

HARWICH PLANNING BOARD
PUBLIC HEARING NOTICE

The Harwich Planning Board will hold a public hearing no earlier than 6:30 PM on ~~Thursday~~, **Tuesday**, January 12, 2021 to consider the following application(s). The meeting is via REMOTE PARTICIPATION ONLY. Anyone having an interest in the application(s) is invited to access the meeting via GoToMeeting.com. Instructions regarding how to access and participate in the meeting will be posted on the Planning Board's Agenda page for the date of the meeting: <https://www.harwich-ma.gov/node/2451/agenda/2020>. The application and plans can be accessed using the same website link posted under Planning Board Legal Notice January 12, 2021 or by emailing the Planning Department staff.

PB2020-32 Wychmere Harbor Real Estate LLC, applicant & owner, c/o Attorney Andrew Signer, representative, seeks to amend the Site Plan Review Special Permits granted in Cases PB2019-27 and PB2020-23, or in the alternative a new Special Permit to make additional alterations to the previously approved design of the Beach Club to re-design the pool area to include an additional pool, construct a new infant pool, create a fenced, natural lawn service alley along the east side, and make accompanying landscape and walkway revisions. The application is pursuant to the Code of the Town of Harwich §325-55 (Site Plan Review), and Chapter 400. The property is located 23 Snow Inn Road, Map 8, Parcel P2-12, in the RH-3 and R-L zoning districts.

Written comments may be submitted to the Planning Board at the address shown below or emailing the Planning Assistant, Elaine Banta, at ebanta@town.harwich.ma.us.

All documents related to the above cases are available on the Planning Board website or may be viewed by **appointment only** at the Planning Department, Town Hall, 732 Main Street, Harwich, MA 02645.

In accordance with state law, this legal notice will also be available electronically at 'www.masspublicnotices.org.' The Town is not responsible for any errors in the electronic posting of this legal notice.

Duncan Berry, Chair
Cape Cod Chronicle Print Dates: December 24 & 31, 2020

TOWN OF HARWICH PLANNING DEPARTMENT

PLANNING BOARD/APPLICATION SPECIAL PERMITS & SITE PLAN REVIEW	FORM A
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TO THE TOWN CLERK, HARWICH, MA DATE December 1, 2020

PART A – APPLICANT INFORMATION/AUTHORIZATION

Applicant Name(s)	Wychmere Harbor Real Estate, LLC
Representative/Organization (Who will serve as the primary contact responsible for facilitating this application?)	Andrew L. Singer, Esq. Law Office of Singer & Singer, LLC
Mailing address	c/o Law Office of Singer & Singer, LLC P.O. Box 67
Town, ST, Zip	Dennisport, MA 02639
Phone	508-398-2221
Fax	508-398-1568
E-mail	alsinger@singer-law.com

The applicant is one of the following: *(please check appropriate box)*
 Owner Prospective Buyer* Representative for Owner/Tenant/Buyer*
 Tenant* Other* _____
**Written permission of the owner(s) and a municipal lien certificate (where applicable) is required.*

All other forms and information as required in the Harwich Code Chapter 400, Rules and Regulations, shall be submitted as part of this application.

Authorization

Your signature hereby asserts, to the best of your knowledge, that the information submitted in this application is true and accurate; that you agree to fully comply with the Town of Harwich Zoning By-laws and the terms and conditions of any approval of this application by the Planning Board; and authorizes the Members of the Planning Board and/or Town Staff to visit and enter upon the subject property for the duration of the consideration of this application.

Wychmere Harbor Real Estate, LLC

 Applicant By: Andrew L. Singer, Esq.

Owner(s) – Authorization must accompany application if the owner is not the applicant.

Official use only:

PLANNING DEPARTMENT	TOWN CLERK
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Case # _____

PART B – PROJECT LOCATION

Legal Street Address	23 Snow Inn Road, Unit 12	Village/Zip Code	Harwichport
Title Book/Page or L.C.C. #	Book 24547, Page 55		
Map(s) / Parcel(s)	Map 8, Parcel P-2 -12		
Zoning & Overlay Districts	RH-3 and RL	*Historic?	
Frontage (linear feet)	See Plans and Narrative		
Total land area (s.f.)			
Upland (s.f.)		Wetlands (s.f.)	

PART C – PROJECT DESCRIPTION

Existing Floor Area in Sq. Ft	Gross:	See Plans and Narrative	Net:
Proposed Floor Area in Sq. Ft	Gross:		Net:
Change in Sq. Ft + / -	Gross:		Net:
Existing # of parking spaces	See Plan & Narrative	Proposed # of parking spaces:	See Plan & Narrative
Existing Use(s)	Recreation and Amusement Services & Restaurant - Beach Club		
Proposed Use(s)	Proposed uses are same as existing uses		
<i>Attach a separate narrative if necessary.</i>			

The undersign hereby files an application with the Harwich Planning Board for the following special permits as proposed under the provisions of the Harwich Zoning Code: **(check all that apply)**

Site Plan Review § 325-55:

- Any floor area expansion of any structure or expansion of exterior space, other than parking, serving any of the following: commercial, industrial, multi-family or educational use or personal wireless service facility or the creation of a drive-up or drive-through window
- Expansion or reconfiguration of an existing parking lot and/or driveway(s) serving said parking lot.
- Establishment of any new commercial, industrial, multi-family, educational, fast food/take out restaurant or personal wireless service facility.
- Establishment of any new retail use(s) in the Industrial (IL) Zone.
- Waiver of Site Plan § 325-55.F

Article V, Use Regulations:

- Paragraph____, sub-paragraph #____ Paragraph____, sub-paragraph #____
- Paragraph____, sub-paragraph #____, supplemental regulation #____ § 325-14

Article X, Special Permits:

- Structures w/ gross floor area of 7,500+ s.f. § 325-51
- Structures requiring 20 or more new parking spaces § 325-51
- Accessory Apt./Shared Elderly Housing § 325-51.H Mixed Use § 325-51.M
- Drinking Water Resource Protection § 325-51.C Two Family § 325-51.N
- Village Commercial, Harwich Port § 325-51.L *Harwich Center Overlay § 325-51.O
- Signage § 325-27.F Additional Cluster, Excess SF, Non-entry Facades

Other Special Permits:

- Six Ponds Special District - Article XVI
- Wind Energy Systems - Article XVIII Large Scale Wind Generation – Article XIX
- Other (i.e. Alternate Access § 325-18.P, Special Cases § 325-44.B) _____
- Repetitive Petition (MGL Ch 40A, §16): Proposed project evolved from a previously denied plan submitted to the Planning Board on _____ Year/Case # _____

**Note: Projects within the Harwich Center Overlay District may also be within the Harwich Center Historic District. This requires separate filing with the Historic District and Historical Commission. Please inquire for forms and instructions.*

Town of Harwich Planning Board

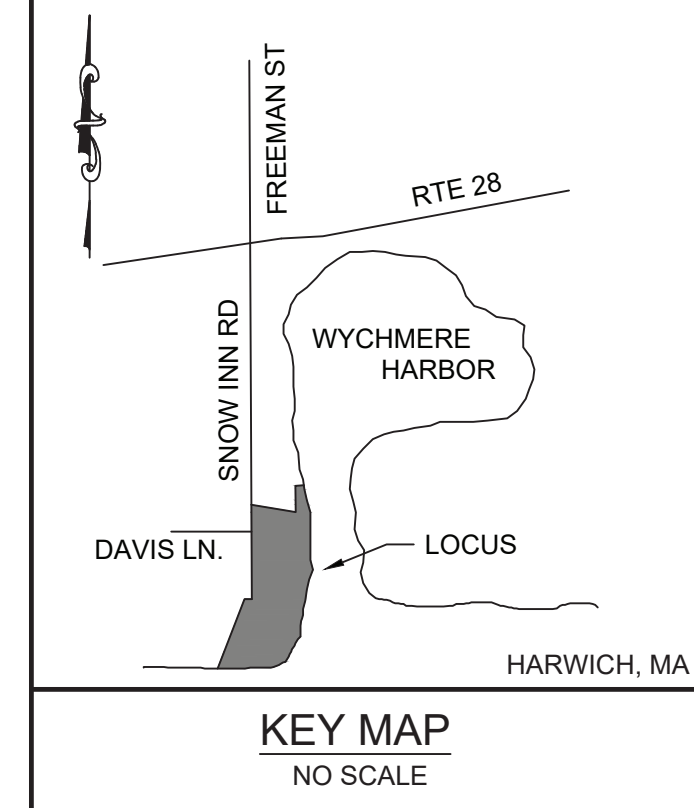
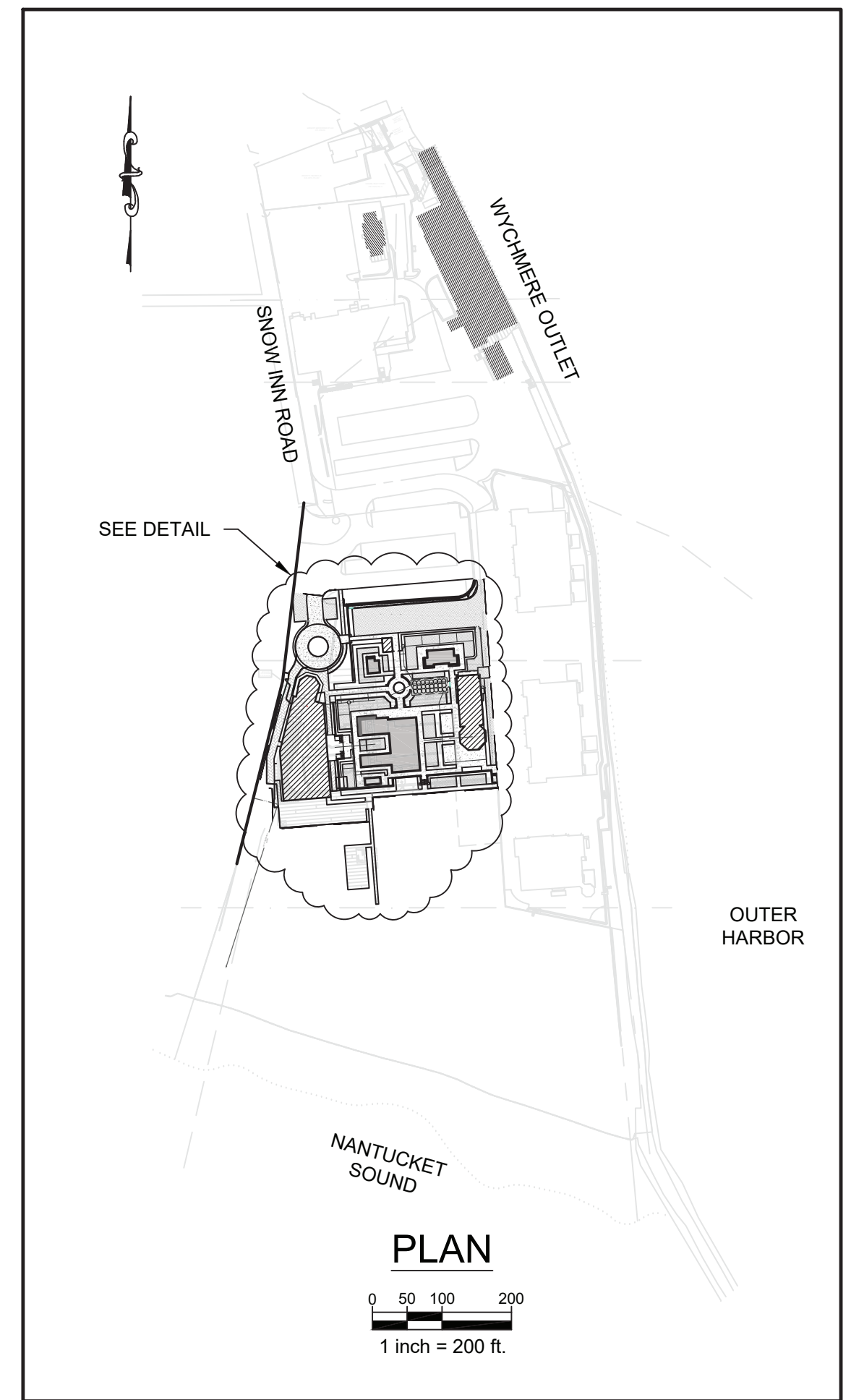
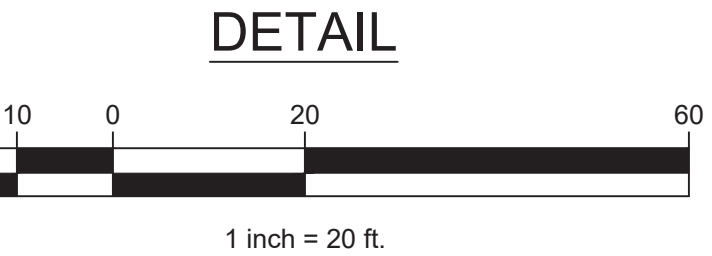
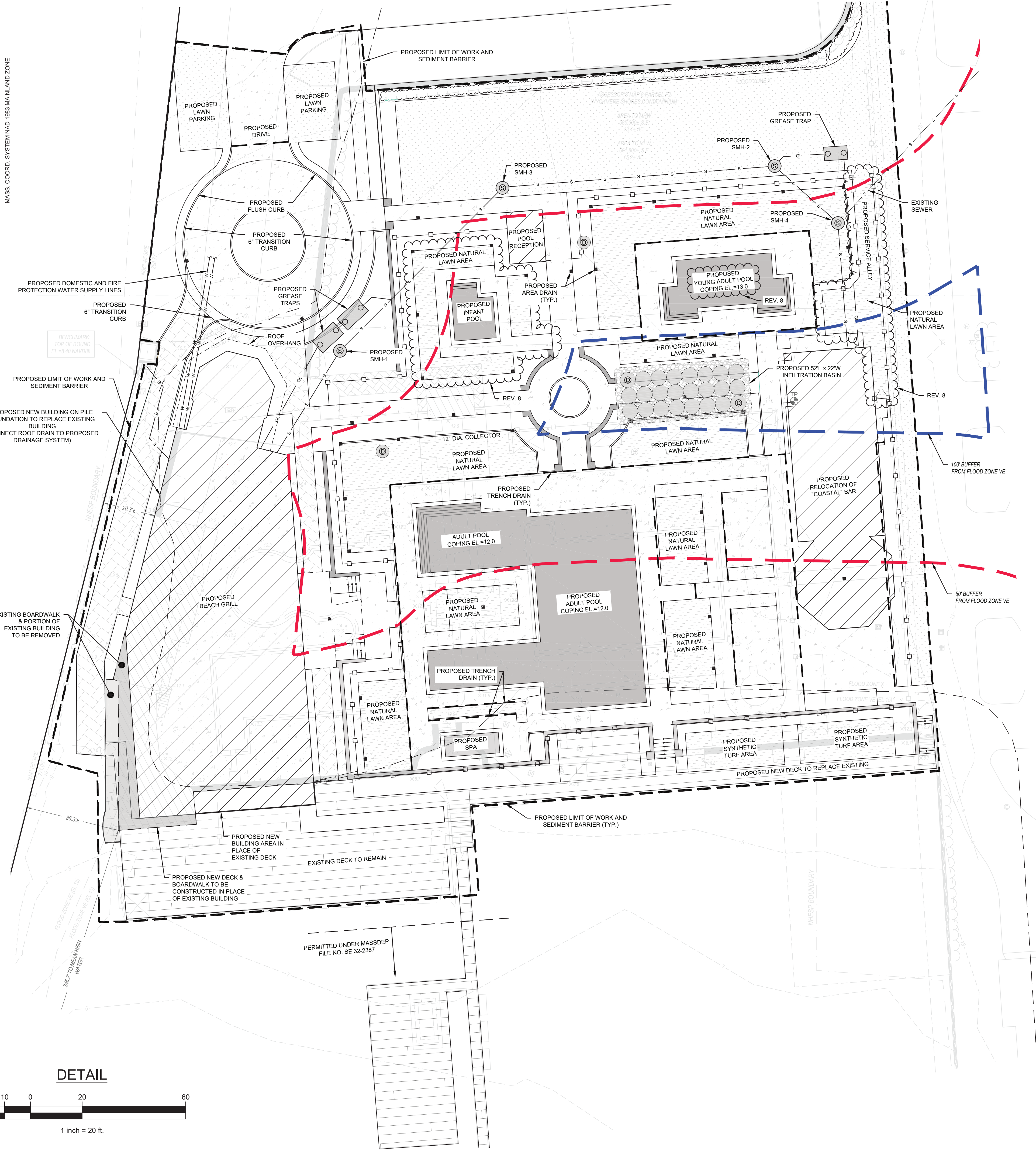
Applicant: Wychmere Harbor Real Estate, LLC
Property: 23 Snow Inn Road, Harwichport, MA

Applicant/Property. The Applicant, Wychmere Harbor Real Estate, LLC, owns the Wychmere Beach Club located at 23 Snow Inn Road in Harwichport. The Property, which is shown as Parcel P-2 on Harwich Assessors Map 8, is currently improved with the buildings, amenities, and facilities that comprise the Wychmere Beach Club, including the Snow Inn Hotel and Channel House, and the separate Wychmere Shores residences.

Proposal. The Applicant is seeking permission to further amend the Special Permit Decision granted earlier this year in Case Nos. 2019-27 and 2020-23, or in the alternative, a new Special Permit, to make additional alterations to the previously-approved design of the redeveloped Beach Club at the southern end of the Property--redesignate the approved "infant pool" to "young adult pool," add an infant pool, create a fenced, natural-lawn service alley along the east side, and make accompanying landscape and walkway revisions. There will be no change to the previously-approved buildings or use.



MASS. COORD. SYSTEM NAD 1983 MAINLAND ZONE



REFERENCE:
 ASSESSORS MAP 8, PARCEL P2
 DEED BOOK 24547, PAGE 55
 PLAN BOOK 634, PAGES 57-66

FLOOD ZONE:
 FLOOD ZONE VE (EL. 15, EL. 14 & EL. 13), ZONE AE (EL. 11 & EL. 12), & ZONE X AS SHOWN ON FEMA FIRM PANEL #25001C0612J EFFECTIVE JULY 16, 2014. COMMUNITY FLOOD PLANE MANAGERS SHALL CONFIRM LOCATION OF SITE SPECIFIC FLOOD PLANE BOUNDARIES PRIOR TO DESIGNING STRUCTURES. A CONDITIONAL DETERMINATION SHOULD BE APPLIED FOR TO CONFIRM FLOOD INSURANCE REQUIREMENTS.

