B** PROPOSED FIRST FLOOR PLAN  
 A1.2 SCALE: 1/4" = 1'-0"

**WALL LEGEND:**

-  EXTERIOR 2X4 WALL, EXISTING
-  EXTERIOR 2X4 WALL, EXISTING WITH NEW INTERIOR FINISH
-  INTERIOR 2X4 WALL, PROPOSED
-  INTERIOR 2X4 FIRE-RATED WALL, PROPOSED

**DIMENSIONS:**

- ALL EXISTING INTERIOR DIMENSIONS ARE FROM PLASTERED SURFACE TO SURFACE
- ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR WALL SURFACES

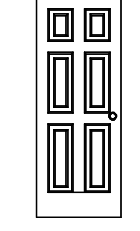
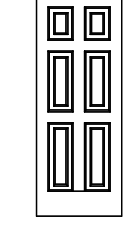
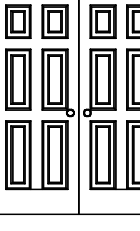
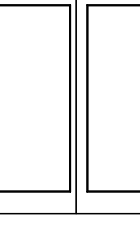
- ALL PROPOSED DIMENSIONS ARE TAKEN FROM STUD TO STUD

**SPECIAL NOTE:**

ALL EXISTING FRAMING MEMBERS SIZES AND DIRECTION OF JOISTS TO BE CONFIRMED IN FIELD

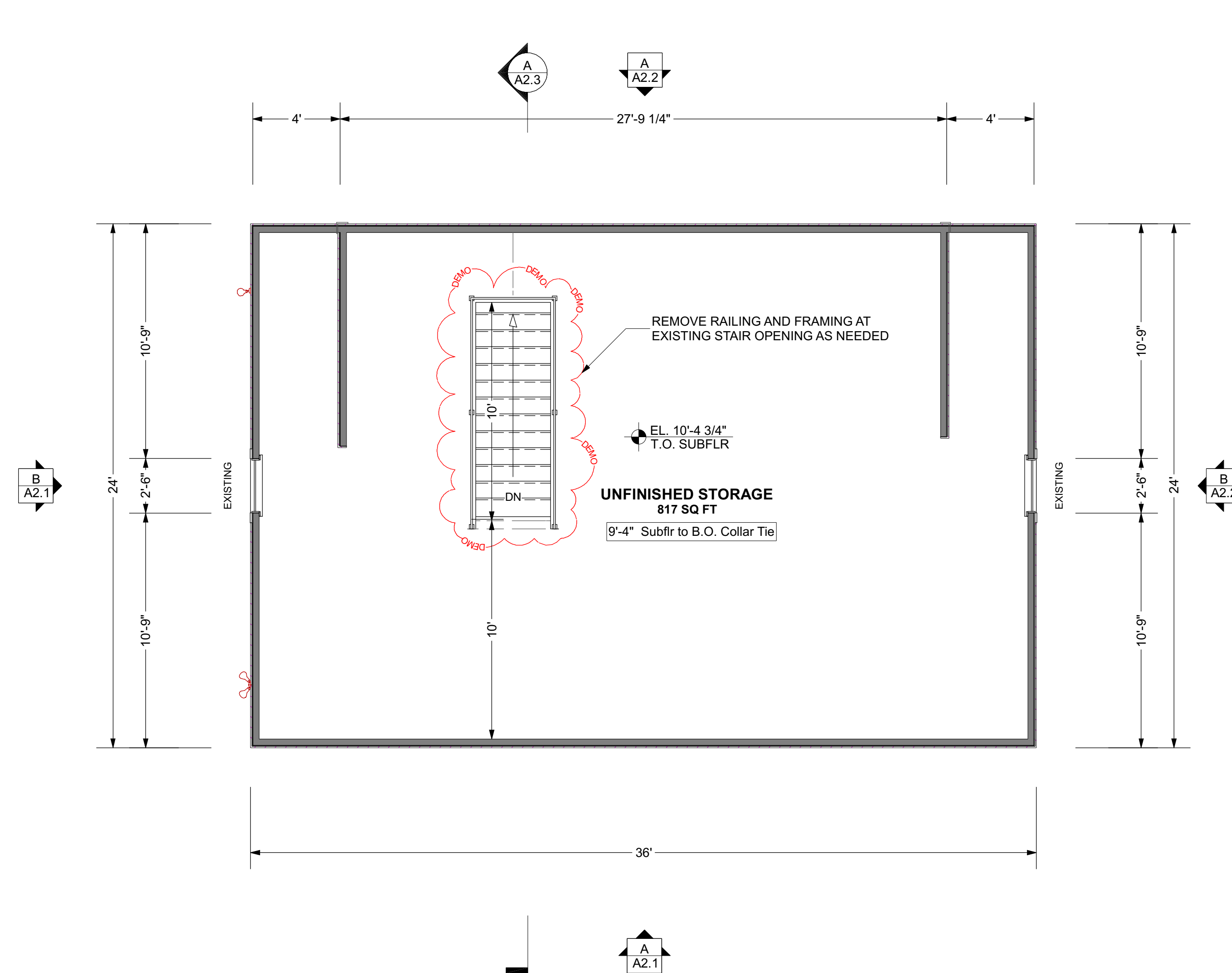
**DEMOLITION NOTES: SECOND FLOOR**

- CUT OPENINGS FOR TWO SLIDERS AND NEW STAIR HOLE
- REMOVE ALL DEMOLITION AND CONSTRUCTION DEBRIS FROM SITE

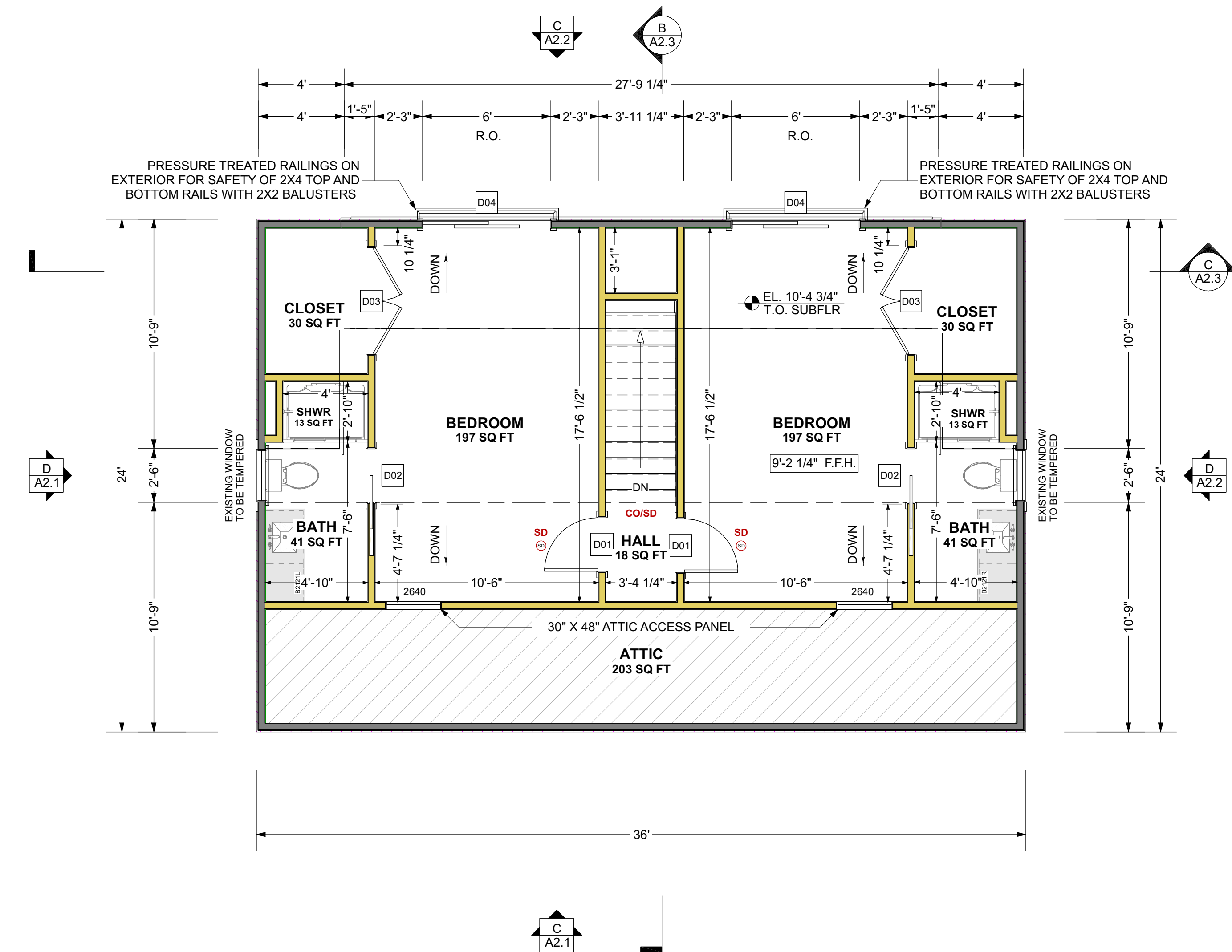
3D EXTERIOR ELEVATION		NUMBER	LABEL	FLOOR	QTY	WIDTH	HEIGHT	DESCRIPTION	MANUFACTURER	COMMENTS
	D01	2666	2	2	30"	78"		HINGED-DOOR P09	MASONITE	BEDROOM BATH
	D02	2666	2	2	30"	78"		POCKET-DOOR P09	MASONITE	BEDROOM BATH
	D03	5066	2	2	60"	78"		DOUBLE HINGED-DOOR P09	MASONITE	BEDROOM BATH
	D04	FWG6068	2	2	71 1/4"	79 1/2"		EXT. SLIDER-GLASS PANEL	FRENCHWOOD GLIDING PATIO DOORS	BEDROOM

**CONSTRUCTION NOTES: SECOND FLOOR**

- FRAME:**  
 SECOND FLOOR  
 EXTERIOR WALLS – 2X4 STUDS AS NEEDED FOR TWO SLIDER OPENINGS WITH 1/2" CDX EXTERIOR SHEATHING AND NEW HEADERS  
 INTERIOR WALLS – 2X4 STUDS 16" ON CENTER
- EXTERIOR TRIM**  
 1X12 KICKS UNDER DOORS AND 1X4 CASINGS ON DOORS
- EXTERIOR DOOR AND WINDOWS**  
 TWO ANDERSEN FWG6068 SLIDERS WITH CLAD WHITE EXTERIOR, PRE-FINISHED WHITE INTERIOR, NO GRILLES, SLIDING SCREEN, OAK THRESHOLD AND NEWBURY STYLE HARDWARE. TEMPERED SASH ON TWO EXISTING WINDOWS THAT WILL BE IN BATHROOM  
 SLIDERS WILL HAVE PRESSURE TREATED RAILINGS ON EXTERIOR FOR SAFETY OF 2X4 TOP AND BOTTOM RAILS WITH 2X2 BALUSTERS
- EXTERIOR PAINTING**  
 PREP, CAULK AND TWO COATS OF FINISH ON NEW AZEK TRIM, AND NEW CLAPBOARD PATCHING.
- SIDEWALL:** WESTERN RED CEDAR FJP CLAPBOARDS WITH COURSING TO MATCH EXISTING OVER HOUSEWRAP UNDERLAY WITH WHITE ALUMINUM DRIP CAPS DOOR HEAD CASINGS. SIDEWALL WORK IS LIMITED TO PATCHING AT NEW SLIDER LOCATIONS.
- INSULATION:**
- EXTERIOR ENVELOPE INSULATION TO CODE
  - UN-FACED SOUND INSULATION IN BEDROOM AND BATHROOM INTERIOR WALLS



