

**Harwich Planning Board
Meeting Agenda**

Tuesday, May 11, 2021 – 6:30 PM

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I. CALL TO ORDER; ROLL CALL Pursuant to Governor Baker's March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, G.L. c. 30A, §20, and the Governor's March 15, 2020 Order imposing strict limitations on the number of people that may gather in one place, this meeting of the Harwich Planning Board is being conducted via remote participation. No in-person attendance of members of the public will be permitted, but every effort will be made to ensure that the public can adequately access the proceedings as provided for in the Order.

II. PUBLIC HEARINGS

A. *Continued:* PB2020-28 Cape Cod Oil Company, H. Tasha, TR. of M.J.T. Enterprises, as applicant, Jacobs Driscoll Engineering, Inc., as representative, seeks approval of a Site Plan Review Special Permit with waiver to establish and install two (2) 30,000 gallon propane tanks along with appurtenant equipment fixtures and site features pertinent to the establishment of a new Heating Fuel Resale and Storage use, which is an allowable use within the zoning district. The application is pursuant to the Code of the Town of Harwich §325-55. The property is located at 6 Station Avenue, Map 39, Parcel K3, in I-L zoning district. *Hearing continued from April 13, 2021.*

III. PUBLIC MEETING**

A. New Business:

Approval Not Required Plan(s):

***Continued* PB2021-08 Eastward Homes Business Trust, Eastward MBT, LLC, Tr.**

Applicants and owners, seek an "Approval Not Required (ANR)" plan endorsement under M.G.L. c. 41 §§81L and 81P in order to reconfigure and re-divide existing lots.

B. Advisory Opinions: Zoning Board of Appeals May 26, 2021

C. Old Business

D. Briefings and Reports by Board Members

IV. ADJOURN

***Please Note: Use *6 to mute and unmute your phone.**

We request all who are attending this meeting to please observe the same courtesies that would be observed if you were here in person. If you need to conduct unrelated business before your item on the agenda comes up, we request you mute your line.

****Per the Attorney General's Office – Boards/Commissions may hold an open session for topics not reasonably anticipated by the Chair 48 hours in advance of the meeting following "New Business".**

***Next Planning Board Meeting (Subject to Change) – Tuesday, May 25, 2021.
Requests for accommodations for any person having a disability can be made by contacting the Administration Office at 508-430-7513.***

Authorized Posting Officer: Elaine Banta, ebanta@town.harwich.ma.us or 508-430-7511

PB2020-28 Cape Cod Oil

Staff Report- May 11, 2021 Public Hearing (continued from April 13, 2021)

Follow up information requested at the April 13, 2021 hearing was provided by the applicant to the Board for this continued hearing, all dated May 3, 2021: (a) Narrative Response to comments; (b) updated Drainage/ Stormwater Report; (c) Revised Site Plan Set).

Staff recommends that the Board request the applicant present the updated/ revised information submitted first, prior to staff presenting further comments.

Comments from other Boards, Departments, Committees

Planning, Fire, Engineering, Conservation, Health, Water & Highway: No further comments from those provided for the April 13, 2021 public hearing.

Planning Staff Comments:

Under Code Section 325-55, the Planning Board's principal charge is to determine whether a site plan meets the requirements of the Code, in particular, Section 400-16 and its accompanying appendix 4. Staff notes that, because the proposed use (fuel sale/ delivery) is allowed by right in the subject IL district, the Code prohibits the Board from denying the site plan special permit. The Board can impose reasonable conditions on the use basically to ensure adequate screening, traffic circulation and safety, and drainage.

As supplemented and revised, Staff is of the opinion that the site plan special permit application meets the requirements of the Code and that the site plan, with the Conditions suggested below, meets the requirements of the Code.

Findings (as recommended by staff)

1. The applicant/ property owner is M.J.T. Enterprises dba Cape Cod Oil Company, Hurst Tasha, Trustee, Martha Realty Trust.
2. The subject property is 6 Station Ave. (Map 39 Parcel K3), which is within the I-L Zoning District.
3. The abutting property at 2 Station Ave is operated by the applicant as a home heating oil delivery business.
4. The applicant proposes to install two (2) 30,000 gallon underground propane tanks along with appurtenant equipment, fixtures and site work at the property.
5. The proposed development will establish a new zoning use on the property – Heating Fuel Resale and Storage – Propane, which is an expansion of the existing use on the abutting, commonly-owned property. “Heating Fuel Resale and Storage – Propane” is a use allowed by right in the I-L Zoning District. The proposed new propane tanks on the property constitute the expansion of structures serving an industrial use.
6. The proposed development triggers the need for a Site Plan Special Permit pursuant to § 325-55(C)(1)&(3) of the Harwich Code.
7. As supplemented and revised based in part on interdepartmental comments and reviews, the site plan special permit application, which describes and depicts the proposed development, consists of the following:
 - A. Project Narrative and application packet, prepared by Jacobs Driscoll Engineering, Inc. (JDE), dated October 26, 2020.

- B. Site Development Plans - Propane Distribution Facility, 6 Station Avenue, Harwich, Barnstable County, MA 02645,” prepared for Cape Cod Oil Company by Jacobs Driscoll Engineering, Inc. (JDE), stamped by Edward P. Jacobs, P.L.S. and/or Gregory W. Driscoll, Jr., P.E. as applicable, dated September 24, 2020 and last revised **May 3, 2021**, as follows:
 - a. Cover, General Notes and Legend, Sheet 1 of 7;
 - b. Existing Conditions Plan, Sheet 2 of 7;
 - c. Existing Conditions Plan, Sheet 3 of 7;
 - d. Layout & Materials Plan, Sheet 4 of 7;
 - e. Layout & Materials Plan, Sheet 5 of 7;
 - f. Construction Notes and Details, Sheet 6 of 7;
 - g. Construction Notes and Details, Sheet 7 of 7.
 - C. Propane System Schematic, prepared by SFC Engineering, dated 03/08/2021, FX-001, sheet 1 of 1, unstamped.
 - D. Drainage Calc and Stormwater Management Report, prepared by JDE, dated March 8, 2021, revised May 3, 2021.
 - E. ProPar spec 30,000 UG LPG 131, prepared for Quality Gas, dated 01/07/2014, 1 sheet.
 - F. Crown Energy Solutions, LLC Underground Piping Schematic (Drawing 1902-007 Sheet 1 of 1) REV 1, dated 02/20/2019 and revised 02/23/2019.
 - G. Crown Energy Solutions, Underground Tank Installation (Drawing 1902-007 Sheet 2 of 2), dated 02/2/2019.
 - H. Lighting Plan, prepared by Reflex Lighting, Not to Scale (NTS), not dated.
 - I. ‘Galleonaire’ Lighting Area/Site Luminaire data, 8 sheets.
 - J. Letter from JDE dated May 3, 2021 responding to comments from April 3, 2021 staff report and public hearing session.
8. As supplemented and revised, the applicant’s application conforms to Sections 325-55 and 400-16 of the Code.
 9. As conditioned herein, the site plan presented in said application meets the requirements of Sections 325-55 and 400-16 of the Code.
 10. The Fire Department, in addition to comments it provided to the Board on the site plan special permit application during review, has independent review and permitting over the fuel tank installation. After discussions with Fire Department officials through the site plan review process, the applicant agreed to install the tanks underground, as depicted in the supplemented and revised site plan set, which increases safety and minimizes potential visual impacts.
 11. Along the southern boundary of the property, there is an existing, substantial wooded buffer to the neighboring residential properties (which are at higher grades than the property). There is a stockade fence running along the northern boundary of the property. These features provide adequate screening from adjoining streets and properties to the subject property.
 12. The applicant provided a stormwater and drainage report (revised during thre review process) confirming that run-off can be sufficiently recharged on-site.
 13. It is estimated that the proposed development will result in three new truck trips a week to the property (i.e. fuel deliveries to fill the new tanks).
 14. The Planning Board held substantive public hearings on the application April 13, 2021 and May 11, 2021.

Conditions (as recommended by staff)

- a. The proposed development shall be in accordance with the site plan set and other plans and documents referenced in the application materials above, including but not limited to the drainage/ stormwater report.
- b. This decision shall run with the property.
- c. This decision shall not be effective until it is recorded with the Barnstable Registry of Deeds.
- d. Changes to the site not authorized under this decision may require further Planning Board review and modification to this decision.
- e. The wooded buffer along the southern boundary of the property shall be retained.
- f. The applicant shall conform to the inspection, certification and as-built plan requirements outlined pursuant to §400-18.G of the Harwich Code.
- g. The existing storage tank located to the north of the site within the 100' wetlands buffer zone shall be removed or relocated on-site outside of said 100' buffer (See Sheet 5 of the site plan set). If relocated, the tank shall be placed on-site in accordance with all applicable provisions of the Harwich Code and shown on the as-built plan to be provided to the town.
- h. The existing shipping/ storage containers onsite shall be removed or relocated on-site (See Sheet 5 of the site plan set). If relocated, the containers shall be placed on-site in accordance with all applicable provisions of the Harwich Code and shown on the as-built plan to be provided to the town.

Motion(s) (as recommended by staff):

To Adopt the foregoing recommended Findings and Conditions; and Grant, with Conditions, Site Plan Special Permit Approval in Case PB2020-28, MJT Enterprises/ Cape Cod Oil, 6 Station Avenue.

Alternatively, the hearing could be continued to a time/ date/ place certain, (the Board should state the reason or purpose for the continuance, such as a request for further information) but would require that an extension be mutually agreed on by the Board and applicant. (next meeting: May 25th)

Jacobs Driscoll Engineering, Inc.

REGISTERED PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS
50 OLIVER STREET · NORTH EASTON, MA 02356
PHONE: 508-928-4400 · WWW.JACOBSDRISCOLL.COM



May 3, 2021

Meggan M. Eldredge, Assistant Town Administrator
Elaine Banta, Planning Assistant
Town of Harwich Planning Board
732 Main Street
Harwich, MA 02645

Re: Response to Comments Letter
Cape Cod Oil – Site Plan Review Application
6 Station Avenue, Harwich, MA 02645
JDE Project Number: 01-2020-015

Dear Mrs. Eldredge, Mrs. Banta and Members of the Board,

This letter is in response to comments from the Limited Staff Report posted for the April 13, 2021 Planning Board Agenda for the above referenced project. The responses to comments are arranged to follow the original report.

Comments from other Boards, Departments and Committees

Fire Department

1. Comment – Place tanks underground so as to prevent anyone from tampering with the tanks.

JDE Response – No response required.

2. Comment – Placing the tanks underground is much more aesthetically pleasing to the neighborhood and those using the bike trail.

JDE Response – No response required.

3. Comment – There is no chance of these tanks being exposed to any heat source.

JDE Response – No response required.

4. Comment – There is only one connection between the tanks and the tanker or bobtail for loading or offloading.

JDE Response – No response required.

5. Comment – With only one way into this site it is safer if these tanks are underground.

JDE Response – No response required.

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6. Comment – We are conducting a hydrant flow test on Monday April 12th to see if the sole hydrant on the property is adequate.

JDE Response – A hydrant flow test was performed by the Fire Chief on April 12, 2021. The result of the hydrant flow test yielded 1300-1500 gallons per minute. Based on this result, proposing a single hydrant in the central portion of the site would be adequate for this project.

7. Comment – The tank to the rear of the property is a tank that they brought in that is currently not in use and empty at this time.

JDE Response – No response required.

8. Comment – The building on the property can hold seven tractors which is used for maintenance and truck cleaning.

JDE Response – No response required.

9. Comment – All trailers on the property are empty at night, the product is stored in the smaller bobtail trucks for emergency calls during the night.

JDE Response – No response required.

10. Comment – The cement pad to the rear of the building is for truck storage, this is inside a fenced off area.

JDE Response – No response required.

11. Comment – There is storage in this area for smaller propane tanks for home use.

JDE Response – No response required.

12. Comment – At this time I saw storage space for 10 trailers on site. It is currently undetermined where the other twelve may be stored or where they may be located in the future.

JDE Response – As shown on Sheets 4 & 5 of the plan set, there are 22 proposed trailer spaces on this site. 6 trailer spaces are proposed along the edge of pavement to the north, 6 trailer spaces are proposed on the concrete pad on the west end of the property, and 10 trailer spaces are proposed along the boulder wall at the east end of the property.

Engineering

1. Comment – What is the total disturbance associated with the proposed project? If the land disturbance is 1 acre or more a Local Stormwater Permit is required in accordance with the Comprehensive Stormwater and Illicit Discharge Regulations. The total disturbance appears to be less than 1 acre but it is unclear.

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JDE Response – The amount of land disturbance for this proposed project is 14,800 S.F., thus a Local Stormwater Permit is not required. The area of disturbance is shown on sheet 6 of the revised plan set.

2. Comment – Have test pits been conducted to confirm groundwater separation from the bottom of the infiltration proposed.

JDE Response – We are coordinating with the owner regarding this comment. Would performing a test pit prior installing the chambers be adequate? For the purpose of this design, the elevation of the wetland (Elev. 16+/-) was used for the estimated seasonal high ground water elevation. Similarly, the groundwater elevation used in the 1997 site plan design of the septic system is consistent with the wetland elevation.

3. Comment – Is there an existing septic system on the property? Septic location should be shown on the plans to confirm separation from the stormwater infiltration system.

JDE Response – The location of the existing septic system has not been determined at this time. We are exploring options with the owner to attempt to locate the system using a camera. There are no as-built records at Town Hall that show that the system was installed.

It should be noted that in the Planning Board decision on Case No. PB2001-16, the location and extent of subsurface drainage and sewage disposal facilities was waived by the Board because the finish surface is gravel.

4. Comment – The groundwater recharge volume appears to be miscalculated. The project as proposed will meet the required recharge volume.

JDE Response – The required groundwater recharge volume has been revised in the drainage report. The proposed design will meet the required recharge volume.

5. Comment – Are there elements of water quality enhancement being proposed as part of the redevelopment? Water quality is referenced in relation to the roof runoff but if this water is clean how is water quality credit being applied.

JDE Response – This project has been designed as a redevelopment, which the Massachusetts Stormwater Handbook defines as an improvement to the existing conditions of a site and complies with Stormwater Management Standards only to the maximum extent practicable. Based on this definition, installing the subsurface infiltration system to capture and infiltrate the runoff generated by the existing roof of #6 Station Ave. is an improvement to the site with no existing infiltration BMPs. The handbook also states that all redevelopment projects shall incorporate measures that will address water quantity issues by reducing the peak and total runoff from the site and by increasing recharge. Infiltrating this roof runoff will recharge the groundwater and complies with these requirements.

It should be noted that in the Planning Board decision on Case No. PB2001-16, the requirement for surface water drainage facilities was waived by the Board because the finish surface is gravel.

6. Comment – Has any consideration been given to installing a structural water quality unit to treat the runoff from the tank area?

Jacobs Driscoll Engineering

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JDE Response – No considerations were made as to installing a water quality unit to treat the runoff in the proposed tank area. Since the propane is transferred through sealed systems and it evaporates, there is no issue with treating stormwater from the tank area.

Conservation

1. Comment – I have looked into it and seeing as the work will take place outside of the 100' buffer zone, Conservation does not have any direct concern with the project. That being said, there should be no alterations within the 100' resource area, other than the removal of the stored oil tanks. Any further alteration within the 100' buffer zone will need Conservation approval.

JDE Response – The storage tank area will be relocated out of the 100' buffer zone as shown on the plan.

Planning Staff Comments

1. Comment – Landscape plans have not been presented. Landscaping along the residential boundaries should be reviewed pursuant to Section 325-43 of the Town Code.

JDE Response – On the southern side of the property there is an 8-10 foot high wooded slope with mature trees between the locus site and the residential neighbors to the south. The residential properties are about 8-10' higher in elevation than the subject site. Between the proposed trailer parking spaces on the north side of the locus and the Cape Cod Rail Trail there is an existing 6 foot high stockade fence that runs along that entire property line. Based on these existing screening features the required landscaping along the residential boundaries appears to meet the screening requirement and additional screening is not needed.

2. Comment – The area marked storage tank area and the stockade fencing along a portion of the north boundary line is encroaching on the Cape Cod Rail Trail. An easement must be provided for continued permission to for this use.

JDE Response – There are no known issues or complaints from the Cape Cod Rail Trail in the past but if an easement will be required for this Site Plan Review Special Permit Approval, for his continued use of this area, the process of gaining an easement from the Cape Cod Rail Trail owner, MassDOT or MassDCR, will be explored.

3. Comment – There are three shipping containers and a shed shown on the existing conditions plan. Uses for these items should be determined, particularly the containers if they are to be located. If relocated, the plan and approval shall be incorporated into the findings and decision. This may require re-examining the parking schedule.

JDE Response – The existing shed shown on the plan will remain as the owner is not utilizing it at this time. The three existing shipping containers will be consolidated and relocated or removed as needed. Proposed locations for the containers are not known at this time. The owner will either remove/relocate to an appropriate location as needed.

4. Comment – No free-standing sign (Master Sign) has been shown on the plan.

JDE Response – No free-standing signage is proposed at this time.

Jacobs Driscoll Engineering

REGISTERED PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS

Assistant Town Administrator Comments

1. Comment – Setbacks for the up to four (4) trailer parking spaces need to be addressed: 325-42 L

JDE Response – The proposed parking spaces have been located on the site to comply with Section 325-42 of the Town Code.

2. Comment – What are the existing and proposed hours of operation?

JDE Response – The hours of operation will not change and are currently 7:00 am to 5:00 pm for the residential delivery drivers. The trailer drivers typically arrive at 3-4 am.

Board Comments from Meeting

1. Comment – A question was asked regarding truck trips (traffic) to the site as a result of the project.

JDE Response – We spoke to the Applicant, Hurst Tasha, about any increased truck traffic. He stated, as Jody Ameden did at the meeting, that there will be about 3 deliveries per week in the peak season to fill the new 30,000 gallon storage tanks. Otherwise, the number of his “bobtail” residential delivery trucks will remain the same. These are the trucks that currently leave the site, fill up with propane elsewhere, deliver to their customers and return to the site empty at the end of the day. The only difference with the new tanks at the property is eliminating the need to fill up their bobtail fleet elsewhere saving time and expense. So the only increase in traffic to the site will be the delivery trucks that fill up the 30,000 gallon tanks about 3 times per week.

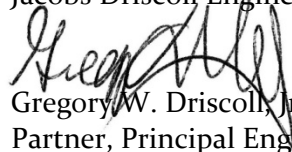
2. Comment – There was a question of whether or not the site’s driveway, labeled as “Depot Street” on the Google maps is in fact a road.

JDE Response – Ed Jacobs, JDE’s Registered Professional Land Surveyor, has further researched the road and has determined that it does not exist and the entrance drive is a part of the subject property.

We trust that these responses as well as the revisions to the design plans and supporting documents will fully address these concerns. We will be present at the next Planning Board meeting to discuss the project further.

Please contact me immediately at 508-928-4400 if you have any questions or require additional information.

