

HARWICH PLANNING BOARD  
PUBLIC HEARING NOTICE

The Harwich Planning Board will hold a public hearing no earlier than 6:30 PM on **Thursday**, September 10, 2020 in the Griffin Meeting Room, 732 Main St., Harwich, MA to consider the following applications. The meeting may be via REMOTE PARTICIPATION ONLY. Written comments may be submitted to the Planning Board at the address shown below or emailing the Town Planner, Charleen Greenhalgh, at [cgreenhalgh@town.harwich.ma.us](mailto:cgreenhalgh@town.harwich.ma.us). Anyone having interest the application is invited to access the meeting via GoToMeeting.com. Instructions regarding how to access and participate in the meeting will be posted on the Planning Board's Agenda page for the date of the meeting: <https://www.harwich-ma.gov/node/2451/agenda/2020>. The application and plans can also be viewed using the same website link noted above under Planning Board Legal Notice September 10, 2020.

**PB2020-23 Wychmere Harbor Real Estate LLC**, applicant & owner, c/o Attorney Andrew Signer, representative, seeks to amend a Site Plan Review Special Permit and a Special Permit for a structure greater than 7,500 s.f. granted in Case PB2019-27, or in the alternative a new Special Permit, to make alterations to the previously approved design at the north and south ends of the replacement restaurant building as well as reducing the size of the gatehouse building and accompanying landscape revisions. The application is pursuant to the Code of the Town of Harwich §325-55 (Site Plan Review), §325-51 (structure greater than 7500 s.f.) and Chapter 400. The property is located in the RH-3 and R-L zoning districts at 23 Snow Inn Road, Map 8, Parcel P2-12.

All documents related to the above cases are on file with the Planning Department and the Town Clerk; however, they can only be viewed at the Town Hall (address noted above) by appointment only. The plans and application will also be available on the website link noted above, and can be found under Planning Board Legal Notice August 11, 2020. You may also email the Town Planner.

In accordance with state law, this legal notice will also be available electronically at '[www.masspublicnotices.org](http://www.masspublicnotices.org).' The Town is not responsible for any errors in the electronic posting of this legal notice.

Duncan Berry, Chair  
Cape Cod Chronicle Print Dates: August 20 & 27, 2020

# TOWN OF HARWICH PLANNING DEPARTMENT

**PLANNING BOARD APPLICATION  
SPECIAL PERMITS & SITE PLAN REVIEW**

**FORM A**



TO THE TOWN CLERK, HARWICH, MA

DATE August 4, 2020

## PART A – APPLICANT INFORMATION/AUTHORIZATION

Applicant Name(s)	Wychmere Harbor Real Estate, LLC
Representative/Organization (Who will serve as the primary contact responsible for facilitating this application?)	Andrew L. Singer, Esq. Law Office of Singer & Singer, LLC
Mailing address	c/o Law Office of Singer & Singer, LLC P.O. Box 67
Town, ST, Zip	Dennisport, MA 02639
Phone	508-398-2221
Fax	508-398-1568
E-mail	alsinger@singer-law.com

The applicant is one of the following: *(please check appropriate box)*

- Owner     
  Prospective Buyer\*     
  Representative for Owner/Tenant/Buyer\*  
 Tenant\*     
  Other\* \_\_\_\_\_

**\*Written permission of the owner(s) and a municipal lien certificate (where applicable) is required.**

All other forms and information as required in the Harwich Code Chapter 400, Rules and Regulations, shall be submitted as part of this application.

### Authorization

Your signature hereby asserts, to the best of your knowledge, that the information submitted in this application is true and accurate; that you agree to fully comply with the Town of Harwich Zoning By-laws and the terms and conditions of any approval of this application by the Planning Board; and authorizes the Members of the Planning Board and/or Town Staff to visit and enter upon the subject property for the duration of the consideration of this application.

Wychmere Harbor Real Estate, LLC

Applicant By: Andrew L. Singer, Esq.

Owner(s) – Authorization must accompany application if the owner is not the applicant.