**A** EXISTING SECOND FLOOR PLAN  
 A1.3 SCALE: 1/4" = 1'-0"



**B** PROPOSED SECOND FLOOR PLAN  
 A1.3 SCALE: 1/4" = 1'-0"

DESIGN/BUILD CONTRACTOR

**enCORE**  
 DESIGN | REMODEL  
 encoreco.com  
 (508) 760-6900 Office

103 Main Street  
 Dennisport, MA 02639

SHEET TITLE:  
**EXISTING AND PROPOSED SECOND FLOOR PLANS AND DOOR SCHEDULE**

PROJECT ADDRESS:  
 Kimball Leslie  
 452 Long Pond Drive  
 Harwich, MA 02645

REV. DATE:  
 10/9/2020

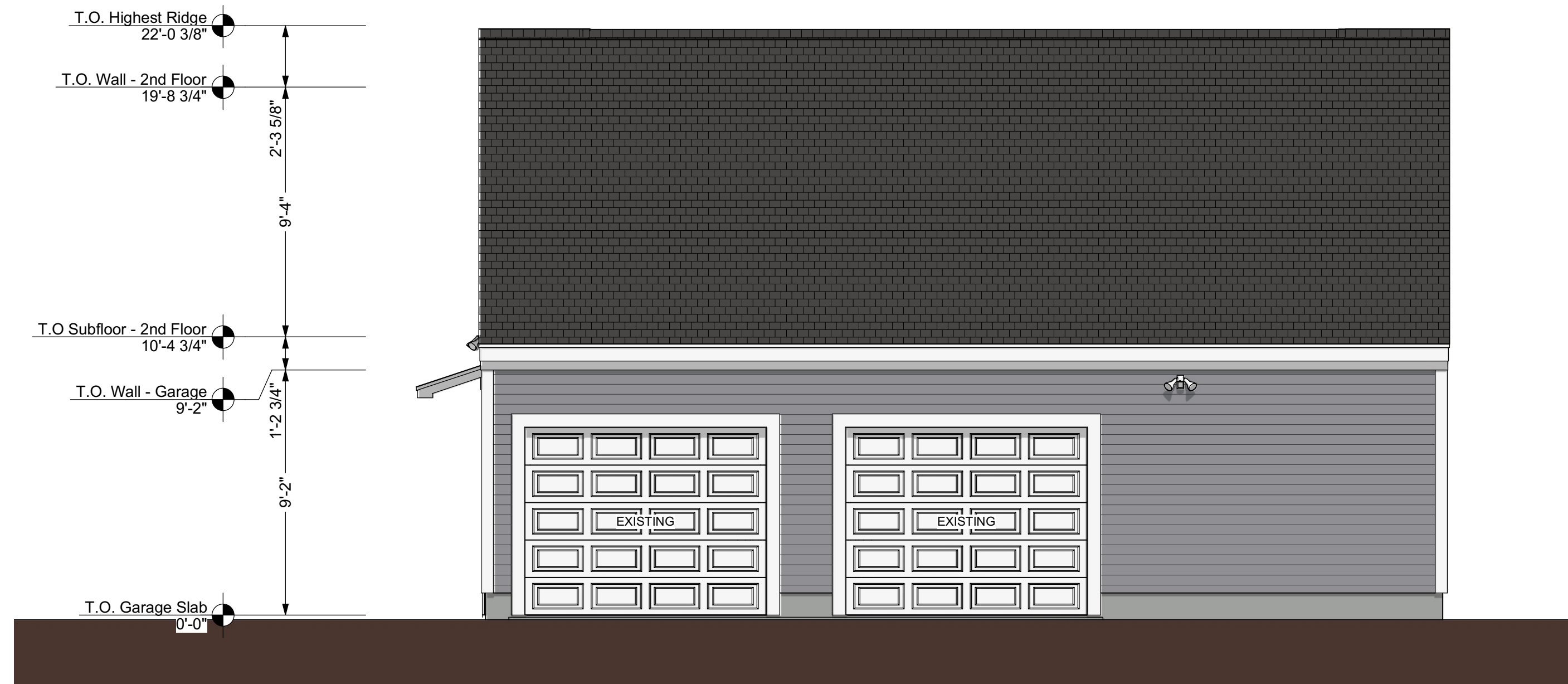
SHEET:  
**A1.3**

**DEMOLITION NOTES: EXTERIOR**

NO DEMOLITION ON FRONT AND LEFT SIDES OF GARAGE

**EXISTING CONDITIONS: EXTERIOR**

SIDING: WOOD CLAPBOARD SIDING, 4 1/2"  
 ROOF: ARCHITECTURAL SHINGLES, GREY  
 CORNER BOARD: 1x5/1x6 WHITE  
 CASING, FRIEZE, SOFFIT: 1x6 WHITE  
 RAKES: 1x8 WHITE



**A** EXISTING FRONT ELEVATION  
 A2.1 SCALE: 1/4" = 1'-0"

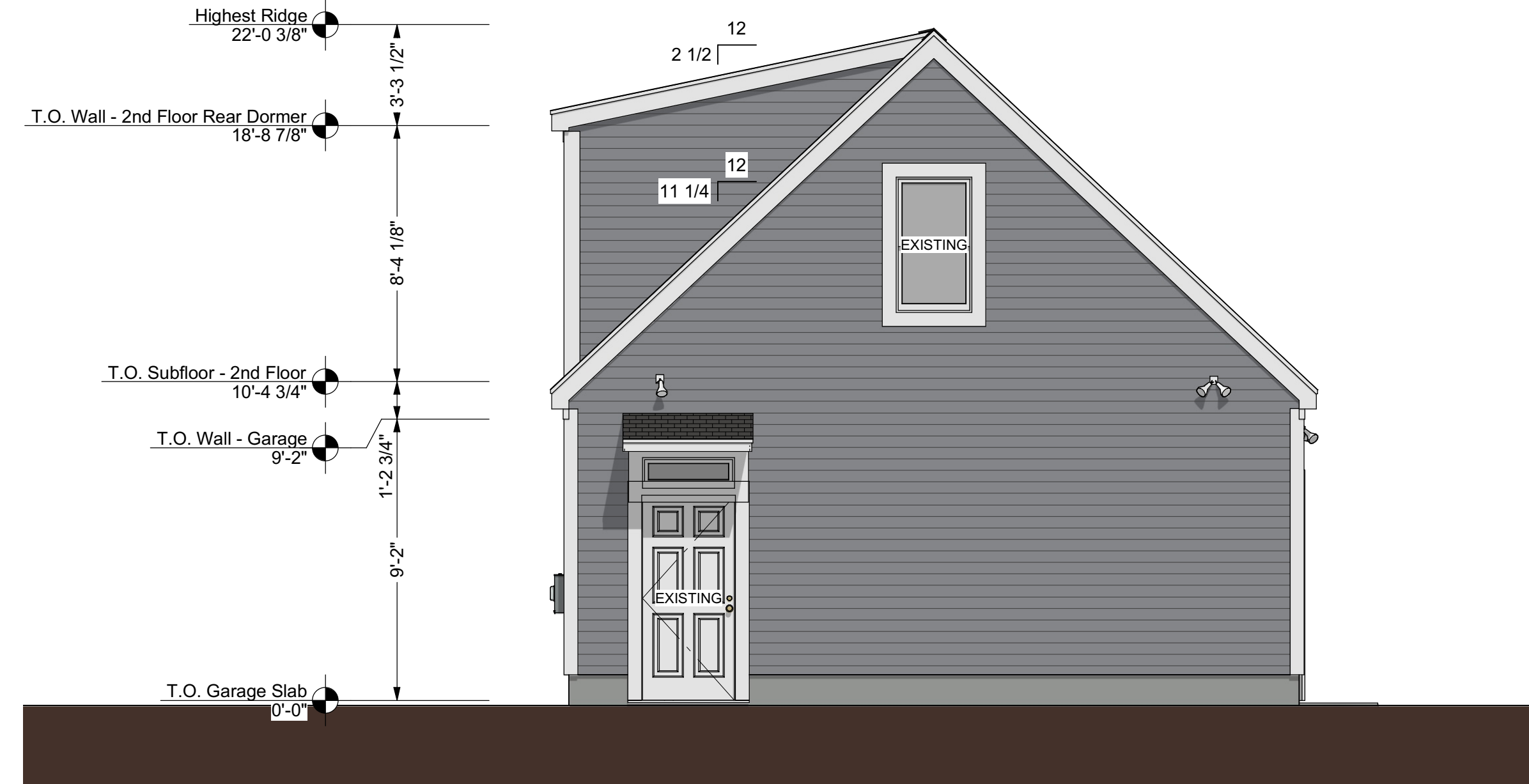
**CONSTRUCTION NOTES: EXTERIOR**

**EXTERIOR TRIM**  
 1X12 KICKS UNDER DOORS AND 1X4 CASINGS ON DOORS  
 EXTERIOR DOOR

**EXTERIOR WINDOWS AND DOORS**  
 TWO ANDERSEN FWG6068 SLIDERS WITH CLAD WHITE EXTERIOR, PRE-FINISHED WHITE INTERIOR, NO GRILLES, SLIDING SCREEN, OAK THRESHOLD AND NEWBURY STYLE HARDWARE.  
 TEMPERED SASH ON TWO EXISTING WINDOWS THAT WILL BE IN BATHROOM  
 SLIDERS WILL HAVE PRESSURE TREATED RAILINGS ON EXTERIOR FOR SAFETY OF 2X4 TOP AND BOTTOM RAILS WITH 2X2 BALUSTERS

**EXTERIOR PAINTING**  
 PREP, CAULK AND TWO COATS OF FINISH ON NEW AZEK TRIM, AND NEW CLAPBOARD PATCHING.

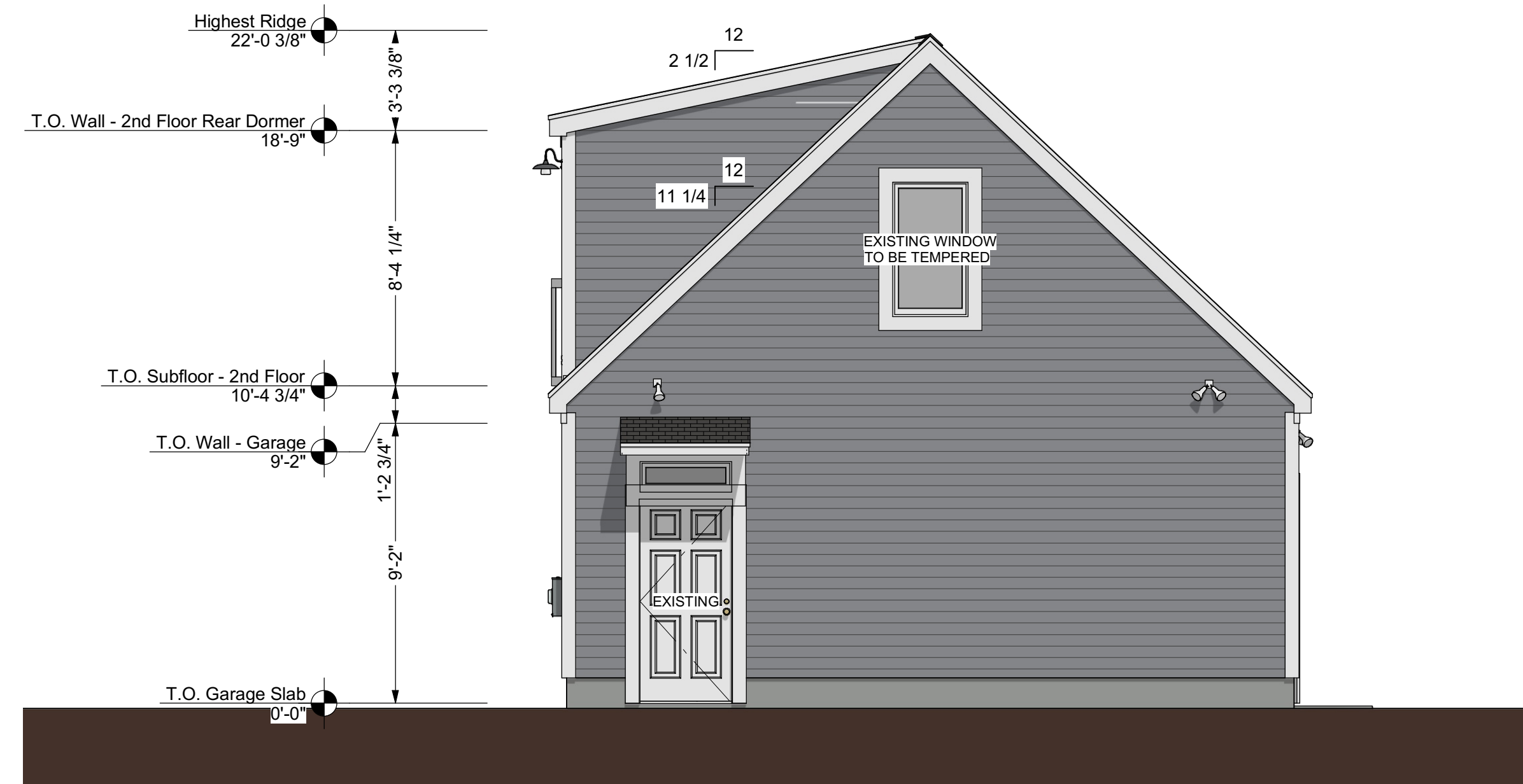
**SIDEWALL:** WESTERN RED CEDAR FJP CLAPBOARDS WITH COURSING TO MATCH EXISTING OVER HOUSEWRAP UNDERLAY WITH WHITE ALUMINUM DRIP CAPS DOOR HEAD CASINGS. SIDEWALL WORK IS LIMITED TO PATCHING AT NEW SLIDER LOCATIONS.