Thank you,
Jacobs Driscoll Engineering


Gregory W. Driscoll, Jr., P.E.
Partner, Principal Engineer


Joshua White, B.S.C.E.
Engineering Designer I

Issued for: Site Plan Review

Issued: September 24, 2020

JDE Project Number: 01-2020-015

Site Development Plans Propane Distribution Facility

6 Station Avenue,
Harwich, Barnstable County, MA 02645

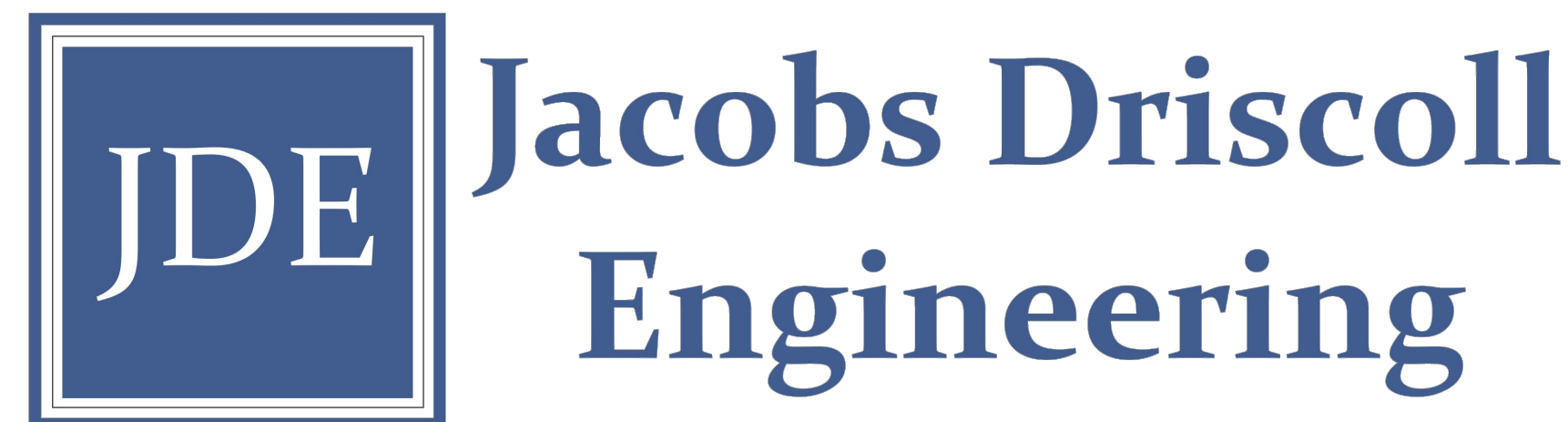
PREPARED FOR:



227 Route 6,
Provincetown,
Barnstable County, MA 02657



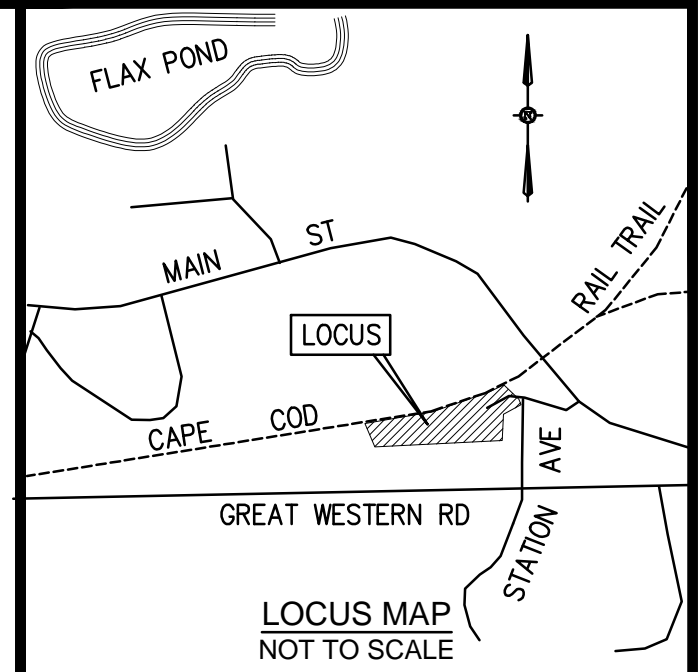
PREPARED BY:



Civil Engineering and Land Surveying Professionals
50 Oliver Street
North Easton, MA 02356

CONSTRUCTION NOTES

1. ALL PROPOSED WALKWAYS WILL BE HANDICAPPED ACCESSIBLE. ALL PROPOSED SLOPES ON WALKWAYS TO BE LESS THAN 5%.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY EXISTING INFORMATION OR OTHER PROPOSED IMPROVEMENTS. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO JACOBS DRISCOLL ENGINEERING (JDE). CONTRACTOR WILL REFER TO (JDE) FOR ALL TECHNICAL COMMENTS FOR RESOLUTION OF THE CONFLICT.
3. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
4. THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE AND RESET". (R&R)
5. JOINTS BETWEEN NEW BITUMINOUS CONCRETE ROADWAY PAVEMENT AND SAWCUT EXISTING PAVEMENT SHALL BE SEALED WITH BITUMEN AND BACKSANDS.
6. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THEIR REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE THE START OF ANY WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE THE UTILITIES EXACTLY. THE CONTRACTOR SHALL PRESERVE ALL UNDERGROUND UTILITIES. THE CONTRACTOR MUST CALL "DIG SAFE" (AT 1-888-DIG-SAFE) AND THE TOWN OF WEST BRIDGEWATER DPW AT LEAST 72 HOURS TO MARK APPROPRIATE UTILITIES BEFORE THE START OF CONSTRUCTION.
7. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED IN KIND. LAWN AREAS SHALL HAVE A MODIFIED LOAM BORROW PLACED AND SEEDED. THE MODIFIED LOAM BORROW SHALL HAVE A MINIMUM DEPTH OF 4" AND SHALL BE PLACED FLUSH WITH THE TOP OF ADJACENT CURB, EDGING, BERM, OR OTHER SURFACE.
8. THE CONTRACTOR SHALL WATER, MOW, AND FERTILIZE LAWN AREAS UNTIL SATISFACTORY GRASS STANDS, AND/OR THE OWNER OR ITS REPRESENTATIVE IS SATISFIED.
9. THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER, AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY FACILITIES DAMAGED BY CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
10. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH SAME, AND COORDINATE WITH THE ENGINEER AS REQUIRED.
11. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
12. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT A SCHEDULE OF OPERATIONS TO THE OWNER AND OBTAIN ALL NECESSARY APPROVALS. THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE OWNER, THEIR ENGINEER OR REPRESENTATIVE.
13. FINAL LAYOUT AND STAKING OF ALL PROPOSED FEATURES AND GRADING SHALL BE REVIEWED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO ANY SITE PREPARATION OR CONSTRUCTION. THE CONTRACTOR SHALL NOT ADJUST OR MODIFY THE LAYOUT AND STAKING OF ANY PROPOSED FEATURES UNTIL FINAL APPROVAL FROM THE OWNER'S REPRESENTATIVE.
14. THE CONTRACTOR SHALL REMOVE ALL STUMPS, RUBBISH, AND DEBRIS FROM THE PROJECT SITE. STORAGE OF THESE ITEMS WILL NOT BE PERMITTED ON THE PROJECT SITE. THE CONTRACTOR SHALL LEAVE THE SITE IN A SAFE, CLEAN, AND LEVEL CONDITION AT THE COMPLETION OF THE SITE CLEARING WORK.
15. ALL ELECTRICAL, TELEPHONE, AND LOCAL FIRE DEPARTMENT CONDUITS ARE TO BE INSTALLED BY THE ELECTRICAL CONTRACTOR. TRENCHING, BACKFILLING, CONCRETE AND STREET REPAIR SHALL BE PERFORMED BY THE GENERAL CONTRACTOR.
16. PROPOSED MANHOLE RIMS & GRATES ARE TO BE SET FLUSH AND CONSISTENT WITH GRADING PLANS. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, GAS GATES, WATER GATES AND OTHER UTILITIES TO FINISHED GRADE WITHIN THE LIMITS OF THE SITE WORK. IF ANY CONFLICTS ARE DISCOVERED NOTIFY OWNER'S REPRESENTATIVE.
17. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS WITH THE APPROPRIATE UTILITY COMPANIES FOR POLE RELOCATION, AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, AS REQUIRED.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A TOWN OF WEST BRIDGEWATER PUBLIC WORKS CONSTRUCTION LICENSE.
19. OWNER MAY REMOVE SNOW FROM SITE AS NECESSARY AND WILL NOT PLACE ON TOWN/STATE PROPERTY.
20. THE MAINTENANCE OF THE DRAINAGE SYSTEM IS THE OWNER'S RESPONSIBILITY.
21. ANY HYDRANT, FIRE PROTECTION WATER SUPPLY LINE AND ASSOCIATED DEVICES ON SUBJECT PROPERTY SHALL BE MAINTAINED TO THE REQUIREMENTS OF NFPA25.



PERMITTING SET

REVISIONS

No.	DATE	DESCRIPTION
1	10-19-20	REVISE PER TOWN COMMENTS
2	03-08-21	REVISE PER TOWN COMMENTS
3	05-03-21	REVISE PER TOWN COMMENTS

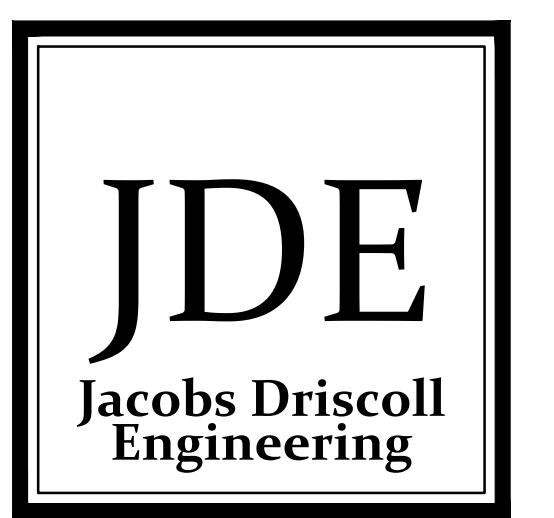
DRAWN BY: TME
CHECKED BY: EPJ
DESIGNED BY: TME / GWD

COVER, GENERAL NOTES AND LEGEND

6 STATION AVENUE
IN
HARWICH
(BARNSTABLE COUNTY)
MASSACHUSETTS

SEPTEMBER 24, 2020

PREPARED FOR:
CAPE COD OIL
COMPANY
227 ROUTE 6
PROVINCETOWN
MASSACHUSETTS
02657



50 Oliver Street
North Easton, Massachusetts 02356
Phone: 508-928-4400
www.JacobsDriscoll.com



SHEET 1 OF 7

JOB NUMBER: 01-2020-015

Sheet Index

No.	Drawing Title	Date	Revised
1	Cover, General Notes and Legend	09-24-2020	05-03-2021
2	Existing Conditions Plan	09-24-2020	05-03-2021
3	Existing Conditions Plan	09-24-2020	05-03-2021
4	Layout & Materials Plan	09-24-2020	05-03-2021
5	Layout & Materials Plan	09-24-2020	05-03-2021
6	Construction Notes and Details	09-24-2020	05-03-2021
7	Construction Details	09-24-2020	05-03-2021

LEGEND

EXIST	PROP	EXIST	PROP

GENERAL NOTES

1.) LOCUS PROPERTY IS COMPRISED OF :
 ASSESSOR'S MAP 39 PLOT K3
 DEED BOOK 13840 / PAGE 205
 OWNER OF RECORD: MICHAEL J. TASHA TRS.

2.) PLAN REFERENCES :
 P-1.) PLAN BOOK 377 PAGE 20

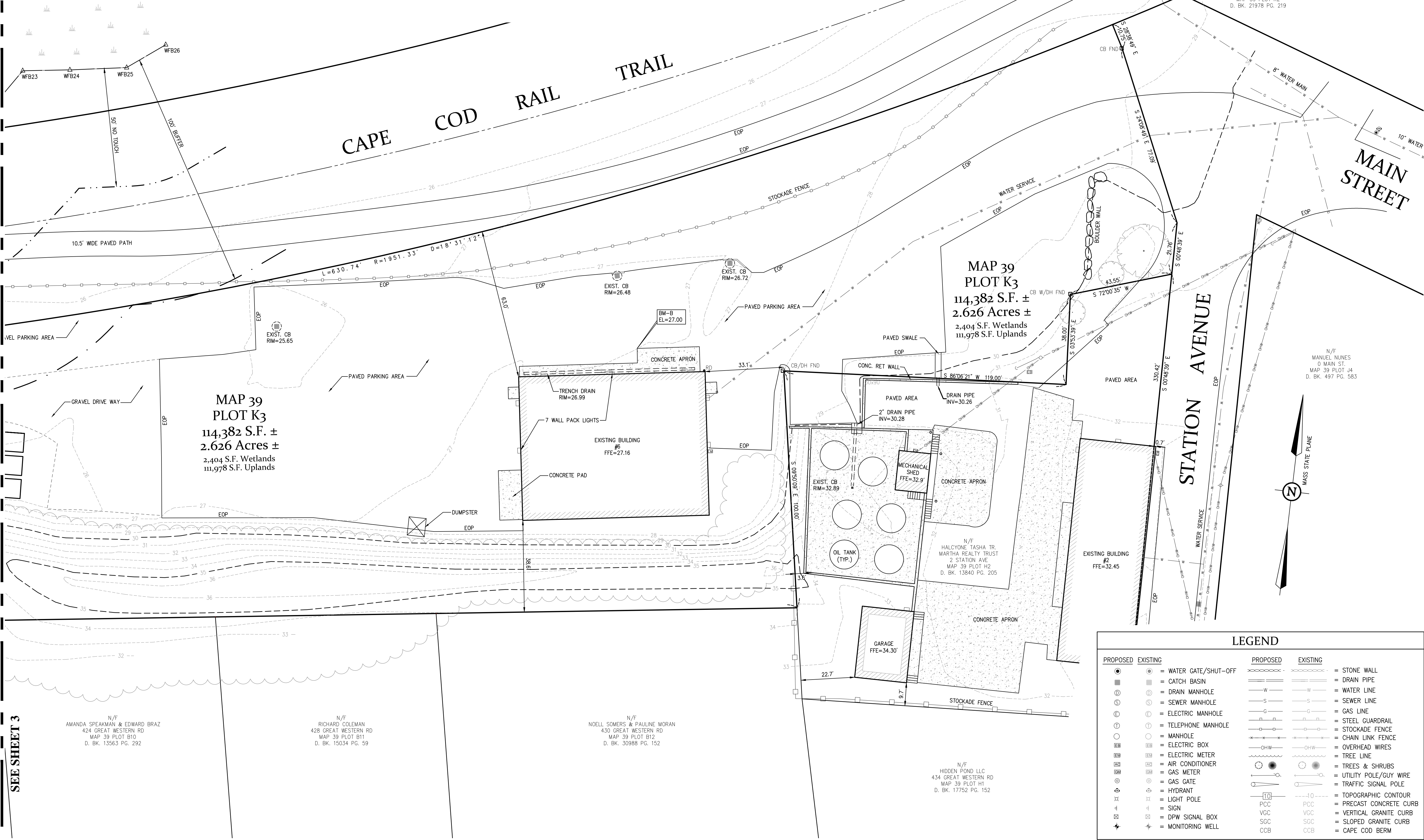
3.) PROJEKT BENCHMARKS :
 BM-A DRILL HOLE SET IN CONC. PAD ELEVATION = 26.00'
 BM-B CORNER OF CONC. PAD OF BUILDING ELEVATION = 27.00'
 (DATUM: NAVD88)

4.) ZONING INFORMATION ZONING DISTRICT : IL (INDUSTRIAL LIMITED)
 MINIMUM / MAXIMUM ZONING REQUIREMENTS
 MIN. LOT AREA = 20,000 S.F.
 MIN. LOT FRONTAGE = 100'
 MIN. BUILDING SETBACKS : FRONT = 25' SIDE = 25' REAR = 50'
 MAX. BUILDING HEIGHT = 40' OR 2.5 STORIES
 MAX. BUILDING COVERAGE % = 40%
 MIN. GREEN SPACE % = 30%

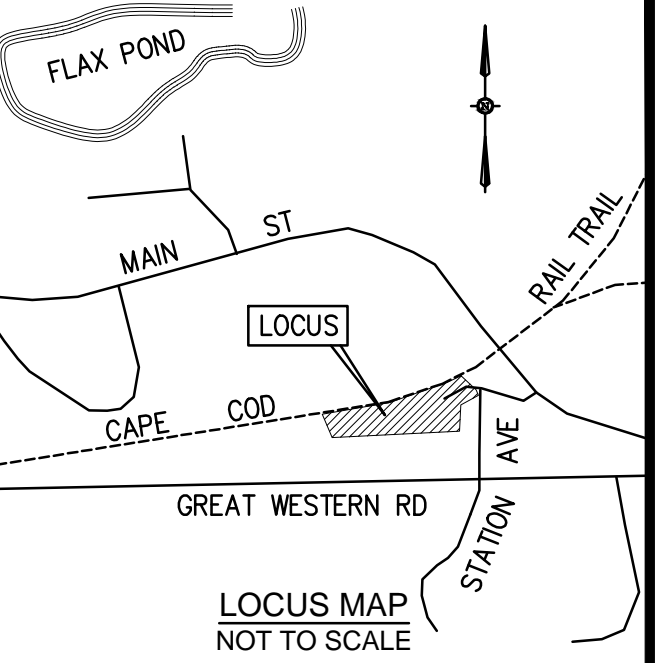
5.) THE PROPERTY LINE INFORMATION SHOWN IS BASED ON CURRENT AVAILABLE RECORD INFORMATION CONSISTING OF PLANS AND DEEDS AND AN ACTUAL ON THE GROUND FIELD SURVEY PERFORMED BY THIS FIRM ON AND BETWEEN 7-13-20 AND 8-18-20.

6.) COMMUNITY PANEL NUMBER: 25001C0612J (DATE: 7-16-2014) THE FLOOD INSURANCE RATE MAP DEFINES THIS AREA AS ZONE X, AREA OUTSIDE THE 0.2% CHANCE ANNUAL FLOOD PLAIN.

MATCH LINE



SEE SHEET 3

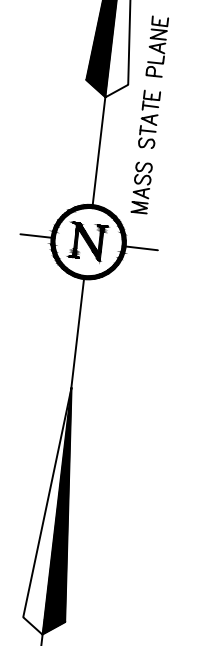
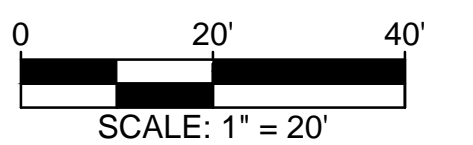


PERMITTING SET		
REVISIONS		
No.	DATE	DESCRIPTION
1	10-19-20	REVISE PER TOWN COMMENTS
2	03-08-21	REVISE PER TOWN COMMENTS
3	05-03-21	REVISE PER TOWN COMMENTS

DRAWN BY: TME
 CHECKED BY: EPJ
 DESIGNED BY: TME / GWD

EXISTING CONDITIONS PLAN
 6 STATION AVENUE
 IN
 HARWICH
 (BARNSTABLE COUNTY)
 MASSACHUSETTS
 SEPTEMBER 24, 2020

PREPARED FOR:
 CAPE COD OIL
 COMPANY
 227 ROUTE 6
 PROVINCETOWN
 MASSACHUSETTS
 02657



LEGEND

PROPOSED	EXISTING	DESCRIPTION
[Symbol]	[Symbol]	WATER GATE/SHUT-OFF
[Symbol]	[Symbol]	CATCH BASIN
[Symbol]	[Symbol]	DRAIN MANHOLE
[Symbol]	[Symbol]	SEWER MANHOLE
[Symbol]	[Symbol]	ELECTRIC MANHOLE
[Symbol]	[Symbol]	TELEPHONE MANHOLE
[Symbol]	[Symbol]	MANHOLE
[Symbol]	[Symbol]	ELECTRIC BOX
[Symbol]	[Symbol]	ELECTRIC METER
[Symbol]	[Symbol]	AIR CONDITIONER
[Symbol]	[Symbol]	GAS METER
[Symbol]	[Symbol]	GAS GATE
[Symbol]	[Symbol]	HYDRANT
[Symbol]	[Symbol]	LIGHT POLE
[Symbol]	[Symbol]	SIGN
[Symbol]	[Symbol]	DPW SIGNAL BOX
[Symbol]	[Symbol]	MONITORING WELL
[Symbol]	[Symbol]	STONE WALL
[Symbol]	[Symbol]	DRAIN PIPE
[Symbol]	[Symbol]	WATER LINE
[Symbol]	[Symbol]	SEWER LINE
[Symbol]	[Symbol]	GAS LINE
[Symbol]	[Symbol]	STEEL GUARDRAIL
[Symbol]	[Symbol]	STOCKADE FENCE
[Symbol]	[Symbol]	CHAIN LINK FENCE
[Symbol]	[Symbol]	OVERHEAD WIRES
[Symbol]	[Symbol]	TREE LINE
[Symbol]	[Symbol]	TREES & SHRUBS
[Symbol]	[Symbol]	UTILITY POLE/GUY WIRE
[Symbol]	[Symbol]	TRAFFIC SIGNAL POLE
[Symbol]	[Symbol]	TOPOGRAPHIC CONTOUR
[Symbol]	[Symbol]	PRECAST CONCRETE CURB
[Symbol]	[Symbol]	VERTICAL GRANITE CURB
[Symbol]	[Symbol]	SLOPED GRANITE CURB
[Symbol]	[Symbol]	CAPE COD BERM

N/F AMANDA SPEAKMAN & EDWARD BRAZ
 424 GREAT WESTERN RD
 MAP 39 PLOT B10
 D. BK. 13563 PG. 292

N/F RICHARD COLEMAN
 428 GREAT WESTERN RD
 MAP 39 PLOT B11
 D. BK. 15034 PG. 59

N/F NOELL SOMERS & PAULINE MORAN
 430 GREAT WESTERN RD
 MAP 39 PLOT B12
 D. BK. 30988 PG. 152

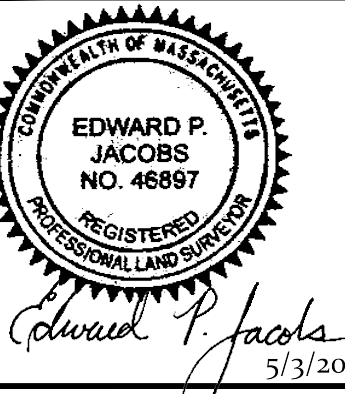
N/F HIDDEN POND LLC
 434 GREAT WESTERN RD
 MAP 39 PLOT H1
 D. BK. 17752 PG. 152

N/F MICHAEL J. TASHA TR
 541 MAIN ST.
 MAP 39 PLOT K2
 D. BK. 21978 PG. 219

N/F MANUEL NUNES
 0 MAIN ST.
 MAP 39 PLOT J4
 D. BK. 497 PG. 583

JDE
Jacobs Driscoll
Engineering

50 Oliver Street
 North Easton, Massachusetts 02356
 Phone: 508-928-4400
 www.JacobsDriscoll.com



SHEET 2 OF 7
 JOB NUMBER: 01-2020-015

GENERAL NOTES

1.) LOCUS PROPERTY IS COMPRISED OF :
 ASSESSOR'S MAP 39 PLOT K3
 DEED BOOK 13840 / PAGE 205
 OWNER OF RECORD: MICHAEL J. TASHA TRS.