Official use only:

PLANNING DEPARTMENT	TOWN CLERK
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Case #

**PART B – PROJECT LOCATION**

Legal Street Address	23 Snow Inn Road, Unit 12	Village/Zip Code	Harwichport
Title Book/Page or L.C.C. #	Book 24547, Page 55		
Map(s) / Parcel(s)	Map 8, Parcel P-2 -12		
Zoning & Overlay Districts	RH-3 and RL	*Historic?	
Frontage (linear feet)	See Plans		
Total land area (s.f.)			
Upland (s.f.)			Wetlands (s.f.)

**PART C – PROJECT DESCRIPTION**

Existing Floor Area in Sq. Ft	Gross:	See Plans	Net:
Proposed Floor Area in Sq. Ft	Gross:		Net:
Change in Sq. Ft + / -	Gross:		Net:
Existing # of parking spaces	See Plan & Narrative		Proposed # of parking spaces: See Plan & Narrative
Existing Use(s)	Recreation and Amusement Services & Restaurant - Beach Club		
Proposed Use(s)	Proposed uses are same as existing uses. See attached.		
<i>Attach a separate narrative if necessary.</i>			

The undersign hereby files an application with the Harwich Planning Board for the following special permits as proposed under the provisions of the Harwich Zoning Code: **(check all that apply)**

**Site Plan Review § 325-55:**

- Any floor area expansion of any structure or expansion of exterior space, other than parking, serving any of the following: commercial, industrial, multi-family or educational use or personal wireless service facility or the creation of a drive-up or drive-through window
- Expansion or reconfiguration of an existing parking lot and/or driveway(s) serving said parking lot.
- Establishment of any new commercial, industrial, multi-family, educational, fast food/take out restaurant or personal wireless service facility.
- Establishment of any new retail use(s) in the Industrial (IL) Zone.
- Waiver of Site Plan § 325-55.F

**Article V, Use Regulations:**

- Paragraph\_\_\_\_, sub-paragraph #\_\_\_\_       Paragraph\_\_\_\_, sub-paragraph #\_\_\_\_
- Paragraph\_\_\_\_, sub-paragraph #\_\_\_\_, supplemental regulation #\_\_\_\_ § 325-14

**Article X, Special Permits:**

- Structures w/ gross floor area of 7,500+ s.f. § 325-51
- Structures requiring 20 or more new parking spaces § 325-51
- Accessory Apt./Shared Elderly Housing § 325-51.H       Mixed Use § 325-51.M
- Drinking Water Resource Protection § 325-51.C       Two Family § 325-51.N
- Village Commercial, Harwich Port § 325-51.L       \*Harwich Center Overlay § 325-51.O
- Signage § 325-27.F Additional Cluster, Excess SF, Non-entry Facades

**Other Special Permits:**

- Six Ponds Special District - Article XVI
- Wind Energy Systems - Article XVIII       Large Scale Wind Generation – Article XIX
- Other (i.e. Alternate Access § 325-18.P; Special Cases § 325-44.B) \_\_\_\_\_
- Repetitive Petition (MGL Ch 40A, §16): Proposed project evolved from a previously denied plan submitted to the Planning Board on \_\_\_\_\_ Year/Case # \_\_\_\_\_

*\*Note: Projects within the Harwich Center Overlay District may also be within the Harwich Center Historic District. This requires separate filing with the Historic District and Historical Commission. Please inquire for forms and instructions.*