**B** EXISTING LEFT ELEVATION  
 A2.1 SCALE: 1/4" = 1'-0"



**C** PROPOSED FRONT ELEVATION  
 A2.1 SCALE: 1/4" = 1'-0"



**D** PROPOSED LEFT ELEVATION  
 A2.1 SCALE: 1/4" = 1'-0"

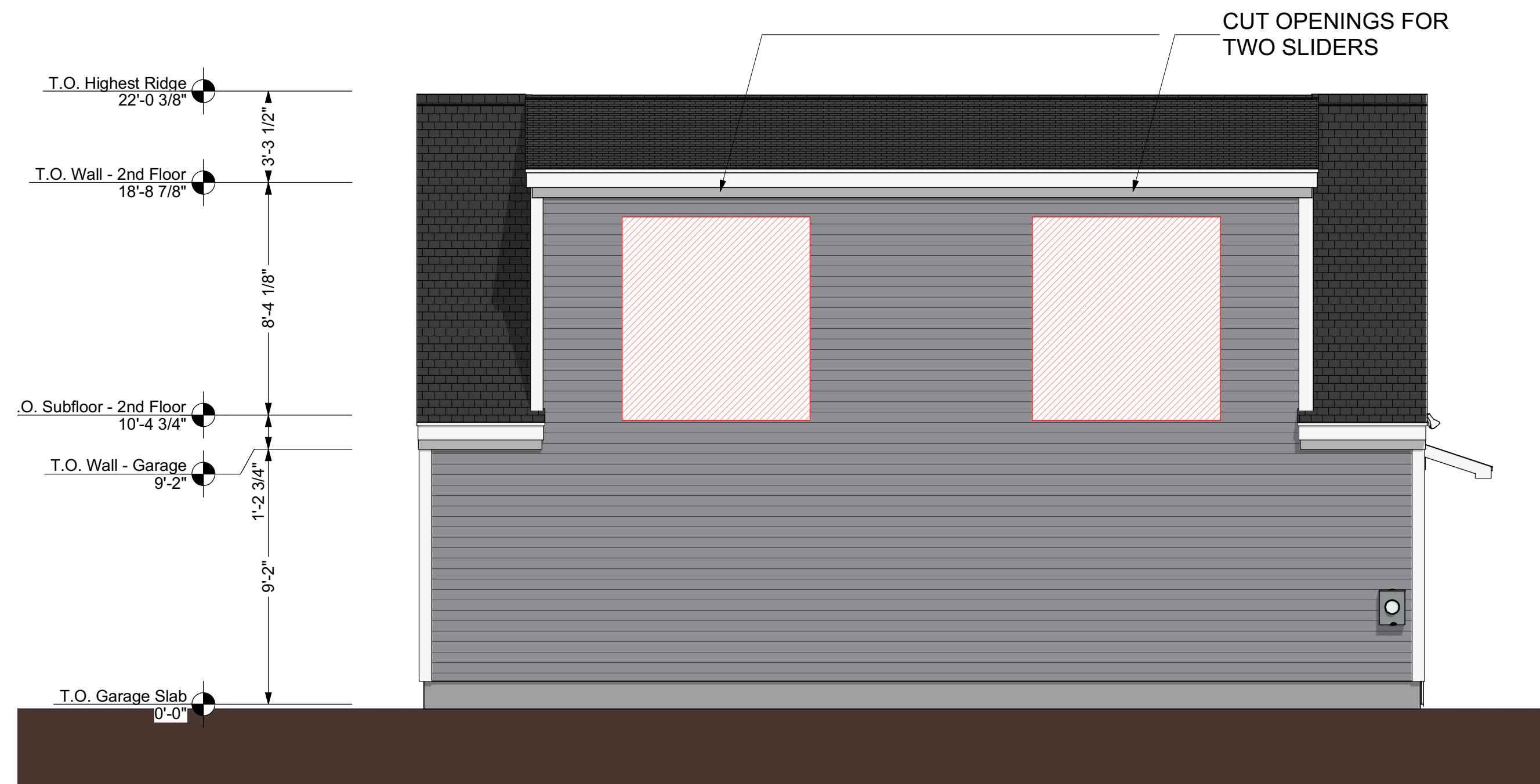


**DEMOLITION NOTES: EXTERIOR**

- CUT OPENINGS FOR TWO SLIDERS
- REMOVE ALL DEMOLITION AND CONSTRUCTION DEBRIS FROM SITE

**EXISTING CONDITIONS: EXTERIOR**

SIDING: WOOD CLAPBOARD SIDING, 4 1/2"  
 ROOF: ARCHITECTURAL SHINGLES, GREY  
 CORNER BOARD: 1x5/1x6 WHITE  
 CASING, FRIEZE, SOFFIT: 1x6 WHITE  
 RAKES: 1x8 WHITE



**A** EXISTING REAR ELEVATION  
 A2.2 SCALE: 1/4" = 1'-0"

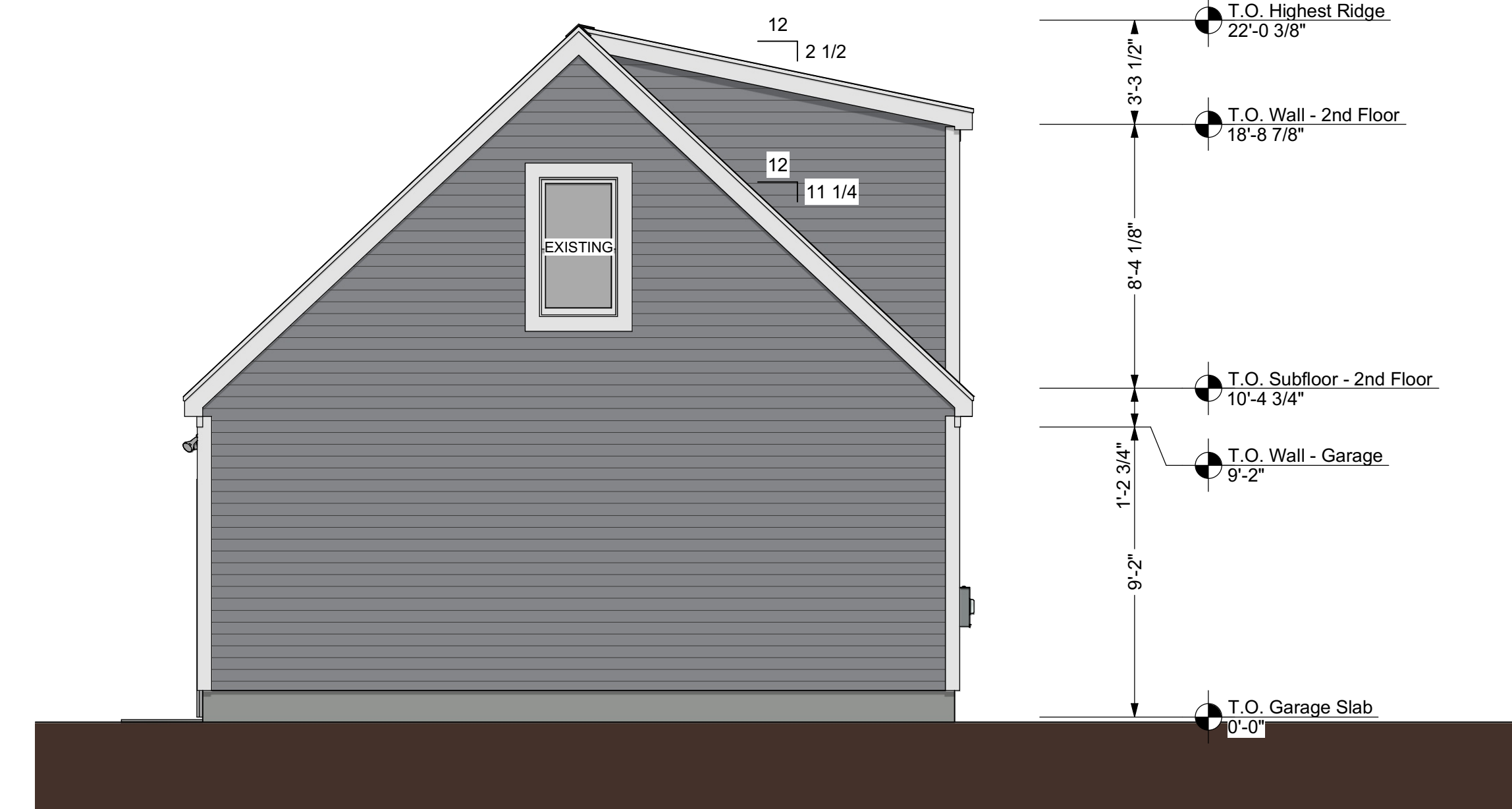
**CONSTRUCTION NOTES: EXTERIOR**

**EXTERIOR TRIM**  
 1X12 KICKS UNDER DOORS AND 1X4 CASINGS ON DOORS  
 EXTERIOR DOOR

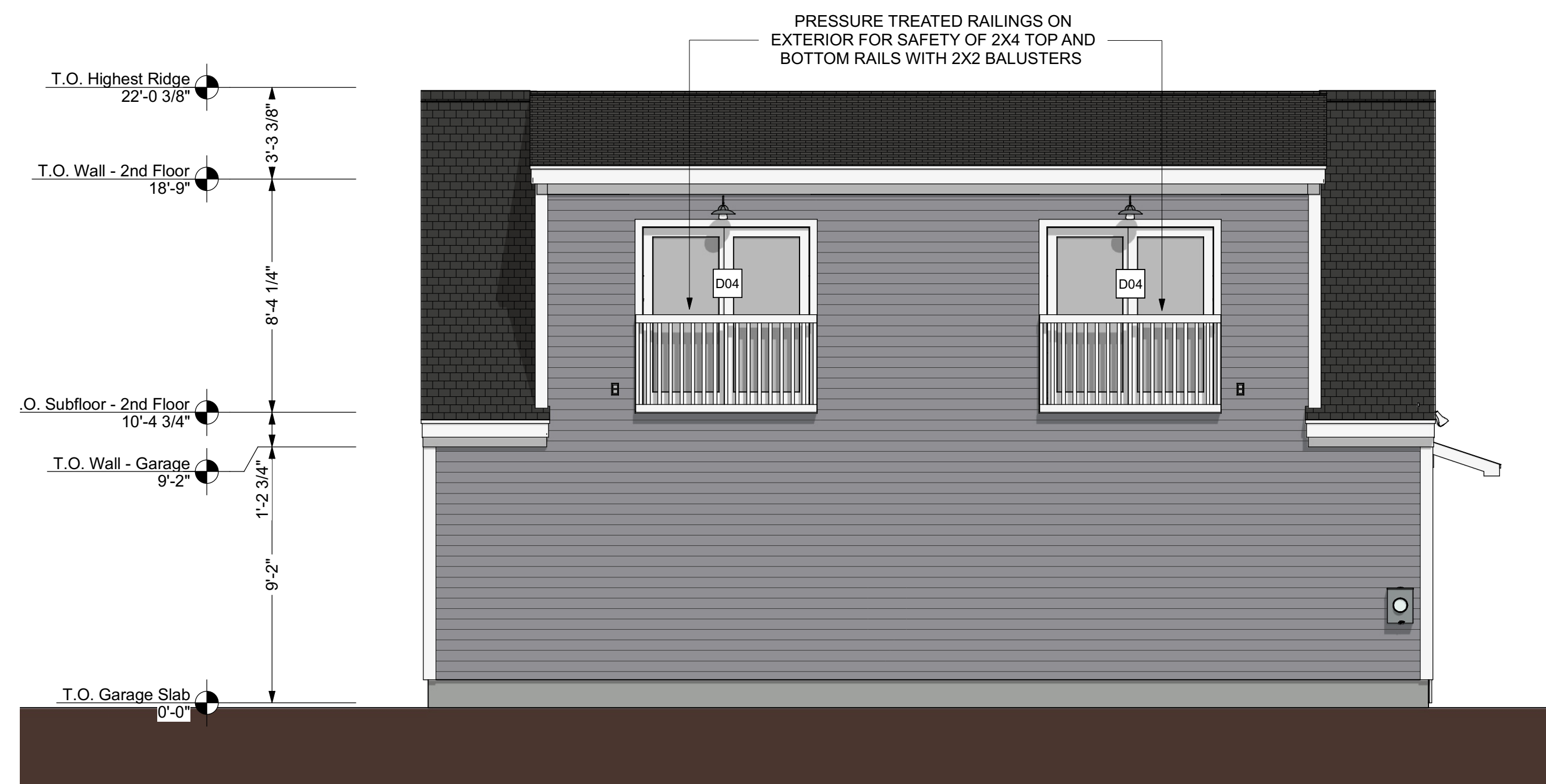
**EXTERIOR WINDOWS AND DOORS**  
 TWO ANDERSEN FWG6068 SLIDERS WITH CLAD WHITE EXTERIOR, PRE-FINISHED WHITE INTERIOR, NO GRILLES, SLIDING SCREEN, OAK THRESHOLD AND NEWBURY STYLE HARDWARE.  
 TEMPERED SASH ON TWO EXISTING WINDOWS THAT WILL BE IN BATHROOM  
 SLIDERS WILL HAVE PRESSURE TREATED RAILINGS ON EXTERIOR FOR SAFETY OF 2X4 TOP AND BOTTOM RAILS WITH 2X2 BALUSTERS