DATUM:
 ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)

OWNER:
 WYCHMERE HARBOR REAL ESTATE, LLC
 23 SNOW INN ROAD
 HARWICHPORT, MA 02646

LEGEND

EXISTING	PROPOSED
■ BOUND	⊕ AREA DRAIN
⊙ LIGHT POLE	— FENCING
⊞ TRANSFORMER	⊕ DRAIN MANHOLE
⊞ ELECTRIC METER	— DRAIN LINE
⊞ PULL BOX	⊕ SEWER MANHOLE
⊕ SEWER MANHOLE	— GREASE LINE
- - - CONTOUR	— SEWER LINE
x122 SPOT GRADE	
— STOCKADE FENCE	

SEE PLANS BY HAWK DESIGN, INC. FOR PROPOSED HARDSCAPE AND LANDSCAPE LAYOUT AND MATERIALS, AND PROPOSED GRADING

ZONING DISTRICT: RH-3 (RESIDENTIAL-HIGH DENSITY) AND R-L (RESIDENTIAL - LOW DENSITY) (1)
 USE GROUP: PARAGRAPH IV - USE: 30 (RECREATION AND AMUSEMENT SERVICES) 32 (RESTAURANT OR LOUNGE)

SUBJECT	REQUIRED	EXISTING	PROPOSED
LOT AREA (TO M.L.W.)	40,000 S.F. MINIMUM	661,500 S.F. (3)	NO CHANGE
FRONTAGE	150 FT MINIMUM	447.91 FT	NO CHANGE
(2) FRONT SETBACK (BUILDING)	25 FT MINIMUM	301.9± FT	257± FT
(2) SIDE SETBACK (BUILDING)	20 FT MINIMUM	20.3± FT (4)	NO CHANGE
(2) REAR SETBACK (BUILDING)	20 FT MINIMUM	246.2± FT (TO MHW)	NO CHANGE
BUILDING COVERAGE	15% MAXIMUM	10.2% (67,683± S.F.)	11.5% (76,217± S.F.)
AMENITIES COVERAGE	15% MAXIMUM	29.9% (197,824± S.F.)	28.4% (187,566± S.F.)
SITE COVERAGE (TOTAL)	35% MAXIMUM	40.1% (265,507± S.F.)	39.9% (263,783± S.F.)
GREEN SPACE	15% MINIMUM	59.9% (395,993± S.F.)	60.3% (398,653± S.F.)
BUILDING HEIGHT	50 FT & 4 STORIES MAXIMUM	---	SEE ARCH. PLANS

(1) THIS PROJECT IS LOCATED ENTIRELY WITHIN THE RH-3 ZONING DISTRICT.
 (2) REQUIRED SETBACKS SHOWN ARE FOR RH-3 ZONING DISTRICT.
 (3) CEC SURVEY AUGUST 15, 2019.
 (4) ROOF OVERHANG AT NORTHWEST CORNER OF BEACH GRILL BUILDING PROJECTS INTO SIDE YARD SETBACK 1.4± < 2' ALLOWED (325-18 F.(3))

ISSUED FOR PLANNING BOARD AND ZBA REVIEW

COASTAL engineering co.
 260 Cranberry Hwy, Orleans, MA 02653
 508-255-6511 P. 508-255-6700 F

ELN	CEM	CEM	MJB	CEM	CEM	CEM	TRG	BY
11/30/2020	08/28/2020	08/21/2020	07/30/2020	02/10/2020	01/17/2020	12/20/2019	07/02/2019	TRG
8	7	6	5	4	3	2	1	NO.
								DATE
								REVISION

REDESIGNATE INFANT POOL TO YOUNG ADULT POOL
 ADD INFANT POOL, CREATE SVC ALLEY ON EAST

UPDATE FOR HARDSCAPE/LANDSCAPE REVISIONS; UPDATE ZONING TABLE
 UPDATES TO MATCH LANDSCAPE PLAN; UPDATE ZONING TABLE

REVISIONS TO BUILDINGS & AMENITIES

CHANGE SYNTHETIC TURF TO NATURAL LAWN AT POOL PATIO LEVEL

UPDATE LOT AREA AND COVERAGE AREAS IN ZONING TABLE

REVISE PROPOSED POOL AREA AND DRAINAGE

UPDATE PROPOSED BUILDING FOOTPRINT; POOL LOCATIONS, AND UTILITIES

DAVID J. MICHEWICZ
 CIVIL ENGINEER
 No. 31493
 State of Massachusetts

PROJECT
 WYCHMERE HARBOR REAL ESTATE, LLC
 HARWICHPORT, MA

SHEET TITLE
 23 SNOW INN ROAD
 PROPOSED BUILDING AND SITE IMPROVEMENTS AT WYCHMERE BEACH CLUB

SCALE: AS NOTED
 DRAWING FILE: C15766-C.dwg
 DATE: 6/12/2019
 DRAWN BY: TRG/CEM/MJB
 CHECKED BY: DJM

C2.2.1
 1 OF 1 SHEETS
 PROJECT NO. C15766.05

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WYCHMERE BEACH CLUB

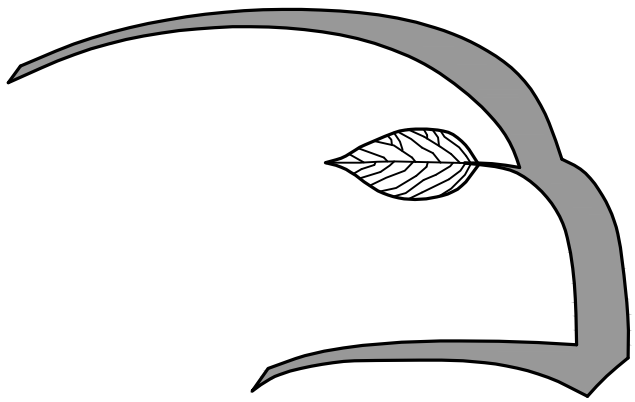
22 SNOW INN RD, HARWICH PORT, MA

LANDSCAPE SUBMISSION SET

LIST OF DRAWINGS:

		SET DATE	REVISION DATE	REVISION DATE
L1.0	OVERALL SITE PLAN	02/11/20	08/28/20	11/30/20
L1.1	MATERIALS ENLARGEMENT PLAN	08/28/20		11/30/20
L1.2	MATERIALS ENLARGEMENT PLAN	08/28/20		11/30/20
L2.0	PLANTING SITE PLAN	02/11/20	08/28/20	11/30/20
L2.1	PLANTING ENLARGEMENT PLAN	11/30/20		
L2.2	PLANTING ENLARGEMENT PLAN	11/30/20		
L3.0	LIGHTING SITE PLAN	02/11/20	08/28/20	11/30/20
L3.1	LIGHTING ENLARGEMENT PLAN	08/28/20		11/30/20
L3.2	LIGHTING ENLARGEMENT PLAN	08/28/20		11/30/20
L4.0	GRADING SITE PLAN	08/28/20		11/30/20
L4.1	GRADING ENLARGEMENT PLAN	08/28/20		11/30/20
L4.2	GRADING ENLARGEMENT PLAN	08/28/20		11/30/20
D1.0	CONSTRUCTION DETAILS	02/11/20	08/28/20	11/30/20
D1.1	CONSTRUCTION DETAILS	11/30/20		
D2.0	LIGHTING SPECIFICATIONS	02/11/20	08/28/20	11/30/20

PREPARED BY:

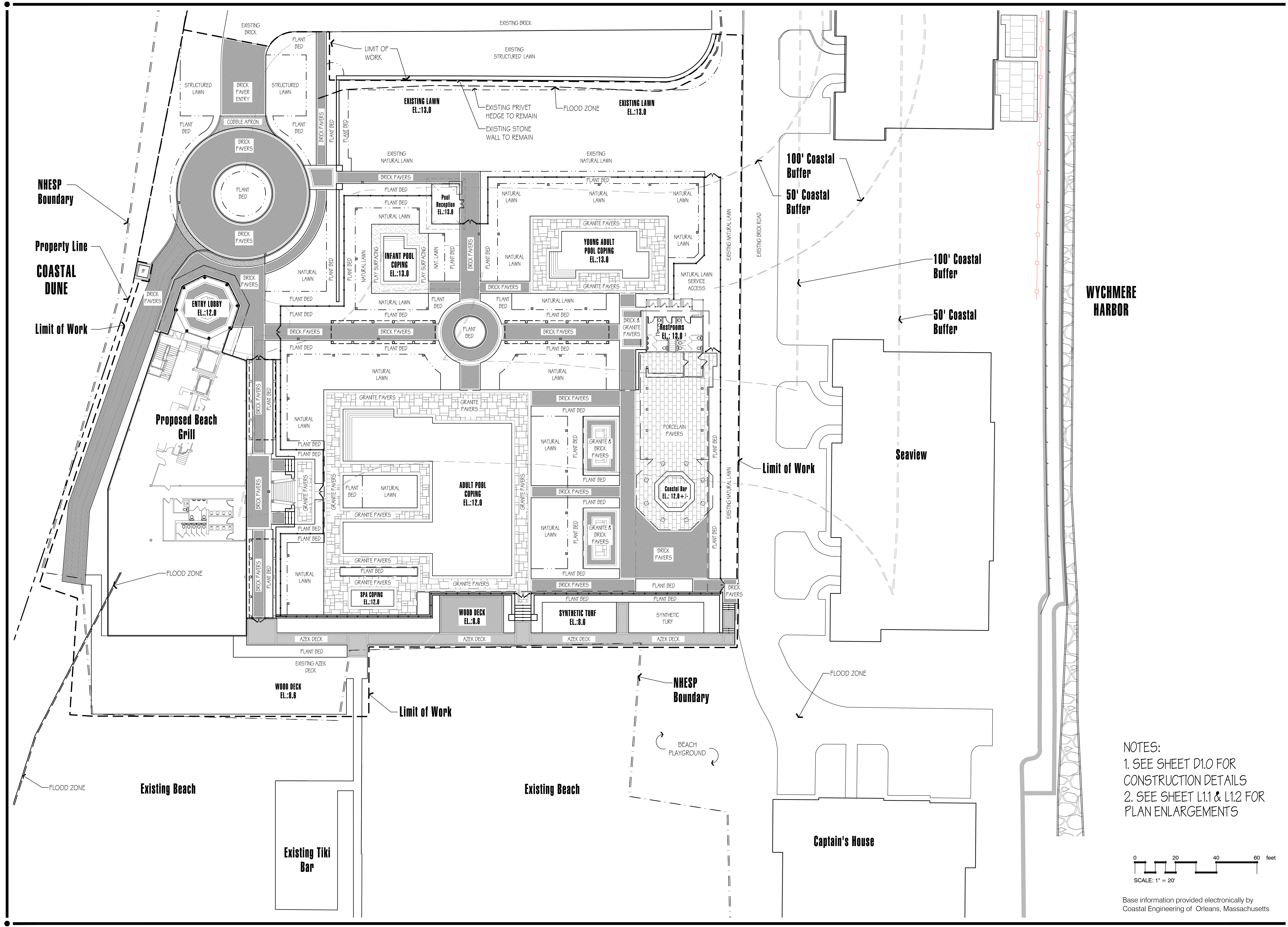


Hawk Design, Inc.

Landscape Architecture
Land Planning

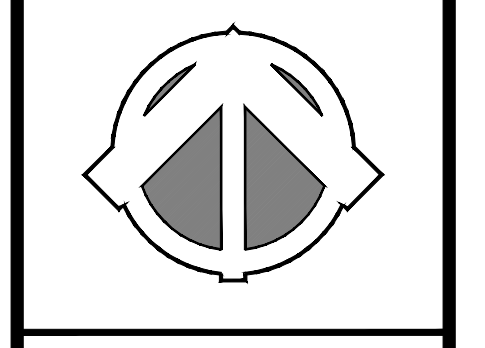
Sagamore, MA
508-833-8800

info@hawkdesigninc.com



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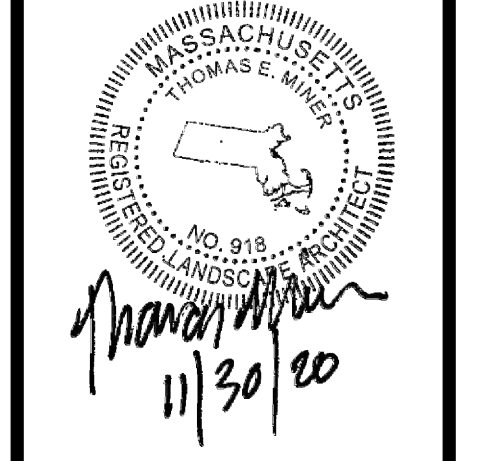
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Date: 02/11/20

Revisions:

Num.	Date	Description
1.	08/28/20	
2.	11/30/20	



Wychmere Beach Club
 22 Snow Inn Rd, Harwich Port, MA
 Wychmere Harbor Real Estate LLC

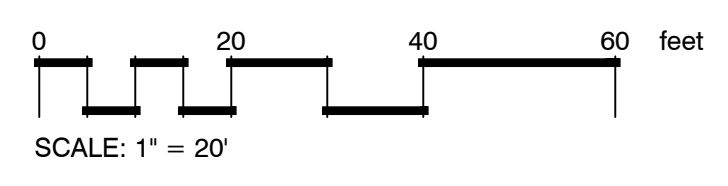
Drawn By: TM Checked By: DH

Overall Site Plan

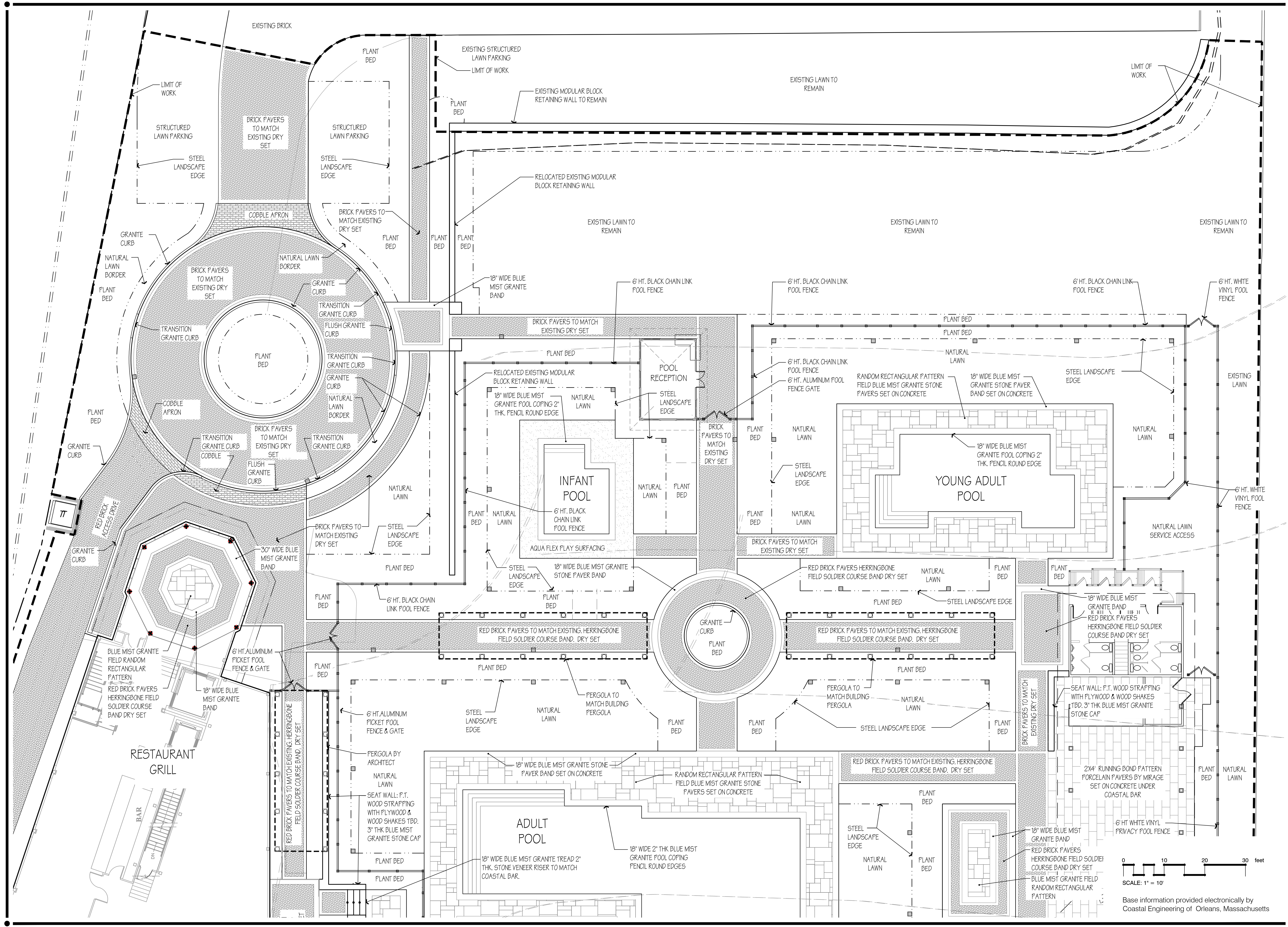
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Sheet: **L1.0**

NOTES:
 1. SEE SHEET D1.0 FOR CONSTRUCTION DETAILS
 2. SEE SHEET L1.1 & L1.2 FOR PLAN ENLARGEMENTS

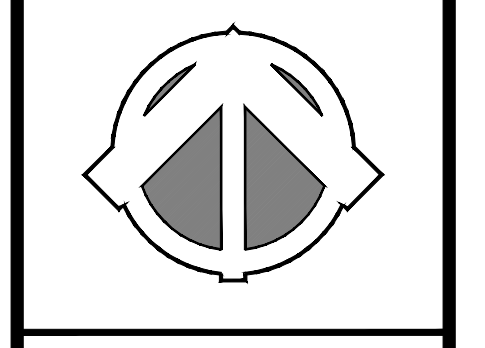


Base information provided electronically by Coastal Engineering of Orleans, Massachusetts



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Date: 08/28/20

Revisions:
 Num. Date Description
 1 11/30/20



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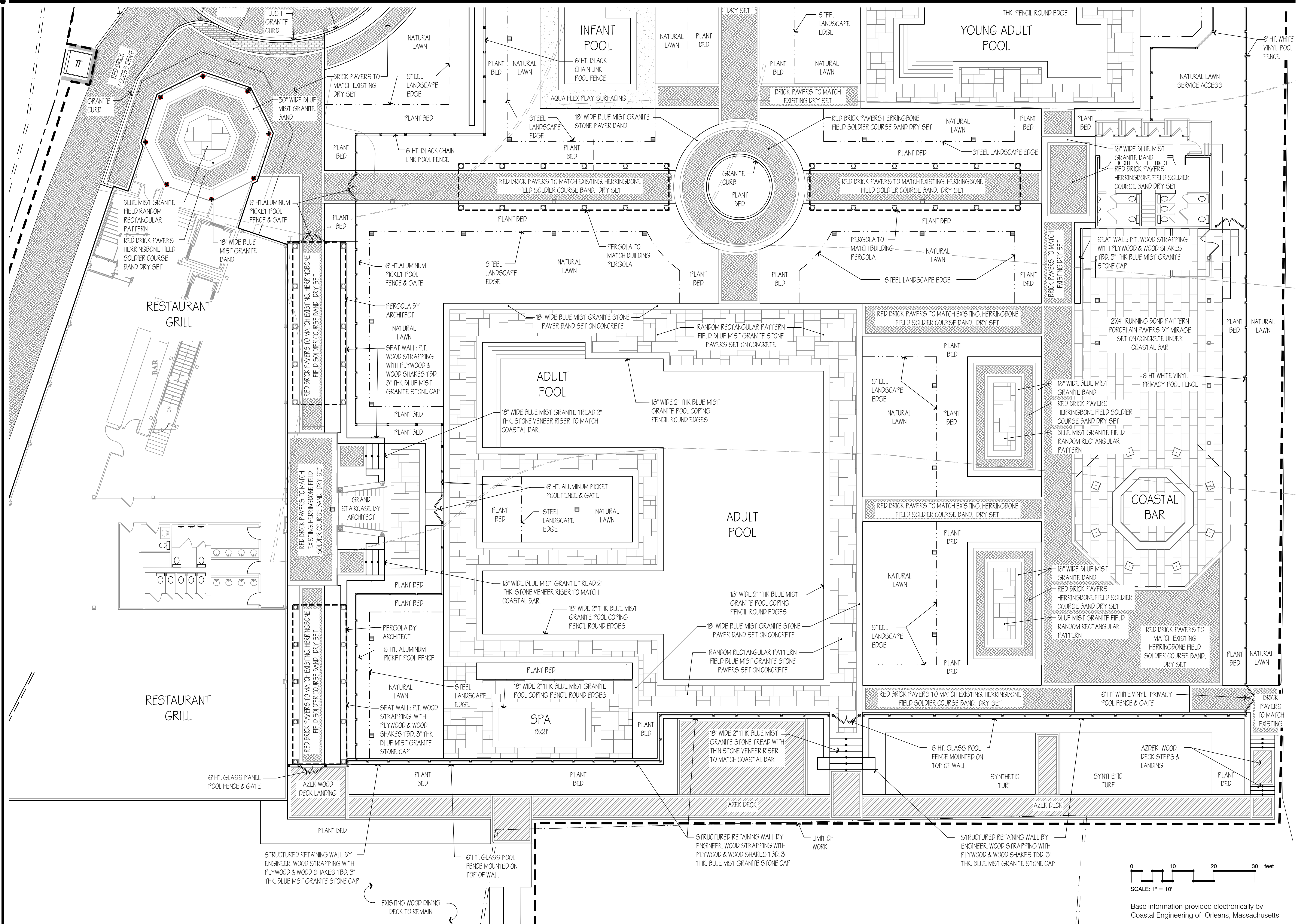
Drawn By: TM Checked By: TM