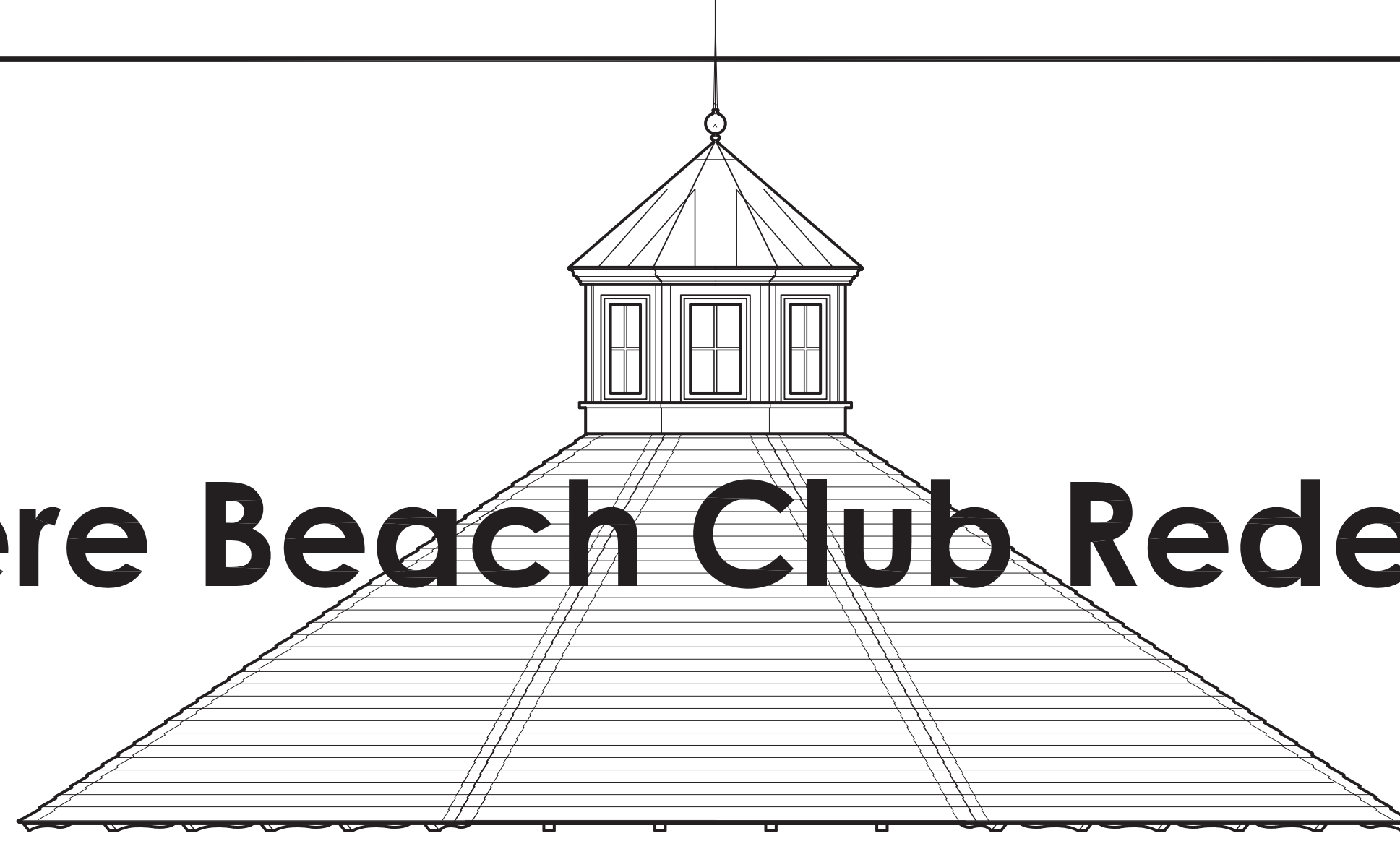
## Town of Harwich Planning Board

Applicant: Wychmere Harbor Real Estate, LLC  
Property: 23 Snow Inn Road, Harwichport, MA

Applicant/Property. The Applicant, Wychmere Harbor Real Estate, LLC, is seeking to amend the Site Plan Review Special Permit granted in case No. PB2019-27. The Applicant owns the Wychmere Beach Club located at 23 Snow Inn Road in Harwichport. The Property, which is shown as Parcel P-2 on Harwich Assessors Map 8, is currently improved with the buildings, amenities, and facilities that comprise the Wychmere Beach Club, including the Snow Inn Hotel and Channel House, and the separate Wychmere Shores residences.

Proposal. The Applicant is seeking permission to amend the Special Permit Decision granted earlier this year in Case No. PB2019-27, or in the alternative, a new Special Permit, to make alterations to the previously-approved design at the north and south ends of the replacement restaurant building as well as reduce the size of the gatehouse building and make accompanying landscape revisions.