**EXTERIOR PAINTING**  
 PREP, CAULK AND TWO COATS OF FINISH ON NEW AZEK TRIM, AND NEW CLAPBOARD PATCHING.

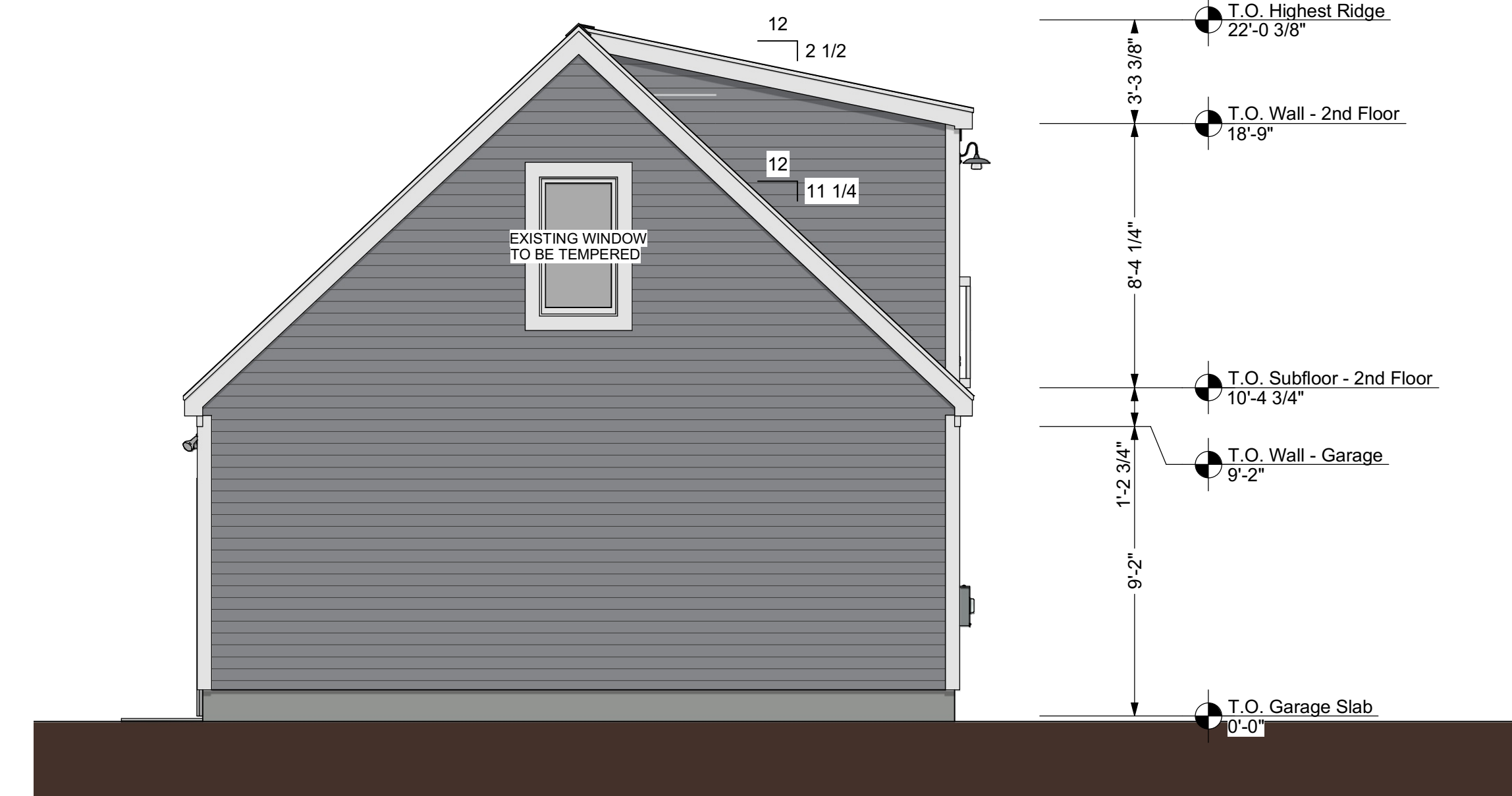
**SIDEWALL:** WESTERN RED CEDAR FJP CLAPBOARDS WITH COURSING TO MATCH EXISTING OVER HOUSEWRAP UNDERLAY WITH WHITE ALUMINUM DRIP CAPS DOOR HEAD CASINGS. SIDEWALL WORK IS LIMITED TO PATCHING AT NEW SLIDER LOCATIONS.



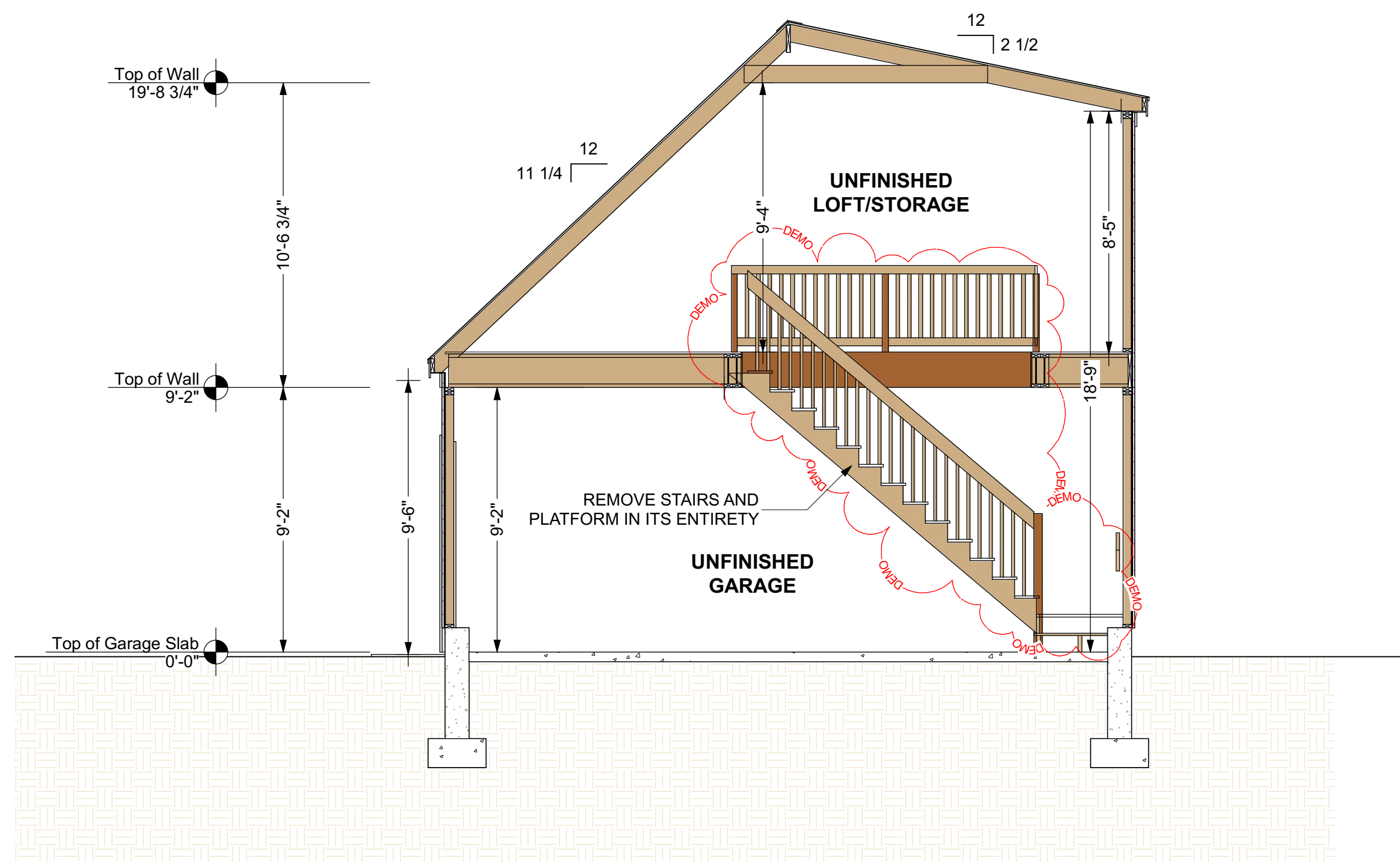
**B** EXISTING RIGHT ELEVATION  
 A2.2 SCALE: 1/4" = 1'-0"



**C** PROPOSED REAR ELEVATION  
 A2.2 SCALE: 1/4" = 1'-0"



**D** PROPOSED RIGHT ELEVATION  
 A2.2 SCALE: 1/4" = 1'-0"



**A**  
A2.3 **EXISTING SECTION THRU STAIR**  
SCALE: 1/4" = 1'-0"

**DEMOLITION NOTES:**

- REMOVE STAIRS AND PLATFORM
- REMOVE OVERHEAD TRACK IN ORDER TO CHANGE STAIR OPENING AND INSULATE AND PLASTER GARAGE CEILING AND REINSTALL WHEN COMPLETED
- CUT OPENINGS FOR TWO SLIDERS AND NEW STAIR HOLE
- REMOVE ALL DEMOLITION AND CONSTRUCTION DEBRIS FROM SITE

**CONSTRUCTION NOTES: FRAMING**

R602.3 DESIGN AND CONSTRUCTION. EXTERIOR WALLS OF WOOD-FRAME CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CHAPTER AND FIGURES R602.3(1) AND R602.3(2) OR IN ACCORDANCE WITH AF&PA'S NDS. COMPONENTS OF EXTERIOR WALLS SHALL BE FASTENED IN ACCORDANCE WITH TABLES R602.3(1) THROUGH R602.3(4). STRUCTURAL WALL SHEATHING SHALL BE FASTENED DIRECTLY TO STRUCTURAL FRAMING MEMBERS. EXTERIOR WALL COVERINGS SHALL BE CAPABLE OF RESISTING THE WIND PRESSURES LISTED IN TABLE R301.2(2) ADJUSTED FOR HEIGHT AND EXPOSURE USING TABLE R301.2(3). WOOD STRUCTURAL PANEL SHEATHING USED FOR EXTERIOR WALLS SHALL CONFORM TO THE REQUIREMENTS OF TABLE R602.3(3).

STUDS SHALL BE CONTINUOUS FROM SUPPORT AT THE SOLE PLATE TO A SUPPORT AT THE TOP PLATE TO RESIST LOADS PERPENDICULAR TO THE WALL. THE SUPPORT SHALL BE A FOUNDATION OR FLOOR, CEILING OR ROOF DIAPHRAGM OR SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.

EXCEPTION: JACK STUDS, TRIMMER STUDS AND CRIPPLE STUDS AT OPENINGS IN WALLS THAT COMPLY WITH TABLES R502.5(1) AND R502.5(2).