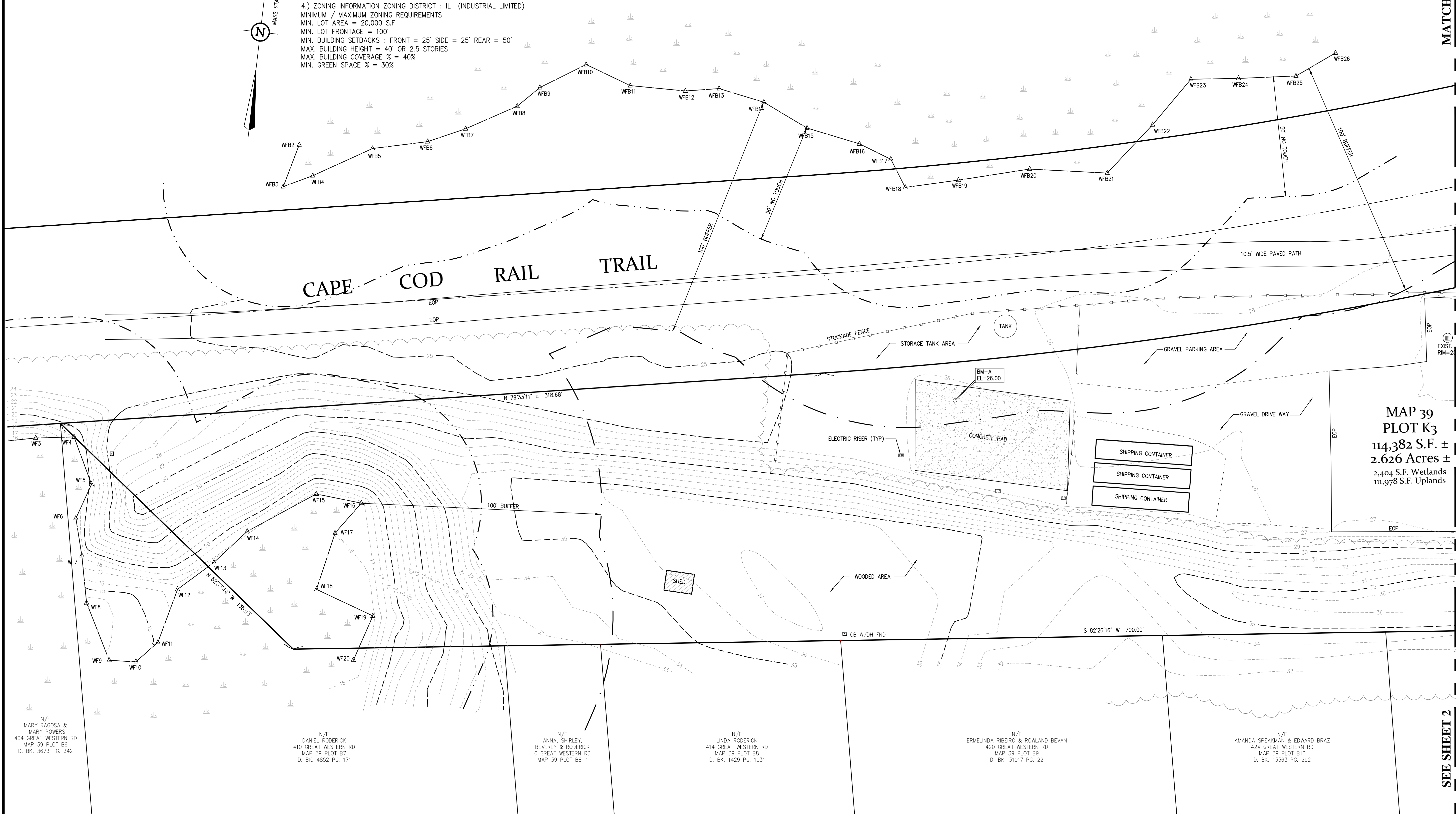
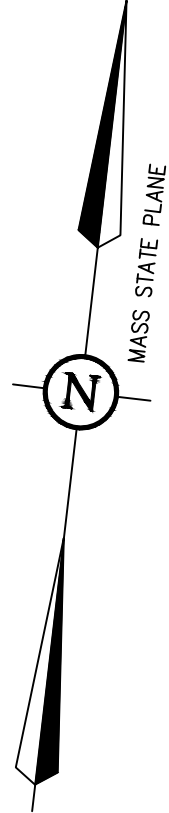
2.) PLAN REFERENCES :
 P-1.) PLAN BOOK 377 PAGE 20

3.) PROJECT BENCHMARKS :
 BM-A DRILL HOLE SET IN CONC. PAD ELEVATION = 26.00'
 BM-B CORNER OF CONC. PAD OF BUILDING ELEVATION = 27.00'
 (DATUM: NAVD88)

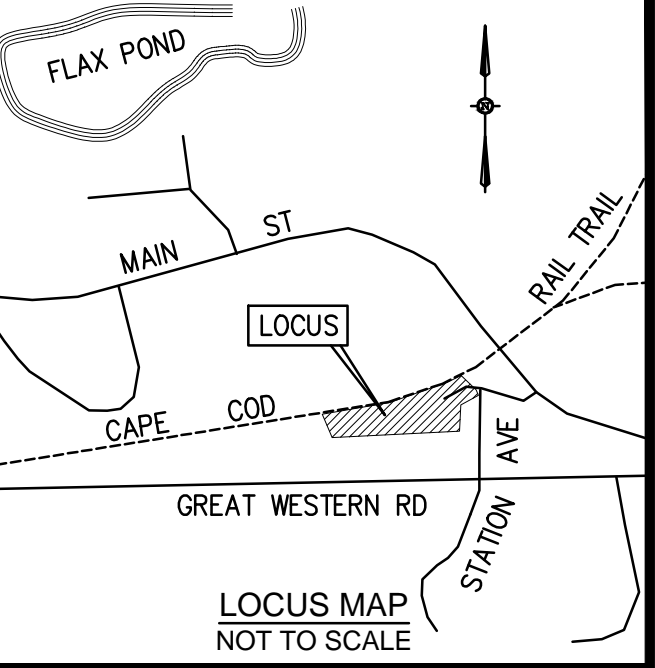
4.) ZONING INFORMATION ZONING DISTRICT : IL (INDUSTRIAL LIMITED)
 MINIMUM / MAXIMUM ZONING REQUIREMENTS
 MIN. LOT AREA = 20,000 S.F.
 MIN. LOT FRONTAGE = 100'
 MIN. BUILDING SETBACKS : FRONT = 25' SIDE = 25' REAR = 50'
 MAX. BUILDING HEIGHT = 40' OR 2.5 STORIES
 MAX. BUILDING COVERAGE % = 40%
 MIN. GREEN SPACE % = 30%

5.) THE PROPERTY LINE INFORMATION SHOWN IS BASED ON CURRENT AVAILABLE RECORD INFORMATION CONSISTING OF PLANS AND DEEDS AND AN ACTUAL ON THE GROUND FIELD SURVEY PERFORMED BY THIS FIRM ON BETWEEN 7-13-20 AND 8-18-20.

6.) COMMUNITY PANEL NUMBER: 25001C0612J (DATE: 7-16-2014) THE FLOOD INSURANCE RATE MAP DEFINES THIS AREA AS ZONE X, AREA OUTSIDE THE 0.2% CHANCE ANNUAL FLOOD PLAIN.



MATCH LINE



PERMITTING SET

REVISIONS		
No.	DATE	DESCRIPTION
1	10-19-20	REVISE PER TOWN COMMENTS
2	03-08-21	REVISE PER TOWN COMMENTS
3	05-03-21	REVISE PER TOWN COMMENTS

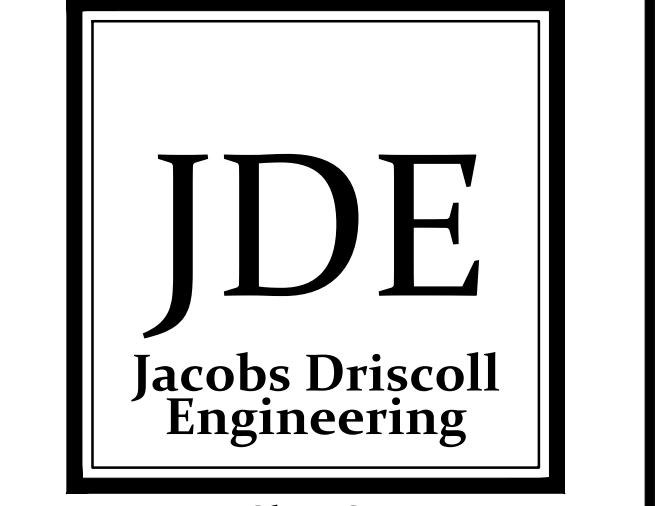
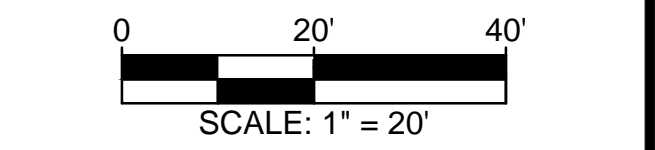
DRAWN BY: TME
 CHECKED BY: EPJ
 DESIGNED BY: TME / GWD

EXISTING CONDITIONS PLAN

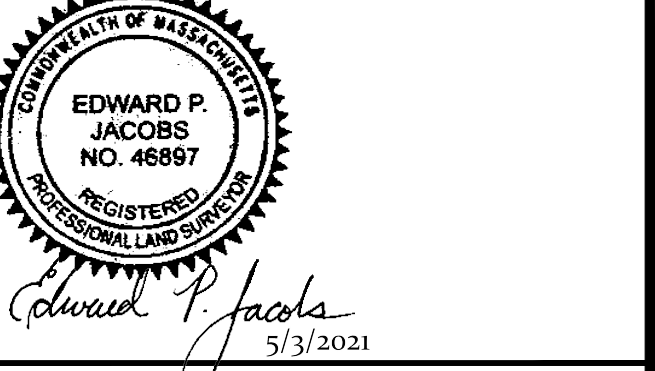
6 STATION AVENUE
 IN
 HARWICH
 (BARNSTABLE COUNTY)
 MASSACHUSETTS

SEPTEMBER 24, 2020

PREPARED FOR:
 CAPE COD OIL
 COMPANY
 227 ROUTE 6
 PROVINCETOWN
 MASSACHUSETTS
 02657



50 Oliver Street
 North Easton, Massachusetts 02356
 Phone: 508-928-4400
 www.JacobsDriscoll.com



SHEET 3 OF 7

JOB NUMBER: 01-2020-015

SEE SHEET 2

N/F
 MARY RADOSA &
 MARY POWERS
 404 GREAT WESTERN RD
 MAP 39 PLOT B6
 D. BK. 3673 PG. 342

N/F
 DANIEL RODERICK
 410 GREAT WESTERN RD
 MAP 39 PLOT B7
 D. BK. 4852 PG. 171

N/F
 ANNA, SHIRLEY,
 BEVERLY & RODERICK
 0 GREAT WESTERN RD
 MAP 39 PLOT B8-1

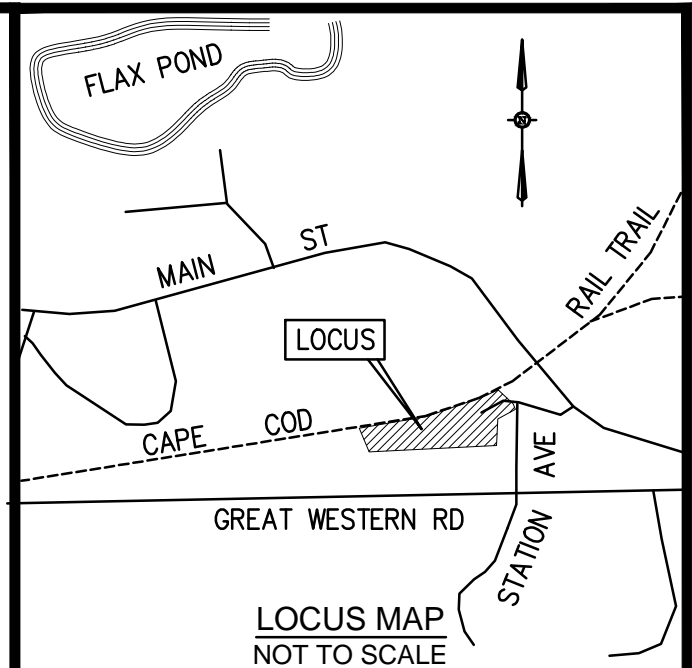
N/F
 LINDA RODERICK
 414 GREAT WESTERN RD
 MAP 39 PLOT B8
 D. BK. 1429 PG. 1031

N/F
 ERMELINDA RIBEIRO & ROWLAND BEVAN
 420 GREAT WESTERN RD
 MAP 39 PLOT B9
 D. BK. 3107 PG. 22

N/F
 AMANDA SPEAKMAN & EDWARD BRAZ
 424 GREAT WESTERN RD
 MAP 39 PLOT B10
 D. BK. 13563 PG. 292

ZONING TABLE

CRITERIA	REQUIRED	PROVIDED
ZONE: INDUSTRIAL - LIMITED (I-L)		
MINIMUM / MAXIMUM ZONING REQUIREMENTS		
PROPOSED USE: PROPANE DISTRIBUTION FACILITY		
MIN. LOT AREA	20,000 S.F. (0.459 ACRES)	114,382±S.F. (2.626±AC.)
MIN. FRONTAGE	100'	109.60
MIN. FRONT BUILDING SETBACK	25'	208.43'
MIN. SIDE BUILDING SETBACK	25'	38.65'
MIN. REAR BUILDING SETBACK	50'	586.37'
MAX. BUILDING LOT COVERAGE %	40%	4.20%
MIN. GREEN SPACE %	30%	59.78%
MAX. IMPERVIOUS AREA %	70%	40.22%
MAX. BUILDING HEIGHT	40' (2 1/2 STORIES)	1 STORY
PARKING SCHEDULE:		
OTHER TRANSPORTATION USES:		
1 PER EMPLOYEE MAXIMUM SHIFT	10 SPACES	10 SPACES
COMPANY-OWNED VEHICLES:		
1 PER VEHICLE KEPT ON PREMISES		4 BAY SPACES
		21 TRAILER SPACES



PERMITTING SET

REVISIONS		
No.	DATE	DESCRIPTION
1	10-19-20	REVISE PER TOWN COMMENTS
2	03-08-21	REVISE PER TOWN COMMENTS
3	05-03-21	REVISE PER TOWN COMMENTS

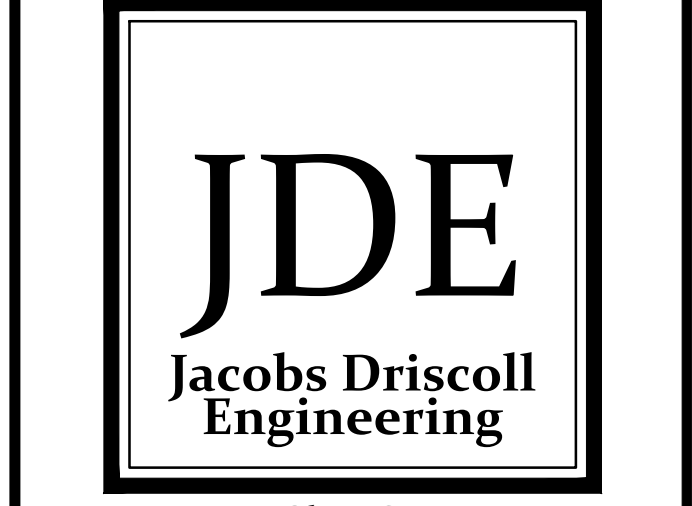
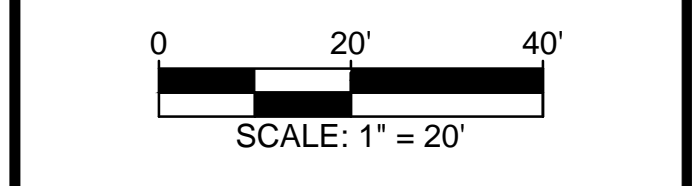
DRAWN BY: TME
 CHECKED BY: EPJ
 DESIGNED BY: TME / GWD

LAYOUT & MATERIALS PLAN

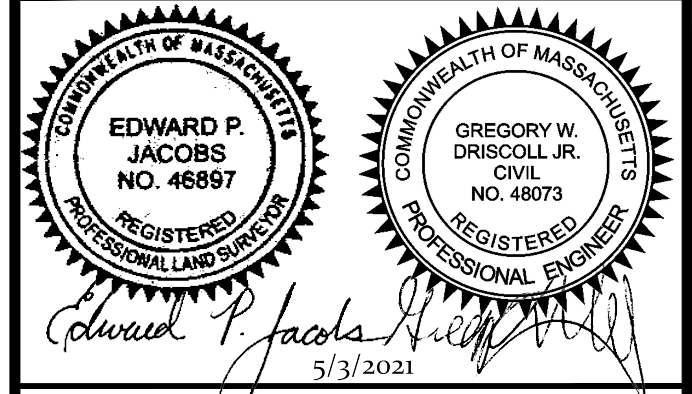
6 STATION AVENUE
 IN
 HARWICH
 (BARNSTABLE COUNTY)
 MASSACHUSETTS

SEPTEMBER 24, 2020

PREPARED FOR:
 CAPE COD OIL
 COMPANY
 227 ROUTE 6
 PROVINCETOWN
 MASSACHUSETTS
 02657



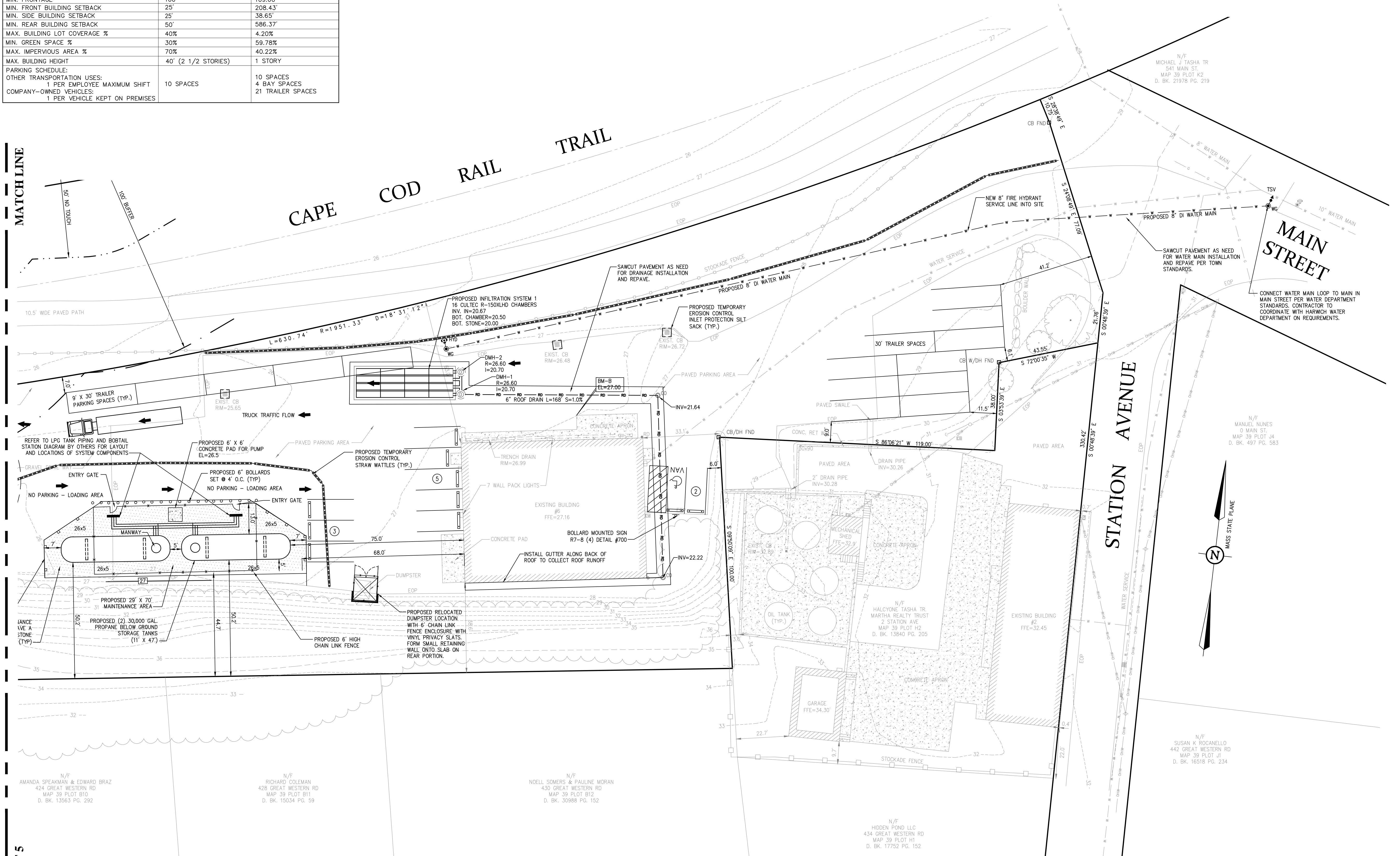
50 Oliver Street
 North Easton, Massachusetts 02356
 Phone: 508-928-4400
 www.JacobsDriscoll.com