# Wychmere Beach Club Redevelopment

## BUILDING CODE REVIEW THE BEACH GRILL NEW CONSTRUCTION

CITY: HARWICHPORT, MA 02426  
COUNTY: BARNSTABLE COUNTY  
BUILDING ADDRESS: 23 SNOW ROAD

ALL WORK SHALL CONFORM TO CURRENT BUILDING CODES, FEDERAL, STATE AND LOCAL CODE REQUIREMENTS, LAWS AND ORDINANCES

COMPLIANCE WITH CURRENT VERSIONS OF THE FOLLOWING CODES AND AGENCIES ARE REQUIRED:  
INTERNATIONAL BUILDING CODE 2015 (IBC),  
INTERNATIONAL ENERGY CONSERVATION CODE  
INTERNATIONAL MECHANICAL CODE  
INTERNATIONAL FIRE CODE

780 CMR - MA AMENDMENTS TO THE IBC 2015  
527 CMR - MA FIRE PREVENTION AND ELECTRICAL REGULATIONS  
521 CMR - ACCESSIBILITY REGULATIONS  
248 CMR - UNIFORM PLUMBING CODE (USE GROUP A-2)

USE GROUP CLASSIFICATION: CHAPTER 3  
SECTION 303.3 (A-2) RESTAURANTS

**BUILDING HEIGHT AND AREAS: CHAPTER 4**  
SECTION 504.3 HEIGHT, TABLE 504.3, ALLOWABLE HEIGHT TYPE VB, SPRINKLERED, 60 FEET  
PROVIDED: BUILDING HEIGHT - 49 FEET 7 INCHES  
TABLE 504.4 ALLOWABLE STORIES TYPE VB, SPRINKLERED, 2 STORIES  
PROVIDED: BUILDING STORIES - 2 STORIES  
SECTION 506.2, ALLOWABLE AREA, TABLE 506.2 TYPE VB, SPRINKLERED, 18,000 SQUARE FEET  
PROVIDED: BUILDING SQUARE FOOTAGE - 12,907 SQUARE FEET

**TYPE CONSTRUCTION: CHAPTER 6**  
TYPE CONSTRUCTION - TYPE VB WITH APPROVED AUTOMATIC SPRINKLER SYSTEM PER NFPA 13

TABLE 601  
PRIMARY STRUCTURAL FRAME: 0 HOURS  
BEARING WALLS: 0 HOURS  
EXTERIOR: 0 HOURS  
INTERIOR: 0 HOURS  
NON-BEARING WALLS AND PARTITIONS:  
EXTERIOR (TABLE 602) 0 HOURS  
NON-BEARING WALLS AND PARTITIONS:  
INTERIOR 0 HOURS  
FLOOR CONSTRUCTION: 0 HOURS  
ROOF CONSTRUCTION: 0 HOURS

**OCCUPANT LOAD: FOR EGRESS PURPOSES**  
SEASONAL OCCUPANCY (MAXIMUM OCCUPANCY DURING HIGH SEASON - 293 OCCUPANTS)  
ESTABLISHED BY OWNER AND SUBJECT TO BULding OFFICIAL APPROVAL

SEATING - CHAISE LOUNGE (ROOFTOP WEDDINGS) 250 PERSONS (MAXIMUM) - TABLES AND CHAIRS  
SERVICE STAFF 35 PERSONS  
KITCHEN STAFF 8 PERSONS  
**TOTAL OCCUPANT LOAD: 293 OCCUPANTS**

**MEANS OF EGRESS SIZING (FULLY SPRINKLERED):**  
SECTION 1005.3.2 BASED ON 293 OCCUPANTS X 0.3 INCHES = 88 INCHES  
PROVIDED: 44 INCHES PER EXIT  
120 INCHES (MAIN STAIR - 72 INCHES, SECOND STAIR - 48 INCHES)

**MINIMUM NUMBER OF EXITS:**  
SECTION 1006, TABLE 1006.3.1 EXITS REQUIRED : 2  
(1 - 500 OCCUPANT LOAD PER STORY) EXITS PROVIDED: 2

**EXIT ACCESS TRAVEL DISTANCE:**  
SECTION 1017, TABLE 1017.2 250 FEET (WITH SPRINKLER SYSTEM)  
PROVIDED: 137 FEET PROVIDED