**Materials
 Enlargement Plan**

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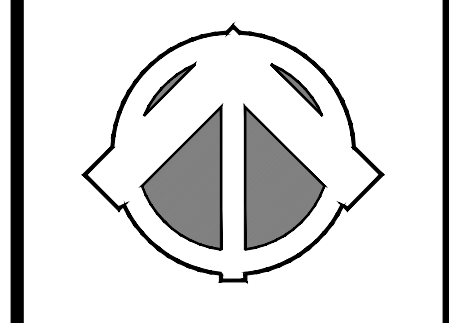
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 Base information provided electronically by
 Coastal Engineering of Orleans, Massachusetts



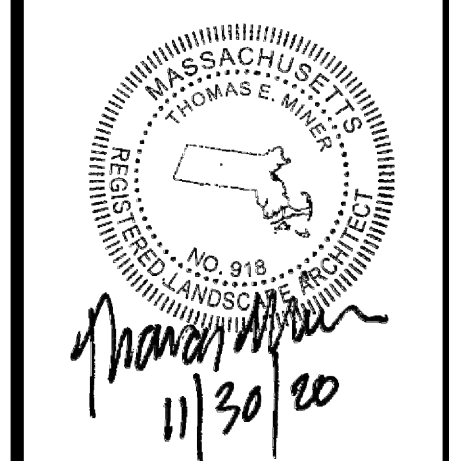
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Revisions:
 Num. Date Description
 1. 11/30/20



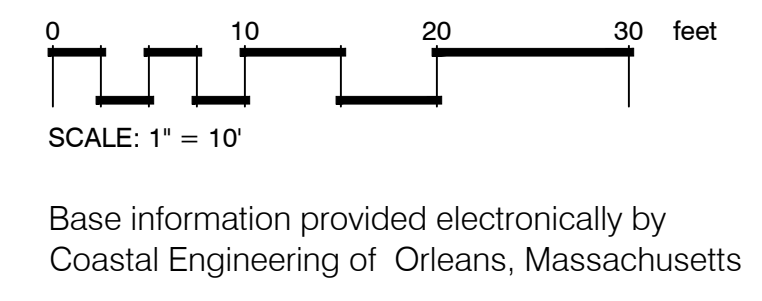
Wychmere Beach Club
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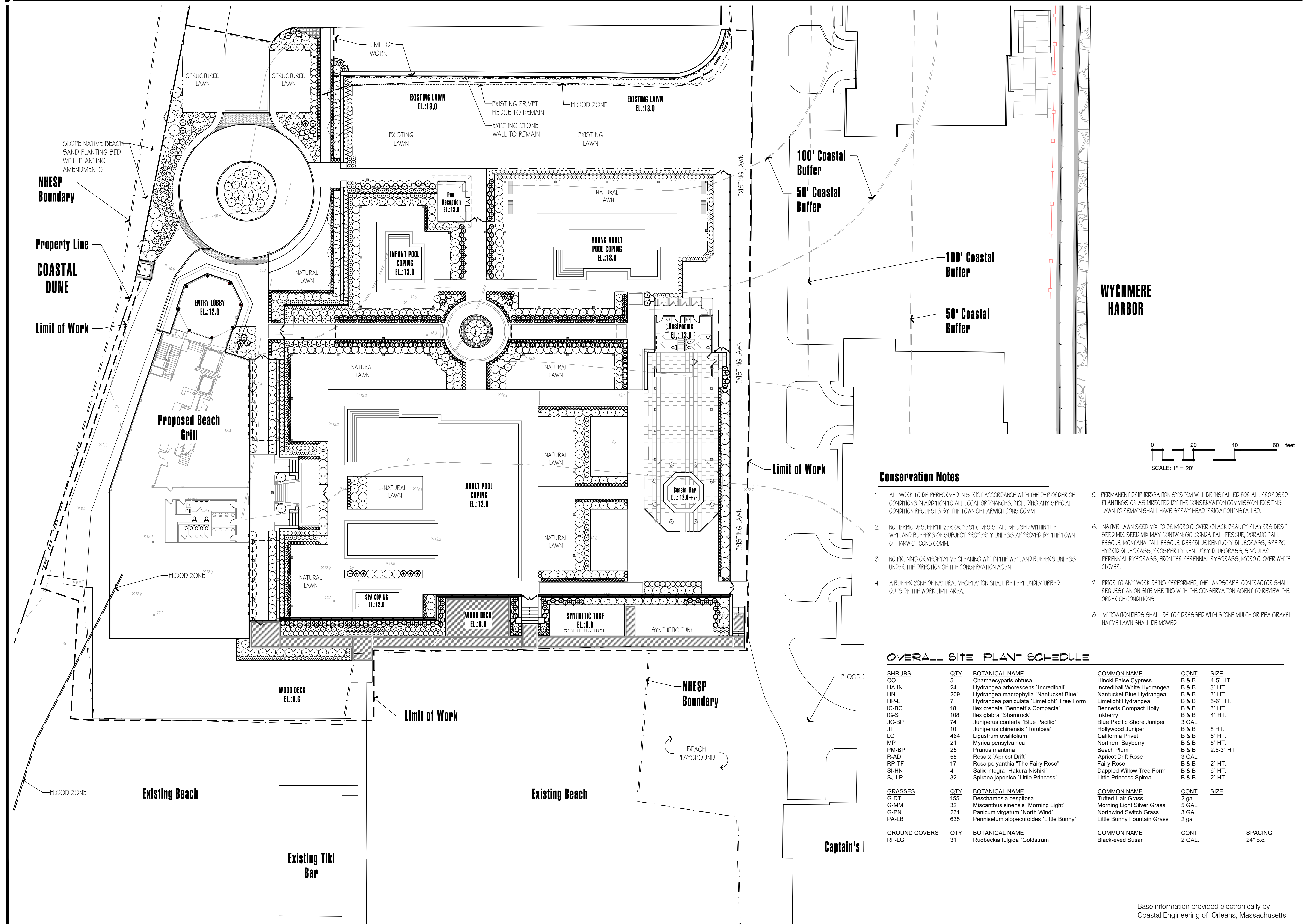
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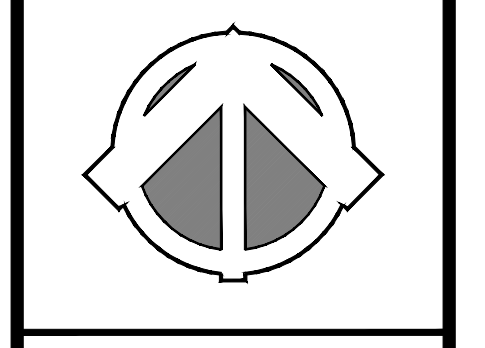


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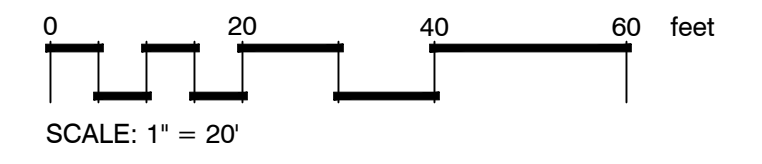
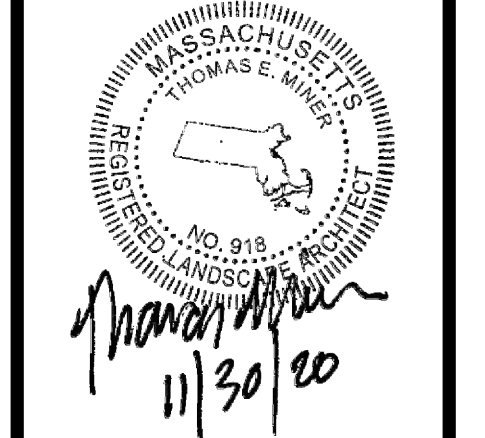
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Date: 02/11/20

Revisions:

Num.	Date	Description
1	08/28/20	
2	11/30/20	



Conservation Notes

- ALL WORK TO BE PERFORMED IN STRICT ACCORDANCE WITH THE DEP ORDER OF CONDITIONS IN ADDITION TO ALL LOCAL ORDINANCES, INCLUDING ANY SPECIAL CONDITION REQUESTS BY THE TOWN OF HARWICH CONSERVATION.
- NO HERBICIDES, FERTILIZER OR PESTICIDES SHALL BE USED WITHIN THE WETLAND BUFFERS OF SUBJECT PROPERTY UNLESS APPROVED BY THE TOWN OF HARWICH CONSERVATION.
- NO PRUNING OR VEGETATIVE CLEANING WITHIN THE WETLAND BUFFERS UNLESS UNDER THE DIRECTION OF THE CONSERVATION AGENT.
- A BUFFER ZONE OF NATURAL VEGETATION SHALL BE LEFT UNDISTURBED OUTSIDE THE WORK LIMIT AREA.
- PERMANENT DRIP IRRIGATION SYSTEM WILL BE INSTALLED FOR ALL PROPOSED PLANTINGS OR AS DIRECTED BY THE CONSERVATION COMMISSION. EXISTING LAWN TO REMAIN SHALL HAVE SPRAY HEAD IRRIGATION INSTALLED.
- NATIVE LAWN SEED MIX TO BE MICRO CLOVER /BLACK BEAUTY PLAYERS BEST SEED MIX. SEED MIX MAY CONTAIN: GOLCONDA TALL FESCUE, DORADO TALL FESCUE, MONTANA TALL FESCUE, DEEPBLUE KENTUCKY BLUEGRASS, SFF 30 HYBRID BLUEGRASS, PROSPERITY KENTUCKY BLUEGRASS, SINGULAR PERENNIAL RYEGRASS, FRONTIER PERENNIAL RYEGRASS, MICRO CLOVER WHITE CLOVER.
- PRIOR TO ANY WORK BEING PERFORMED, THE LANDSCAPE CONTRACTOR SHALL REQUEST AN ON SITE MEETING WITH THE CONSERVATION AGENT TO REVIEW THE ORDER OF CONDITIONS.
- MITIGATION BEDS SHALL BE TOP DRESSED WITH STONE MULCH OR PEA GRAVEL. NATIVE LAWN SHALL BE MOWED.

OVERALL SITE PLANT SCHEDULE

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
CO	5	Chamaecyparis obtusa	Hinoki False Cypress	B & B	4-5' HT.
HA-IN	24	Hydrangea arborescens 'Incrediball'	Incrediball White Hydrangea	B & B	3' HT.
HN	209	Hydrangea macrophylla 'Nantucket Blue'	Nantucket Blue Hydrangea	B & B	3' HT.
HP-L	7	Hydrangea paniculata 'Limelight' Tree Form	Limelight Hydrangea	B & B	5-6' HT.
IC-BC	18	Ilex crenata 'Bennett's Compacta'	Bennetts Compact Holly	B & B	3' HT.
IG-S	108	Ilex glabra 'Shamrock'	Inkberry	B & B	4' HT.
JC-BP	74	Juniperus conferta 'Blue Pacific'	Blue Pacific Shore Juniper	3 GAL	
JT	10	Juniperus chinensis 'Torulosa'	Hollywood Juniper	B & B	8 HT.
LO	464	Ligustrum ovalifolium	California Privet	B & B	5' HT.
MP	21	Myrica pensylvanica	Northern Bayberry	B & B	5' HT.
PM-BP	25	Prunus maritima	Beach Plum	B & B	2.5-3' HT
R-AD	55	Rosa x 'Apricot Drift'	Apricot Drift Rose	3 GAL	
RP-TF	17	Rosa polyantha 'The Fairy Rose'	Fairy Rose	B & B	2' HT.
SI-HN	4	Salix integra 'Hakura Nishiki'	Dappled Willow Tree Form	B & B	6' HT.
SJ-LP	32	Spiraea japonica 'Little Princess'	Little Princess Spirea	B & B	2' HT.
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
G-DT	155	Deschampsia cespitosa	Tufted Hair Grass	2 gal	
G-MM	32	Miscanthus sinensis 'Morning Light'	Morning Light Silver Grass	5 GAL	
G-PN	231	Panicum virgatum 'North Wind'	Northwind Switch Grass	3 GAL	
PA-LB	635	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Fountain Grass	2 gal	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
RF-LG	31	Rudbeckia fulgida 'Goldstrum'	Black-eyed Susan	2 GAL.	24" o.c.

Wychmere Beach Club
 22 Snow Inn Rd, Harwich Port, MA
 Wychmere Harbor Real Estate LLC

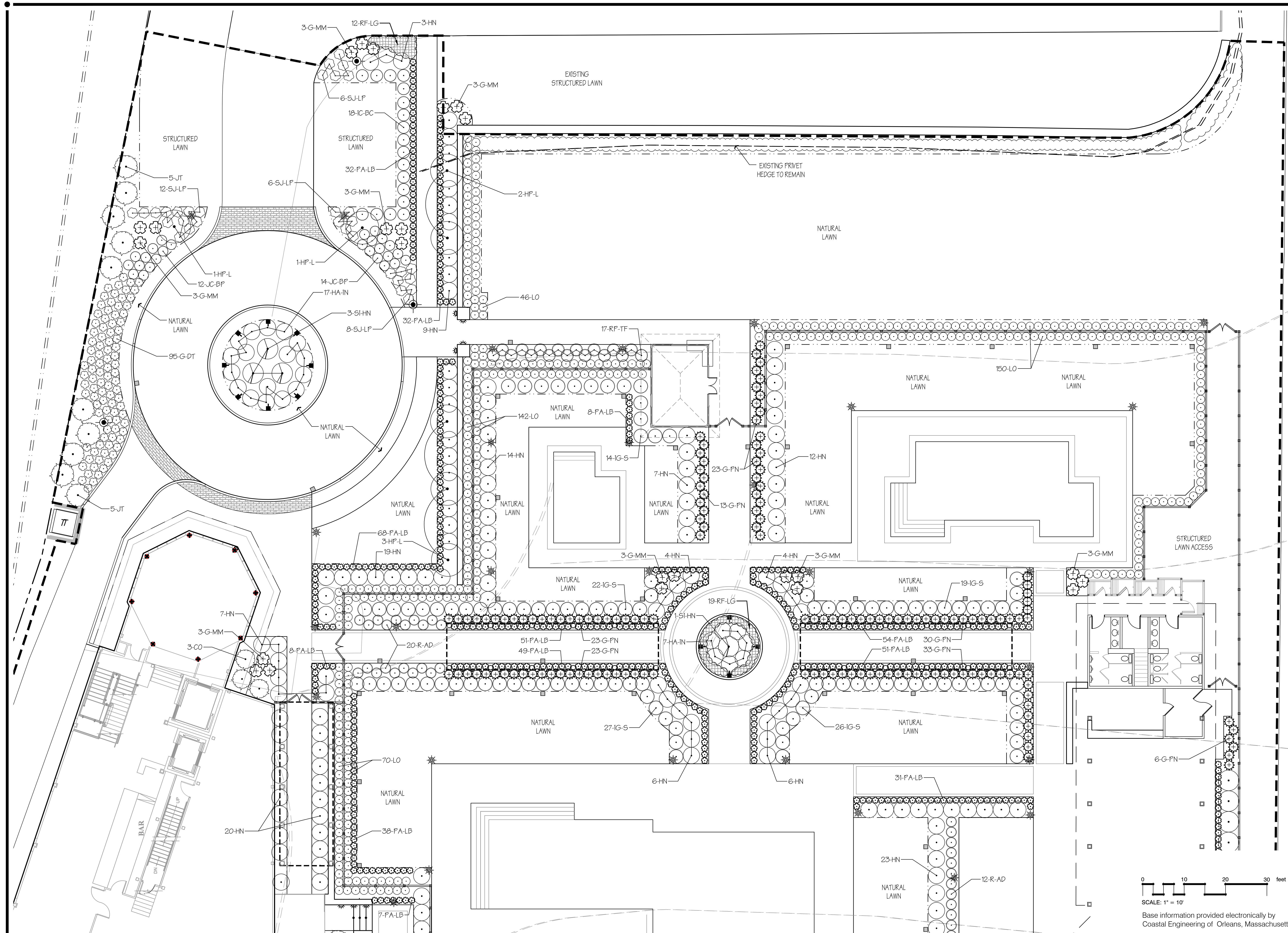
Drawn By: TM Checked By: DH

Overall Site Planting Plan

Scale: 1" = 20'-0"

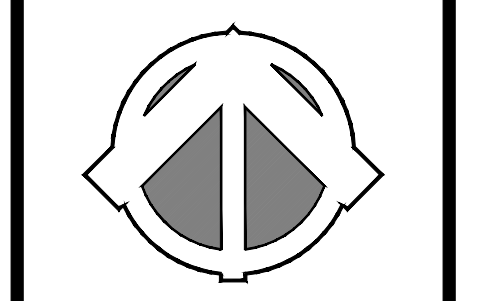
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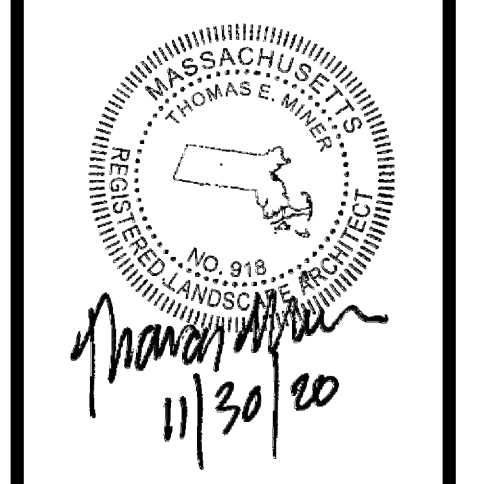
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 Landscape Architecture
 Land Planning
 Sagamore, MA
 508-833-8800
 info@hawkdesigninc.com
 www.hawkdesigninc.com

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Date: 11/30/20

Revisions:
 Num. Date Description



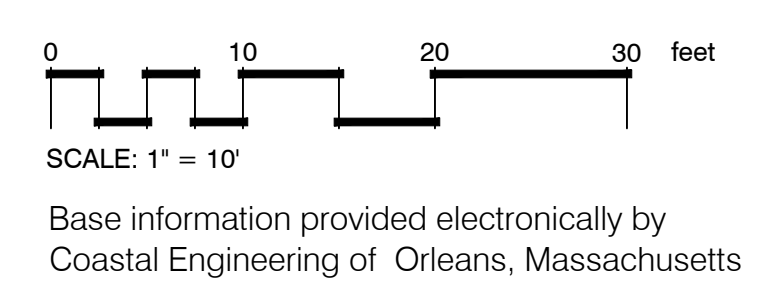
Wychmere Beach Club
 22 Snow Inn Rd, Harwich Port, MA
 Longwood Venues / Atlas Development