SHEET 4 OF 7

JOB NUMBER: 01-2020-015

MATCH LINE



SEE SHEET 5

N/F AMANDA SPEARMAN & EDWARD BRAZ
 424 GREAT WESTERN RD
 MAP 39 PLOT B10
 D. BK. 13563 PG. 292

N/F RICHARD COLEMAN
 428 GREAT WESTERN RD
 MAP 39 PLOT B11
 D. BK. 15034 PG. 59

N/F NOELL SOMERS & PAULINE MORAN
 430 GREAT WESTERN RD
 MAP 39 PLOT B12
 D. BK. 30988 PG. 152

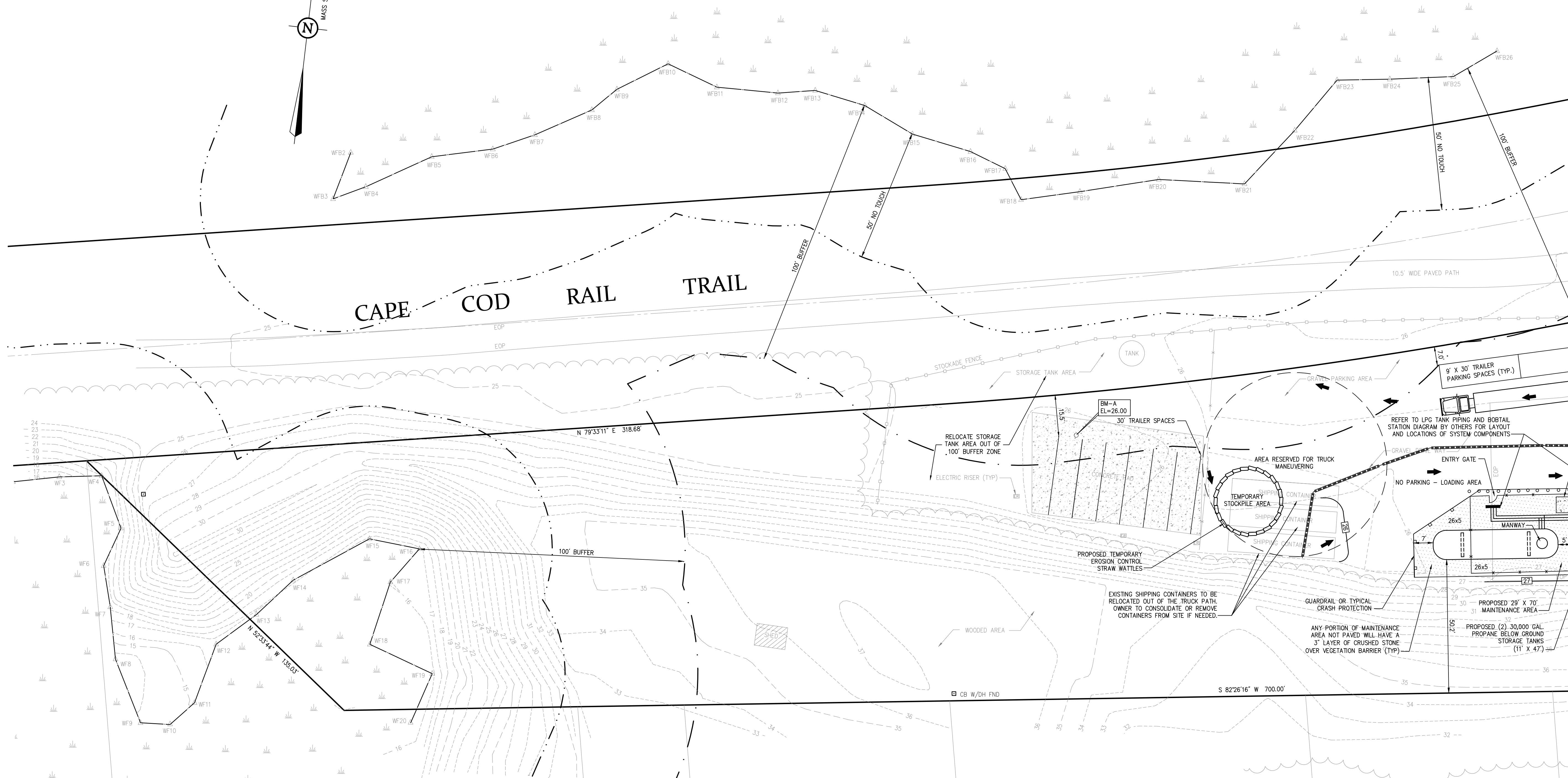
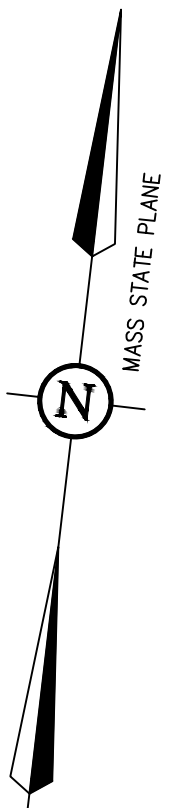
N/F SUSAN K. ROCANELLO
 442 GREAT WESTERN RD
 MAP 39 PLOT J1
 D. BK. 16518 PG. 234

N/F HIDDEN POND LLC
 434 GREAT WESTERN RD
 MAP 39 PLOT H1
 D. BK. 17752 PG. 152

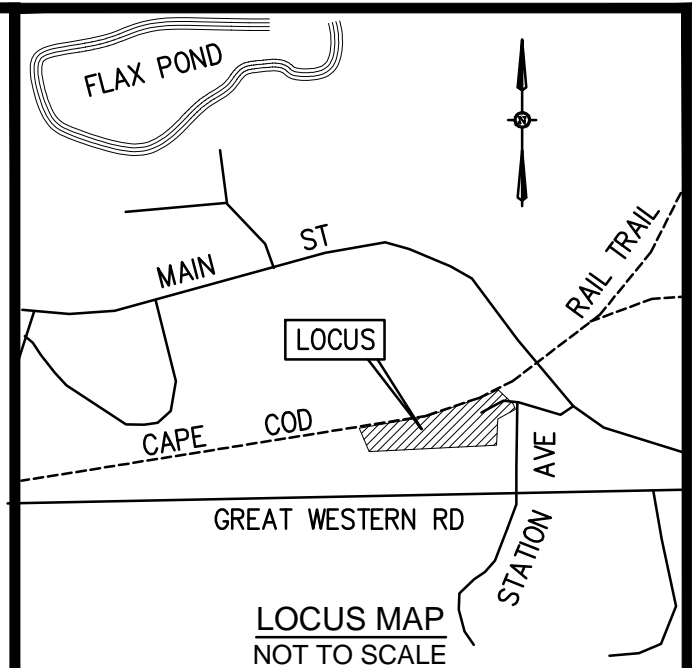
N/F MICHAEL J. TASHA TR
 541 MAIN ST
 MAP 39 PLOT K2
 D. BK. 21978 PG. 219

N/F MANUEL NUNES
 0 MAIN ST
 MAP 39 PLOT J4
 D. BK. 497 PG. 583

N/F HALCYONE TASHA TR
 MARTHA REALTY TRUST
 2 STATION AVE
 MAP 39 PLOT H2
 D. BK. 13840 PG. 205



MATCH LINE



PERMITTING SET

REVISIONS		
No.	DATE	DESCRIPTION
1	10-19-20	REVISE PER TOWN COMMENTS
2	03-08-21	REVISE PER TOWN COMMENTS
3	05-03-21	REVISE PER TOWN COMMENTS

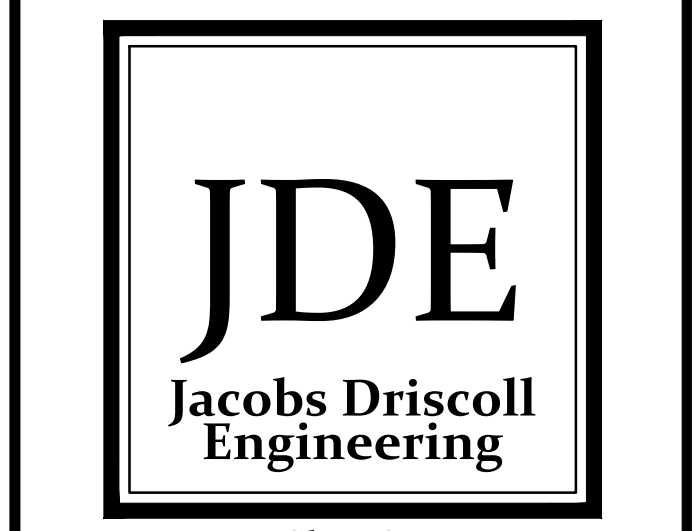
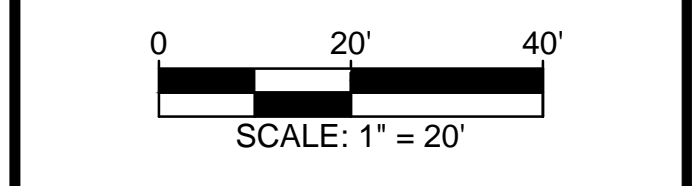
DRAWN BY: TME
 CHECKED BY: EPJ
 DESIGNED BY: TME / GWD

LAYOUT & MATERIALS PLAN

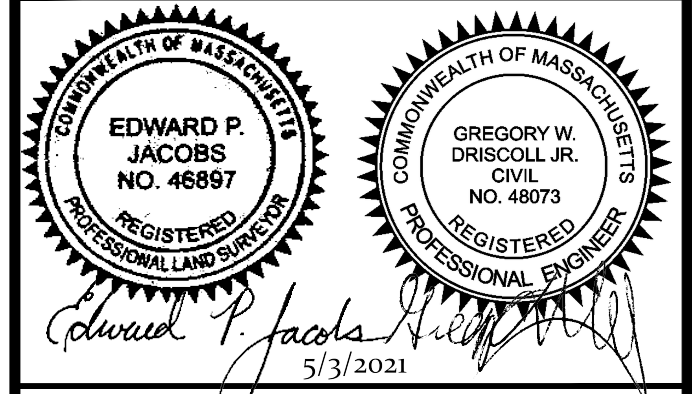
6 STATION AVENUE
 IN
 HARWICH
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SHEET 5 OF 7

JOB NUMBER: 01-2020-015

SEE SHEET 4

ZONING TABLE

ZONE: INDUSTRIAL - LIMITED (I-L)
 MINIMUM / MAXIMUM ZONING REQUIREMENTS
 PROPOSED USE: PROPANE DISTRIBUTION FACILITY

CRITERIA	REQUIRED	PROVIDED
MIN. LOT AREA	20,000 S.F. (0.459 ACRES)	114,382± S.F. (2.626± AC.)
MIN. FRONTAGE	100'	109.60
MIN. FRONT BUILDING SETBACK	25'	208.43'
MIN. SIDE BUILDING SETBACK	25'	38.65'
MIN. REAR BUILDING SETBACK	50'	586.37'
MAX. BUILDING LOT COVERAGE %	40%	4.20%
MIN. GREEN SPACE %	30%	59.78%
MAX. IMPERVIOUS AREA %	70%	40.22%
MAX. BUILDING HEIGHT	40' (2 1/2 STORIES)	1 STORY
PARKING SCHEDULE: OTHER TRANSPORTATION USES: 1 PER EMPLOYEE MAXIMUM SHIFT COMPANY-OWNED VEHICLES: 1 PER VEHICLE KEPT ON PREMISES	10 SPACES	10 SPACES 4 BAY SPACES 21 TRAILER SPACES

X:\2020\01-2020-015\MT - 2 & 6 Station Ave. Harwich\CIVIL\DESIGN\01-2020-015.DWG

N/F MARY RAGOSA & MARY POWERS
 404 GREAT WESTERN RD
 MAP 39 PLOT B6
 D. BK. 3673 PG. 342

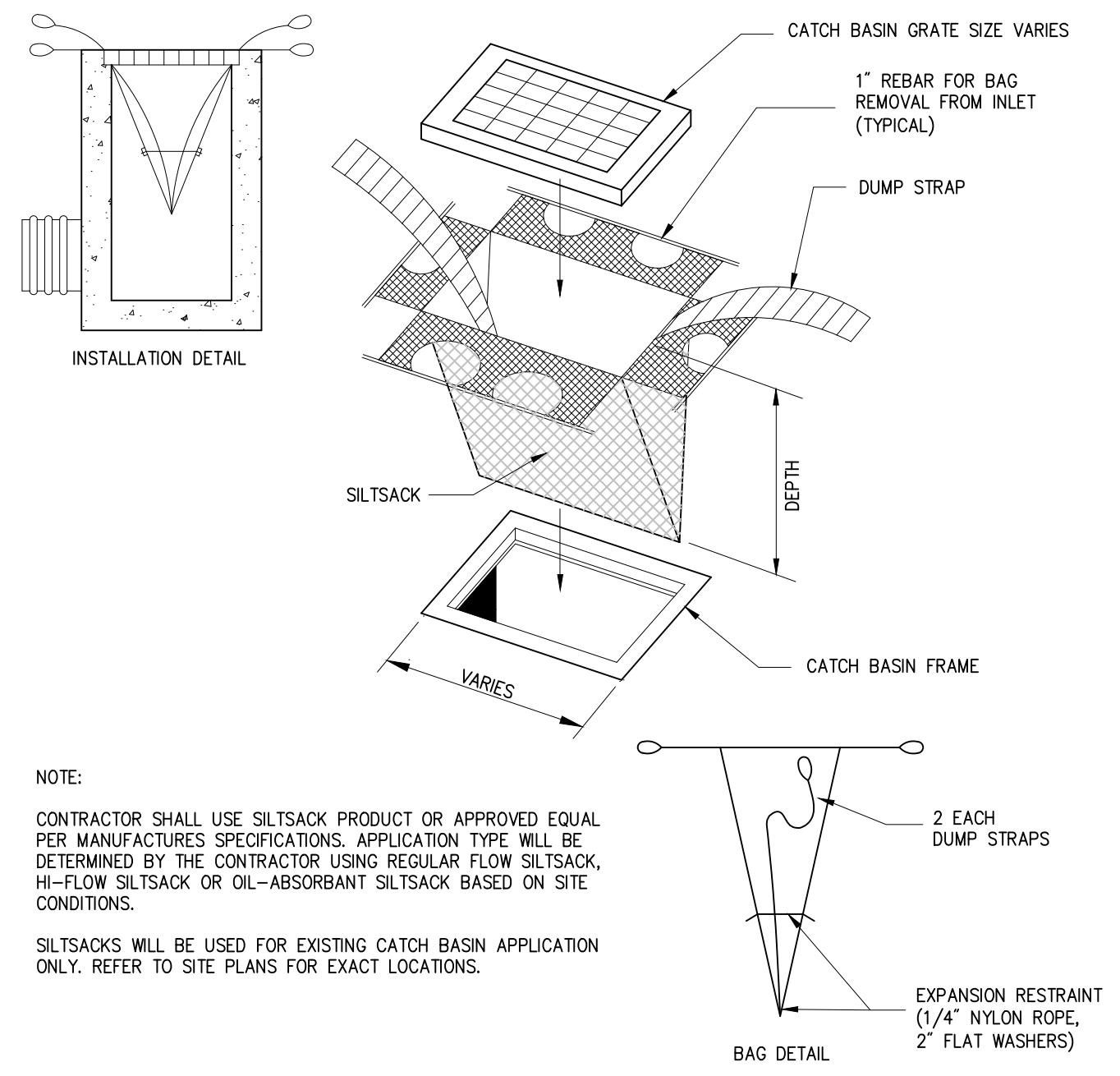
N/F DANIEL RODERICK
 410 GREAT WESTERN RD
 MAP 39 PLOT B7
 D. BK. 4852 PG. 171

N/F ANNA, SHIRLEY, BEVERLY & RODERICK
 0 GREAT WESTERN RD
 MAP 39 PLOT B8-1
 D. BK. 4852 PG. 171

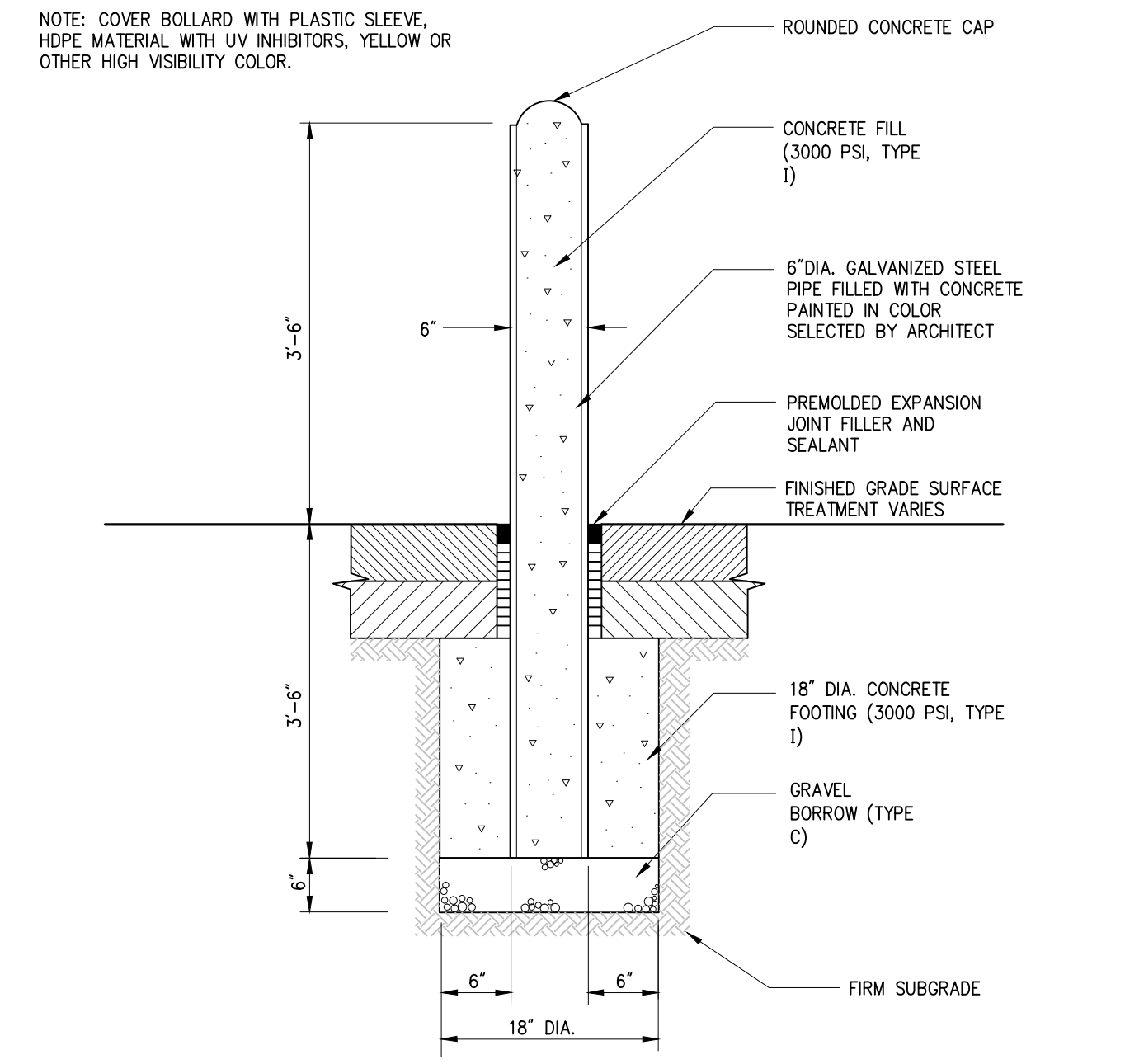
N/F LINDA RODERICK
 414 GREAT WESTERN RD
 MAP 39 PLOT B8
 D. BK. 1429 PG. 1031

N/F ERMELINDA RIBEIRO & ROWLAND BEVAN
 420 GREAT WESTERN RD
 MAP 39 PLOT B9
 D. BK. 31017 PG. 22

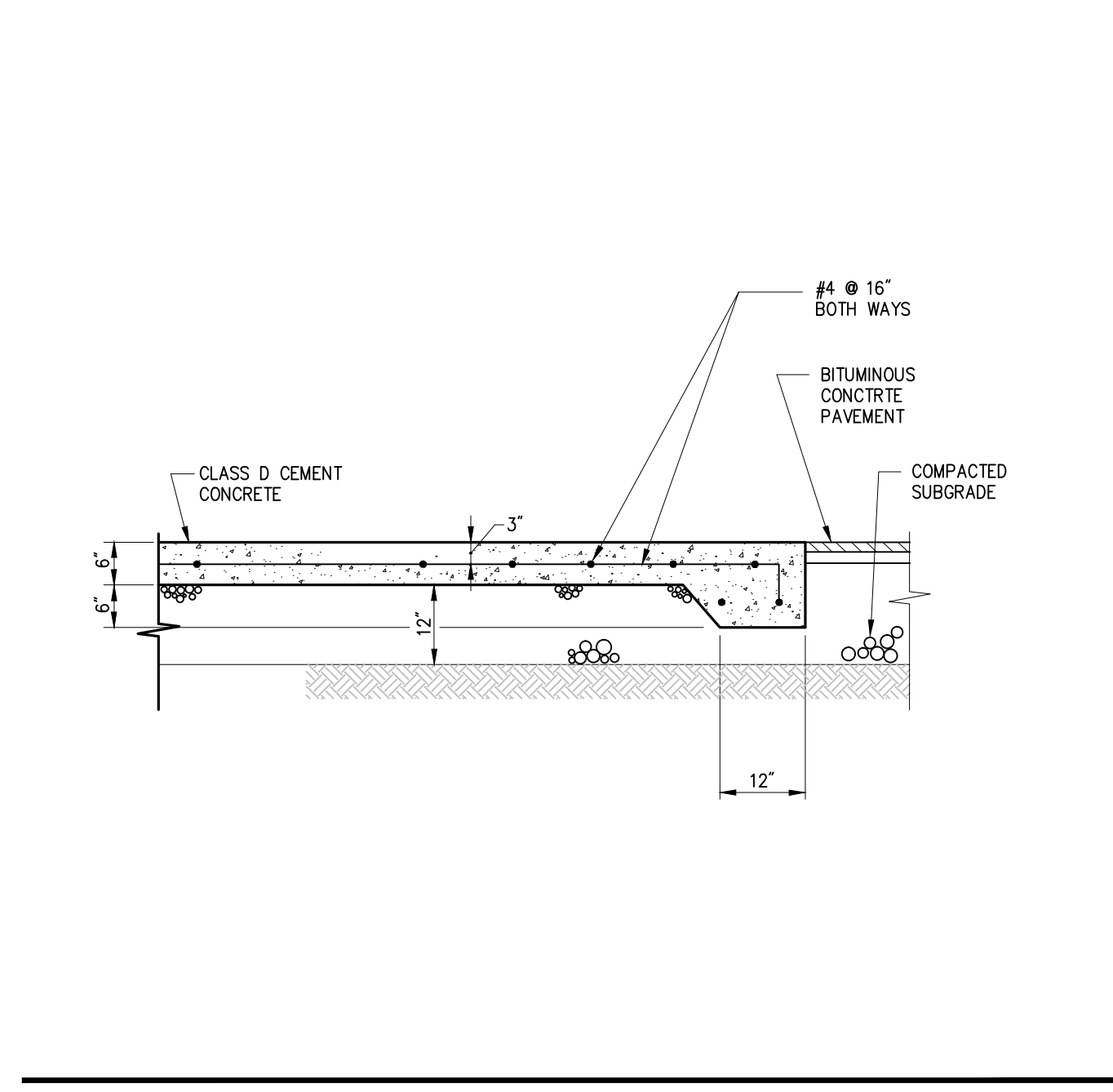
N/F AMANDA SPEAKMAN & EDWARD BRAZ
 424 GREAT WESTERN RD
 MAP 39 PLOT B10
 D. BK. 13563 PG. 292