**CORRIDORS:**  
TABLE 1020.1 CORRIDOR FIRE-RESISTANCE RATING 0 HOURS (WITH SPRINKLERS)  
TABLE 1020.2 MINIMUM CORRIDOR WIDTH 44 INCHES  
PROVIDED: 72 INCHES

**PLUMBING FIXTURE REQUIREMENTS:**  
248 CMR UNIFORM STATE PLUMBING CODE

**USE GROUP - RESTAURANT (A-2) 293 MAXIMUM OCCUPANTS - 147 FEMALES AND 146 MALES**

	REQUIRED	PROVIDED
FEMALES: TOILETS	1 / 30	4.90
LAV'S	1/200	1
MALES: TOILETS	1 / 60	2.43
LAV'S	1 / 200	1
URINALS		3
UNISEX: HC TOILETS		2

**Owner:**  
Wychmere Beach club  
23 Snow Inn Road  
Harwichport MA 02118

**Architect:**  
GS Design Group, Inc.  
215 Onset Avenue  
P.O. Box 1200  
Onset, MA 02532  
(508) 295-2952

**Interior Architect:**  
Gensler  
1 Beacon St, Boston, MA 02108  
(617) 619-5700

**Landscape Architect:**  
Hawk Design Inc.  
39 Pleasant St,  
Bourne, MA 0256  
(508) 833-8800

**Structural:**  
COASTAL Engineering Co.  
260 Cranberry Hwy,  
Orleans, MA  
(508) 255-6700

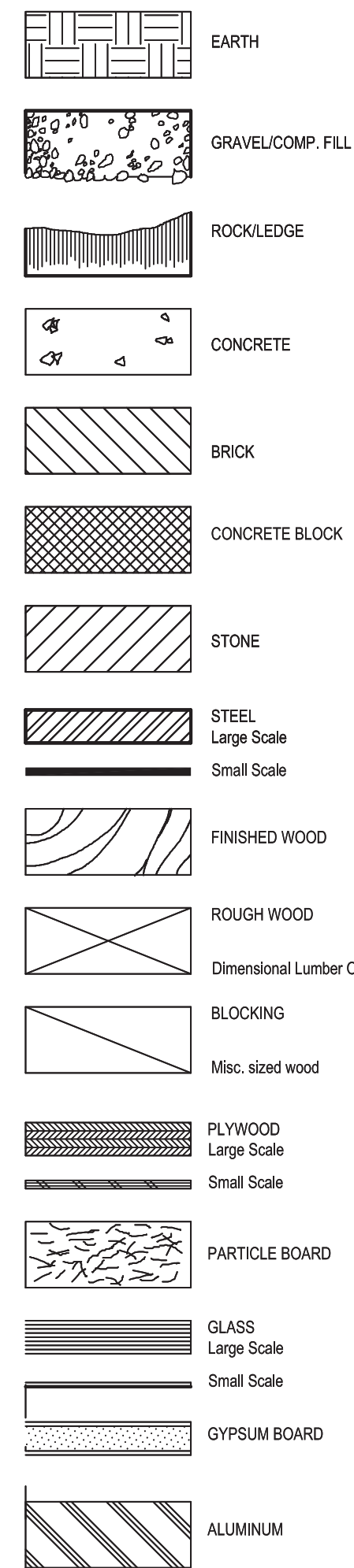
**Civil:**  
COASTAL Engineering Co.  
260 Cranberry Hwy,  
Orleans, MA  
(508) 255-6700