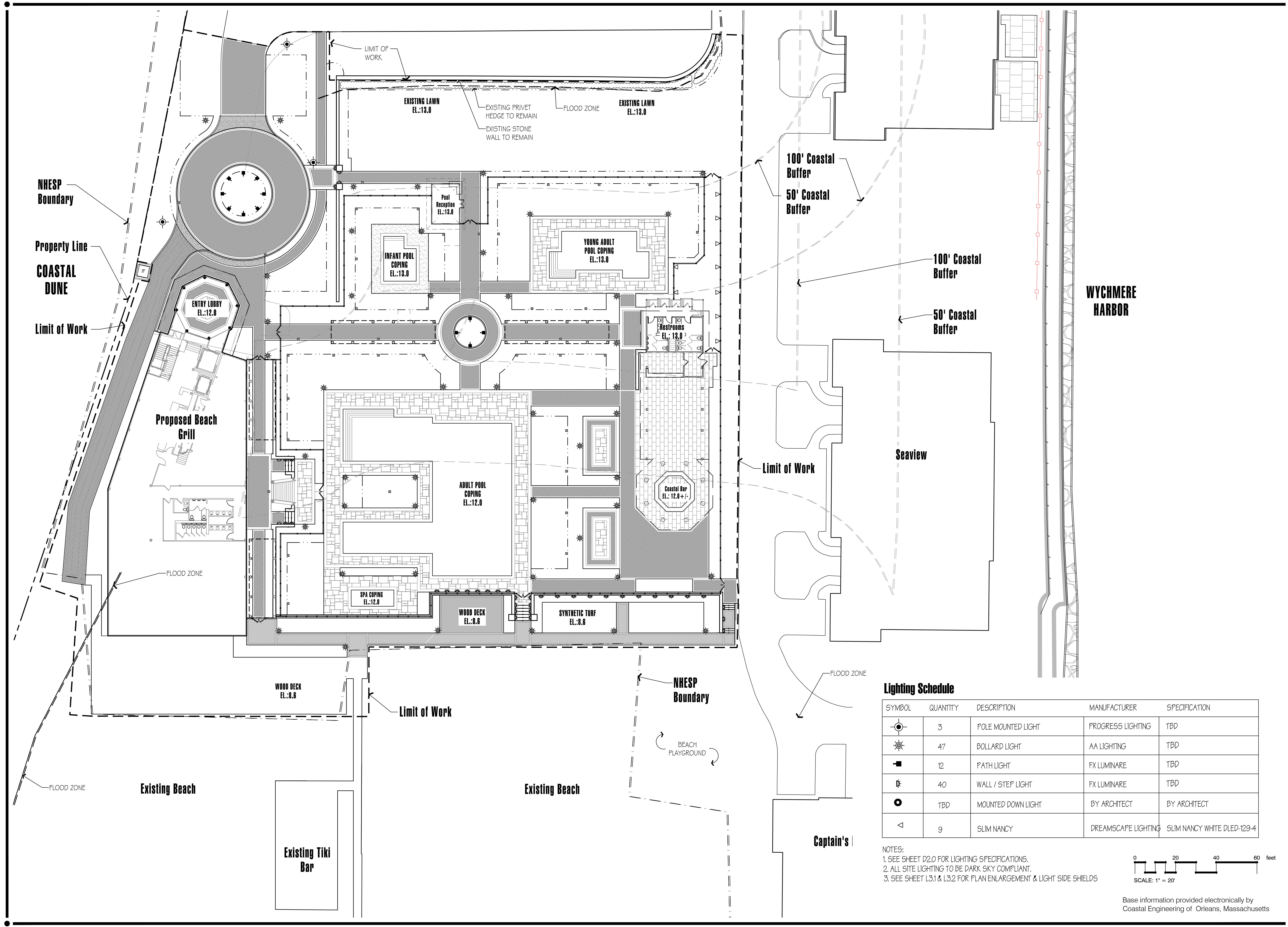
Drawn By: TM Checked By: DH

**Planting
 Enlargement Plan**

Scale: 1" = 10'-0"

Sheet: **L2.1**

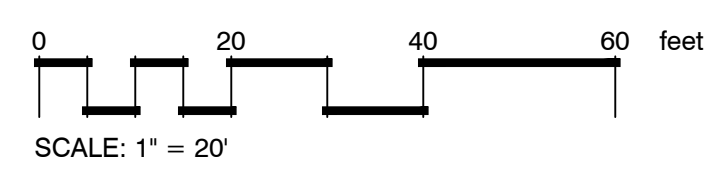




Lighting Schedule

SYMBOL	QUANTITY	DESCRIPTION	MANUFACTURER	SPECIFICATION
☉	3	POLE MOUNTED LIGHT	PROGRESS LIGHTING	TBD
☼	47	BOLLARD LIGHT	AA LIGHTING	TBD
■	12	PATH LIGHT	FX LUMINARE	TBD
⊕	40	WALL / STEP LIGHT	FX LUMINARE	TBD
●	TBD	MOUNTED DOWN LIGHT	BY ARCHITECT	BY ARCHITECT
◁	9	SLIM NANCY	DREAMSCAPE LIGHTING	SLIM NANCY WHITE DLED-129-4

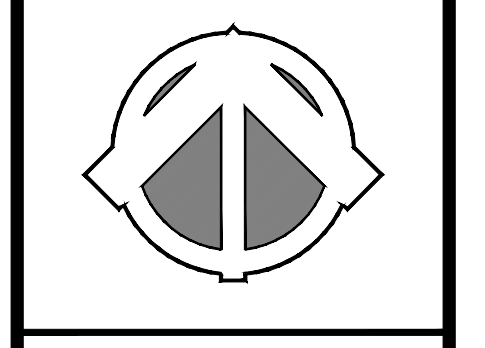
NOTES:
 1. SEE SHEET D2.0 FOR LIGHTING SPECIFICATIONS.
 2. ALL SITE LIGHTING TO BE DARK SKY COMPLIANT.
 3. SEE SHEET L3.1 & L3.2 FOR PLAN ENLARGEMENT & LIGHT SIDE SHIELDS



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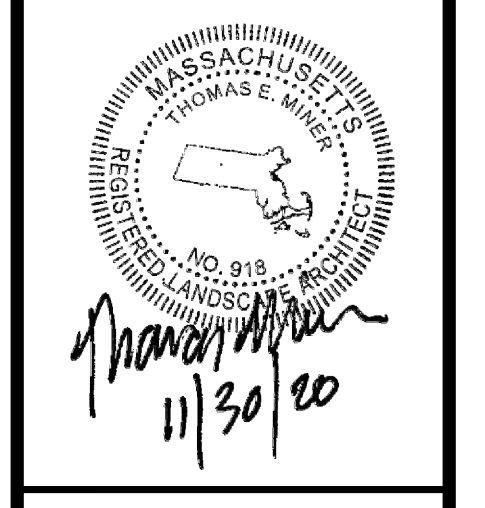
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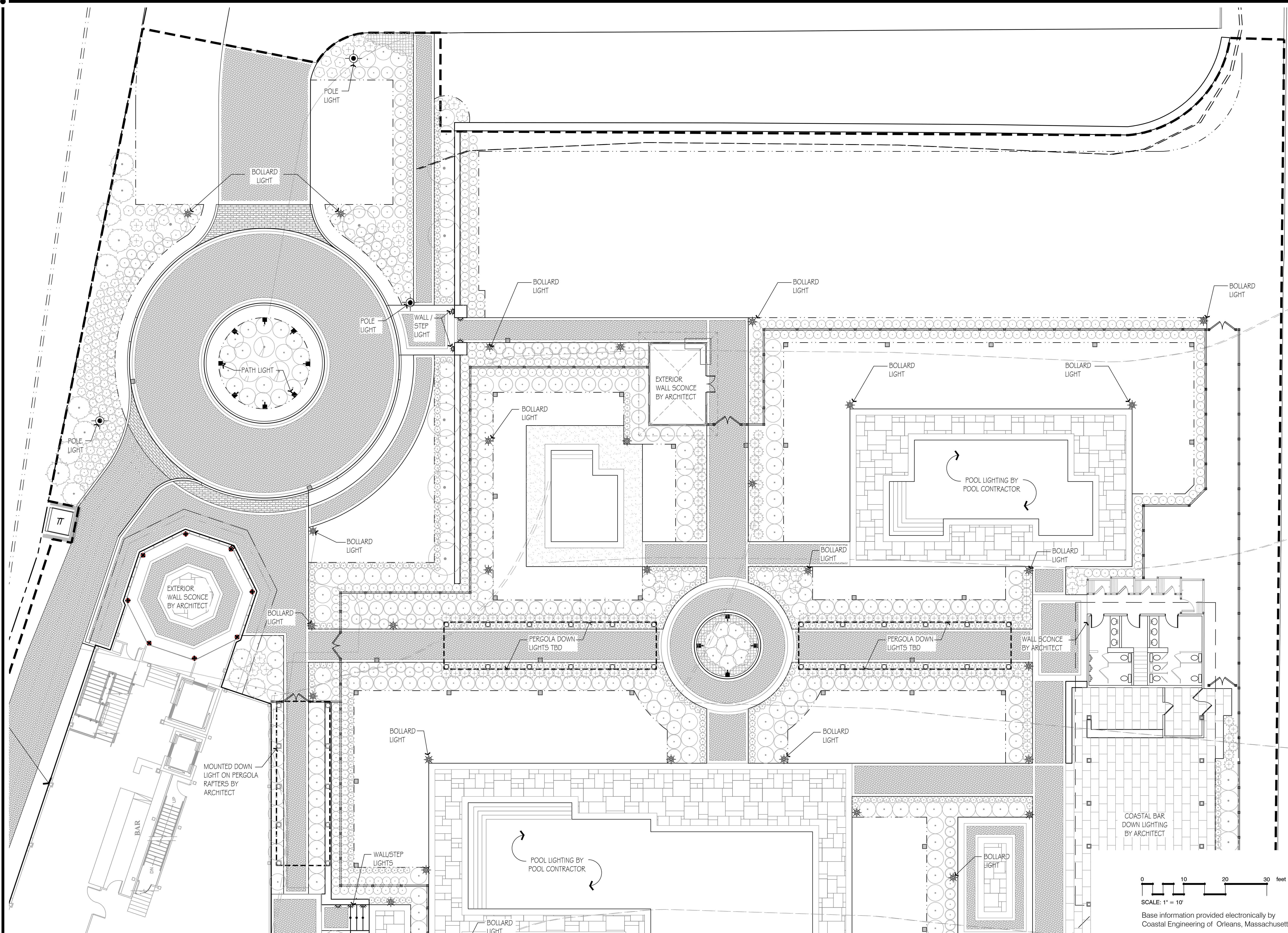
Wychmere Beach Club
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 Wychmere Harbor Real Estate LLC

Drawn By: TM Checked By: DH

Overall Site Lighting Plan

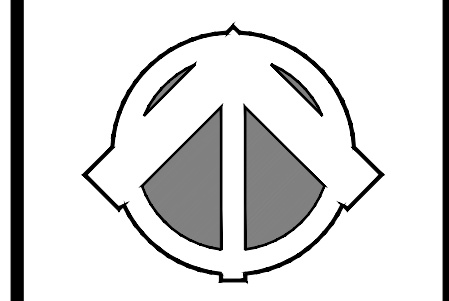
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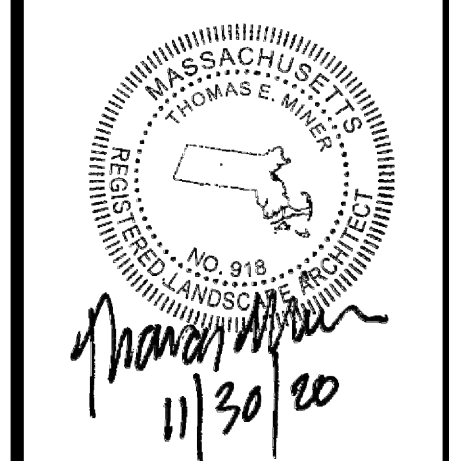
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Date: 08/28/20

Revisions:
 Num. Date Description
 1 11/30/20



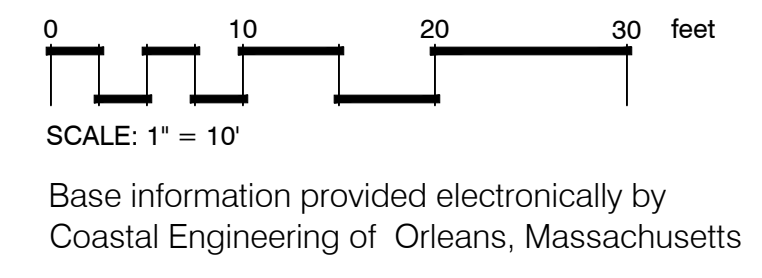
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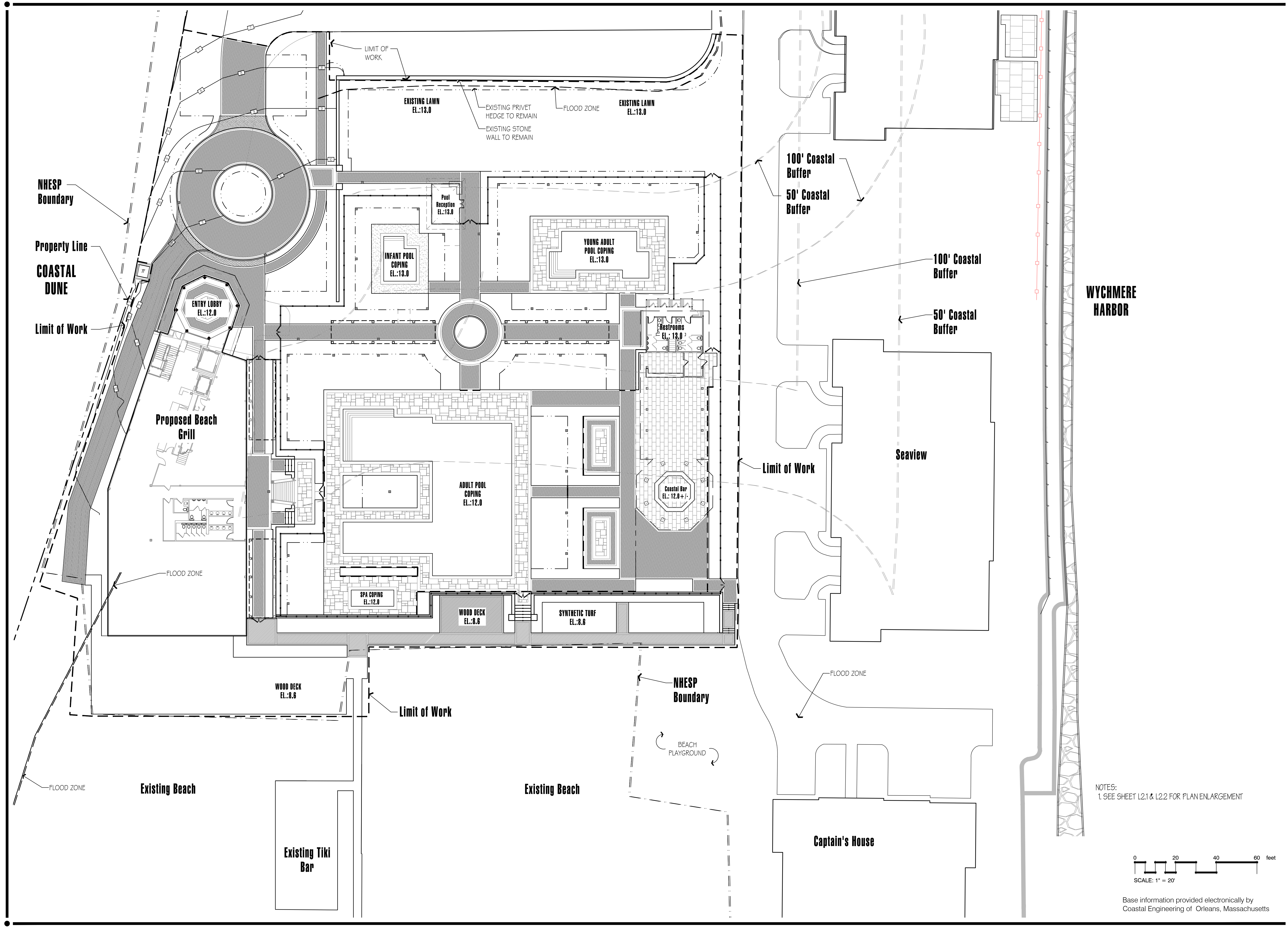
Drawn By: TM Checked By: DH

**Lighting
 Enlargement Plan**

Scale: 1" = 10'-0"

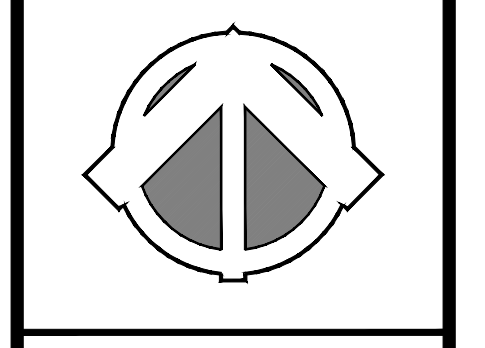
Sheet: **L3.1**





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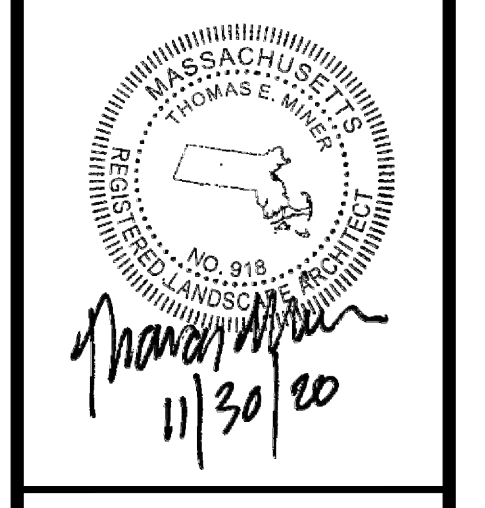
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Date: 08/28/20

Revisions:

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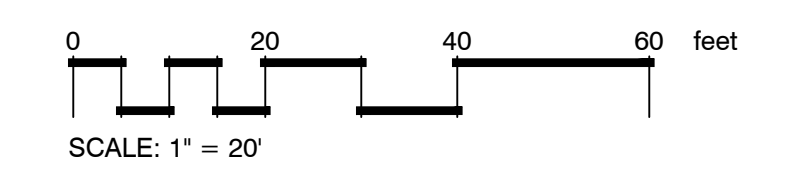
Drawn By: TM Checked By: DH

Overall Grading Plan

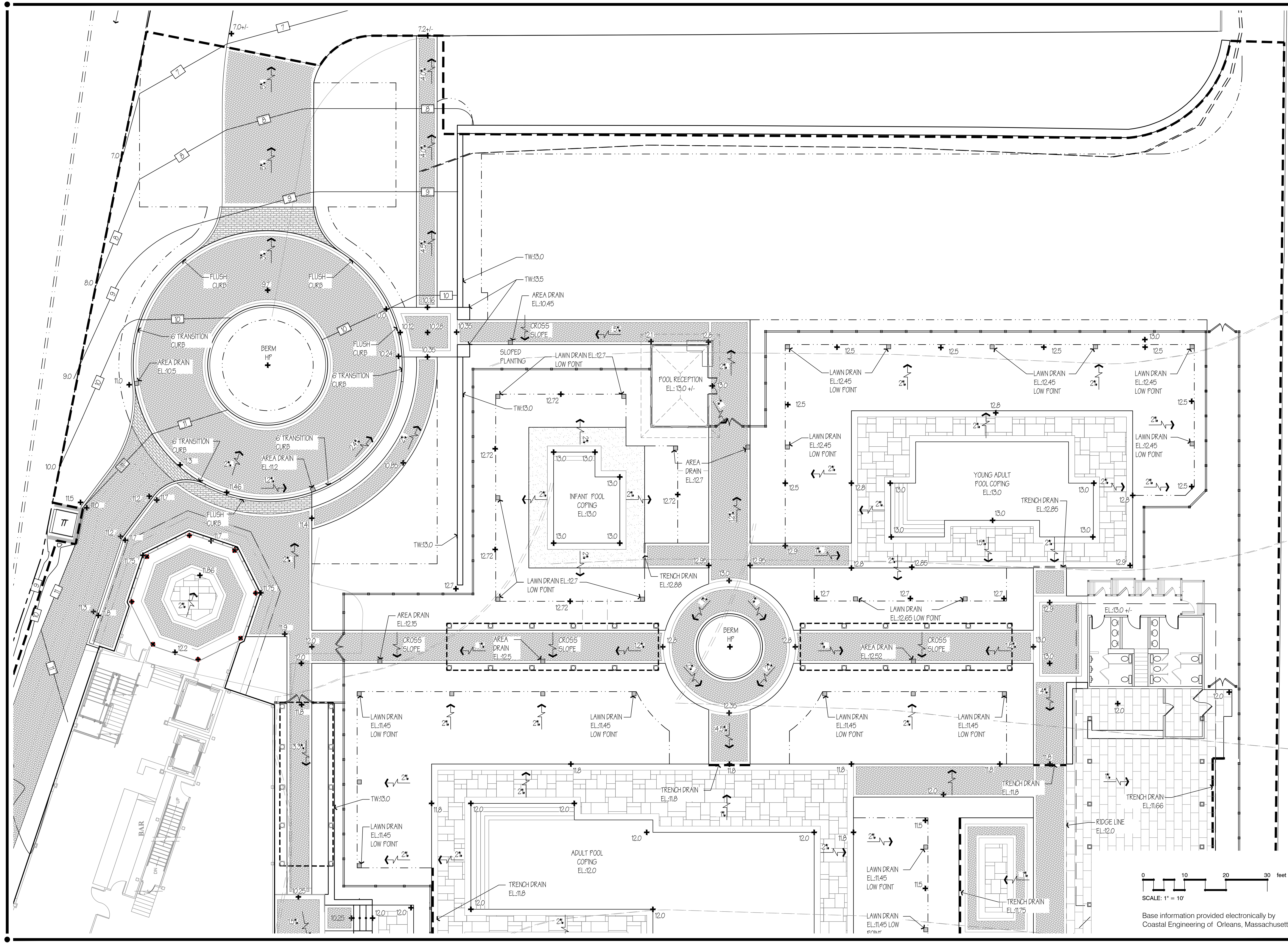
Scale: 1" = 20'-0"