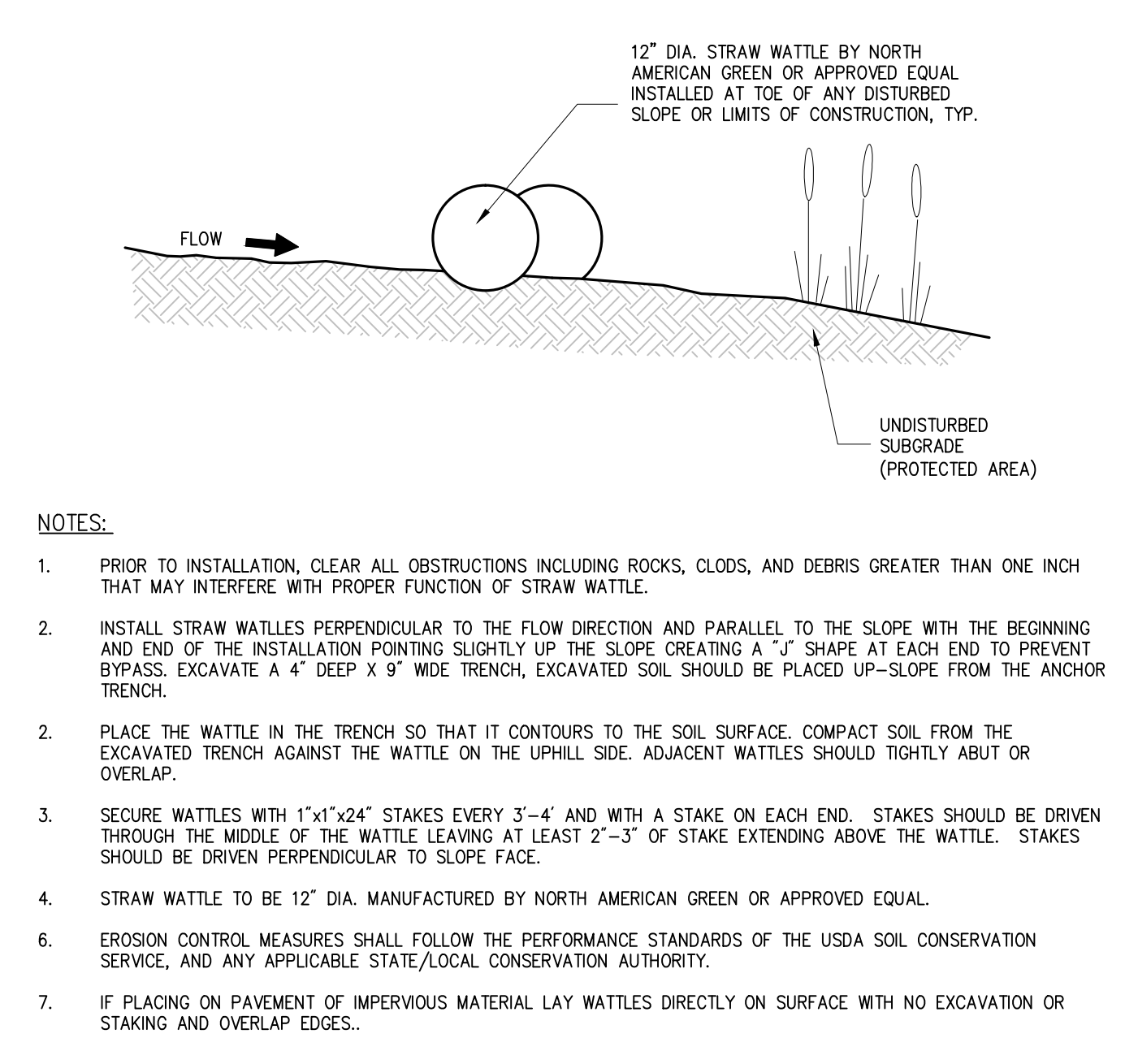
DETAIL # 514 INLET PROTECTION SILTSACK JDE



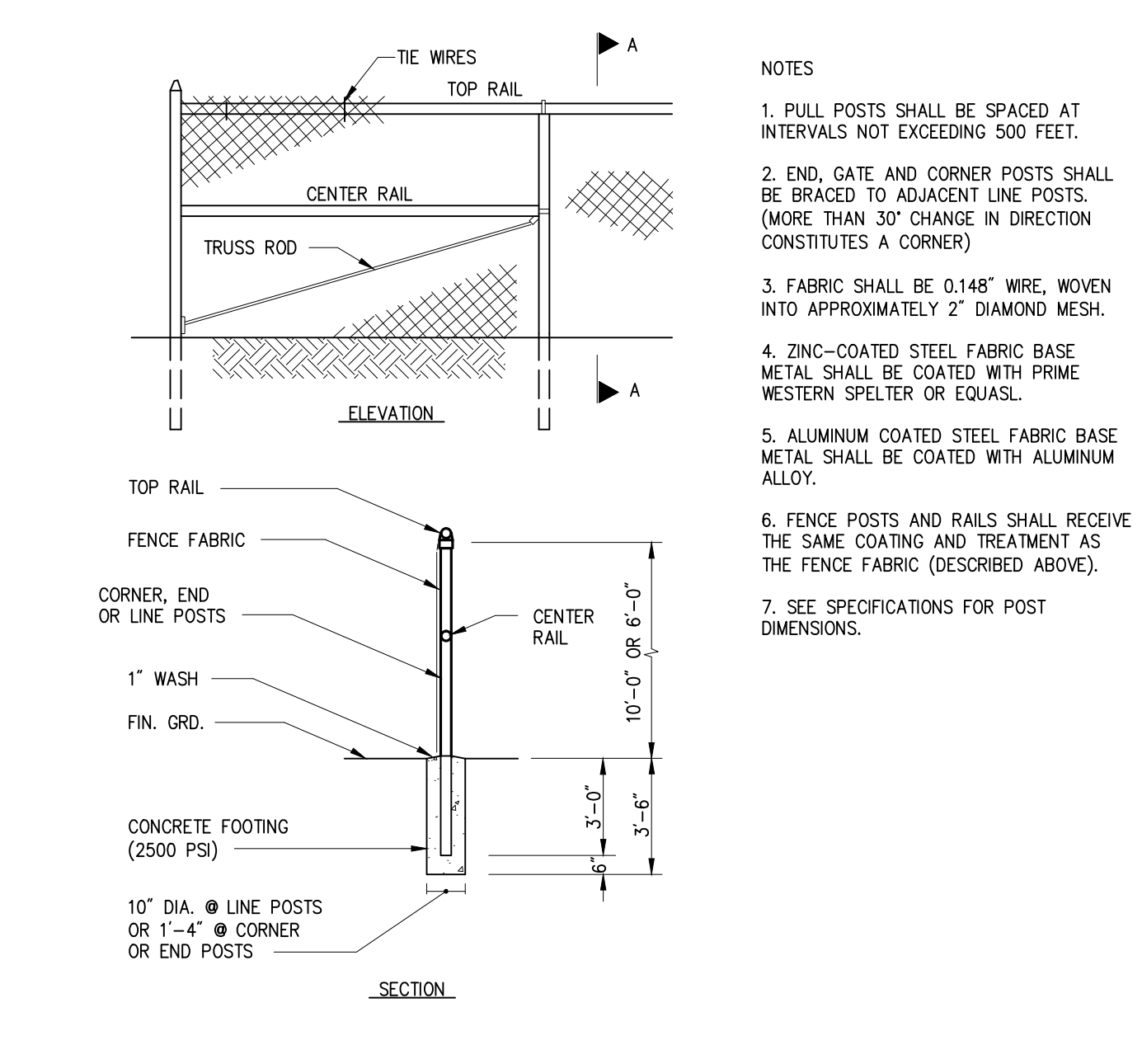
DETAIL # 446 CONCRETE FILLED BOLLARD JDE



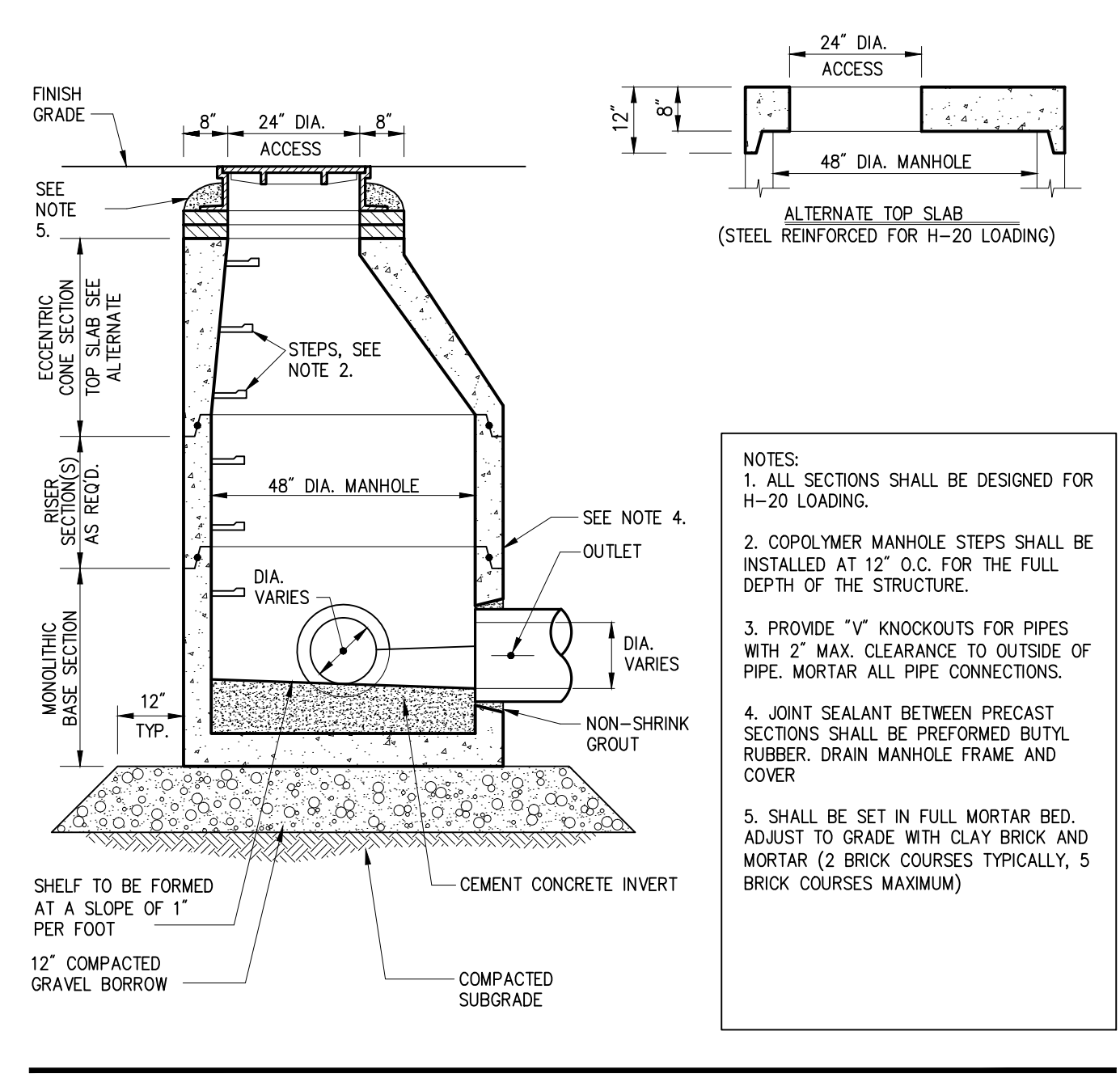
DETAIL # 444 CONCRETE PAD JDE



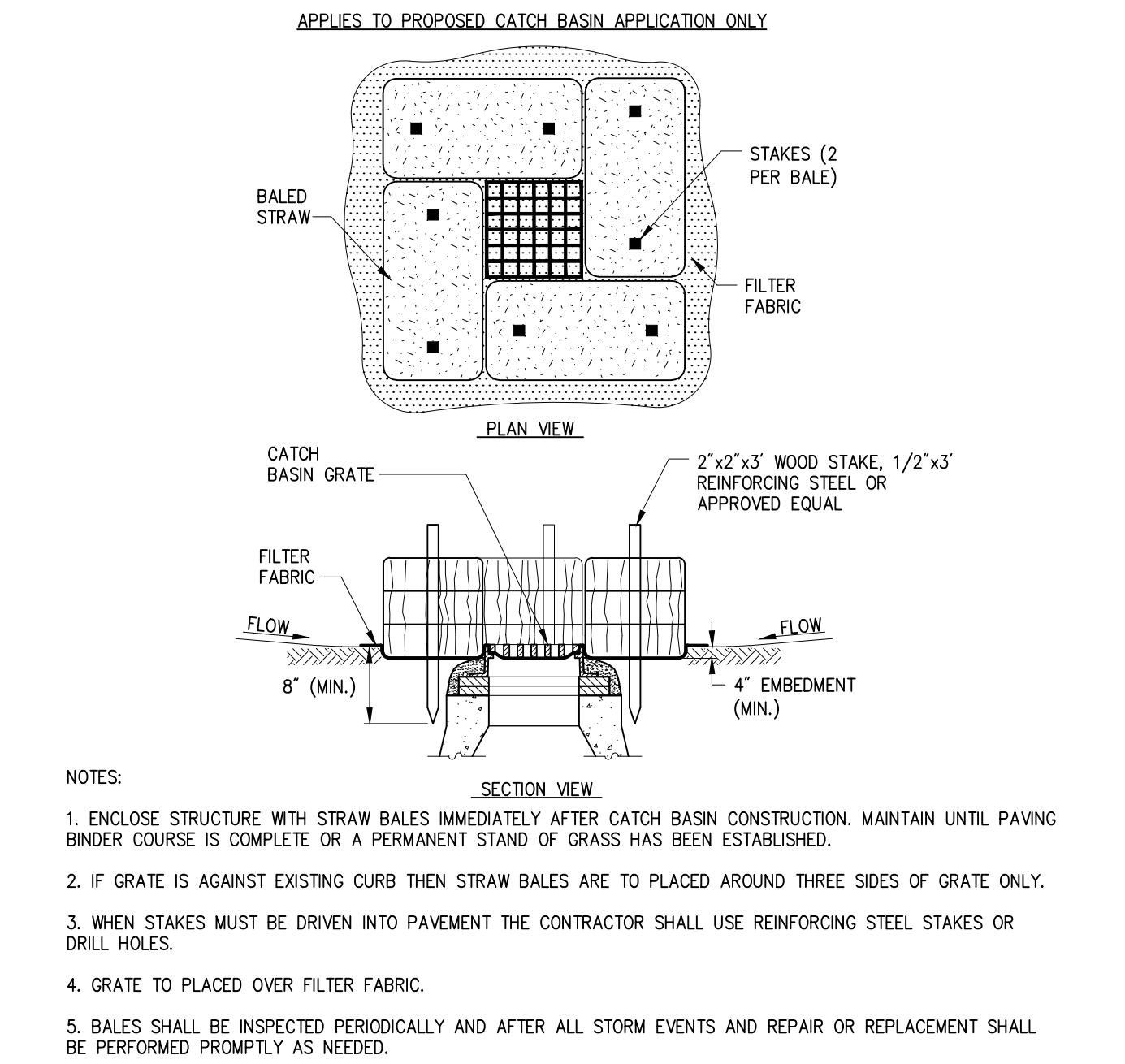
DETAIL # 519 STRAW WATTLE EROSION CONTROL JDE