**Fire Protection:**  
JB Engineering Co.  
96 Reservoir Park Drive,  
Rockland, MA 02370  
(781) 871-8277

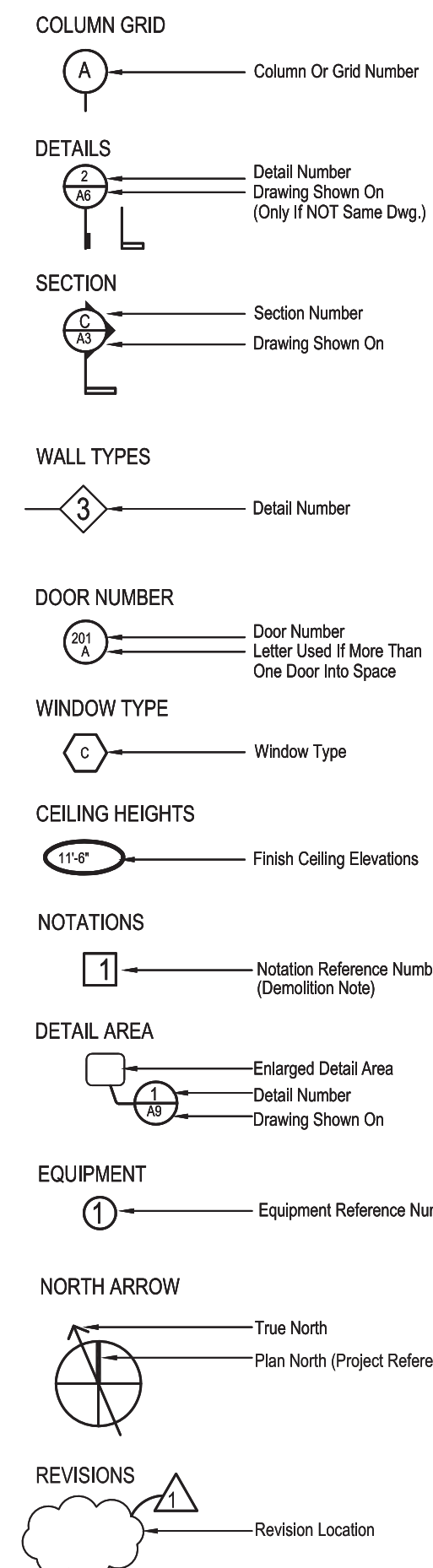
**Mechanical, Plumbing, Electrical**  
TWS Associates Inc.  
130 Liberty St. Unit 5B  
Brockton, MA 02301  
(508) 599-0418

**General Contractor:**  
Atlas Investment Group LLC  
35 Fay St, Boston, MA 02118  
(617) 482-3006

## GRAPHIC SYMBOLS



## DRAWING SYMBOLS



## ABBREVIATIONS

SYMBOLS used as abbreviations:  
angle L  
centerline CL  
channel C  
round R  
JT joint  
KO knockout  
LBL label  
LAB laboratory  
LAV lavatory  
LH left hand  
L length  
LT light  
LW light weight  
L.C.C. lead coated copper  
MH manhole  
MAS masonry  
MO masonry opening  
MAX maximum  
MECH mechanical  
MED medium  
MTL metal  
MIN minimum  
MIR mirror  
MSC miscellaneous  
MLD molding  
MTD mount (ed)  
NAT natural  
NOM nominal  
NIC not in contract  
NTS not to scale  
OC on center (s)  
OPG opening  
OPP opposite  
OD outside diameter  
OA overall  
OH overhead  
PNT paint (ed)  
PNE panel  
PTD paper towel dispenser  
PAR parallel  
P/VT pavement  
PERIM perimeter  
PLAS plaster  
PLAM plastic laminate  
PL plate  
PLWD plywood  
PT pressure treated  
QT quarry tile  
REF reference  
REFR refrigerator  
REN reinforce (s)  
RES resilient  
RA return air  
REV revision (s), revised  
RH right hand  
R riser  
RD roof drain  
RFG roofing  
RM room  
RO rough opening  
SCH schedule  
SEC section  
SHT sheet  
SIM similar  
SC solid core  
SQ square  
SS stainless steel  
STL steel  
STR structural  
SUSP suspended  
SYM symmetry (ical)  
SYS system  
TEL telephone  
TV television  
THK thick (ness)  
TPO toilet paper dispenser  
T&G tongue and groove  
TOC top of concrete  
TOS top of steel  
TOW top of wall  
T tread  
TRTD treated  
TYP typical  
UC undercut  
UNO unless noted otherwise  
UR urinal  
Vapor barrier  
VBR veneer  
VERT vertical  
VCT vinyl composition tile  
VIF verify in field  
WH wall hung  
WG water closet  
WP waterproof (ing)  
WWM welded wire mesh  
W width  
WIN window  
WG wire glass  
WO without