**CONSTRUCTION NOTES: SECTIONS**

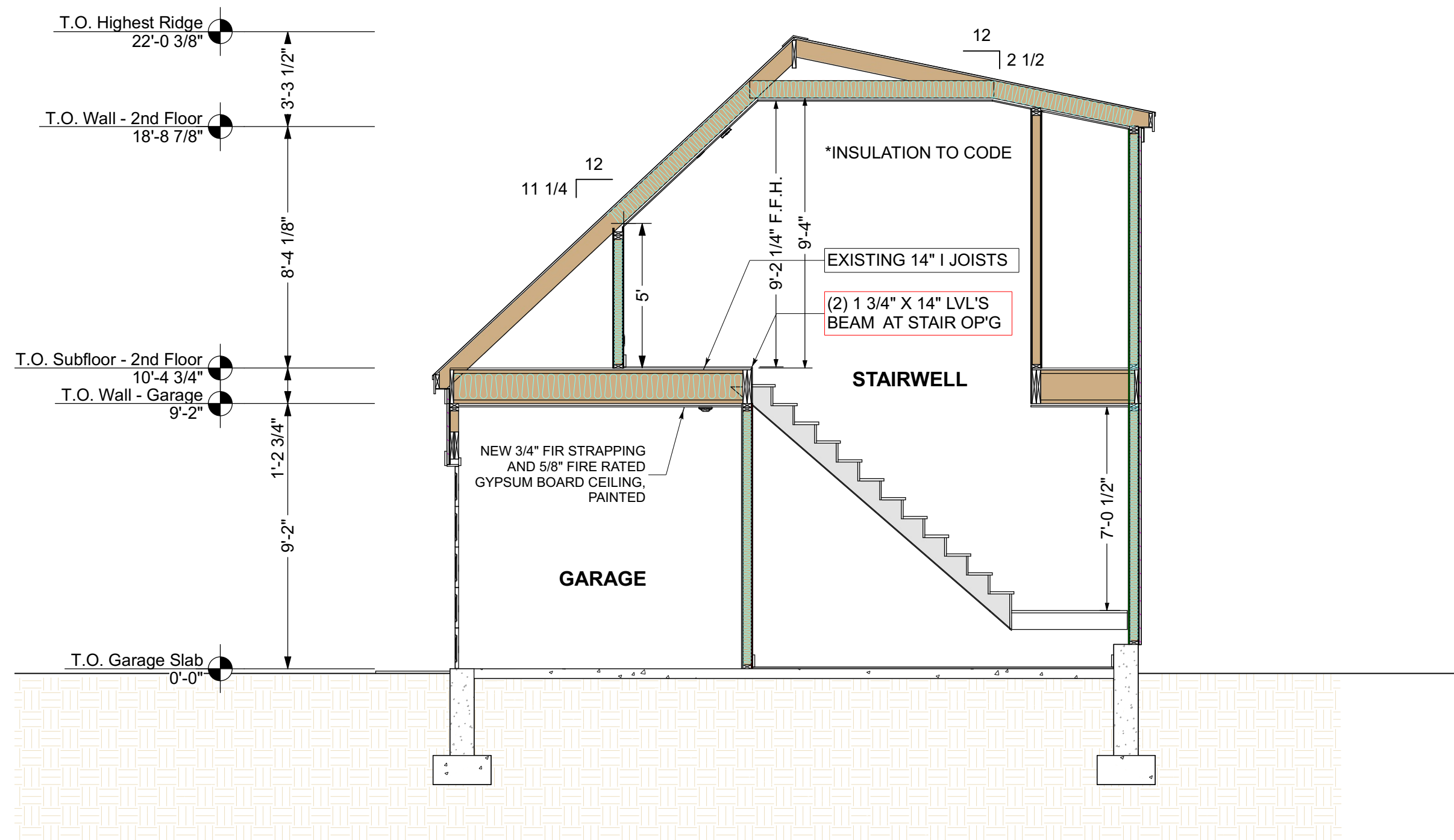
**FRAME:**  
GARAGE LEVEL  
INTERIOR WALLS – 2X4 STUDS 16" ON CENTER WITH PRESSURE TREATED SOLE PLATES TO CREATE HALLWAY AND ENCLOSE STAIRS  
STRAPPING – 1X3 SPRUCE STRAPPING 16" ON CENTER ON GARAGE CEILING  
SECOND FLOOR  
EXTERIOR WALLS – 2X4 STUDS AS NEEDED FOR TWO SLIDER OPENINGS WITH 1/2" CDX EXTERIOR SHEATHING AND NEW HEADERS  
INTERIOR WALLS – 2X4 STUDS 16" ON CENTER

**BLUEBOARD & PLASTER:** 1/2" BLUEBOARD ON WALLS AND CEILING WITH SMOOTH SKIM COAT OF PLASTER EXCEPT WHERE 5/8" FIRE CODE IS REQUIRED. INCLUDES GARAGE CEILING.

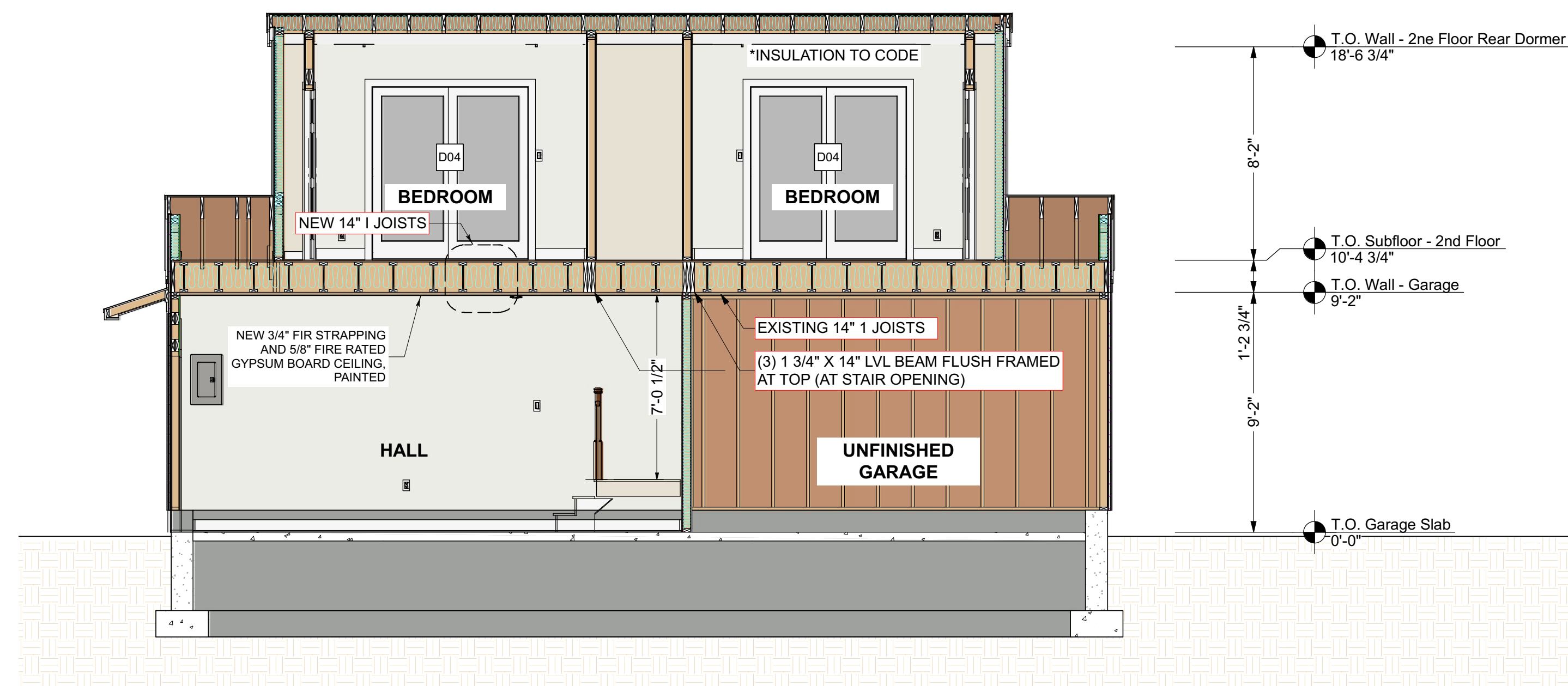
**INSULATION:**  
• EXTERIOR ENVELOPE INSULATION TO CODE

**SPECIAL NOTE:**

ALL EXISTING FRAMING MEMBERS SIZES AND DIRECTION OF JOISTS TO BE CONFIRMED IN FIELD

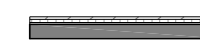





**B**  
A2.3 **PROPOSED SECTION THRU STAIR**  
SCALE: 1/4" = 1'-0"



**C**  
A2.3 **PROPOSED SECTION THRU LANDING**  
SCALE: 1/4" = 1'-0"

**WALL LEGEND:**

-  EXTERIOR 2X4 WALL, EXISTING
-  EXTERIOR 2X4 WALL, EXISTING WITH NEW INTERIOR FINISH
-  INTERIOR 2X4 WALL, PROPOSED
-  INTERIOR 2X4 FIRE-RATED WALL, PROPOSED

**DIMENSIONS:**

- ALL PROPOSED DIMENSIONS ARE TAKEN FROM STUD TO STUD

**INTERIOR NOTES:**

**TILE:** TILE FLOORING IN BATHROOM.

**FLOORING:**

- WOOD FLOORING: 2-1/4" RED OAK SELECT FLOORING INSTALLED, SANDED, AND FINISHED WITH THREE COATS OF POLYURETHANE ON LOWER STAIR PLATFORM. FINISH STAIR TREADS IN SAME MANNER.
- LAMINATE FLOORING: VINYL LAMINATE PLANK FLOORING INSTALLED IN UPPER HALLWAY AND BOTH BEDROOMS

**BLUEBOARD & PLASTER:** 1/2" BLUEBOARD ON WALLS AND CEILING WITH SMOOTH SKIM COAT OF PLASTER EXCEPT WHERE 5/8" FIRE CODE IS REQUIRED. INCLUDES GARAGE CEILING.

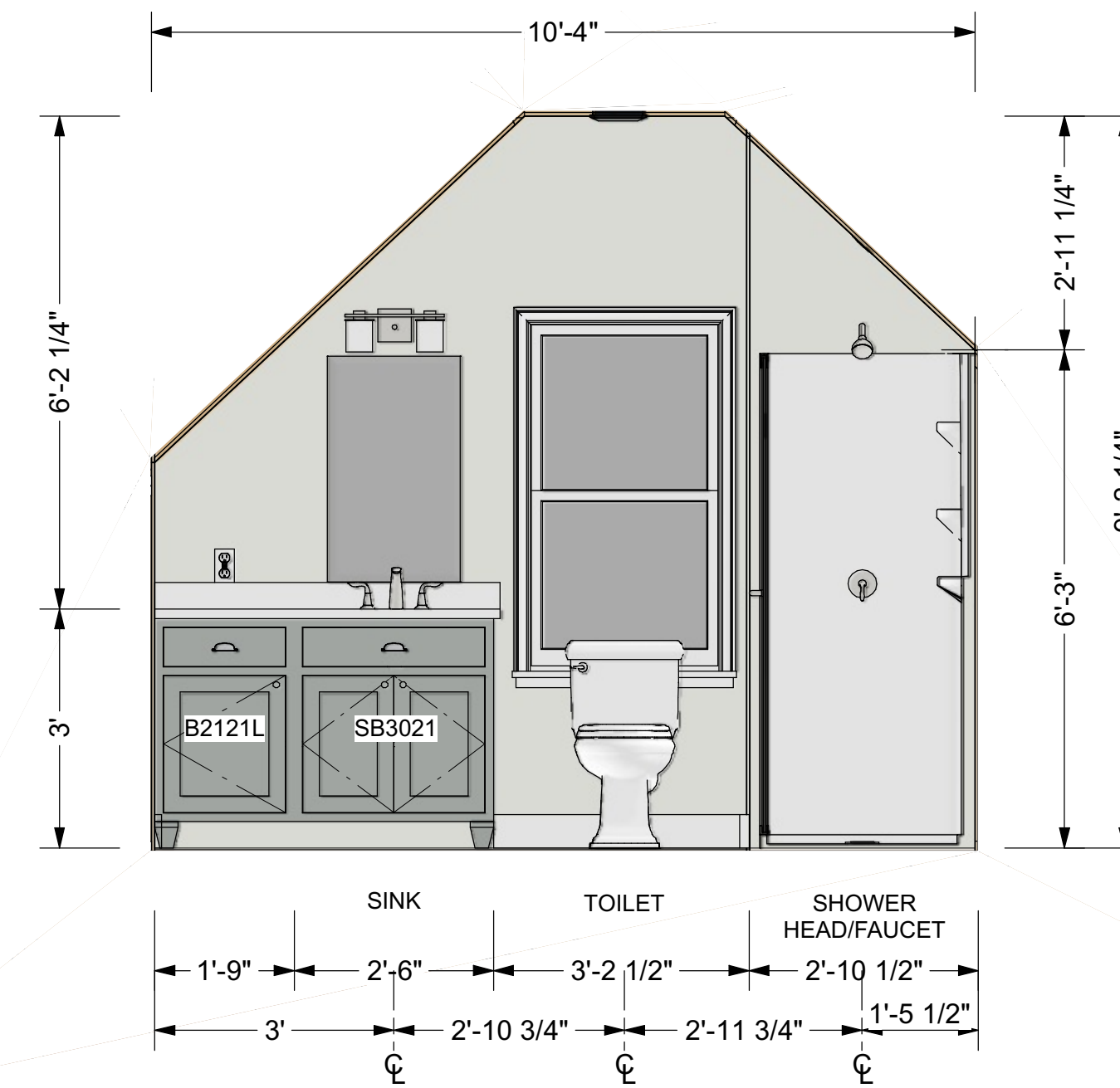
**TILE BACKER BOARD:** TILE BACKER BOARD ON BATHROOM FLOORS AGE CEILING.