Sheet: **L4.0**

NOTES:
 1. SEE SHEET L2.1 & L2.2 FOR PLAN ENLARGEMENT

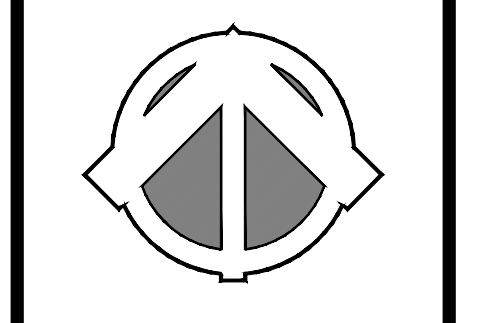


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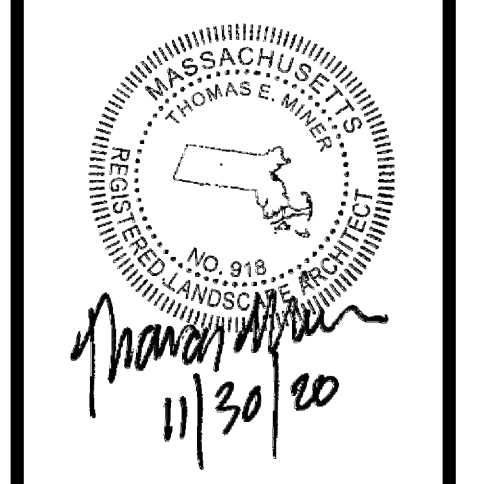
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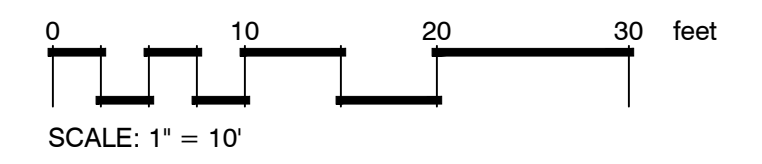
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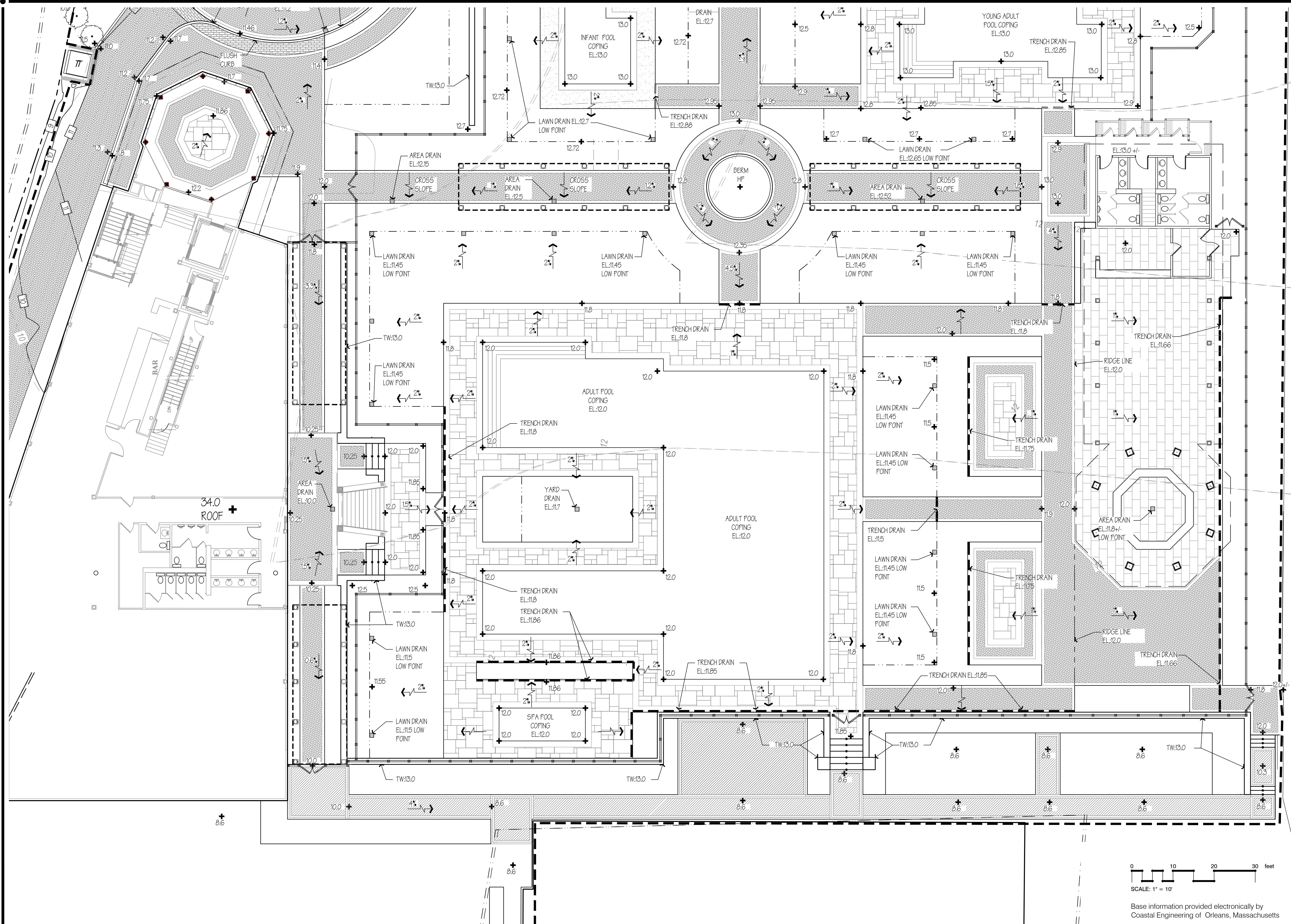
**Grading
 Enlargement Plan**

Scale: 1" = 10'-0"

Sheet: **L4.1**

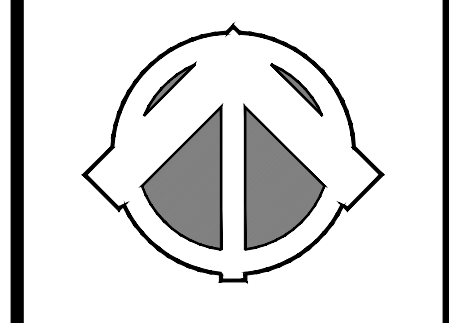


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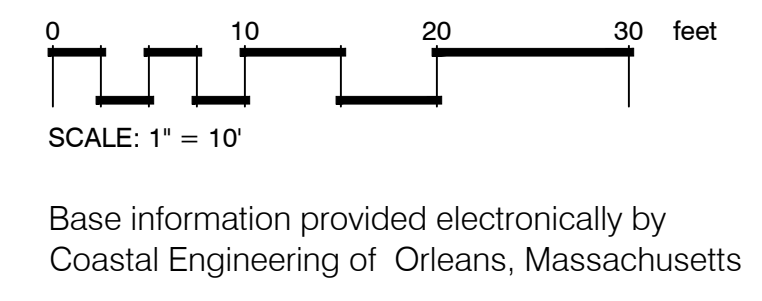
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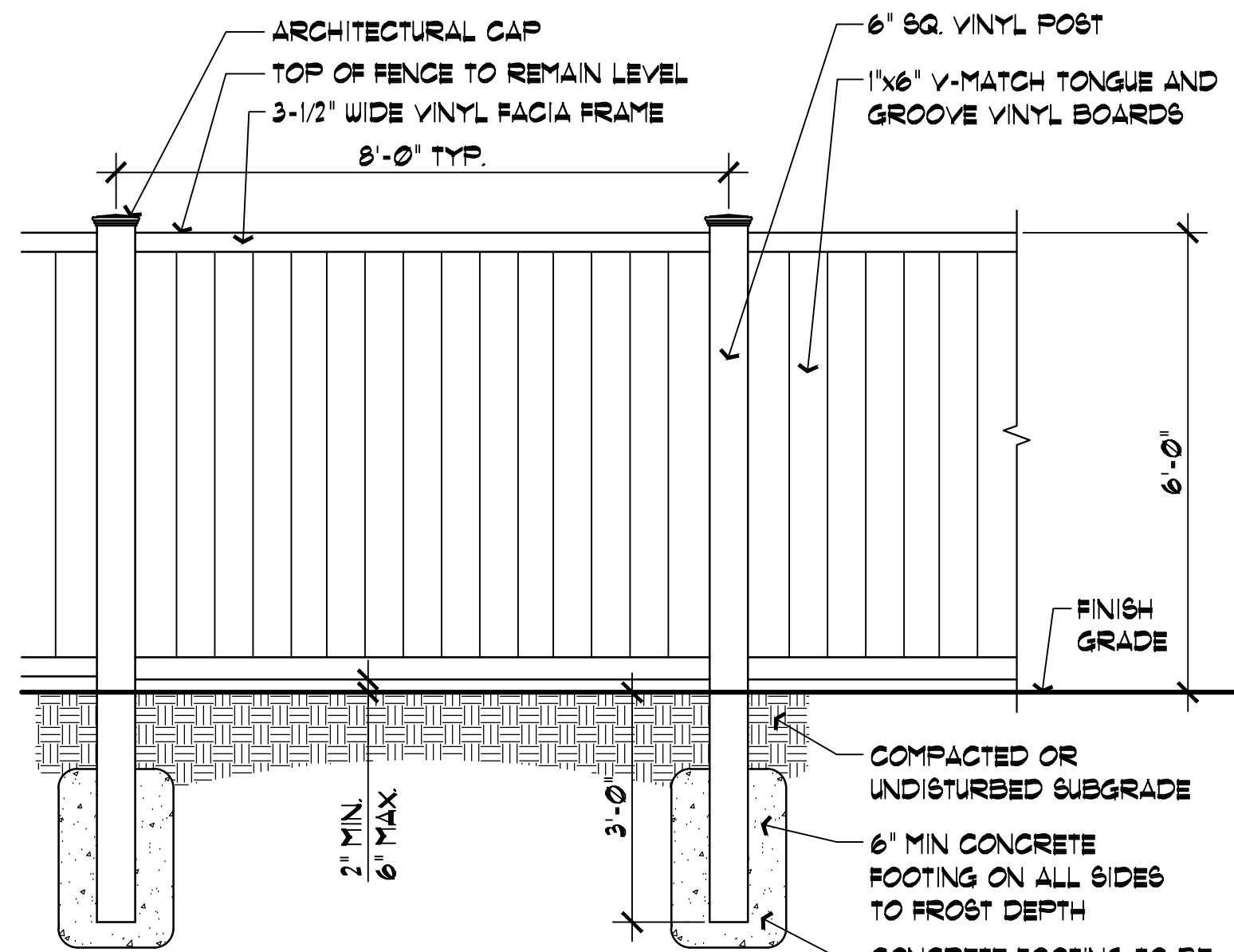
Drawn By: TM Checked By: DH

**Grading
 Enlargement Plan**

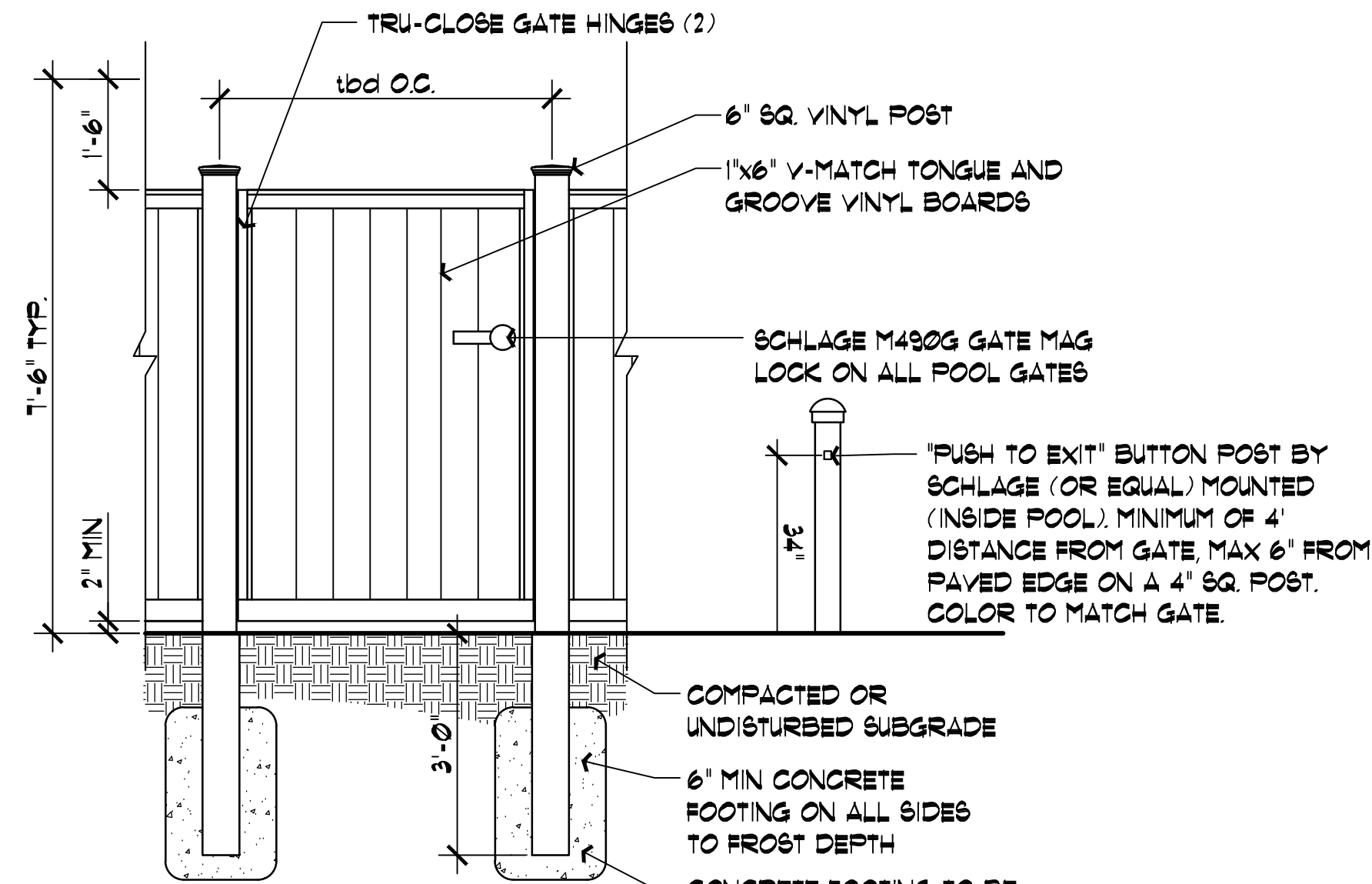
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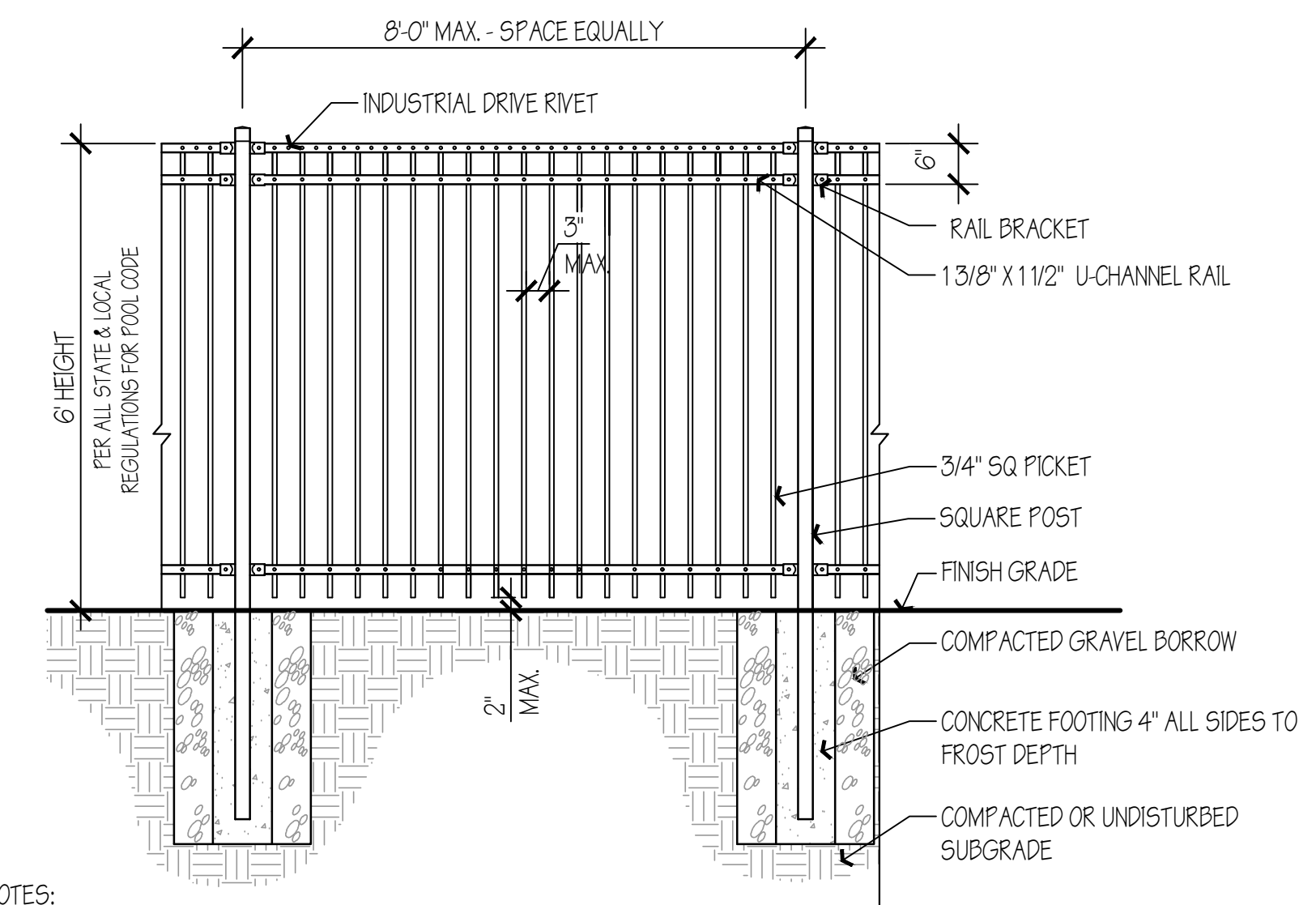




- NOTE:**
1. TOP CAP TO HAVE 5% WATER SHED
 2. ALL SCREWS AND FASTENERS TO BE STAINLESS STEEL
 3. ALL FASTENERS AND PLUGS SHOULD BE ALIGNED TO FORM A PATTERN



- NOTE:**
1. TOP CAP TO HAVE 5% WATER SHED
 2. ALL SCREWS AND FASTENERS TO BE STAINLESS STEEL
 3. ALL FASTENERS AND PLUGS SHOULD BE ALIGNED TO FORM A PATTERN
 4. POOL GATE HEIGHT TO BE IN ACCORDANCE W/ STATE & LOCAL REGULATIONS FOR POOL FENCES
 5. CONTRACTOR SHALL VERIFY & INSTALL GATE IN ACCORDANCE W/ ALL STATE & LOCAL REGULATIONS FOR POOL GATES