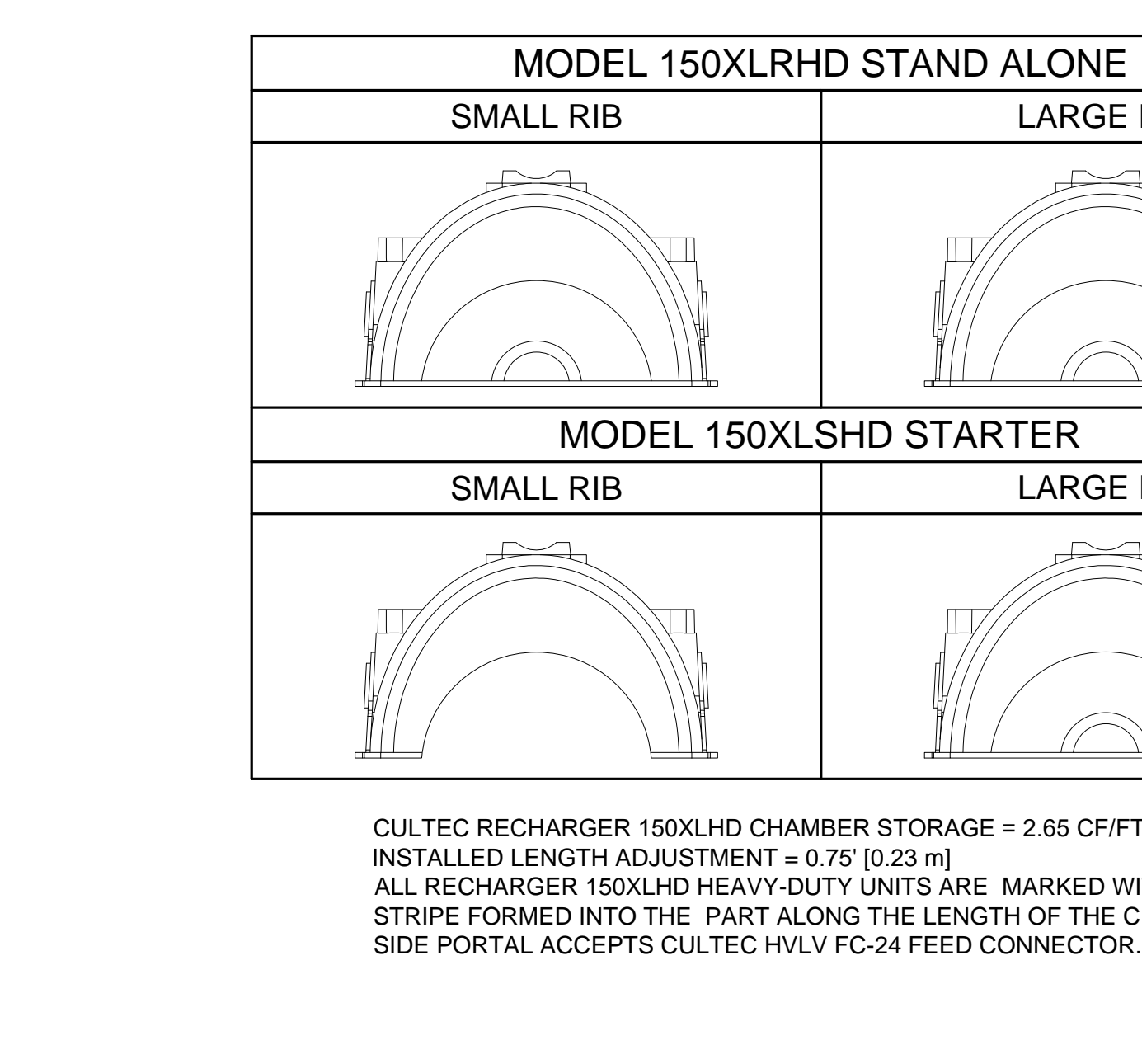
DETAIL # 806 CHAIN LINK FENCE (CLF) JDE



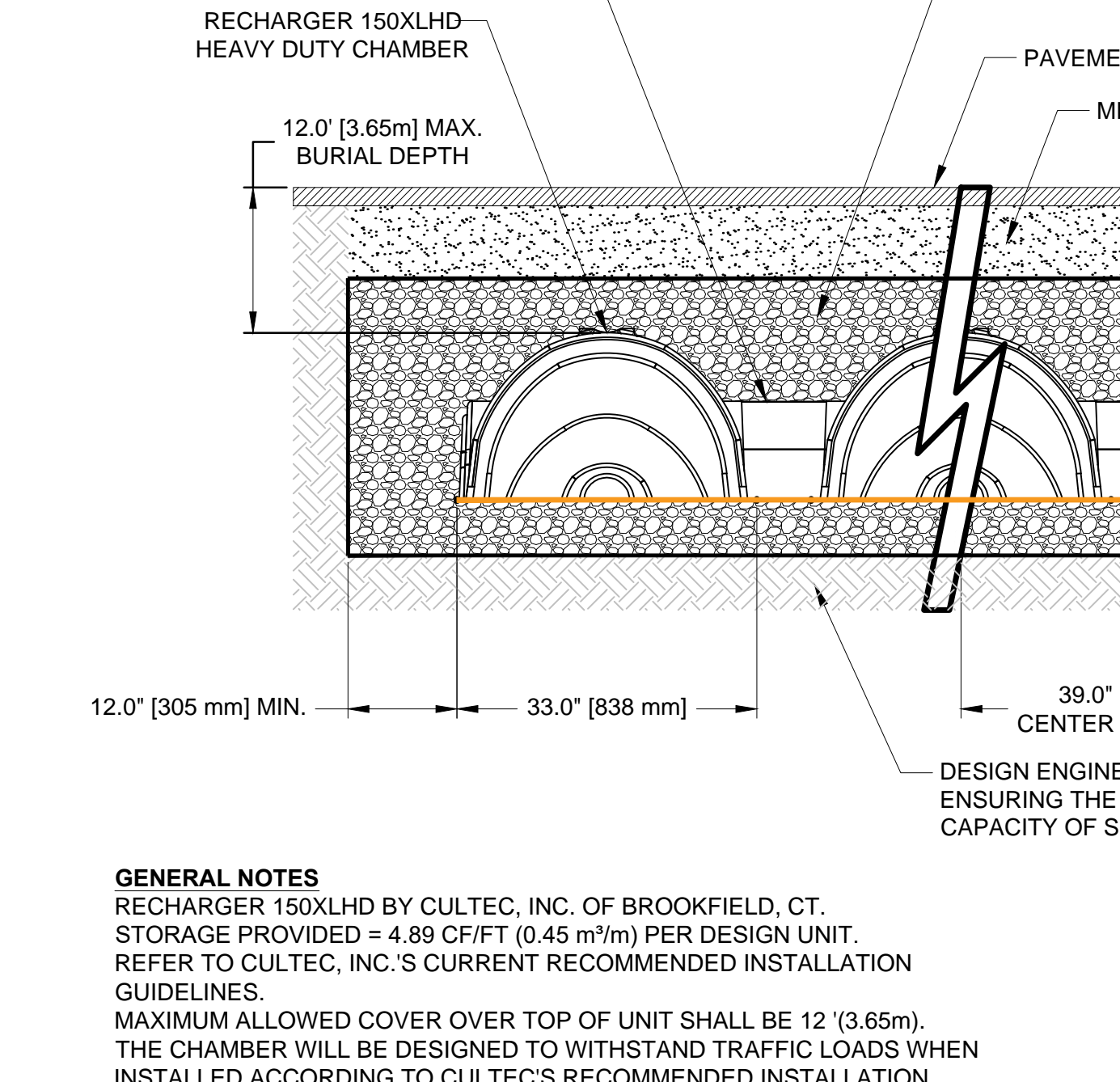
DETAIL # 101 DRAIN MANHOLE (DMH) JDE



DETAIL # 507 CATCH BASIN INLET PROTECTION JDE



DETAIL # 507 CATCH BASIN INLET PROTECTION JDE



DETAIL # 507 CATCH BASIN INLET PROTECTION JDE

GRADING AND DRAINAGE NOTES

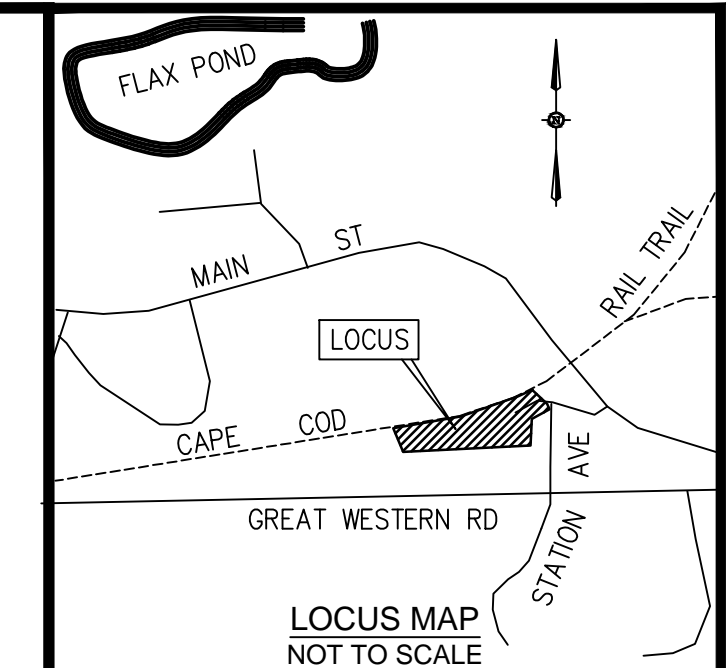
1. THE PROJECT ELEVATIONS ARE BASED ON THE NAVD88 VERTICAL DATUM.
2. DEMOLITION DEBRIS, EXCESS AND UNSUITABLE MATERIALS FROM THE DEMOLITION OPERATION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR.
3. DISTURBED AREAS SHALL BE PROTECTED AT ALL TIMES TO CONTROL SEDIMENT TRANSPORT BEYOND THE LIMIT OF WORK.
4. DISTURBED AREAS SHALL BE TREATED WITH WATER DURING EXCAVATION, OR APPROVED ALTERNATIVE, FOR DUST CONTROL.
5. ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL BE STABILIZED WITH 4\"/>

UTILITY NOTES

1. 12\"/>
2. GAS, ELECTRIC, DATA/COM IS SHOWN SCHEMATICALLY HEREON. THESE UTILITIES SHALL BE INSTALLED WITH A MINIMUM COVER OF 3 FEET UNLESS OTHERWISE NOTED OR OTHERWISE DIRECTED BY THE CONTROLLING UTILITY COMPANY. CONTRACTOR SHALL COORDINATE FINAL LAYOUT WITH APPLICABLE UTILITY COMPANY.
3. ALL COMMERCIAL LIGHTING SHALL DIRECT ALL LIGHT SO AS TO KEEP ALL LIGHTING WITHIN SUBJECT LOT.
4. ALL UTILITY CUTS THROUGH EXISTING CONCRETE OR BITUMINOUS CONCRETE PAVED SURFACES SHALL BE SAW CUT. BACK FILLING OF TRENCH SHALL INCLUDE 12\"/>

EROSION CONTROL NOTES

1. MAINTAIN A STOCKPILE OF 50 HAY BALES, 100 FEET OF SILT FENCE AND 3 CUBIC YARDS OF RIP-RAP ON SITE AT ALL TIMES UNTIL A PERMANENT GRASS COVER HAS BEEN ESTABLISHED.
2. STUMPS FROM THE CLEARING OPERATION SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
3. DISTURBED AREAS SHALL BE PROTECTED AT ALL TIMES TO CONTROL SEDIMENT TRANSPORT BEYOND THE LIMIT OF WORK.
4. DISTURBED AREAS SHALL BE TREATED WITH WATER DURING EXCAVATION, OR APPROVED ALTERNATIVE, FOR DUST CONTROL.
5. THE AMOUNT OF DISTURBANCE ON THE SITE FOR THIS PROJECT IS 14,800 S.F. THUS A LOCAL STORMWATER PERMIT IS NOT REQUIRED.



PERMITTING SET

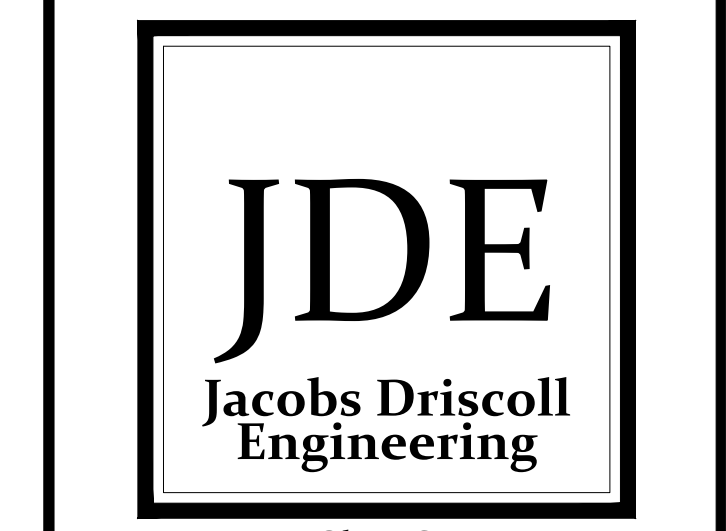
REVISIONS		
No.	DATE	DESCRIPTION
1	10-19-20	REVISE PER TOWN COMMENTS
2	03-08-21	REVISE PER TOWN COMMENTS
3	05-03-21	REVISE PER TOWN COMMENTS

DRAWN BY: TME
 CHECKED BY: EPJ
 DESIGNED BY: TME / GWD

CONSTRUCTION NOTES AND DETAILS

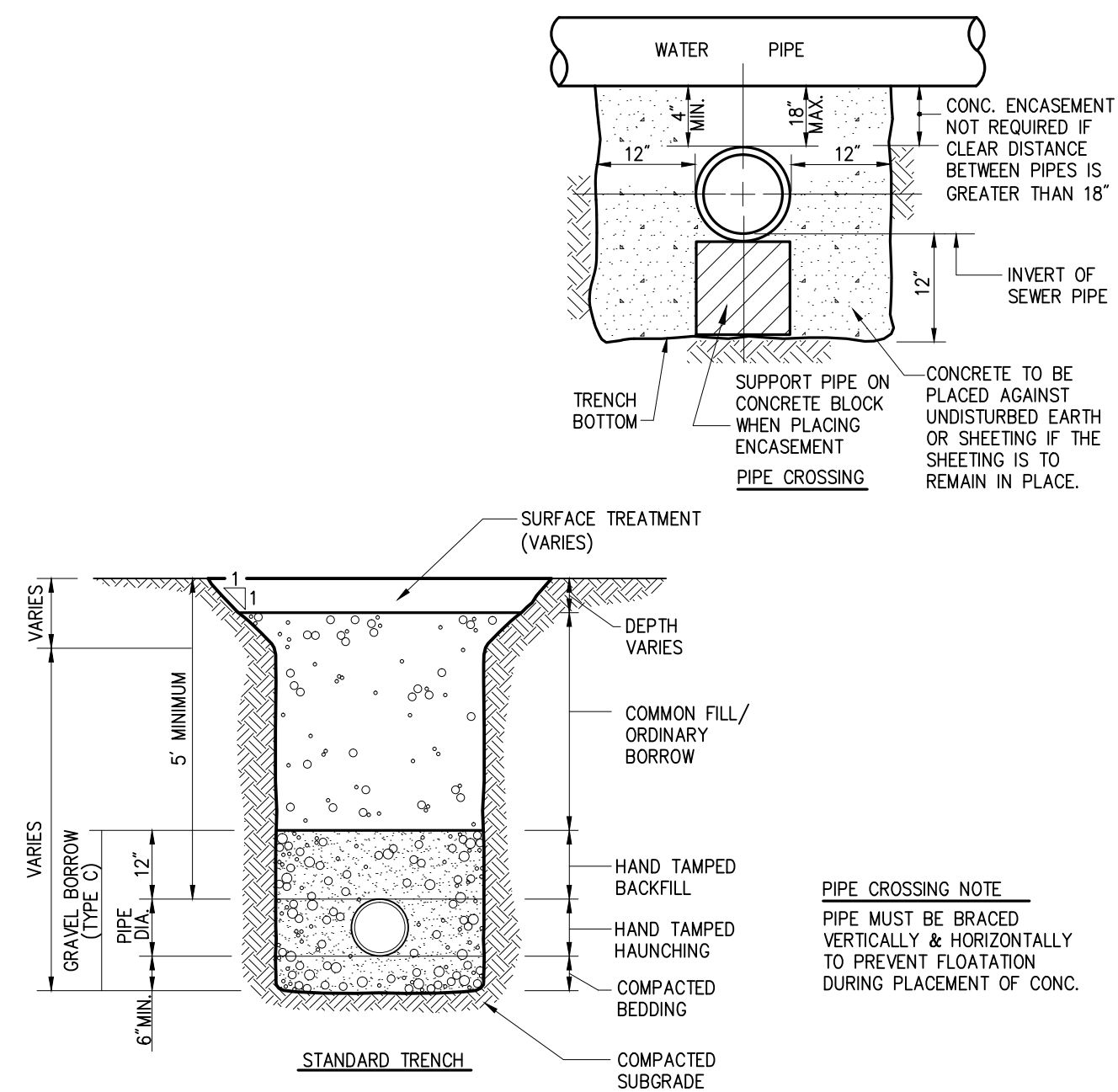
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 MASSACHUSETTS
 SEPTEMBER 24, 2020

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 MASSACHUSETTS
 02657



50 Oliver Street
 North Easton, Massachusetts 02356
 Phone: 508-928-4400
 www.JacobsDriscoll.com





DETAIL #018 UTILITY TRENCH JDE

TABLE OF DIMENSIONS

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F	
6"	11 1/4"	8"	15"	12"	24"	6"	45"	8"	30"	12"	24"	14"
6"	22 1/2"	-	19"	-	13"	6"	90"	-	30"	-	27"	-
8"	11 1/4"	-	20"	-	12"	8"	45"	-	30"	-	24"	-
8"	22 1/2"	-	22"	-	17"	8"	90"	-	38"	-	36"	-
12"	11 1/4"	-	30"	-	15"	12"	45"	-	40"	-	40"	-
12"	22 1/2"	-	35"	-	25"	12"	90"	-	60"	-	52"	-

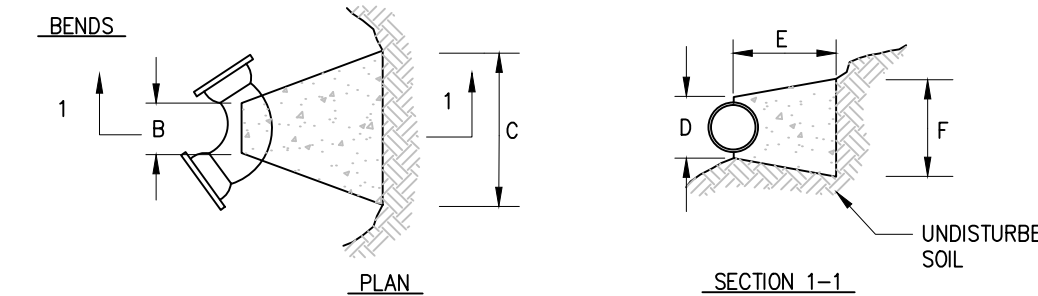
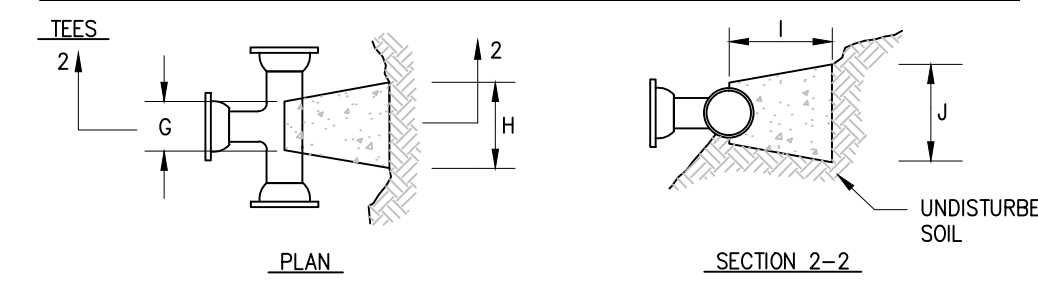


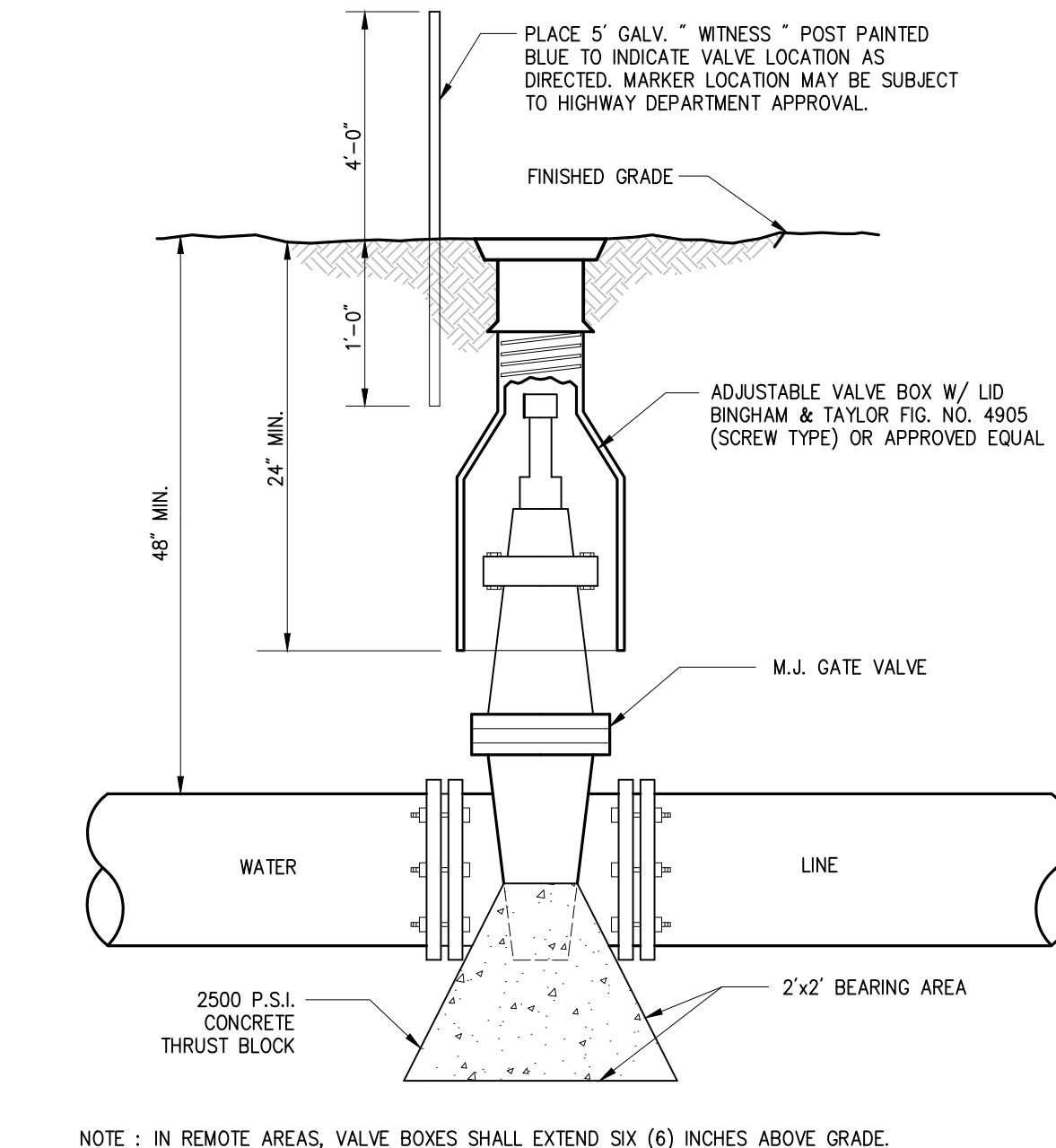
TABLE OF DIMENSIONS

TEES	G	H	I	J	TEES	G	H	I	J
6" x 6" x 6"	12"	24"	24"	18"	12" x 12" x 6"	12"	24"	24"	18"
8" x 8" x 6"	-	-	-	-	12" x 12" x 8"	-	-	-	-
8" x 8" x 8"	-	-	-	24"	12" x 12" x 12"	-	-	-	36"

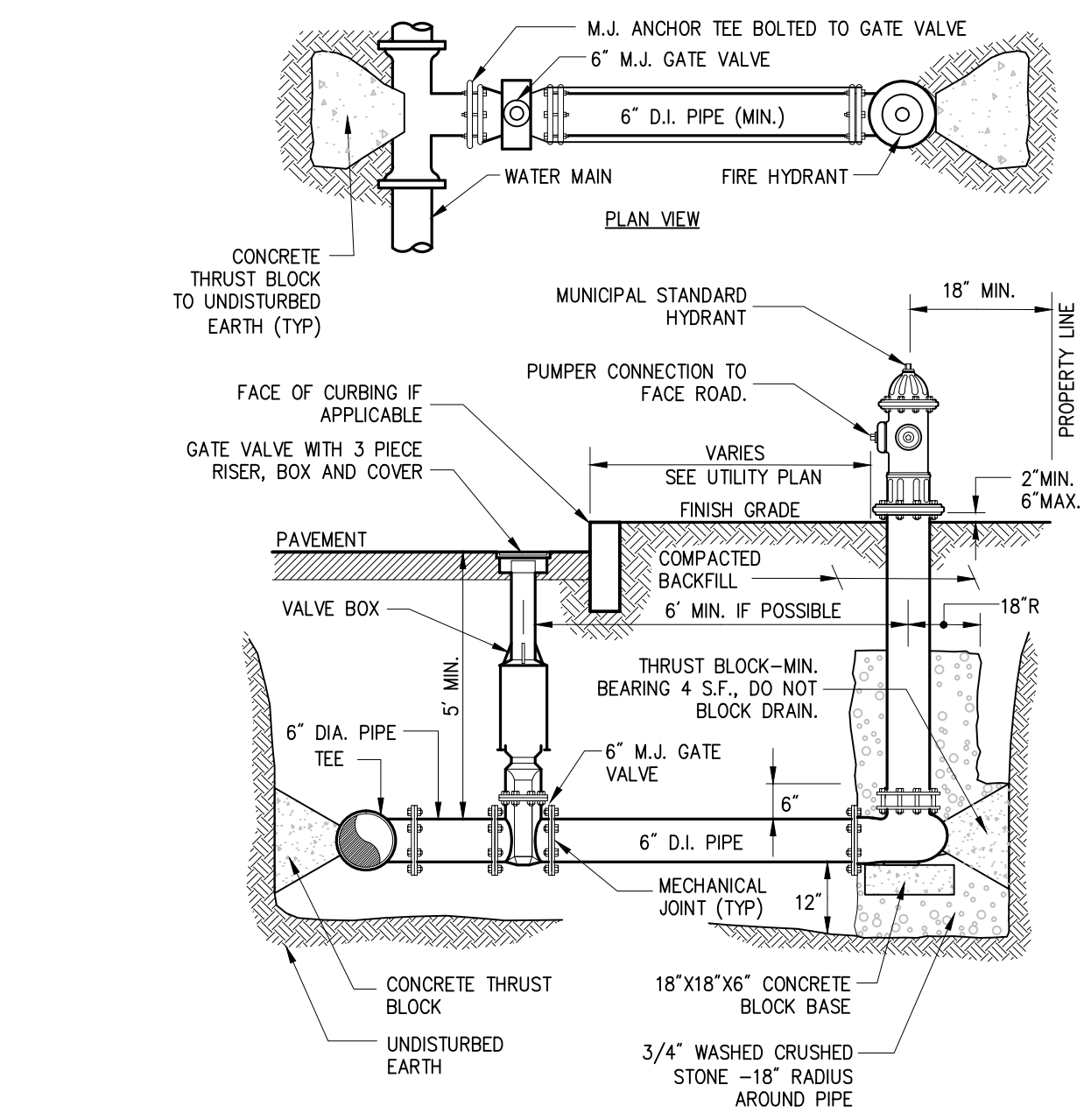


- NOTES:
1. PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
 2. CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.