**TOILET AND BATH ACCESSORIES:** ALL TOILET AND BATH ACCESSORIES INSTALLED BY ENCORE.

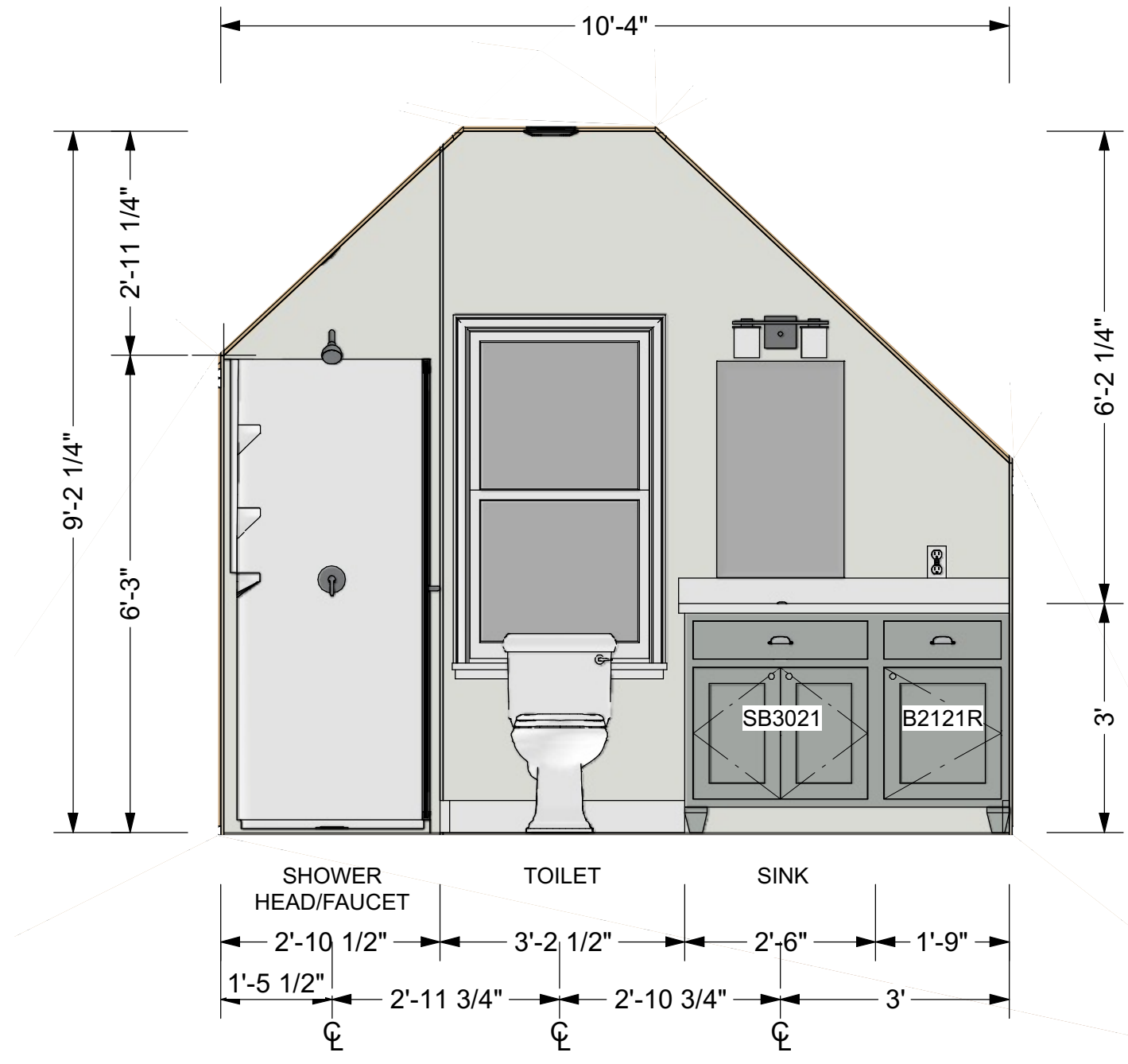
**MIRRORS:** TWO MIRRORS 42" TALL BY THE WIDTH OF EACH VANITY WITH POLISHED EDGES FURNISHED AND INSTALLED

**INTERIOR FINISH:**

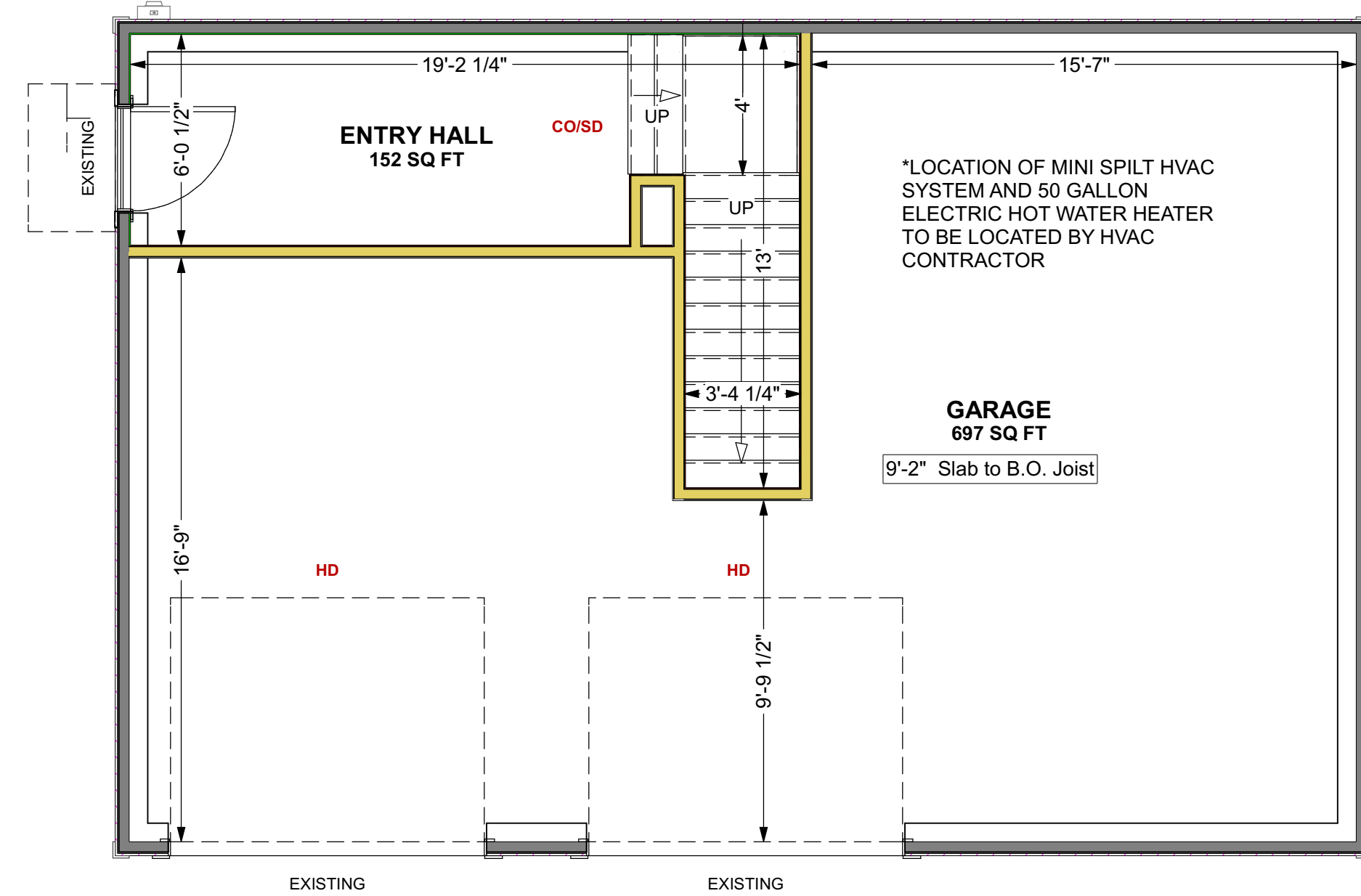
- INTERIOR DOORS TO BE 6-PANEL SOLID CORE MASONITE.
- INTERIOR TRIM TO BE 1X4 POPLAR CASINGS WITH 1X5 POPLAR BASE.
- STAIR PARTS: RED OAK RAILING. TREADS TO BE RED OAK WITH POPLAR SKIRT AND RISERS.
- VANITIES: TO BE SELECTED BY OWNER
- VANITY TOPS: TO BE SELECTED BY OWNER
- CABINETY HARDWARE: KNOBS AND PULLS TO BE SELECTED BY OWNER
- INTERIOR PAINTING TO BE TWO COATS OF FINISH ON PRE-PRIMED WOOD AND ONE COAT PRIMER AND TWO COATS OF FINISH ON UNPRIMED WOOD. PRIMER AND TWO COATS OF FINISH ON PLASTER WALLS AND CEILINGS. SPRAY ONE COAT OF PRIMER AND ONE COAT OF FINISH ON GARAGE CEILING.
- FINISH HARDWARE: TO BE SELECTED BY OWNER
- CLOSET SHELVING: TO BE SELECTED BY OWNER



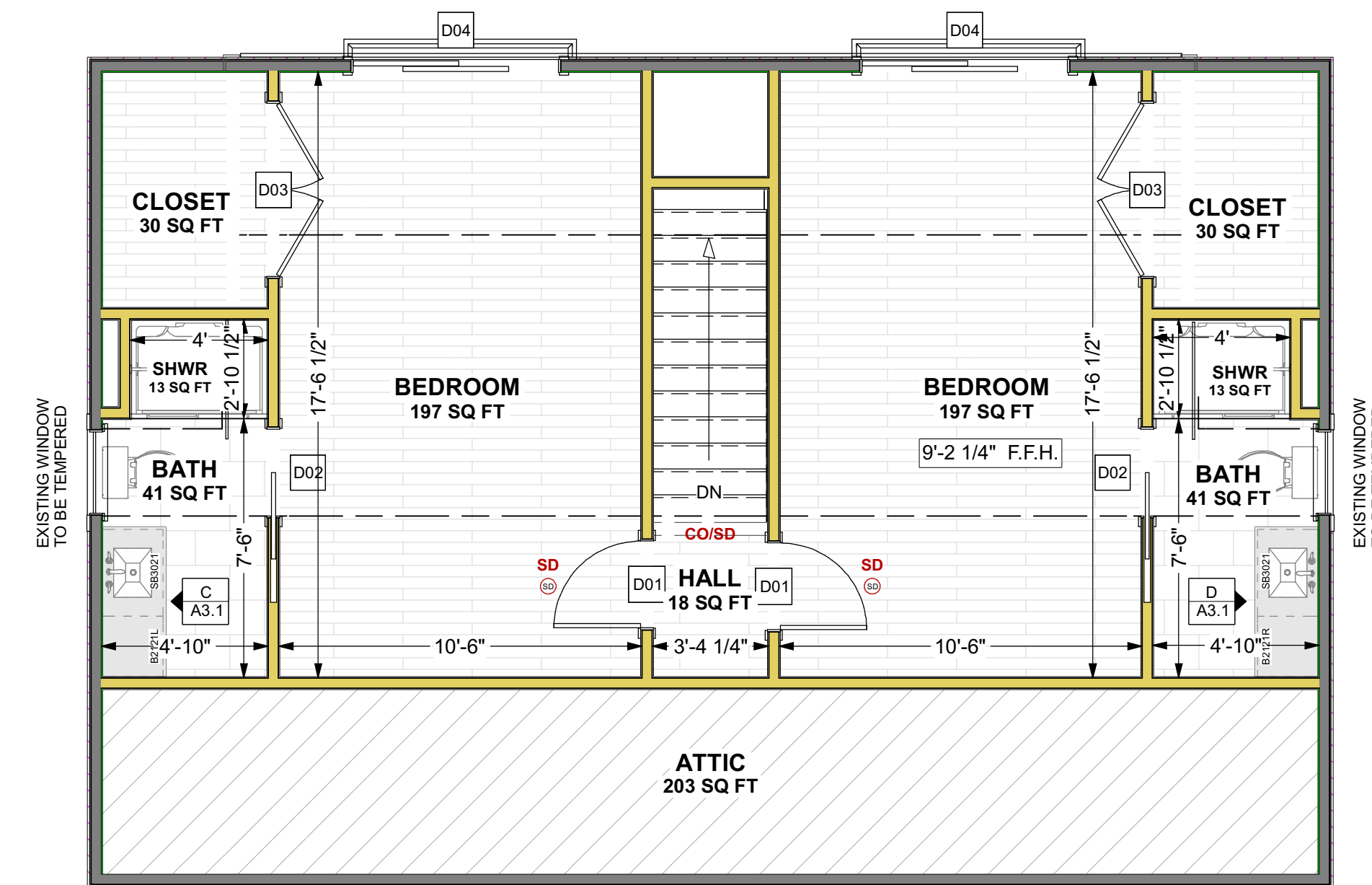
**C BATH ELEVATION**  
A3.1 SCALE: 1/2" = 1'-0"



**D BATH ELEVATION**  
A3.1 SCALE: 1/2" = 1'-0"



**A PROPOSED FIRST FLOOR FINISH PLAN**  
A3.1 SCALE: 1/4" = 1'-0"



**B PROPOSED SECOND FLOOR FINISH PLAN**  
A3.1 SCALE: 1/4" = 1'-0"

**R602.3 DESIGN AND CONSTRUCTION.**  
 EXTERIOR WALLS OF WOOD-FRAME CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CHAPTER AND FIGURES R602.3(1) AND R602.3(2) OR IN ACCORDANCE WITH AF&PA'S NDS. COMPONENTS OF EXTERIOR WALLS SHALL BE FASTENED IN ACCORDANCE WITH TABLES R602.3(1) THROUGH R602.3(4). STRUCTURAL WALL SHEATHING SHALL BE FASTENED DIRECTLY TO STRUCTURAL FRAMING MEMBERS. EXTERIOR WALL COVERINGS SHALL BE CAPABLE OF RESISTING THE WIND PRESSURES LISTED IN TABLE R301.2(2) ADJUSTED FOR HEIGHT AND EXPOSURE USING TABLE R301.2(3). WOOD STRUCTURAL PANEL SHEATHING USED FOR EXTERIOR WALLS SHALL CONFORM TO THE REQUIREMENTS OF TABLE R602.3(3).