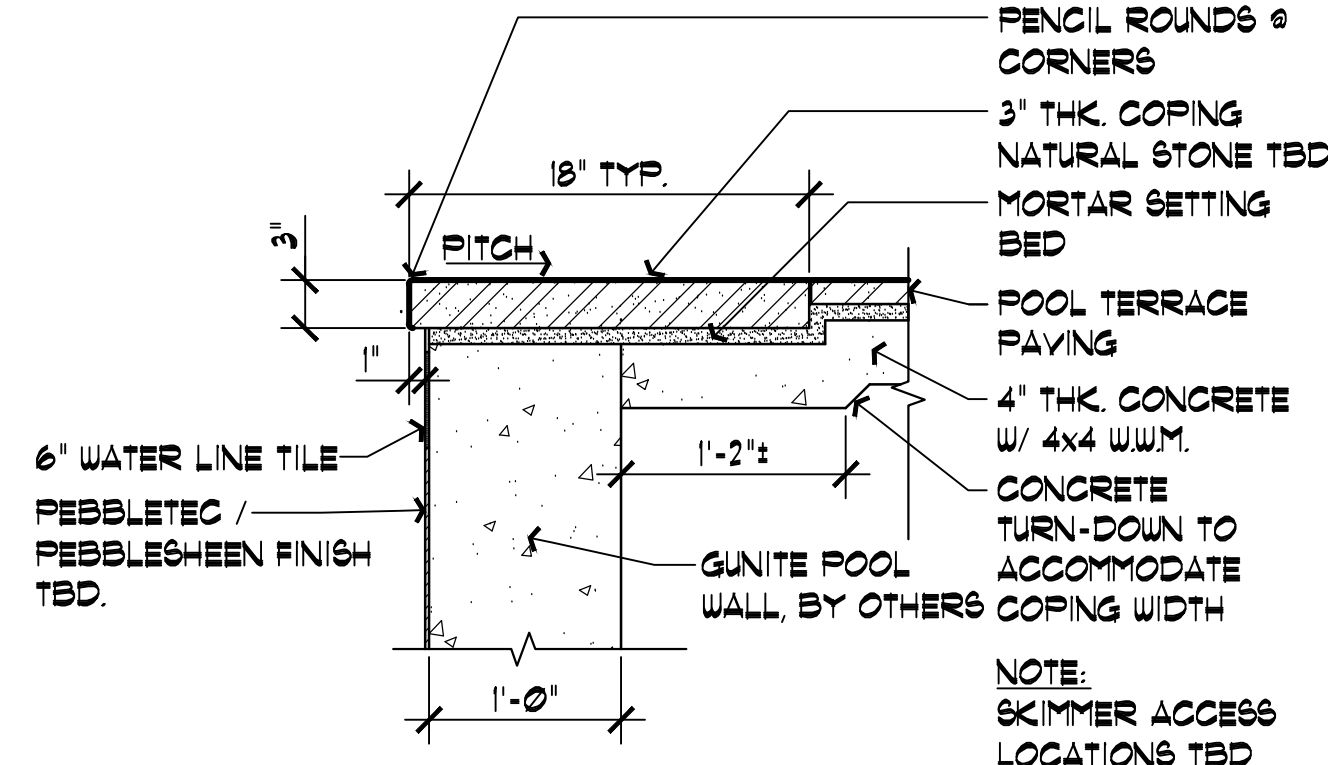
- NOTES:**
1. PICKETS - SPACING TO BE IN ACCORDANCE W/ STATE & LOCAL REGULATIONS
 2. FENCE HEIGHT TO BE IN ACCORDANCE W/ STATE & LOCAL REGULATIONS
 3. FENCE CONTRACTOR SHALL VERIFY & INSTALL FENCE IN ACCORDANCE W/ ALL STATE & LOCAL REGULATIONS
 4. FOOTING WIDTH TO BE (4)x POST WIDTH
 5. COLOR - BLACK

Vinyl Pool Fence & Gate 6' HT.

1/2" = 1'-0"

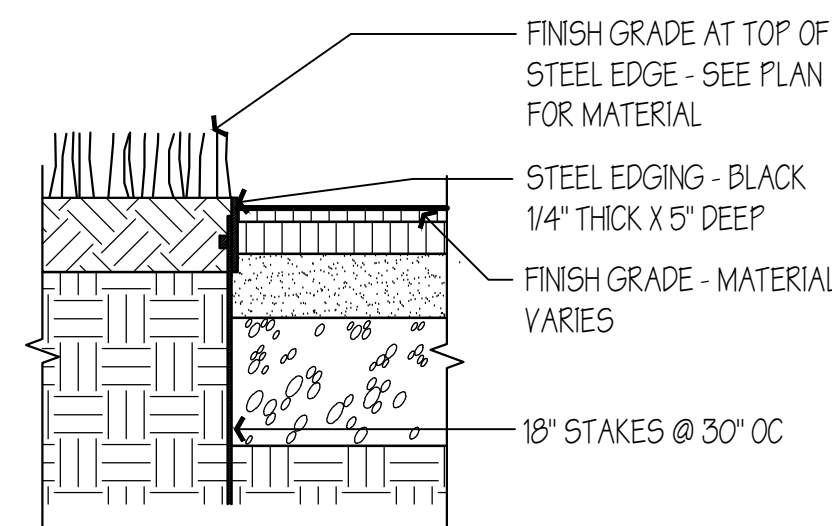
Aluminum Pool Fence & Gate 6' HT.

1/2" = 1'-0"



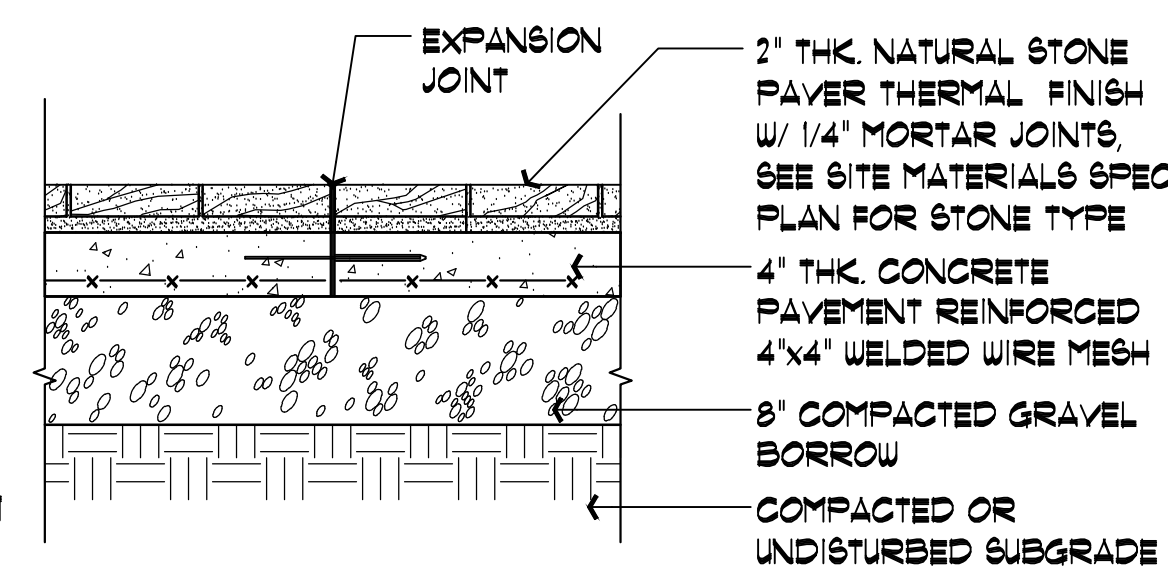
Pool Coping

Scale: 1" = 1'-0"



Steel Landscape Edge

Scale: 1" = 1'-0"



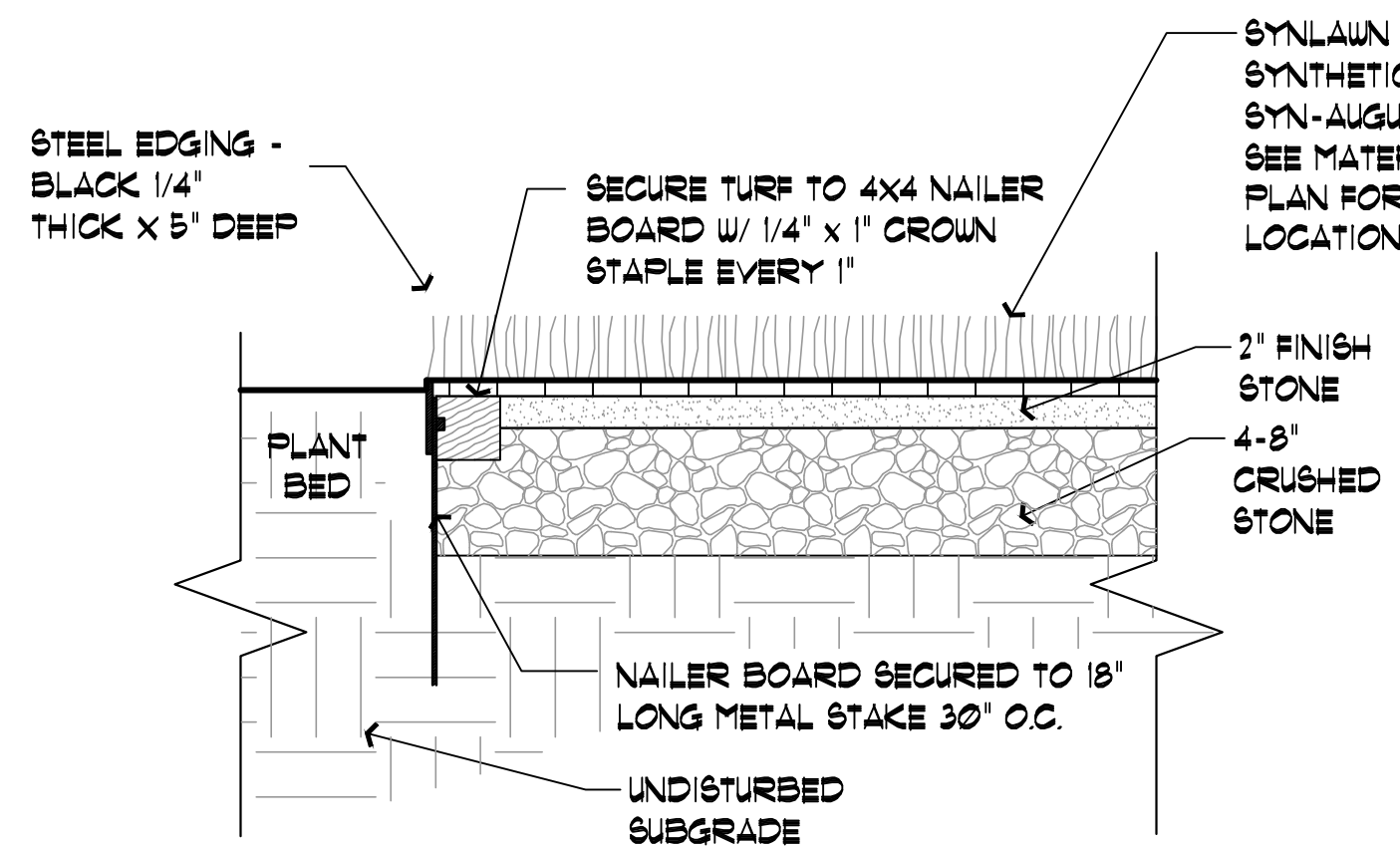
Natural Stone Paver Wet Set TBD

Scale: 1" = 1'-0"



Mirage Porcelain Paver Wet Set TBD

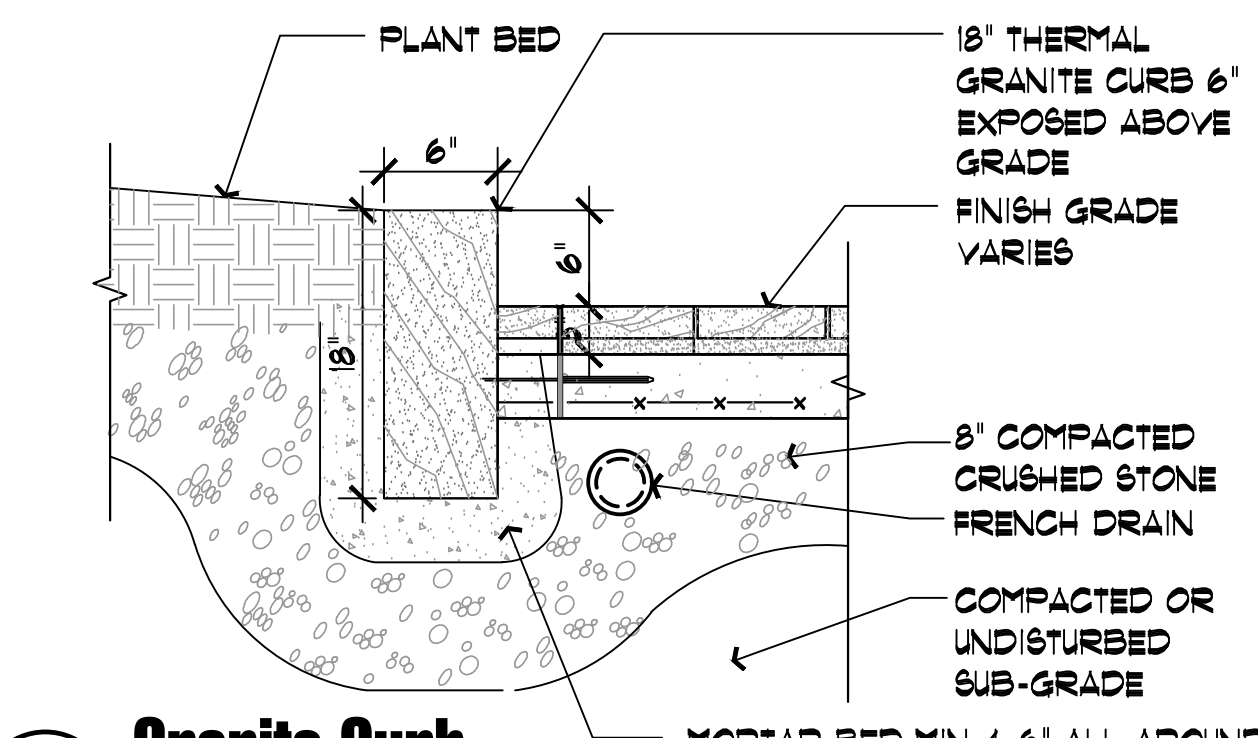
Scale: NTS



- NOTES:**
1. REFER TO MANUFACTURER'S SPECIFICATIONS FOR FURTHER INFORMATION. LA TO BE NOTIFIED OF ANY DISCREPANCIES.
 2. TO BE INSTALLED BY AUTHORIZED SYNLAWN INSTALLER IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND GUIDELINES.

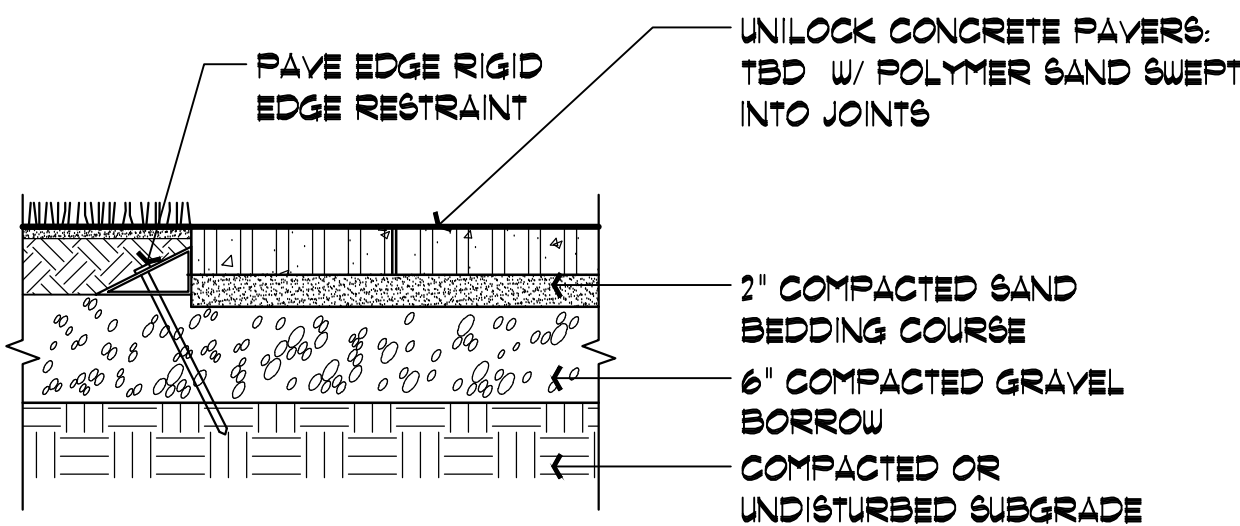
SYNLAWN Synthetic Turf

Scale: 1" = 1'-0"



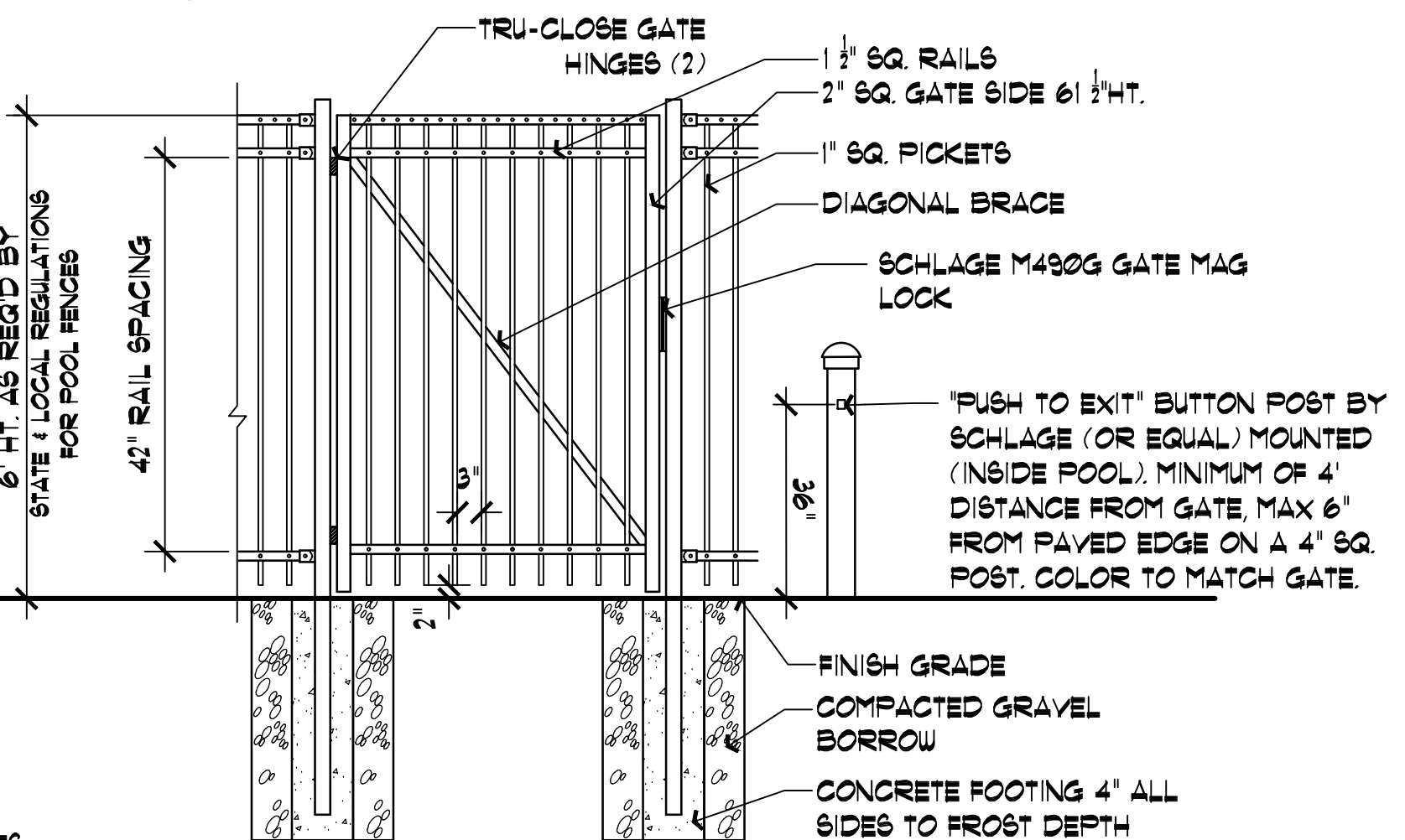
Granite Curb

Scale: 1" = 1'-0"



Concrete Paver Dry Set TBD

Scale: 1" = 1'-0"



- NOTES:**
1. ALL WIRE FABRIC AND FENCE HARDWARE SHALL BE GALVANIZED.
 2. FABRIC SHALL BE INSTALLED ON THE OUTSIDE OF POST.
 3. WIRE FABRIC TO BE BLACK VINYL COATED.
 4. POOL GATE HEIGHT TO BE IN ACCORDANCE W/ STATE & LOCAL REGULATIONS FOR POOL FENCES
 5. CONTRACTOR SHALL VERIFY & INSTALL GATE IN ACCORDANCE W/ ALL STATE & LOCAL REGULATIONS FOR POOL GATES
 6. COLOR - BLACK

Aluminum Pool Fence & Gate 6' HT.