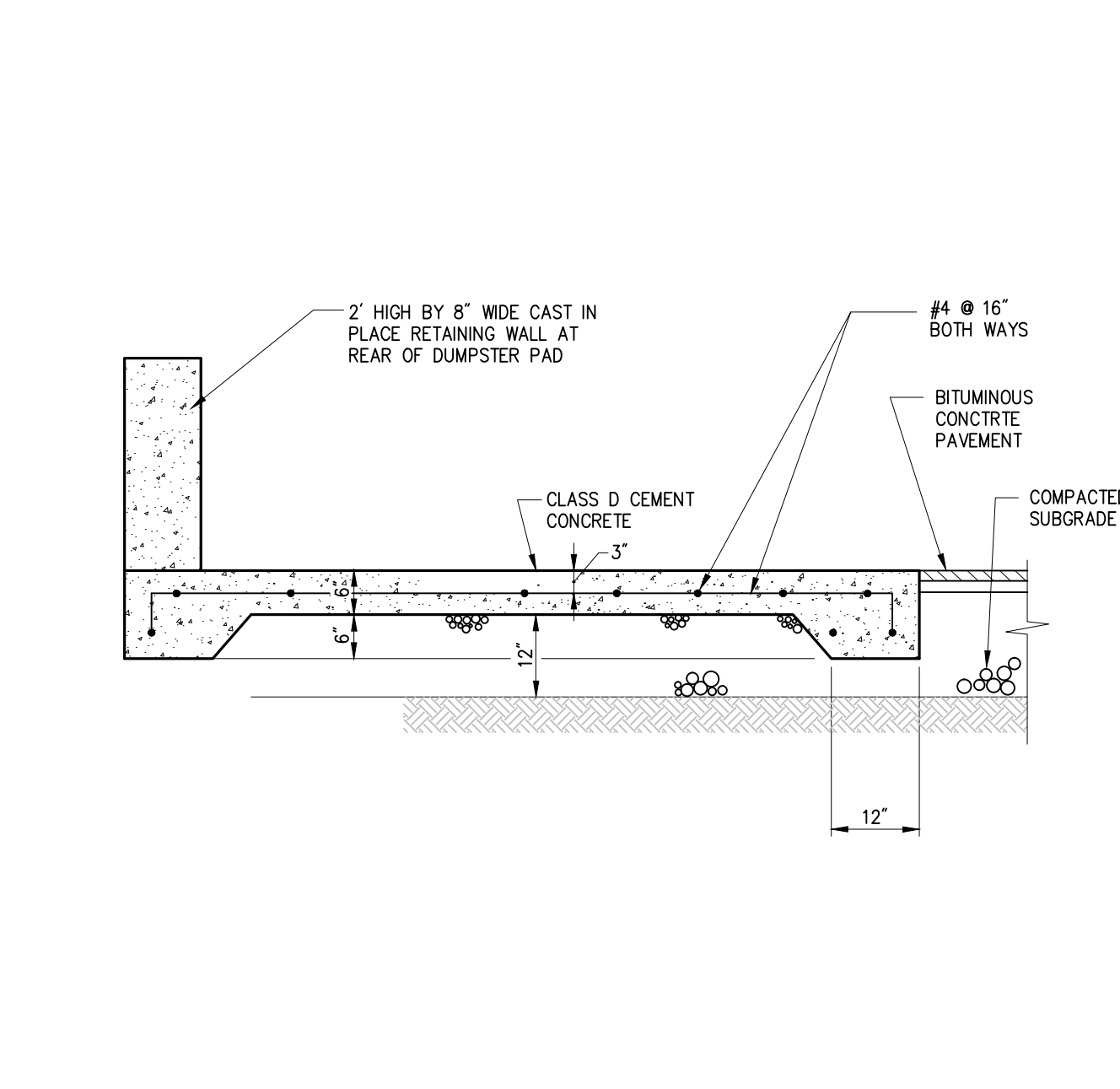
DETAIL # 301 CONCRETE THRUST BLOCK JDE



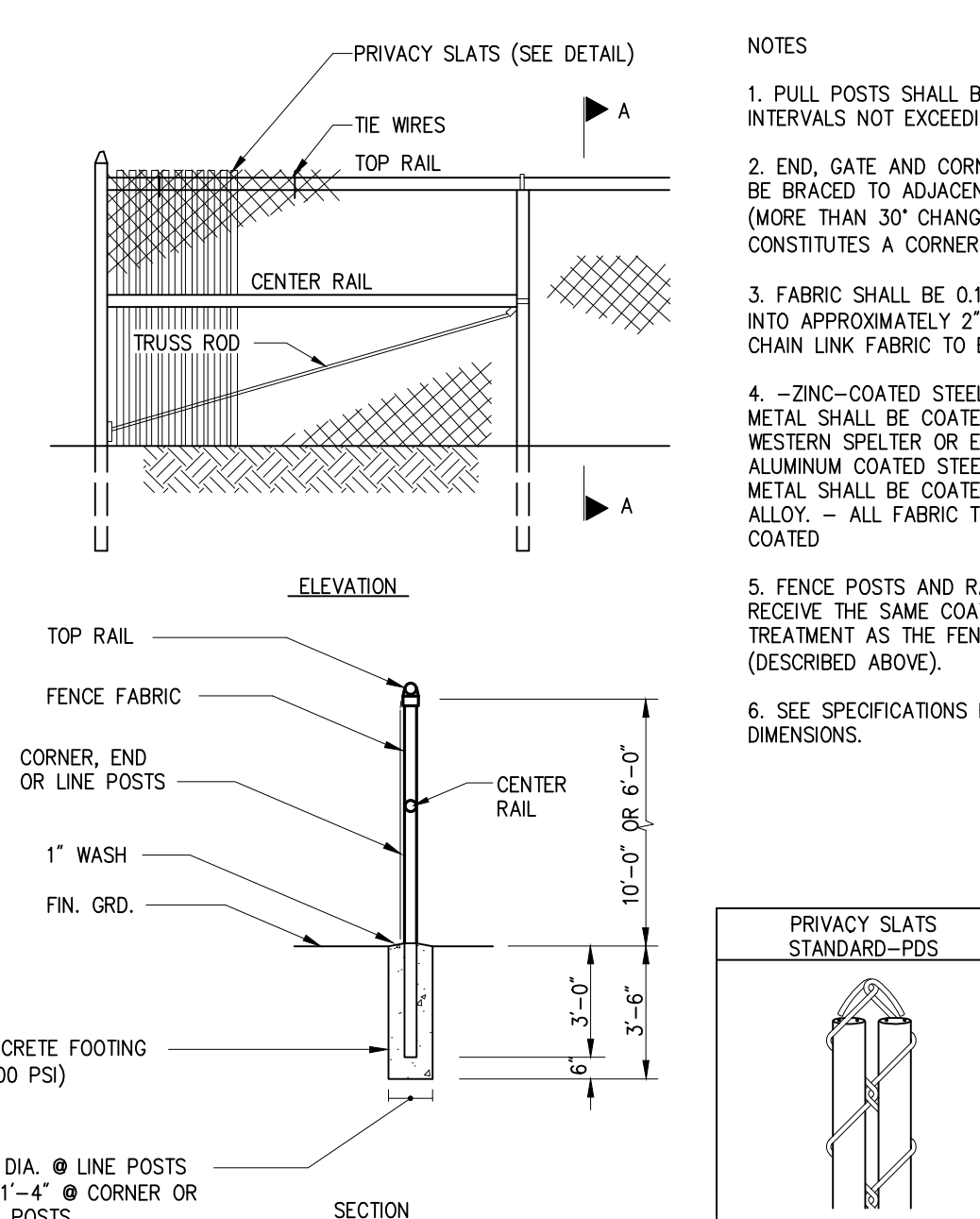
DETAIL # 303 WATER GATE VALVE JDE



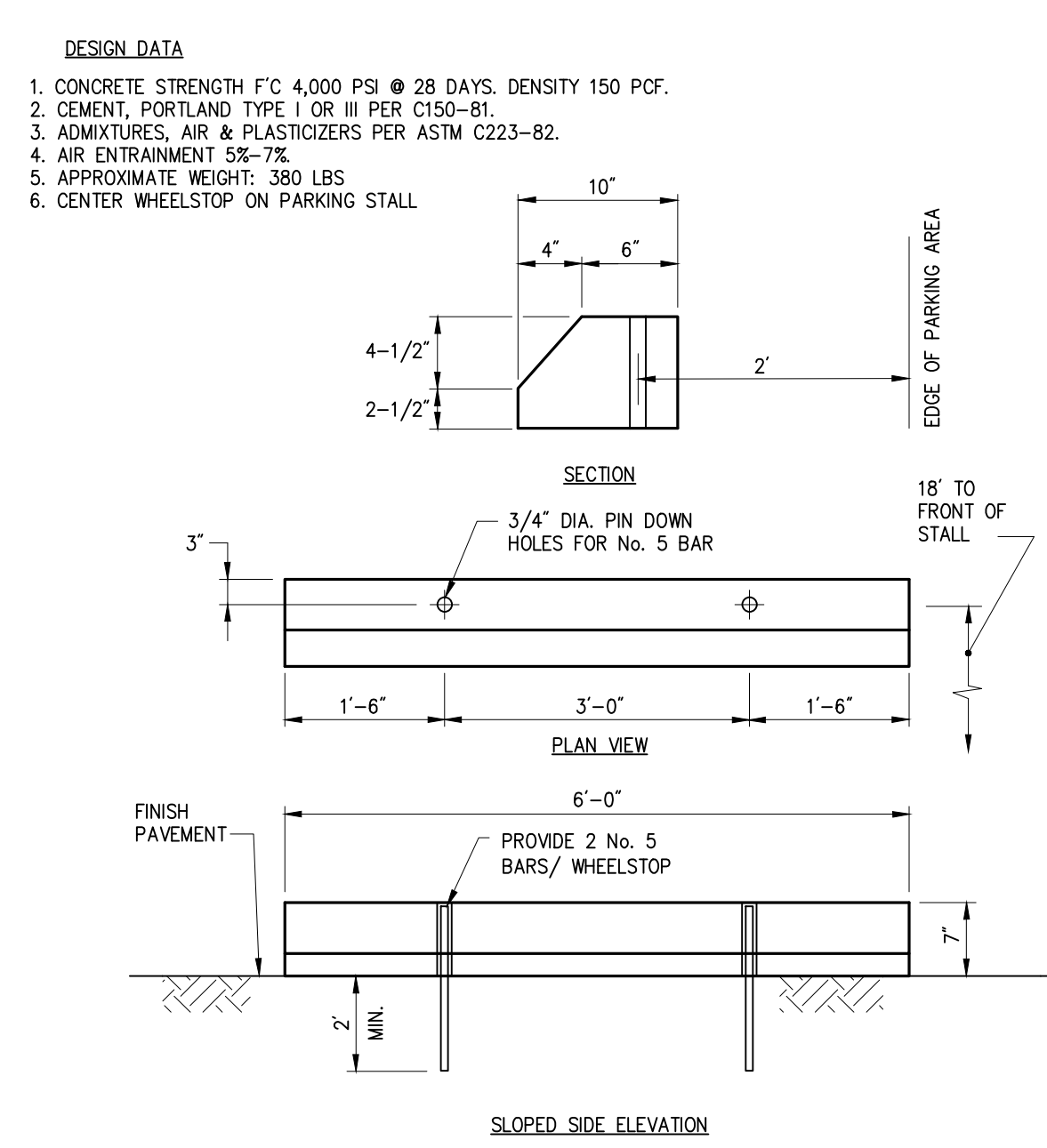
DETAIL # 300 FIRE HYDRANT CONNECTION JDE



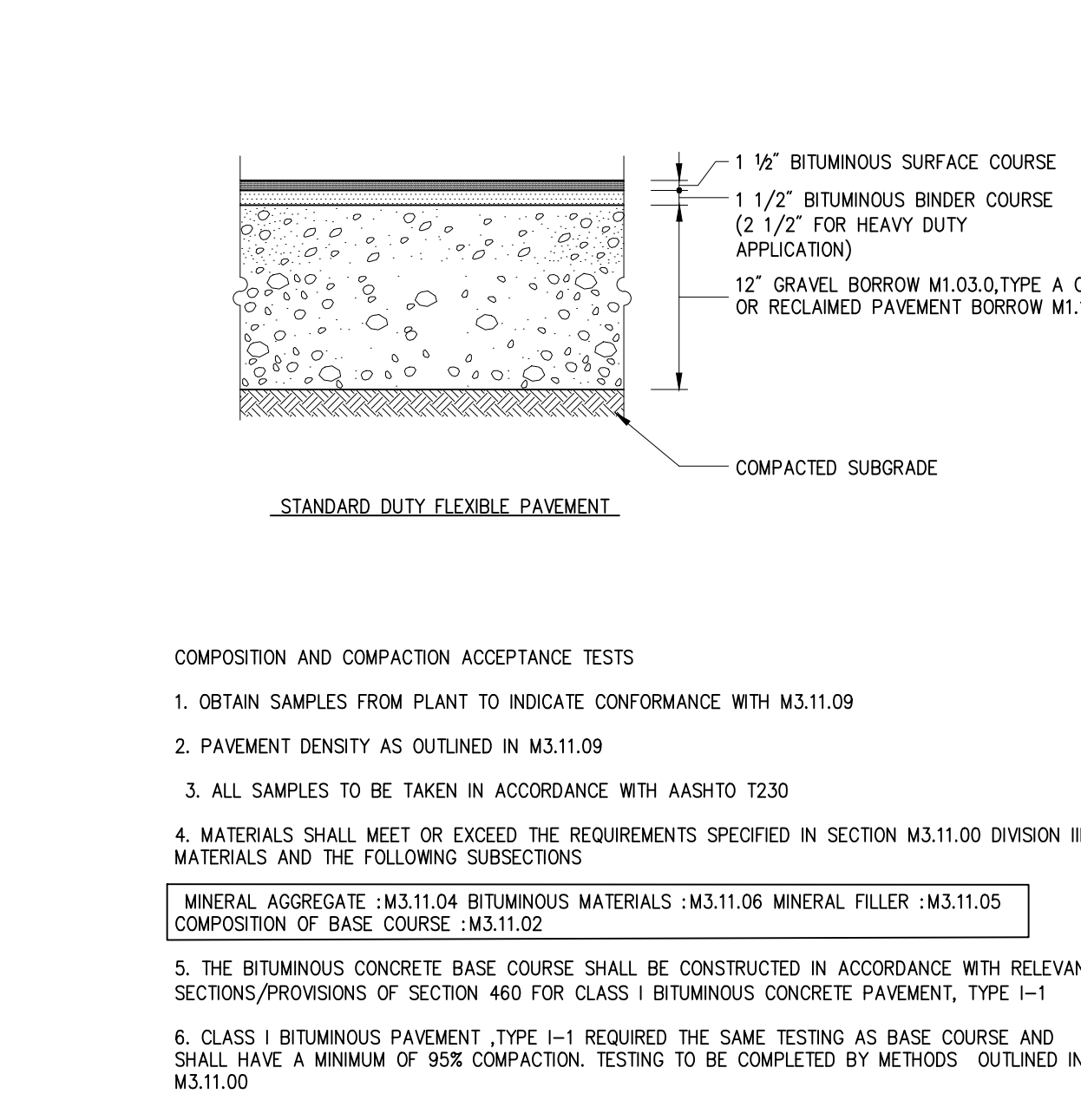
DETAIL # 444 CONCRETE DUMPSTER PAD JDE



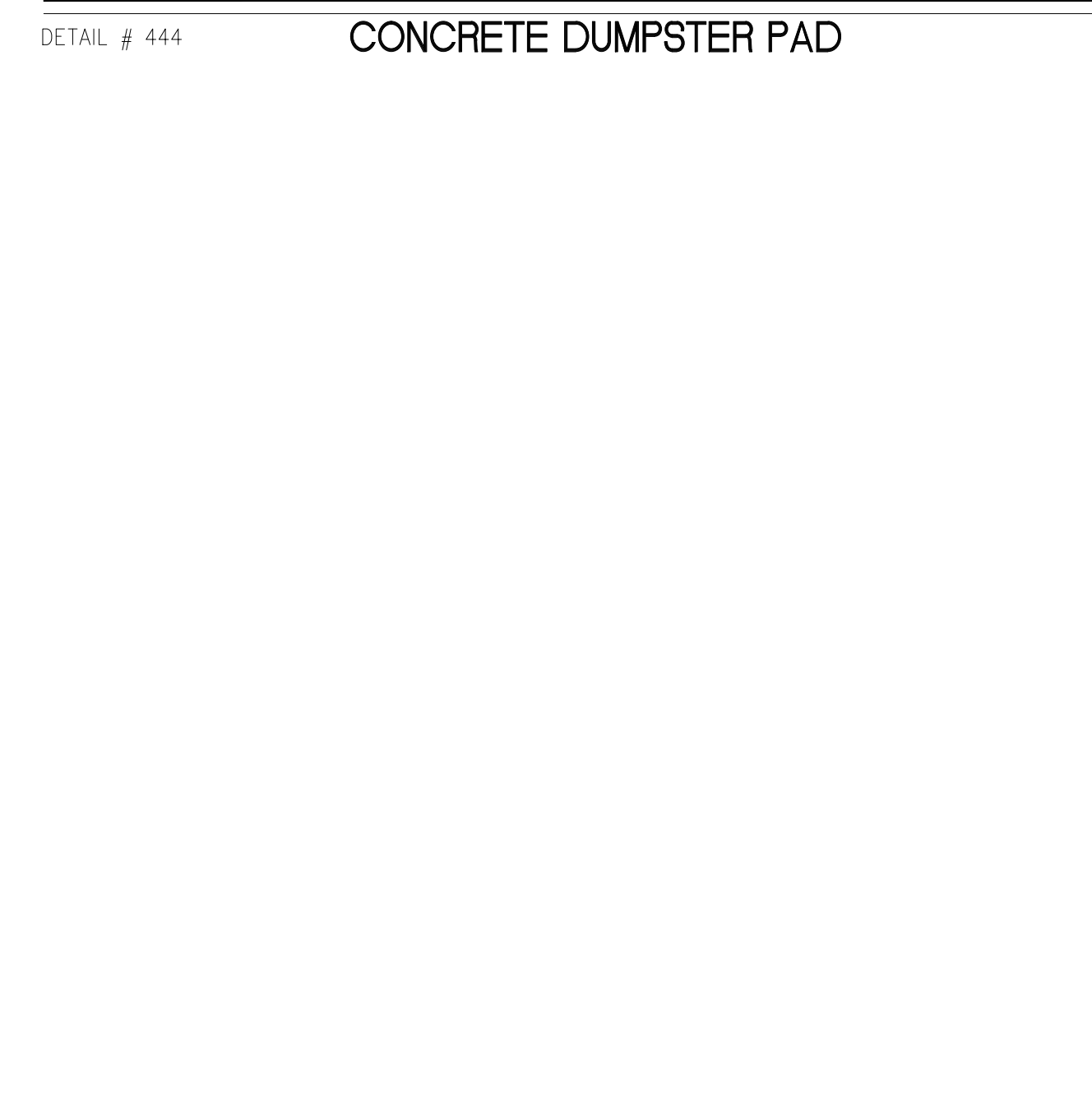
DETAIL # 807 CHAIN LINK FENCE W/ PRIVACY SLATS JDE



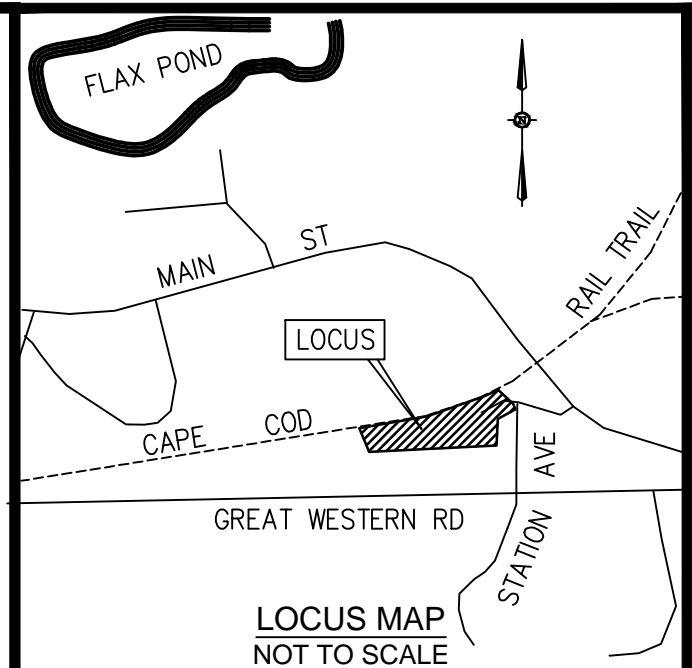
DETAIL # 445 CONCRETE WHEEL STOP JDE



DETAIL # 418 BITUMINOUS CONCRETE PAVEMENT JDE



DETAIL # 801 TIMBER GUARD RAIL JDE



PERMITTING SET

REVISIONS

No.	DATE	DESCRIPTION
1	10-19-20	REVISE PER TOWN COMMENTS
2	03-08-21	REVISE PER TOWN COMMENTS
3	05-03-21	REVISE PER TOWN COMMENTS

DRAWN BY: TME
CHECKED BY: EPJ
DESIGNED BY: TME / GWD

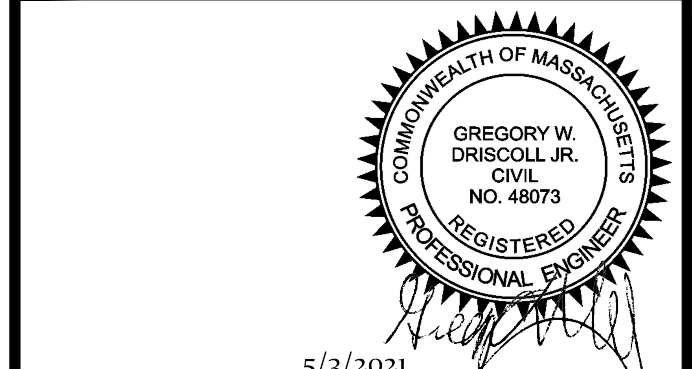
CONSTRUCTION NOTES AND DETAILS

6 STATION AVENUE
IN
HARWICH
(BARNSTABLE COUNTY)
MASSACHUSETTS
SEPTEMBER 24, 2020

PREPARED FOR:
CAPE COD OIL
COMPANY
227 ROUTE 6
PROVINCETOWN
MASSACHUSETTS
02657

JDE
Jacobs Driscoll
Engineering

50 Oliver Street
North Easton, Massachusetts 02356
Phone: 508-928-4400
www.JacobsDriscoll.com



May 11, 2021
Staff Report
PB2021-08 Eastward ANR

Planning Comments:

PB2021-08 Eastward Homes Business Trust, Eastward MBT, LLC, Tr. Applicants and owners, seek an “Approval Not Required (ANR)” plan endorsement under M.G.L. c. 41 §§81L and 81P in order to reconfigure and re-divide existing lots.