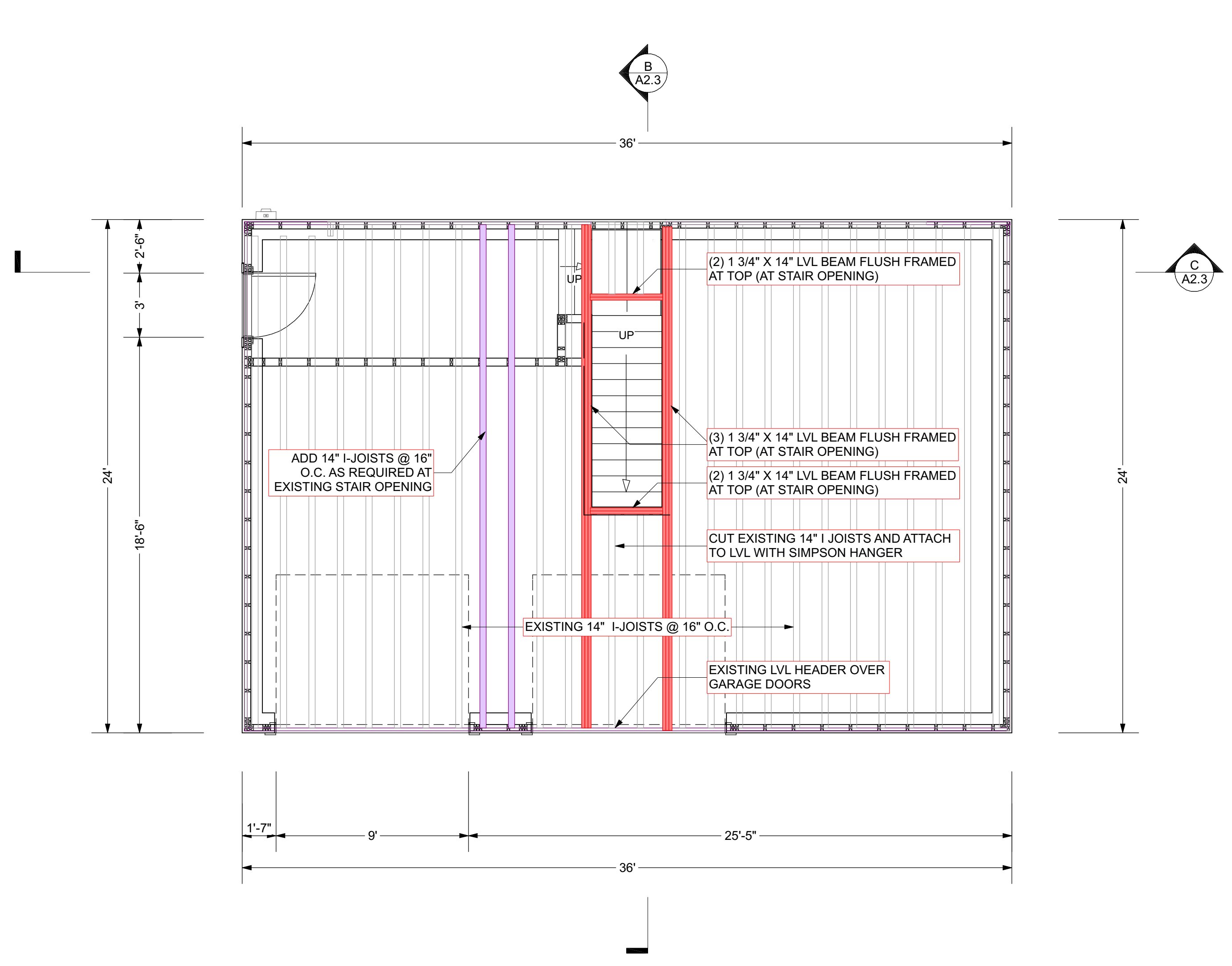
STUDS SHALL BE CONTINUOUS FROM SUPPORT AT THE SOLE PLATE TO A SUPPORT AT THE TOP PLATE TO RESIST LOADS PERPENDICULAR TO THE WALL. THE SUPPORT SHALL BE A FOUNDATION OR FLOOR, CEILING OR ROOF DIAPHRAGM OR SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.

EXCEPTION: JACK STUDS, TRIMMER STUDS AND CRIPPLE STUDS AT OPENINGS IN WALLS THAT COMPLY WITH TABLES R502.5(1) AND R502.5(2).

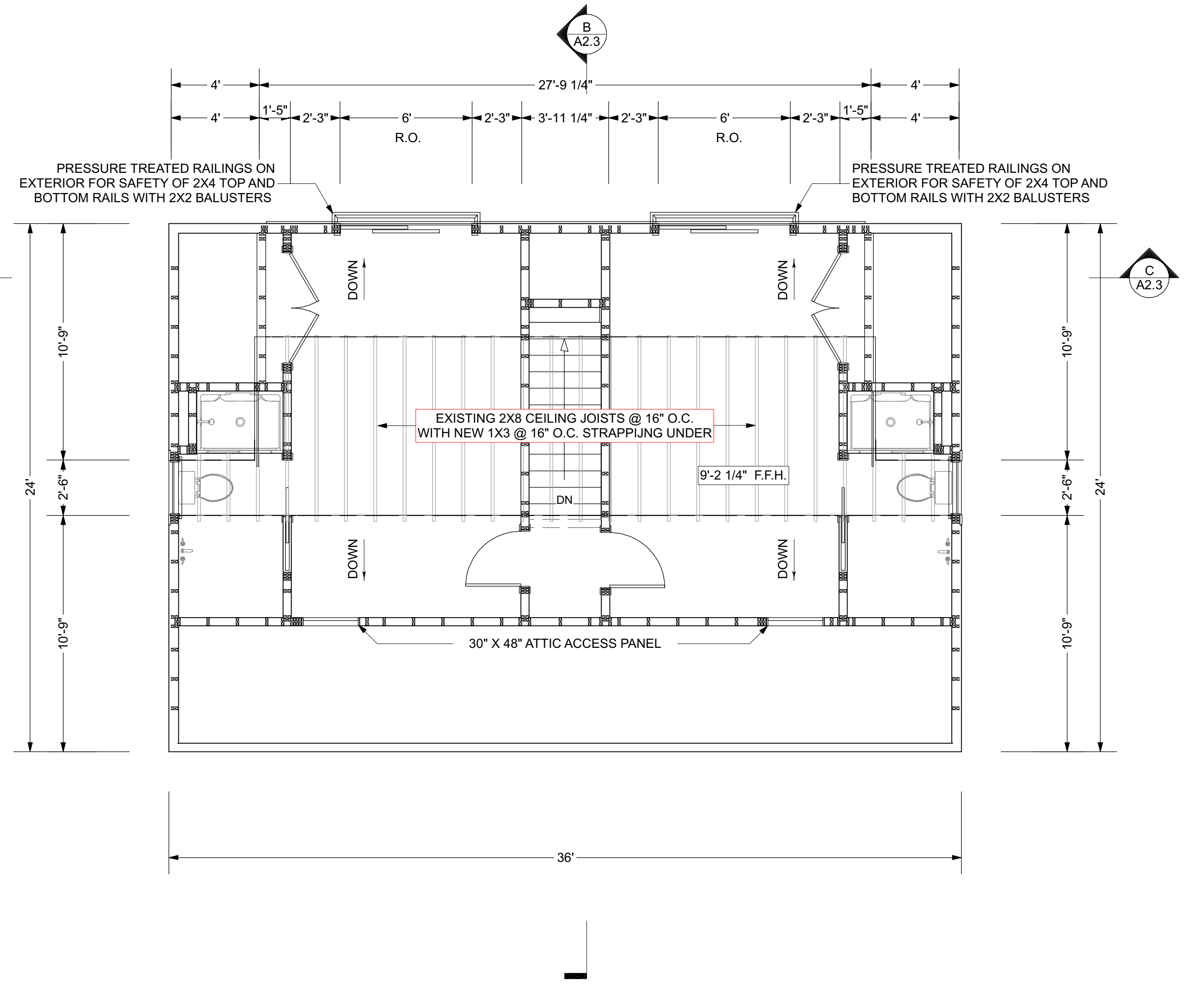
**CONSTRUCTION NOTES: FRAMING**

FRAME:  
**GARAGE LEVEL**  
 INTERIOR WALLS – 2X4 STUDS 16" ON CENTER WITH PRESSURE TREATED SOLE PLATES TO CREATE HALLWAY AND ENCLOSE STAIRS  
 STRAPPING – 1X3 SPRUCE STRAPPING 16" ON CENTER ON GARAGE CEILING  
**SECOND FLOOR**  
 EXTERIOR WALLS – 2X4 STUDS AS NEEDED FOR TWO SLIDER OPENINGS WITH 1/2" CDX EXTERIOR SHEATHING AND NEW HEADERS  
 INTERIOR WALLS – 2X4 STUDS 16" ON CENTER  
 STRAPPING – 1X3 SPRUCE STRAPPING 16" ON CENTER ON 2ND FLOOR CEILING

**SPECIAL NOTE:**  
 ALL EXISTING FRAMING MEMBERS SIZES AND DIRECTION OF JOISTS TO BE CONFIRMED IN FIELD



**A**  
**S1** PROPOSED SECOND FLOOR FRAMING PLAN  
 SCALE: 1/4" = 1'-0"



**B**  
**S1** PROPOSED SECOND FLOOR CEILING FRAMING PLAN  
 SCALE: 1/4" = 1'-0"

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PROPOSED FRAMING PLANS

SHEET TITLE:

PROJECT ADDRESS:  
 Kimball Leslie  
 452 Long Pond Drive  
 Harwich, MA 02645

REV. DATE:  
 10/9/2020

SHEET:  
**S1**

**SPECIAL NOTE: RECOMMEND A WALK-THRU AFTER ROUGH FRAMING IS COMPLETE TO DETERMINE FINAL LOCATION OF OUTLETS, SWITCHES, AND LIGHTS WITH OWNERS, GENERAL CONTRACTOR REP AND ELECTRICIAN.**

**SECTION R315 - CARBON MONOXIDE ALARMS**

R315.1 GENERAL. CARBON MONOXIDE ALARMS SHALL COMPLY WITH SECTION R315  
 R315.1.1 LISTINGS. CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 2034. COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 2034 AND UL 217.  
 R315.2 WHERE REQUIRED, CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R315.2.1 AND R315.2.2.  
 R315.2.1 NEW CONSTRUCTION. FOR NEW CONSTRUCTION, CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN DWELLING UNITS WHERE EITHER OR BOTH OF THE FOLLOWING CONDITIONS EXIST.  
 THE DWELLING UNIT CONTAINS A FUEL-FIRED APPLIANCE. THE DWELLING UNIT HAS AN ATTACHED GARAGE WITH AN OPENING THAT COMMUNICATES WITH THE DWELLING UNIT.  
 R315.3 LOCATION. CARBON MONOXIDE ALARMS IN DWELLING UNITS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM.  
 R315.4 COMBINATION ALARMS. COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF CARBON MONOXIDE ALARMS.