1/2" = 1'-0"



AquaFlex Water Play Surface by PlayCore Inc

nts

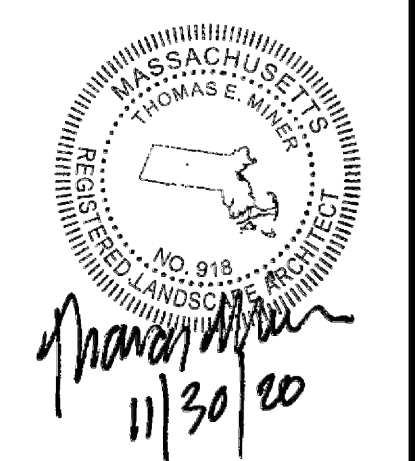
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Num.	Date	Description
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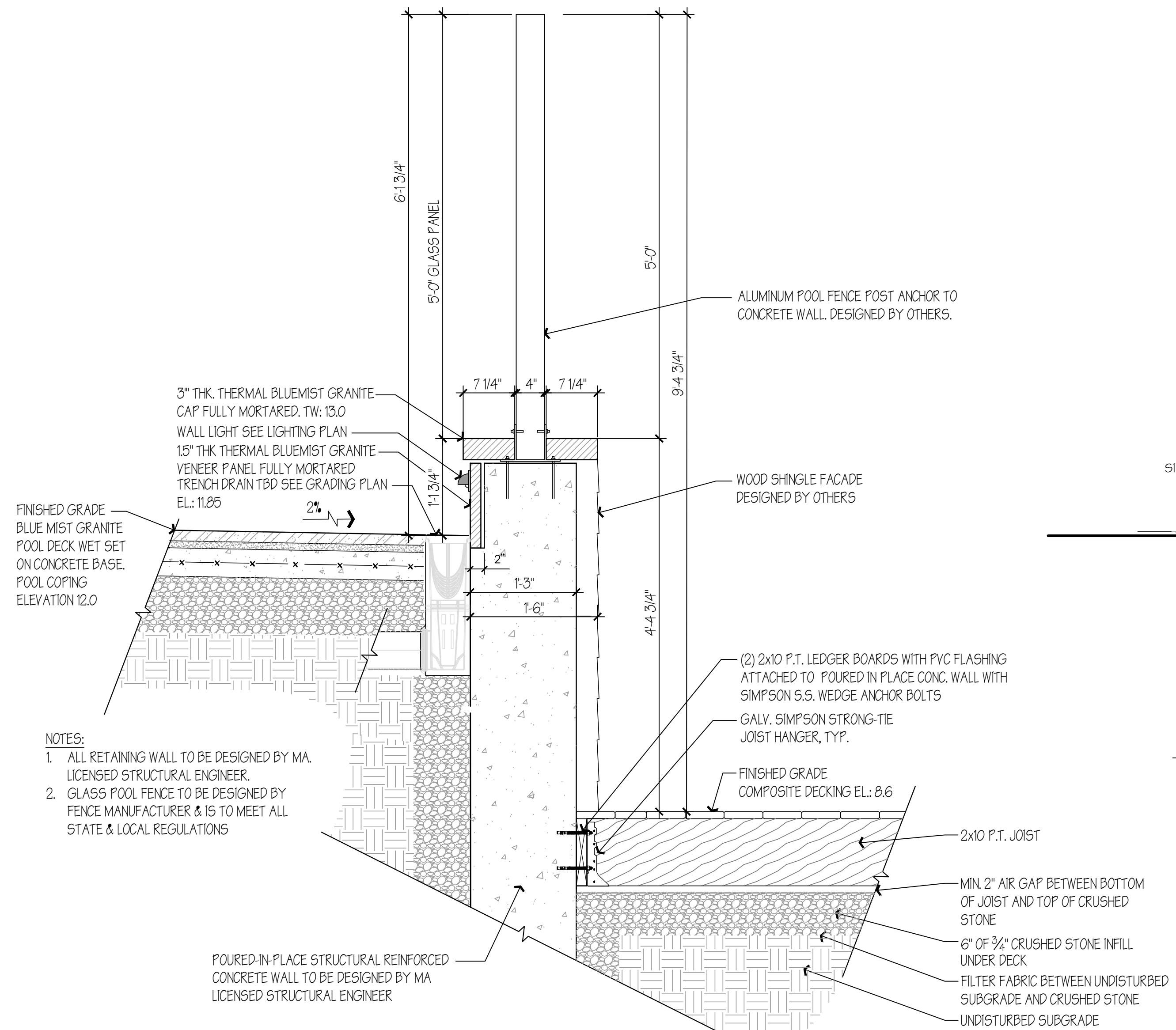
Wychmere Beach Club
22 Snow Inn Rd, Harwich Port, MA
Wychmere Harbor Real Estate LLC

Drawn By: TM Checked By: DH

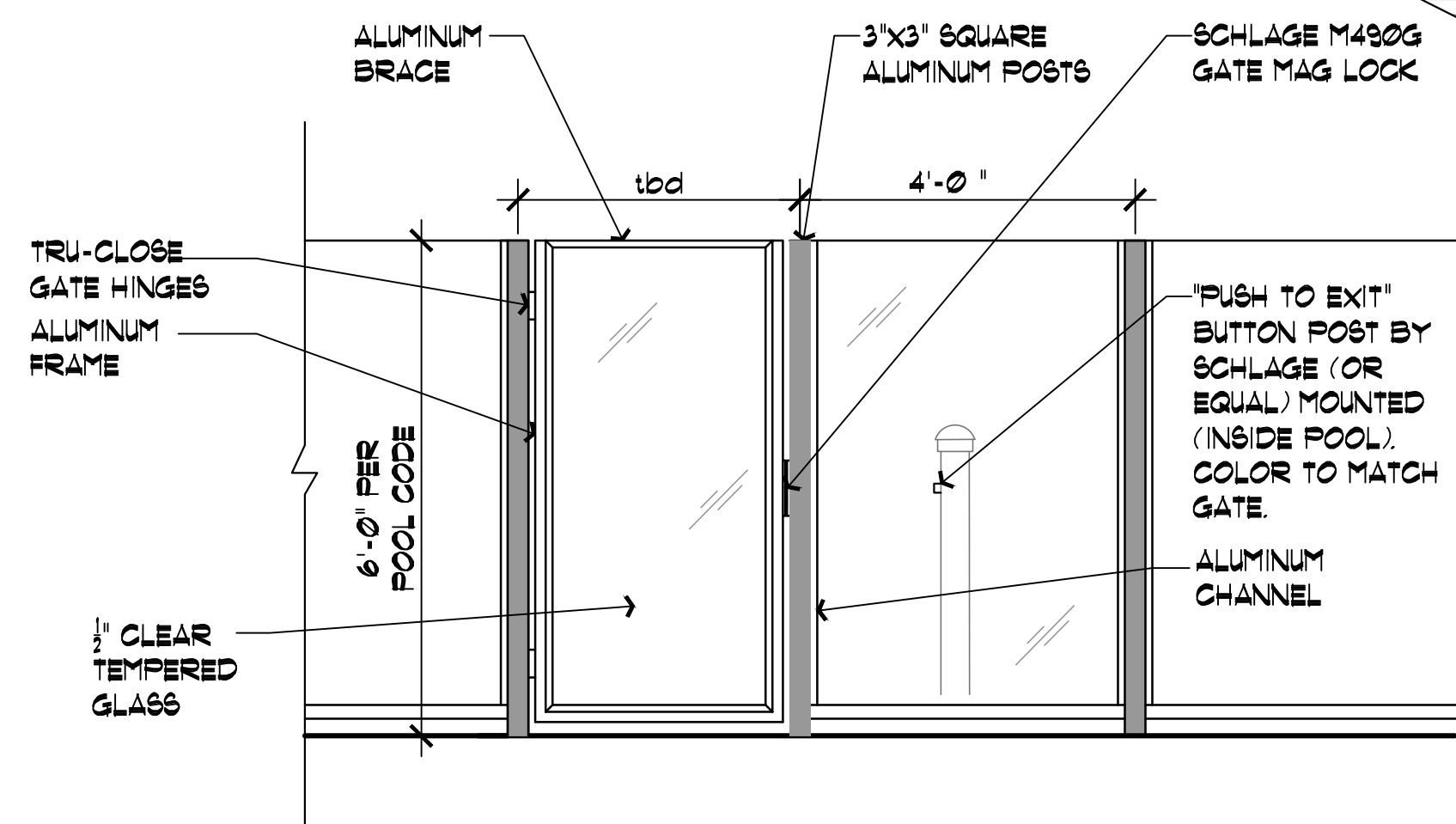
Construction Details

Scale: As Noted

Sheet: **D1.0**

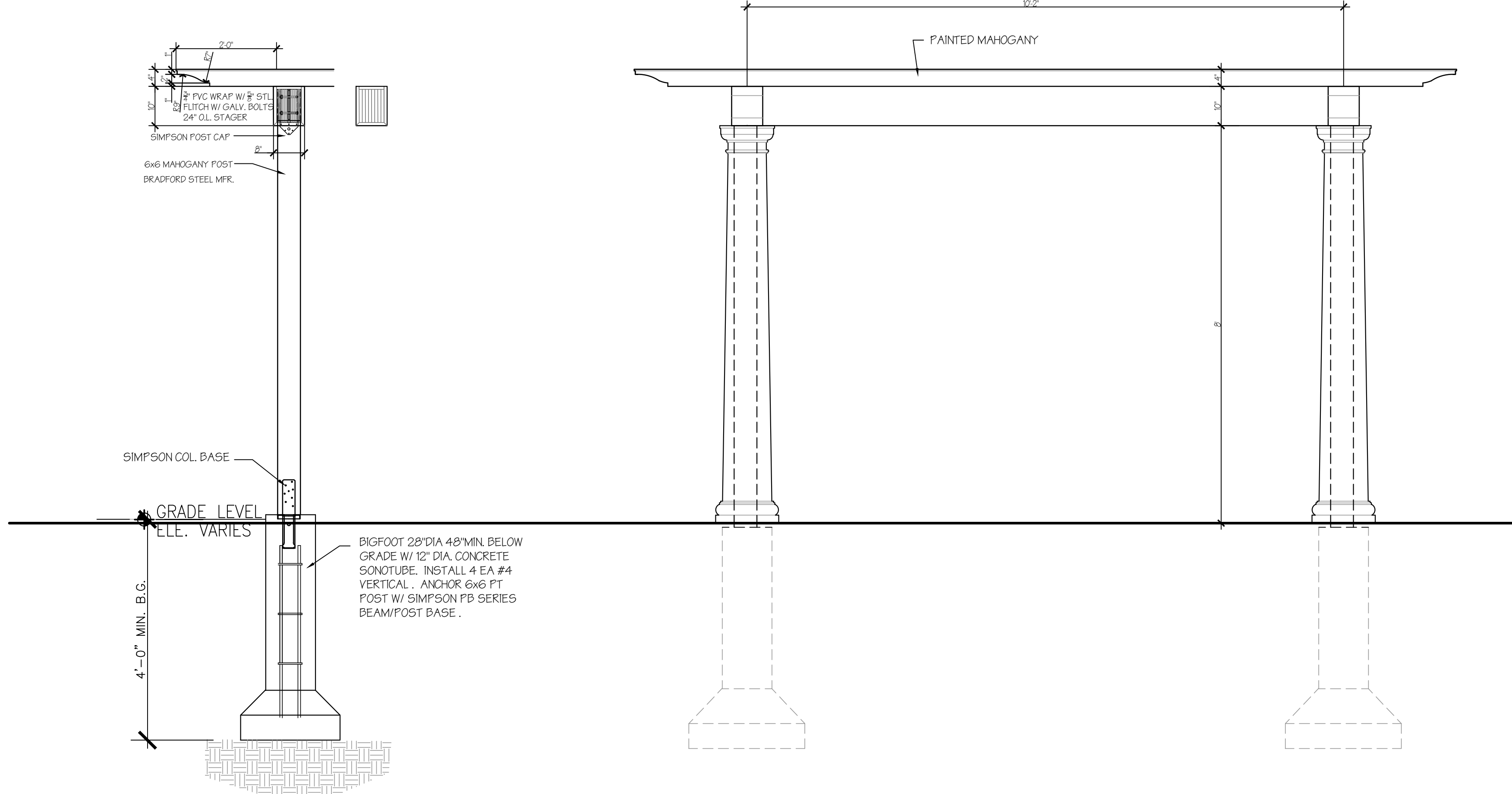


- NOTES:
1. ALL RETAINING WALL TO BE DESIGNED BY MA LICENSED STRUCTURAL ENGINEER.
 2. GLASS POOL FENCE TO BE DESIGNED BY FENCE MANUFACTURER & IS TO MEET ALL STATE & LOCAL REGULATIONS

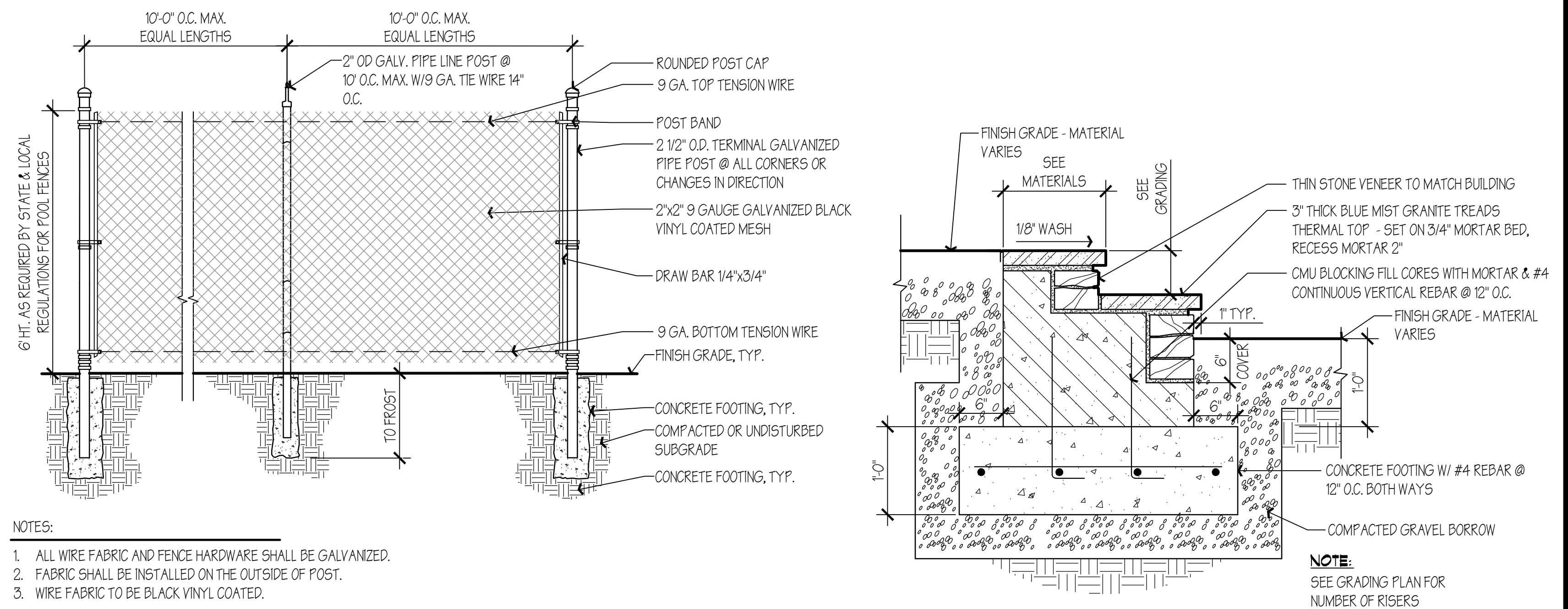


- NOTES:
1. GLASS PANEL FENCING TO BE APPROVED BY THE BOARD OF HEALTH PRIOR TO INSTALLATION.
 2. CONTRACTOR RESPONSIBLE TO APPLY FOR AND ATTAIN ANY NECESSARY PERMITTING FOR FENCE CONSTRUCTION.
 3. ALL SPACING TO BE IN ACCORDANCE WITH STATE & LOCAL REGULATIONS FOR POOL FENCES.
 4. FENCE CONTRACTOR SHALL VERIFY & INSTALL FENCE IN ACCORDANCE WITH STATE & LOCAL REGULATIONS FOR POOL FENCES.
 5. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO L.A. FOR APPROVAL PRIOR TO FABRICATION.
 6. CONTRACTOR TO REPORT ANY DISCREPANCIES TO L.A. PRIOR TO FABRICATION / INSTALLATION.