## DRAWING INDEX

A0.0 COVER SHEET, DRAWING INDEX, PROJECT DATA  
**CIVIL:**  
C2.2.1 PROPOSED BUILDING AND SITE IMPROVEMENTS AT WYCHMERE BEACH CLUB  
**LANDSCAPE:**  
L1.0 OVERALL SITE PLAN  
L1.1 MATERIALS ENLARGEMENT PLAN  
L1.2 MATERIALS ENLARGEMENT PLAN  
L2.1 GRADING ENLARGEMENT PLAN  
L2.2 GRADING ENLARGEMENT PLAN  
L3.0 LIGHTING SITE PLAN  
D3.0 LIGHTING SPECIFICATIONS  
**ARCHITECTURAL DRAWINGS:**  
A1.0 GROUND FLOOR PLAN  
A1.1 FIRST FLOOR PLAN  
A1.2 SECOND FLOOR - ROOF LEVEL PLAN  
A1.3 GATE HOUSE PLANS, ELEVATIONS & SECTIONS  
A2.1 ELEVATIONS  
A2.2 ELEVATIONS  
A3.1 BUILDING SECTIONS

Project  
**The Beach Grill**  
23 Snow Road  
Harwichport, MA

**NOTES:**  
All notes on this drawing are typical and apply equally to all comparable conditions. Dimensions shall take precedence. Errors or discrepancies on details are to be brought to the attention of the GSDesign Group Inc. before the work or materials have either been commenced, and or purchased.  
These drawings are the property of the GSDesign Group, Inc. & specifically prepared for the owner of this project at this site and are not to be duplicated or used in part or whole for any other purpose, project location or owner without the express written consent of the GSDesign Group, Inc.