**VENTILATION NOTES:**

ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR

ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 150 SQ. FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN AND SHALL BE COVERED WITH GALVANIZED WIRE SCREEN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

**SECTION R314 - SMOKE ALARMS**

R314.1 GENERAL. SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND SECTION R314.  
 R314.1.1 LISTINGS. SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034.  
 R314.2 WHERE REQUIRED, SMOKE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH THIS SECTION.  
 R314.2.1 NEW CONSTRUCTION. SMOKE ALARMS SHALL BE PROVIDED IN DWELLING UNITS.  
 R314.3 LOCATION. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:  
 IN EACH SLEEPING ROOM.  
 OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.  
 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AND NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.  
 4. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET (914 MM) HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY SECTION R314.3.

**HVAC NOTES:**

TWO 1-TON MINI-SPLIT WALL MOUNTED HEAT AND COOLING UNITS

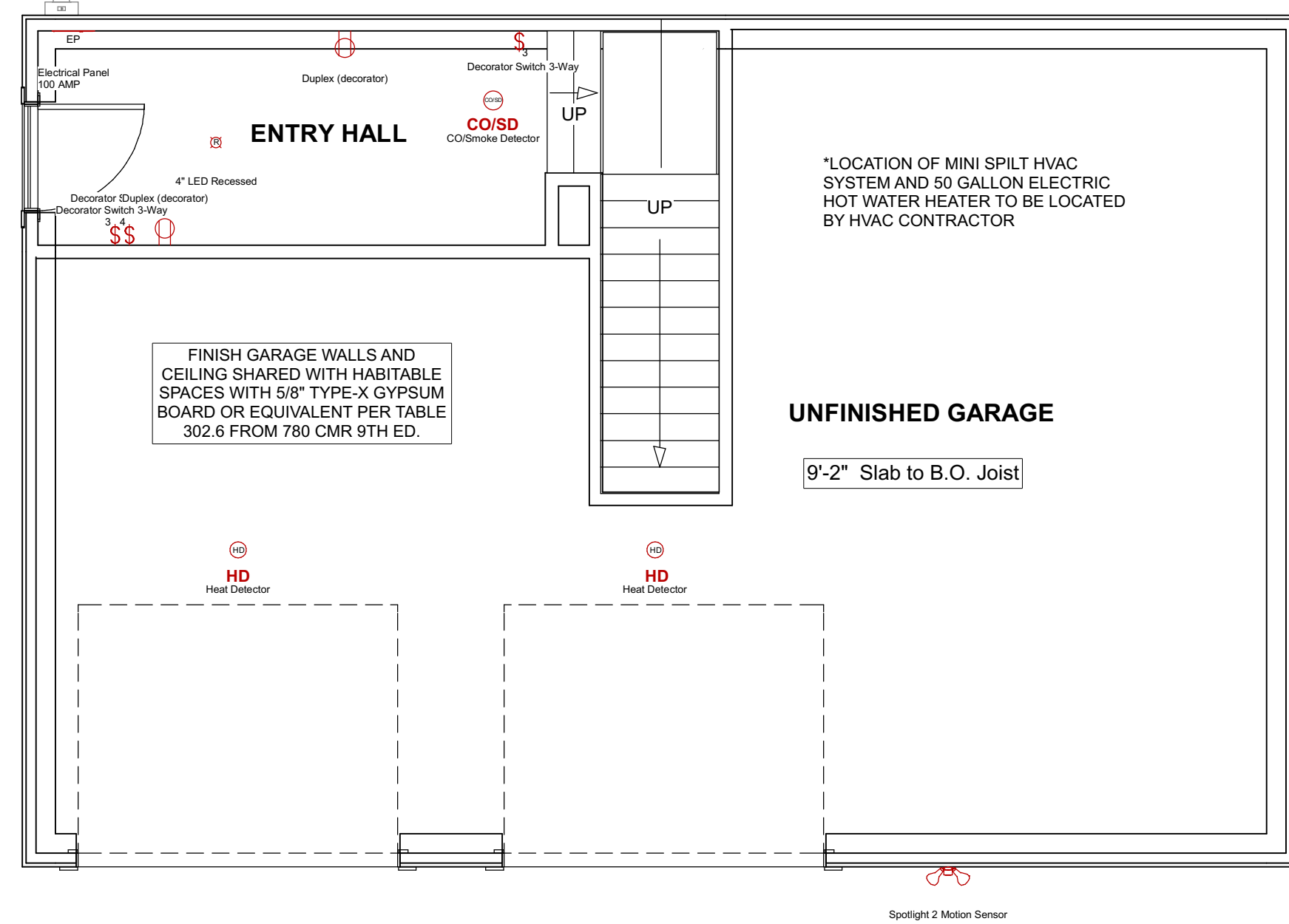
**PLUMBING NOTES:**

PROVIDE NEW WATER PIPING, DRAINS AND VENTS AS REQUIRED. INSULATION OF EXPOSED HOT WATER PIPING INCLUDED.  
 BATHROOM 1  
 ONE FIBERGLASS SHOWER UNIT  
 ONE SHOWER ROUGH-IN VALVE WITH TRIM  
 ONE STANDARD SHOWER DRAIN WITH STRAINER  
 ONE UNDERMOUNT LAV  
 ONE LAV FAUCET  
 ONE ELONGATED WATER CLOSET WITH SEAT  
 BATHROOM 2  
 ONE FIBERGLASS SHOWER UNIT  
 ONE SHOWER ROUGH-IN VALVE WITH TRIM  
 ONE STANDARD SHOWER DRAIN WITH STRAINER  
 ONE UNDERMOUNT LAV  
 ONE LAV FAUCET  
 ONE ELONGATED WATER CLOSET WITH SEAT  
 MISCELLANEOUS  
 ONE 50-GALLON ELECTRIC HOT WATER HEATER  
 DOMESTIC WATER PIPING FROM HOUSE UNDERGROUND TO GARAGE FOR THE NEW BATHROOMS  
 TRENCHING  
 NOTE  
 ALL DRAIN WASTE AND VENT TO BE SCHEDULE 40 PVC. ALL WATER PIPING TO BE TYPE L COPPER TUBING WITH LEAD FREE SOLDER OR PEX TUBING.

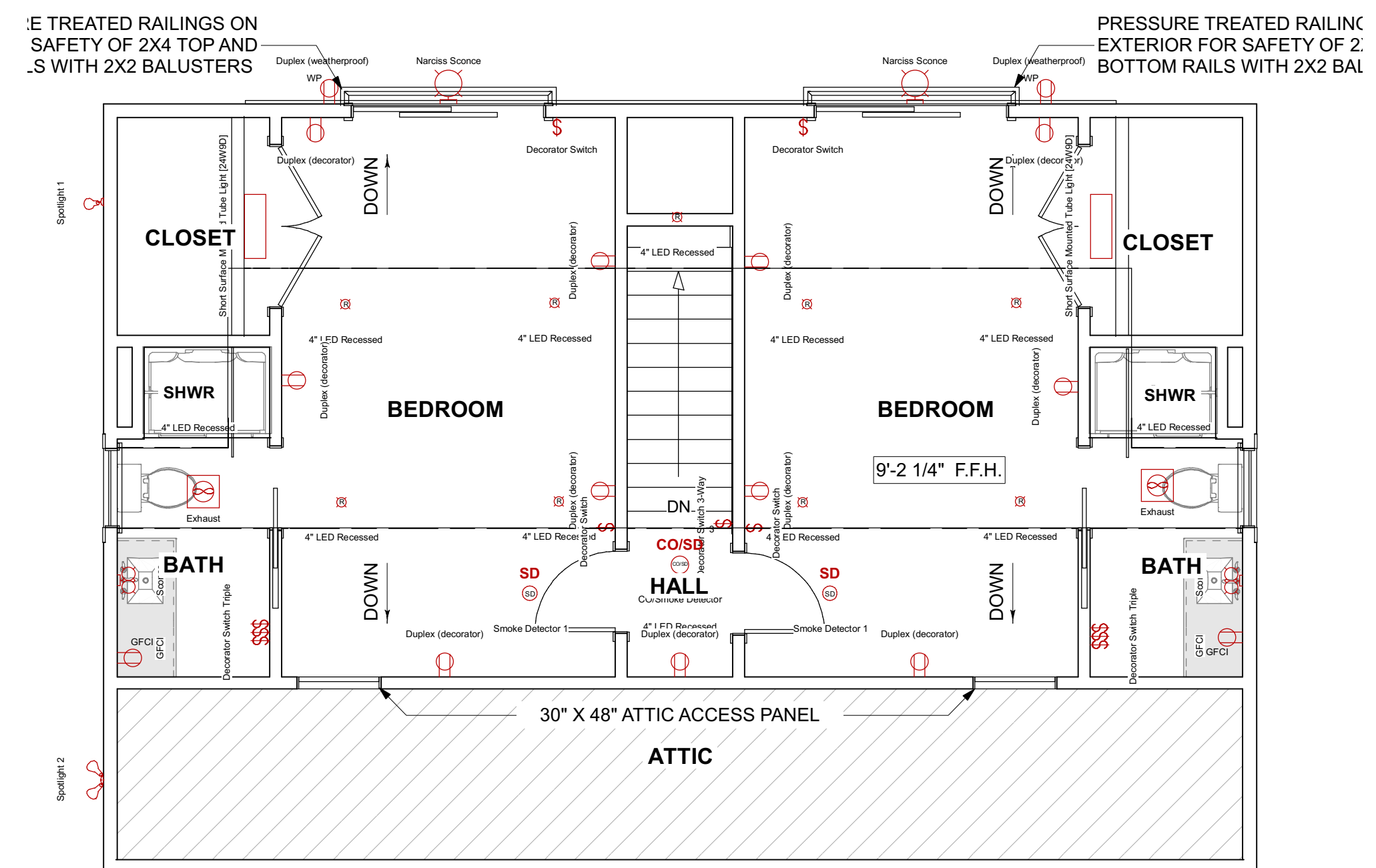
**ELECTRICAL NOTES:**

PERMIT AND INSPECTIONS DISCONNECTS/RECONNECTS  
 GARAGE  
 - TWO RATE-OF-HEAT-RISE DETECTORS  
 STAIRS / LOWER & UPPER HALLS  
 THREE 3-WAY SWITCHES  
 ONE 4-WAY SWITCH  
 TWO 4" LED WAFER RECESSED CEILING LIGHTS  
 ONE 15 AMP OUTLET  
 TWO COMBINATION SMOKE/CARBON MONOXIDE DETECTORS  
 BEDROOMS (2)  
 TWO SINGLE POLE SWITCHES  
 EIGHT 4" LED WAFER RECESSED CEILING LIGHTS  
 TWELVE 15 AMP OUTLETS  
 TWO 15 AMP HOME RUN CIRCUITS  
 TWO 15 AMP ARC/FAULT BREAKERS  
 TWO PHOTOELECTRIC SMOKE DETECTORS  
 TWO SINGLE POLE SWITCHES FOR CLOSET LIGHTS  
 TWO 2" LED CLOSET LIGHTS  
 TWO EXTERIOR WALL LIGHT OUTLETS AND INSTALLATION OF OWNER-PROVIDED FIXTURES  
 TWO WEATHERPROOF GFI OUTLETS WITH COVERS  
 BATHROOMS (2)  
 SIX SINGLE POLE SWITCHES  
 TWO VANITY LIGHT OUTLETS AND INSTALLATION OF OWNER-PROVIDED FIXTURES  
 TWO 4" LED WAFER RECESSED CEILING LIGHTS IN SHOWERS  
 TWO PANASONIC WHISPER QUIET BATH EXHAUST FANS VENTED TO EXTERIOR  
 ONE 20 AMP HOME RUN CIRCUIT  
 ONE 20 AMP AFC/GFI BREAKER  
 TWO 20 AMP GFI-PROTECTED OUTLETS UTILITIES  
 WIRING FOR TWO MINI-SPLIT INDOOR UNITS WITH OUTDOOR CONDENSERS  
 WIRING FOR ONE ELECTRIC WATER HEATER

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel



**A** PROPOSED FIRST FLOOR MEP PLAN  
 MEP1 SCALE: 1/4" = 1'-0"



**B** PROPOSED SECOND FLOOR MEP PLAN  
 MEP1 SCALE: 1/4" = 1'-0"

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DESIGN/BUILD CONTRACTOR

**PROPOSED MEP PLANS**

SHEET TITLE:

PROJECT ADDRESS:  
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 452 Long Pond Drive  
 Harwich, MA 02645

REV. DATE:  
 10/9/2020

SHEET:  
 MEP1