Glass Pool Fence & Gate 6' HT
Scale: 1" = 1'-0"

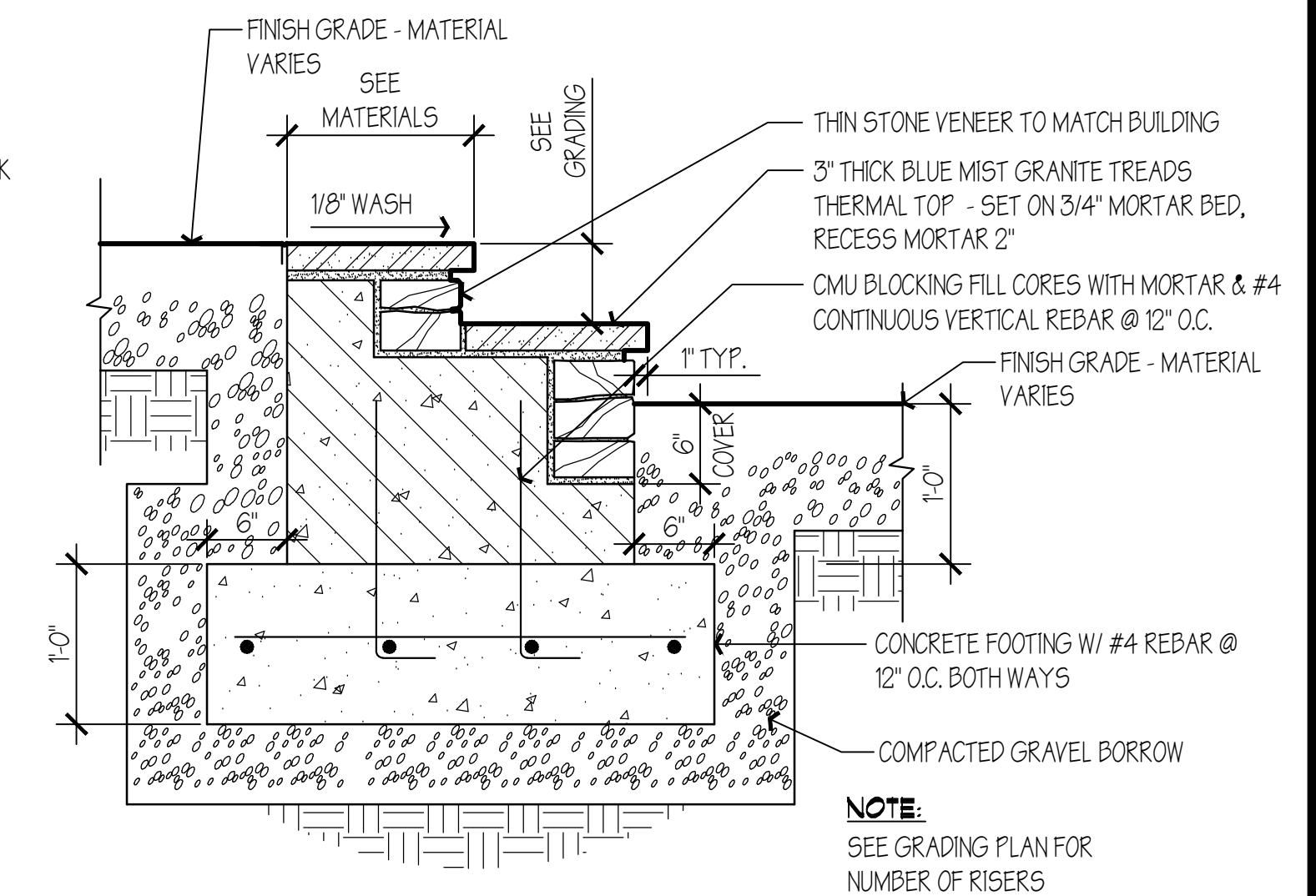


Turncraft Pergola: Tuscan Style - To Match Building Pergola
Scale: NTS



- NOTES:
1. ALL WIRE FABRIC AND FENCE HARDWARE SHALL BE GALVANIZED.
 2. FABRIC SHALL BE INSTALLED ON THE OUTSIDE OF POST.
 3. WIRE FABRIC TO BE BLACK VINYL COATED.

Chain Link Pool Fence 6' HT.
Scale: 1/2" = 1'-0"



- NOTE:
SEE GRADING PLAN FOR NUMBER OF RISERS

Stone Tread & Risers CMU
Scale: 1" = 1'-0"

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Revisions:
Num. Date Description

THOMAS E. MILLER
LANDSCAPE ARCHITECT
NO. 915
STATE OF MASSACHUSETTS
11/30/20

Wychmere Beach Club
22 Snow Inn Rd, Harwich Port, MA
Longwood Venues / Atlas Development

Drawn By: TM Checked By: DH

Construction Details

Scale: As Noted

Sheet: **D1.1**

Project: _____
 Fixture Type: _____
 Location: _____
 Contact: _____

PCPTS SERIES

LED Post-Top Designer

Specifications:

Construction:

Traditional style post top luminaire with decorative cast aluminum cap mechanically attached to optical chamber. Cast aluminum multi-sided caps with UV stabilized acrylic lenses sealed for weather light operation. Aluminum over electrical chamber with bottom flange to mount to 3" O.D. x 1/4" hex.

Optics:

One piece optical system with internal brass standoffs soldered to the board which can be field replaced. Two piece die cut silicone and polycarbonate foam gasket ensures weather proof seal around each individual LED and allows luminaire to be used for high pressure hose down applications. The optical cartridge is secured to the aluminum heat sink with fasteners to ensure thermal conductivity. Optics held into place without use of adhesives and complete assembly is gasketed for high pressure hose down cleaning.

Electrical:

Luminaire equipped with LED driver that operates with 120-277V universal voltage, 50/60Hz and includes 0-10V dimming capability. Power factor is 0.99 at full load. All electrical components rated to 50,000 hours at full load and 40°C ambient conditions. Thermal feedback between PCB and driver to protect luminaire from excessive temperature by reducing drive current as necessary. Surge protection standard with device providing surge current rating of 20kA using 5/100 picosec wave, LED clamping voltage of 820V and surge rating of 10kV.

Finish:

Polyster powder paint finish that is corrosion resistant and resists surface impacts up to 160 inch-pounds.

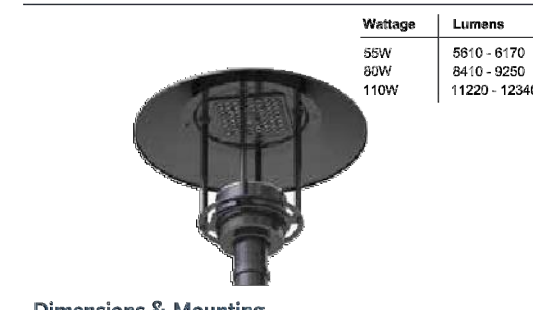
Listing/Certification:

The luminaire bears an NRTL label and is marked suitable for wet locations.

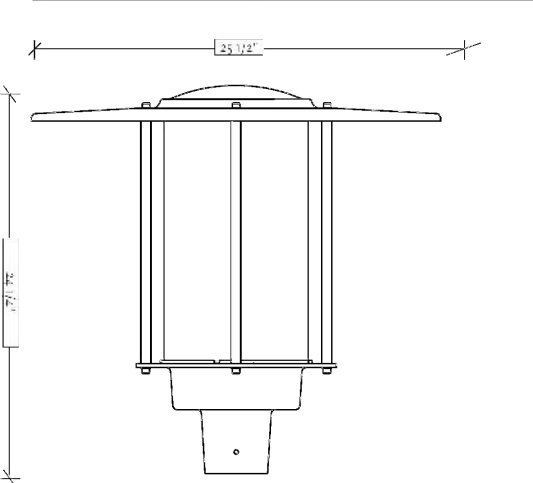
Warranty:

5 year limited warranty covering LED array and LED driver(s).

Images:



Dimensions & Mounting



Series	Wattage	Distribution	Finish	Options
PCPTS	55 - 50W 80 - 80W 110 - 110W	3 - Type 3 4 - Type 4 4B - Type 4 5 - Type 5 Square 5R - Type 5 Round	BL - Bronze BK - Black ON - Green	IP - Photocell

For more information visit our website: www.progresscommercial.com

Progress Lighting - 701 Millennium Boulevard - Greenville, SC 29607

Project: _____
 Fixture Type: _____
 Location: _____
 Contact: _____

PCAD SERIES

LED Area Designer Lighting

Specifications:

Construction:

The decorative pendant mount luminaire is pendant mounted in place with stainless steel bolts. The driver is located in the cast aluminum top housing and is accessible without tools by lifting the lower shade assembly. The lower shade assembly is a one-piece aluminum extrusion.

Optics:

One piece optical system with internal brass standoffs soldered to the board which can be field replaced. Two piece die cut silicone and polycarbonate foam gasket ensures weather proof seal around each individual LED and allows luminaire to be used for high pressure hose down applications. The optical cartridge is secured to the aluminum heat sink with fasteners to ensure thermal conductivity. Optics held into place without use of adhesives and complete assembly is gasketed for high pressure hose down cleaning.

Electrical:

Luminaire equipped with LED driver that operates with 120-277V universal voltage, 50/60Hz and includes 0-10V dimming capability. Power factor is 0.92 at full load. All electrical components rated at 50,000 hours at full load and 40°C ambient conditions. Thermal feedback between PCB and driver to protect luminaire from excessive temperature by reducing drive current as necessary. Surge protection standard with device providing surge current rating of 20kA using 5/100 picosec wave, LED clamping voltage of 820V and surge rating of 10kV.

Finish:

Polyster powder paint finish that is corrosion resistant and resists surface impacts up to 160 inch-pounds.

Listing/Certification:

The luminaire bears a CSA label and is marked suitable for wet locations.

Warranty:

5 year limited warranty covering LED array and LED driver(s).

Series	Engine/Wattage	Color Temp	Distribution	Finish	Options
PCADS - Designer Small	27LED - 24LEDS @ 27W	3K - 3000K, 70 CRI	2 - Type 2	BL - Bronze	BLANK
PCADS - Designer Large	55LED - 24LEDS @ 55W	4K - 4000K, 70 CRI	3 - Type 3 4 - Type 4	BL - Black ON - Green	PCDZ - 120V Photocell PCRZ - 277V Photocell CR - Cast Rings BC - Barlight Control

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Progress Lighting - 701 Millennium Boulevard - Greenville, SC 29607

Kick™ - KB6 Bollard

TYPE

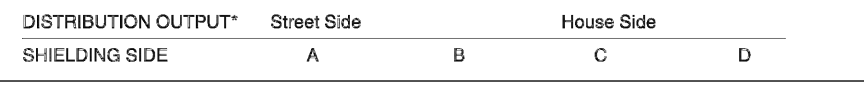
FEATURES:

- Sensor and wireless operation
- Field installable optics and housing
- Customizable side panels
- 120-277, 347 and 480VAC input
- IMA Dark Sky Approved with clear lenses and 3000K
- True IFS distribution
- 3000K, 4000K, 5000K CCT
- Uniformly diffused lens
- 20kV/10kA surge protection
- Integral thermal protection and 3000K
- IP66

DIMENSIONS:

MODEL	KB6
OVERALL HEIGHT	42" / 1067mm
OVERALL LENGTH	6" / 152mm
OVERALL WIDTH	6" / 152mm
WINDOW HEIGHT	18" / 457mm
WINDOW WIDTH	4" / 101mm
WEIGHT	3.1 lbs / 1.4kg

* Housing and optical distribution are independently field installable at 80° increments. Default factory orientations shown above.



ORDERING INFORMATION

1	2	3	4	5	6	7
KB6	YES	No Shield	3000k	TBD	TBD	TBD
Model	Distribution	Shielding	Light Engine	Controls	Voltage	Fixture Finish
1. MODEL KB6 8" Square x 42 OAH bollard	2. DISTRIBUTION Y2 Y3 Y4 Y5 YD	3. SHIELDING Optional, may choose from 1 to 3; slides closed from options A, B, C, D or you may choose HSS option. A - Start side closed B - Side 80° counter-clockwise from start side closed C - Side 180° counter-clockwise from start side closed D - Side 270° counter-clockwise from start side closed HSS - House side shield*	4. LIGHT ENGINE 2050 2050 1050 1040 1050 580mm macrochromatic amber and/or custom lumen package available by request.†	5. CONTROL May choose one: SC-MINI WIR RPC	6. VOLTAGE 120-277VAC input or may choose one: 347 480	7. FIXTURE FINISH Standard Color AGN BLT CMT DB DGM GT LG MAL MDS MD WIR TT WH WCB VJU Premium Color SINK SPP SPP WCP RAL CUSTOM Antique Bronze Black Matte Black Corten Dark Bronze Dark Green Light Gray Matte Aluminum Rustic Metallic Medium Gray Titanium Acrylic White Weathered Bronze Verde Blue Shamrock Salt and Pepper Stainless Steel Weathered Copper RAL 4 digit Color Custom Color

ARCHITECTURAL AREA LIGHTING
 17700 Howard Street, City of Industry, CA 91746
 (626) 963-0988 | (626) 963-3065 | www.aal.com
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JOB TYPE NOTES

1 1

Project: _____
 Fixture Type: _____
 Location: _____
 Contact: _____

PCBO SERIES

Walkway Lighting

Specifications:

Construction:

- Casted aluminum square or round housing, with tamper resistant hardware; flat top, for round. Single screw access for top replacing.
- Solid one piece, clear acrylic lens; Spectral analyzed aluminum optical systems; dual reflector side optics.
- Concealed, galvanized steel anchor base. Four 3/8" x 10" anchor bolts.
- Durable, lab-coated TFC, thermoplastic polyester powder coat paint finish assures long life and maintenance free service.

Electrical:

- Universal voltage (120-277V) drivers with +/-10% tolerance, starting temperature rated at -30°C.
- Notable LED assembly adjustment for ideal placement and aiming of symmetric light pattern.
- 24 in high brightness LEDs at 500 mA deliver symmetric distribution at 46 Watts.
- 12 in high brightness LEDs at 700 mA deliver symmetric distribution at 31 Watts.

Warranty:

5 year limited warranty for LED system.

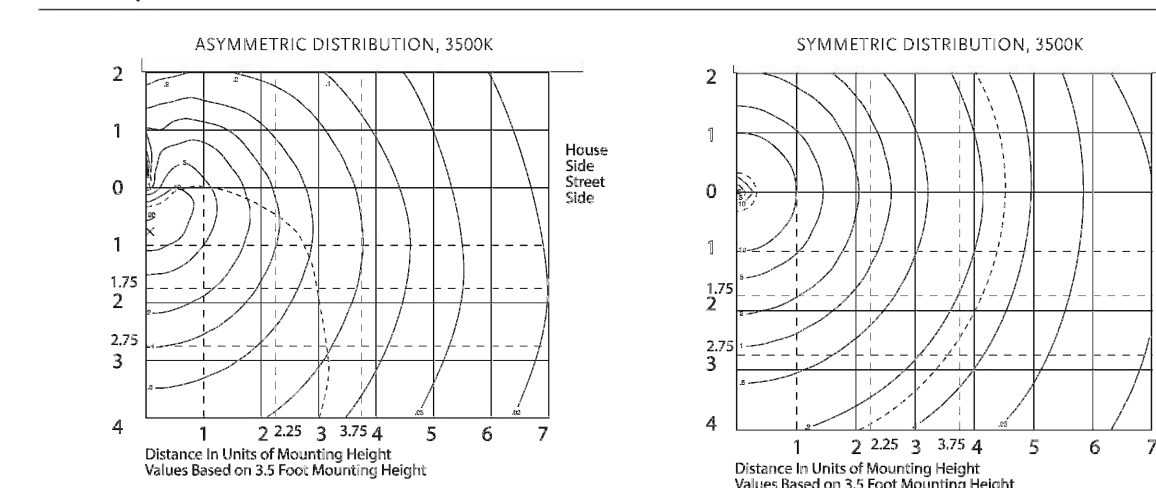
Listing/Certification:

The luminaire is listed to UL 1598 for use in wet locations.

Catalog number:

Series	Distribution	Finish
PCBOR - Bollard Round	ASY - 12 LEDs @ 31W	BZ - Bronze
PCBOR - Bollard Square	SYM - 24 LEDs @ 46W	BL - Black

Photometry:

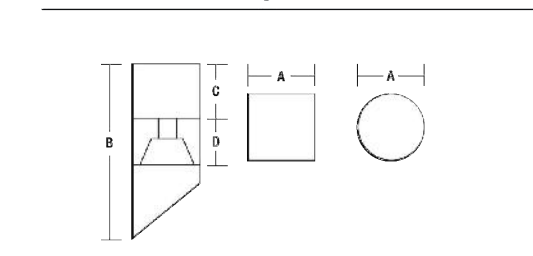


For more information visit our website: www.progresscommercial.com

Images:



Dimensions & Mounting



Square	A	B	C	D	Weight
Round	6.75" sq	42.0"	6.0"	4.0"	41 lbs
	7.0" dia	42.0"	6.0"	4.0"	41 lbs
	128 mm	1067 mm	152 mm	102 mm	19 kg

Progress Lighting - 701 Millennium Boulevard - Greenville, SC 29607

Site Light on 12' HT. Pole
 Scale: nts

FXLuminaire

LED Wall Lights



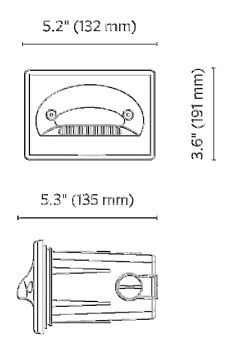
PROJECT: _____
 CATALOG # _____
 TYPE _____
 NOTES _____

UN Wall Light DESIGNER PREMIUM

Subtle, curved design elements adds style to this recessed wall light. 1 LED. Available in brass.

Quick Facts

- Die-cast brass construction
- Natural, powder coated, or antiqued brass finish
- Cree® integrated LEDs
- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V



UN Wall Light ORDERING INFORMATION

Fixture	Luxor Option	Output	Finish
UN*	(default) Zone ZD Zone/Dim	1LED 7 Lumens 2 Lumens	BS Natural Brass BZ Bronze Metallic DG Desert Granite WI Weathered Iron SB Sedona Brown FB Black WG White Gloss FW Flat White AL Almond SV Silver NP Nickel Plate AB Antique Bronze AT Antique Tumbled

EXAMPLE FIXTURE CONFIGURATION:
 UN-ZD-1LED-FB
 *No Sales Sleeve With Cover (250022040000)

MOUNTING OPTIONS: Specify Separately

Accessories	Code
WALL LIGHT CONNECTION KIT	EKITWALL

LANDSCAPE LIGHTING

Bollard Light
 Scale: nts

FXLuminaire

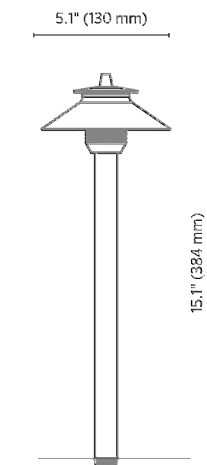


PF Path Light DESIGNER PREMIUM

Sleek hat area light in 1 LED. Copper and brass construction.

Quick Facts

- Copper/brass construction
- Natural, powder coated, or antiqued copper/brass
- Cree® integrated LEDs
- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V



LANDSCAPE LIGHTING

Path Light
 Scale: nts

Alternate Bollard Light
 Scale: nts

PF Path Light ORDERING INFORMATION

Fixture	Luxor Option	Output	Riser	Finish
PF*	(default) Zone ZD Zone/Dim	1LED 35 Lumens	8" (203 mm) Riser 12" (305 mm) Riser 18" (457 mm) Riser 24" (610 mm) Riser 36" (914 mm) Riser	CU Natural Copper BZ Bronze Metallic DG Desert Granite WI Weathered Iron FB Black WG White Gloss FW Flat White AL Almond SV Silver AB Antique Bronze AT Antique Tumbled NP Nickel Plate

EXAMPLE FIXTURE CONFIGURATION: PF-ZD-1LED-12R-CU
 * Ships with Super Slim Splice (252902)

MOUNTING OPTIONS: Specify Separately

Mounts	Code
SUPER J-BOX 2.5" (64 mm) x 12" (305 mm)	SI-XX*
POST MOUNT 2.5" (64 mm) x 1.5" (38 mm)	PM-XX*
GROUND MOUNT 2.7" (67 mm) Diameter	GM-XX*
VERSABOX® 2.2" (57 mm) x 1.5" (38 mm)	VB-050-XX*
PROAIM RATCHETING SPINE 4.5" (112 mm) x 4.0" (102 mm)	PARS
3-PRONG SPINE 5.1" (129 mm) x 9" (229 mm)	3S-020-20000

*XX = riser height in inches (6" increments between 6" and 36", 150 mm increments between 150 mm and 900 mm). XX = finish code

LANDSCAPE LIGHTING

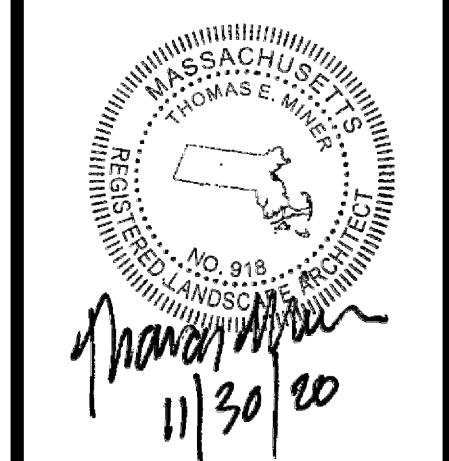
Wall / Step Light
 Scale: nts

Hawk Design, Inc.
 Landscape Architecture
 Land Planning
 Sagamore, MA
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HAWK DESIGN, INC. 2019
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Date: 02/11/20

Revisions:
 Num. Date Description
 1. 08/28/20
 2. 11/30/20



Wychmere Beach Club
 22 Snow Inn Rd, Harwich Port, MA
 Wychmere Harbor Real Estate LLC

Drawn By: TM Checked By: DH

Site Lighting Specifications

Scale: nts
 Sheet: **D2.0**