The ANR plan is entitled “Division Plan, 1522 Orleans Road (Rte. 39), Harwich, MA,” prepared by Clark Engineering LLC, with a revised date of 4/23/21 (stamped by Donald T. Poole, P.L.S. April 28, 2021). Basically, the ANR plan would reconfigure three existing lots into four proposed lots and a small, unbuildable parcel. Subsequent to the approval of the “Bascom Hollow” subdivision (Plan Book 675 Page 51), the applicant acquired additional land to the south of the subdivision along Orleans Road and now looks to incorporate that newly acquired land into the subdivision.

In its existing configuration, the subject land is referenced/ shown as 16 Bascom Hollow (Map 97 Parcel B2-12; lot 8, Plan Book 675 Page 51); 1522 Orleans Road (Map 97 Parcel B2-3; Plan Book 675 Page 51; and formerly “Owners Unknown” land, Parcel 7, Plan Book 686, Page 11. As proposed, the subject land is shown as Lots 8A, 9, 10 and 11 and Parcel A on the ANR plan. The subject land is contiguous and located in the R-R & W-R zoning districts.

Staff recommends to the Board that the proposal does not constitute a ‘subdivision’ within the meaning of the Subdivision Control Law, and the applicant is entitled to an endorsement that the plan does not require approval under the subdivision control law. All lots proposed to be reconfigured, re-divided or otherwise affected on the ANR Plan have frontage of at least such distance as is required under the Harwich Zoning Code (150’) on a public way (Orleans Road) or a way shown on a plan approved and endorsed under the subdivision control law (Bascom Hollow).

A request for an ANR plan endorsement does not require a public hearing. The Planning Board opened the public meeting on the matter Tuesday April 27, 2021, and continued/ extended with the applicant to Tuesday, May 11, 2021 requesting further information. The ANR plan was revised subsequent to the April 27th meeting and has been submitted for the May 11th meeting. Pursuant to MGL c.41, §81P, the Planning Board has a limited time to act and file a decision with the Town Clerk on an ANR plan. The Board needs to render its decision at the May 11th meeting unless the applicant agrees to extend further.

Interdepartmental Staff comments:

Health: These properties are located in a Zone II and must adhere to one bedroom per 10,000 square feet per lot. No other issue or concerns.

Findings/ Decision (as recommended by staff):

Motion that the plan titled, “Division Plan, 1522 Orleans Road (Rte. 39), Harwich, MA,” prepared by Clark Engineering LLC, with a revised date of 4/23/21 (stamped by Donald T. Poole, P.L.S. April 28, 2021), does not require approval under the subdivision control law, and to endorse the plan accordingly.

No determination as to compliance with the Town of Harwich Zoning By-Law has been made or intended by the below endorsement.

Approval under the Subdivision Control Law NQI required. Ref. C. 41, s. 81-P., G. L.

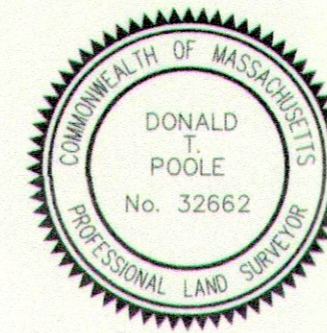
HARWICH PLANNING BOARD

Date _____

NOTES:

Parcel A has insufficient area and is not considered a buildable lot. Parcel A is to be conveyed to abutter

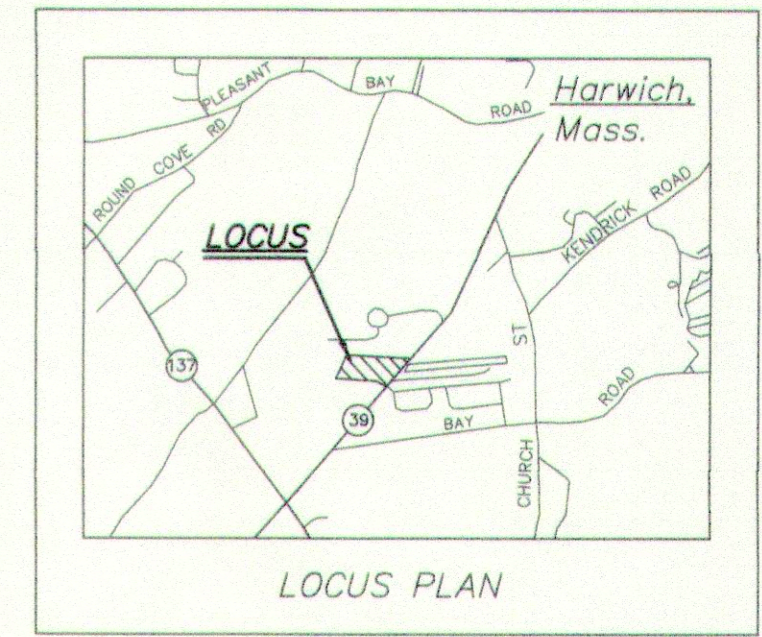
□ ... Concrete Monument to be Set



I certify that this plan was prepared in accordance with the rules and regulations of the Register of Deeds as adopted January 1, 1976 and amended January 7, 1988.

Date April 26, 2021

P.L.S.



Assessors' Map 97, Parcels B2-12&B2-3

OWNER OF RECORD: Eastward Homes Business Trust, 155 Crowell Road, Chatham, MA 02633

Deed Book 30950, Page 131; Plan Book 674, Page 52, Lot 1; Plan Book 675, Page 71; Plan Book 686, Page 81, Lot 8; Deed Book 33587, Page 218; Plan Book 686, Page 11, Parcel 7

Approval lines for the Planning Board, including a date line and a signature line.

Now or Formerly The Helen Murdock Living Trust, Agreement Dated February 2, 2011, Helen R. Murdock, Trustee, Melanie B. Garrison, Trustee, 171 Falmouth Road, Hyannis, MA 02601, Dd. Bk. 32872, Pg. 215, Pl. Bk. 675, Pg. 71, Lot 6

Now or Formerly Melanie B. Garrison Trust, Dated February 8, 2018, Melanie B. Garrison, Trustee, 19 Bascom Hollow, Harwich, MA 02645, Dd. Bk. 32415, Pg. 116, Pl. Bk. 675, Pg. 71, Lot 5

Now or Formerly Eastward Homes Business Trust, Eastward MBT LLC, Trustee, 155 Crowell Road, Chatham, MA 02633, Dd. Bk. 30950, Pg. 131, Pl. Bk. 674, Pg. 52, Pl. Bk. 675, Pg. 71, Lot 4

Now or Formerly Paul C. Katserebas, Ellen Katserebas, 28 Villa Drive, Foxborough, MA 02035, Dd. Bk. 31847, Pg. 47, Pl. Bk. 675, Pg. 71, Lot 3

Now or Formerly Michael J. Ronga, Maria Ronga, 8 Katie Lane, Pelham, NH 03076, Dd. Bk. 32901, Pg. 186, Pl. Bk. 675, Pg. 71, Lot 2

Now or Formerly Eastward Homes Business Trust, Eastward MBT LLC, Trustee, 155 Crowell Road, Chatham, MA 02633, Dd. Bk. 30950, Pg. 131, Pl. Bk. 674, Pg. 52, Pl. Bk. 675, Pg. 71, Lot 1

Now or Formerly Shumaker Luddy Living Trust, Peter A. Luddy, Trustee, Linda M. Shumaker, Trustee, 37 Coventry Lane, Binghamton, NY 13903, Dd. Bk. 32200, Pg. 254, Pl. Bk. 675, Pg. 71, Lot 7

PARCEL A, Area=2,160 S.F.± or 0.05 Ac.±

LOT 8A, Area=40,662 S.F.± or 0.93 Ac.±, s=15.5

LOT 9, Area=41,706 S.F.± or 0.96 Ac.±, s=16.7

LOT 10, Area=43,500 S.F.± or 0.99 Ac.±, s=18.5

LOT 11, Area=40,549 S.F.± or 0.93 Ac.±, s=16.1

Now or Formerly Michael A. Silvester, Wilma S. Silvester, 29 Old Carriage Drive, East Harwich, MA 02645, Dd. Bk. 24463, Pg. 190, Pl. Bk. 557, Pg. 63, Lot 11

Now or Formerly Gerald A. Carey, Barbara J. Carey, 25 Old Carriage Drive, East Harwich, MA 02645, Dd. Bk. 31184, Pg. 131, Pl. Bk. 557, Pg. 63, Lot 12

Now or Formerly Ginsberg Family Trust, Martin & Shirley Ginsberg, Richard & Jonathan Ginsberg, 15 Old Carriage Drive, East Harwich, MA 02645, Dd. Bk. 28959, Pg. 265, Pl. Bk. 557, Pg. 63, Lot 14

Now or Formerly Philip J. & Donna L. Rejeski, 27 Glen Hill Road, Redding, CT 06896, Dd. Bk. 27641, Pg. 56, Pl. Bk. 557, Pg. 63, Lot 15

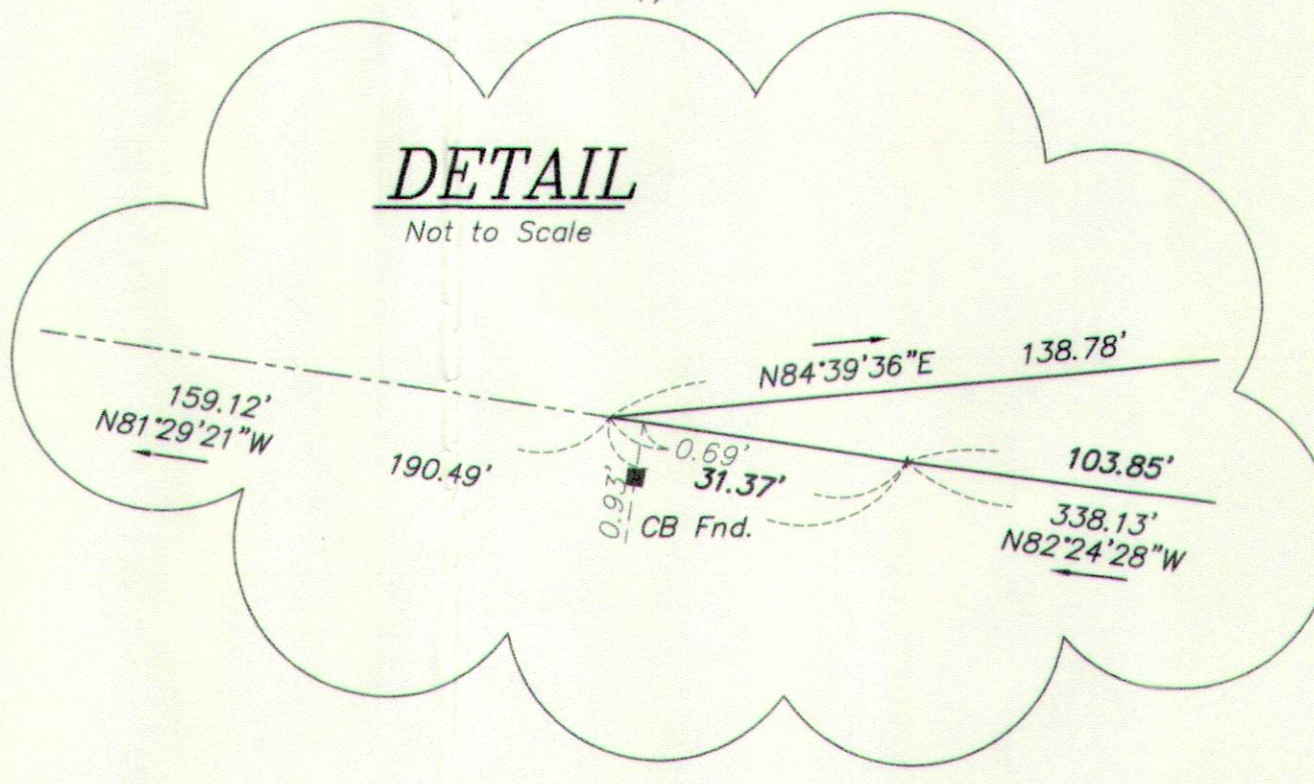
Now or Formerly Carriage Estates Homeowners Assoc. Trust, c/o Martin I. Ginsberg, Treasurer, 15 Old Carriage Drive, East Harwich, MA 02645, Dd. Bk. 15414, Pg. 192, Pl. Bk. 557, Pg. 63, Lot 17

Now or Formerly Jim D. Rolano, Janette M. Carabelli, 1 Williamsburg Avenue, Harwich, MA 02645, Certificate 216919, L.C.Pl. 28020-B, Lot 65

Now or Formerly Charles P. H. Bascom, Joan C. Bascom, 2 Elmwood Ave., Salem, NH 03079, Diane Bascom, 224 Church Street, East Harwich, MA 02645, Dd. Bk. 22934, Pg. 134, Pl. Bk. 620, Pg. 88

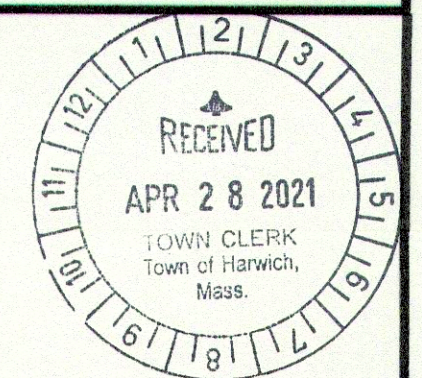
DETAIL

Not to Scale



ZONING COMPLIANCE TABLE with columns for SUBJECT, Zone R-R, Zone WRPD, and PROPOSED, listing metrics like Lot Area, Frontage, and Coverage.

LOCUS TOTAL AREA, Area=168,588 S.F.± or 3.87 Ac.±



DIVISION PLAN

1522 Orleans Road (Rte. 39), Harwich, MA

Prepared For EASTWARD HOMES BUSINESS TRUST, Owner/Applicant

CLARK ENGINEERING LLC

156 Crowell Road Suite B, Chatham, MA 02633, Tel.: (508) 945-5454; Fax.: (508) 945-5458

OUTERMOST LAND SURVEY, INC.

46 Main Street, Brewster, MA 02631, Tel.: (508) 255-0477

Revision table with columns for Rev. #, Description of Revision, and Date.

Date: 03-18-2021, Scale: 1" = 40'

Drawing No.: 0010-151J, Sheet No.: 1 of 1



HARWICH ZONING BOARD of APPEALS PUBLIC HEARINGS
Wednesday, May 26, 2021 at 7:00 p.m.
VIA REMOTE ACCESS
AGENDA

The Harwich Zoning Board of Appeals will hold a public hearing **via remote access** as noted below to hear the following cases. Any member of the public having interest in these applications is invited to provide information and comment relevant to these matters by submitting the same in writing via mail **by noon on Monday, May 24, 2021. Correspondence received after this time may be too late for submission to the Board. Case documents may be viewed on the Town Website via the Accela Citizen Access <https://aca3.accela.com/harwich/> Click Building and “Search Applications” or by specific request to building@townofharwich.us**

This meeting is by REMOTE PARTICIPATION ONLY. NO IN-PERSON ATTENDANCE OF MEMBERS OF THE PUBLIC WILL BE ALLOWED. Call in instructions are posted on this meeting Agenda on the Board of Appeals web page.

Pursuant to Governor Baker’s March 12, 2020 order Suspending Certain Provisions of the Open Meeting Law, G.L.c30A Sec18 and the Governor’s March 15, 2020 Order imposing strict limitations on the number of people that may gather in one place, this meeting of the Town of Harwich Board of Appeals on Wednesday, May 26, 2021 at 7pm will be conducted via remote participation to the greatest extent possible. Specific information and the general guidelines for remote participation by members of the public and/or parties with a right and/or requirement to attend this meeting can be found on the Town of Harwich website at www.harwich-ma.gov. For this meeting, members of the public who wish to watch the meeting may do so in the following manner on Channel 18 or by watching the simulcast at: <https://harwich18.dyndns.org/cablecast/public/Live.aspx?ChannelID=1>

Zoning Board of Appeals
Wed, May 26, 2021 7:00 PM - 11:00 PM (EDT)

Please join my meeting from your computer, tablet or smartphone.
<https://global.gotomeeting.com/join/334058877>

You can also dial in using your phone.
United States: [+1 \(872\) 240-3311](tel:+18722403311)

Access Code: 334-058-877

New to GoToMeeting? Get the app now and be ready when your first meeting starts:
<https://global.gotomeeting.com/install/334058877>

Case # 2021-20

Brian M. and Katherine E. Carey, through their agent, Lucas Colburn have applied for a Special Permit to convert their existing garage into habitable space in a pre-existing, non-conforming single family dwelling. The application is pursuant to the Code of the Town of Harwich, §325-54 and Table 2 Area Regulations as set forth in MGL Chapter 40A §6. The property is located at **5 Lakeview Dr.**, Map 83, Parcel P2 in the RR Zoning District.

Case # 2021-21

Peter M. and Maureen Q. Tarca, through their agent, Attorney William Crowell have applied for a Special Permit to renovate and create a 6 foot addition with a dormer increasing habitable space

within the setback of a pre-existing, non-conforming single family dwelling. The application is pursuant to the Code of the Town of Harwich, §325-54 and Table 2 Area Regulations as set forth in MGL Chapter 40A §6. The property is located at **11 Shore Rd. Ext.**, Map 5, Parcel P1-28 in the RH-1 Zoning District.

Case # 2021-22

Kathleen Zak Reis, Trustee of the Kathleen Zak Reis Revocable Trust Agreement, through her agent, Attorney William Crowell has applied for a Special Permit (or in the alternative, a Variance) to demolish & replace a pre-existing, non-conforming single family dwelling. The application is pursuant to the Code of the Town of Harwich, §325-54 as set forth in MGL Chapter 40A §6. The property is located at **4 Eastern Ave.**, Map 6, Parcel g3-8 in the RH-1 Zoning District.

Case # 2021-23

Michael A. and Michaela A. Diverio, through their agent, Attorney William Crowell have applied for a Special Permit (or in the alternative, a Variance) to replace the existing foundation, build an addition, square off the southern side and add a deck to a pre-existing, non-conforming single family dwelling. The application is pursuant to the Code of the Town of Harwich, §325-54 and Table 2 Area Regulations as set forth in MGL Chapter 40A §6 (or Chapter 40A §10). The property is located at **68 Snow Inn Rd.**, Map 15, Parcel N9-2 in the RL Zoning District.

In other business, the Board will address the following:

- * Approval of minutes from the April 28, 2021 meeting.
- * New Business per the Board's discretion.

Documents related to the above cases are on file with the Building Department and the Office of the Town Clerk located at 732 Main Street, Harwich. They are also available to view on the Town of Harwich website via the Accela Citizen Access Portal.

In accordance with State Law, this legal notice will also be available electronically at www.masspublicnotices.org. The Town is not responsible for any errors in the electronic posting of this notice.

Per the Attorney General's Office: The Board may hold an open session for topics not reasonably anticipated by the Chair 48 hours in advance of the meeting following "New Business."

This Agenda may change at the discretion of the Board.

Authorized Posting Officer: Shelagh Delaney, sdelaney@town.harwich.ma.us

Board of Appeals Recording Clerk

The Cape Cod Chronicle **Print dates: April 6th and 13th, 2021.**