**GAKIDIS + STEWART**  
GS Design Group Inc.  
215 Onset Ave.  
P.O. Box 1200  
Onset, MA 02532  
Tel 508 - 295 - 2952



Issued For		
REV.	ISSUE	DATE

DESIGN  
DEVELOPMENT  
PRICING SET

**COVER SHEET,  
DRAWING INDEX,  
PROJECT DATA**

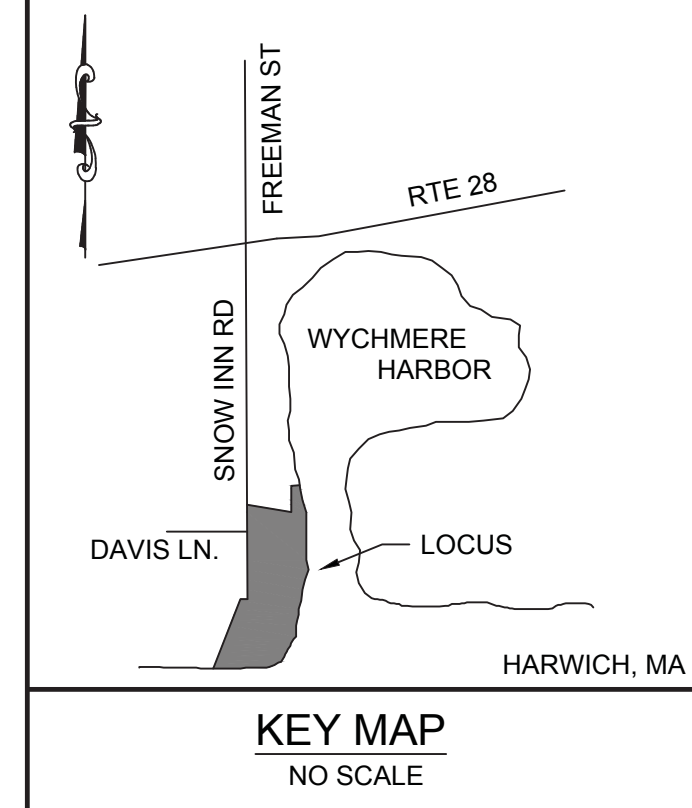
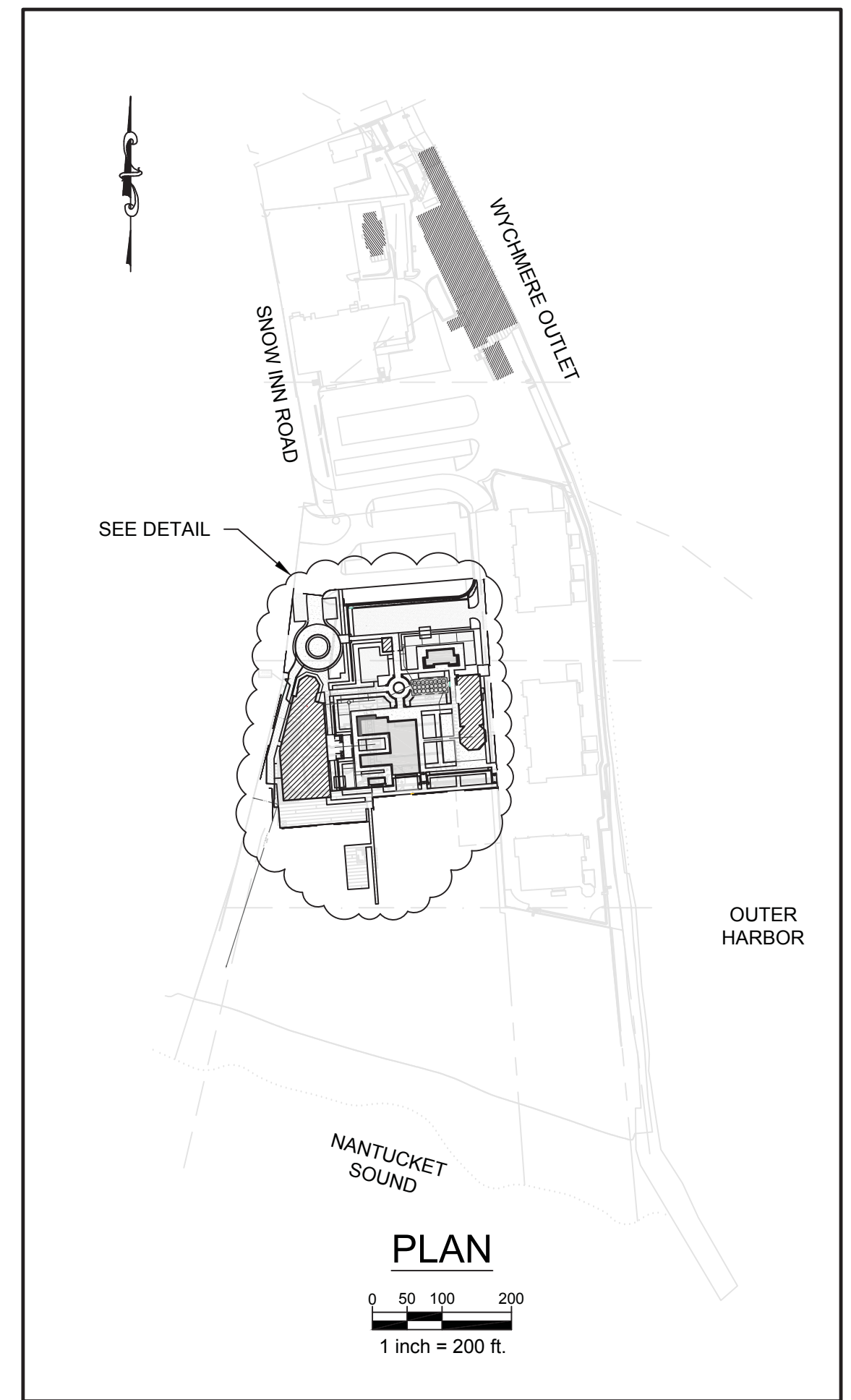
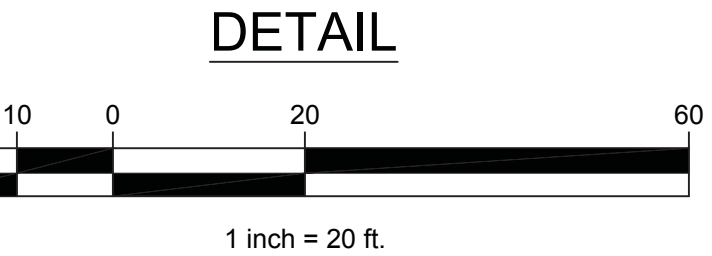
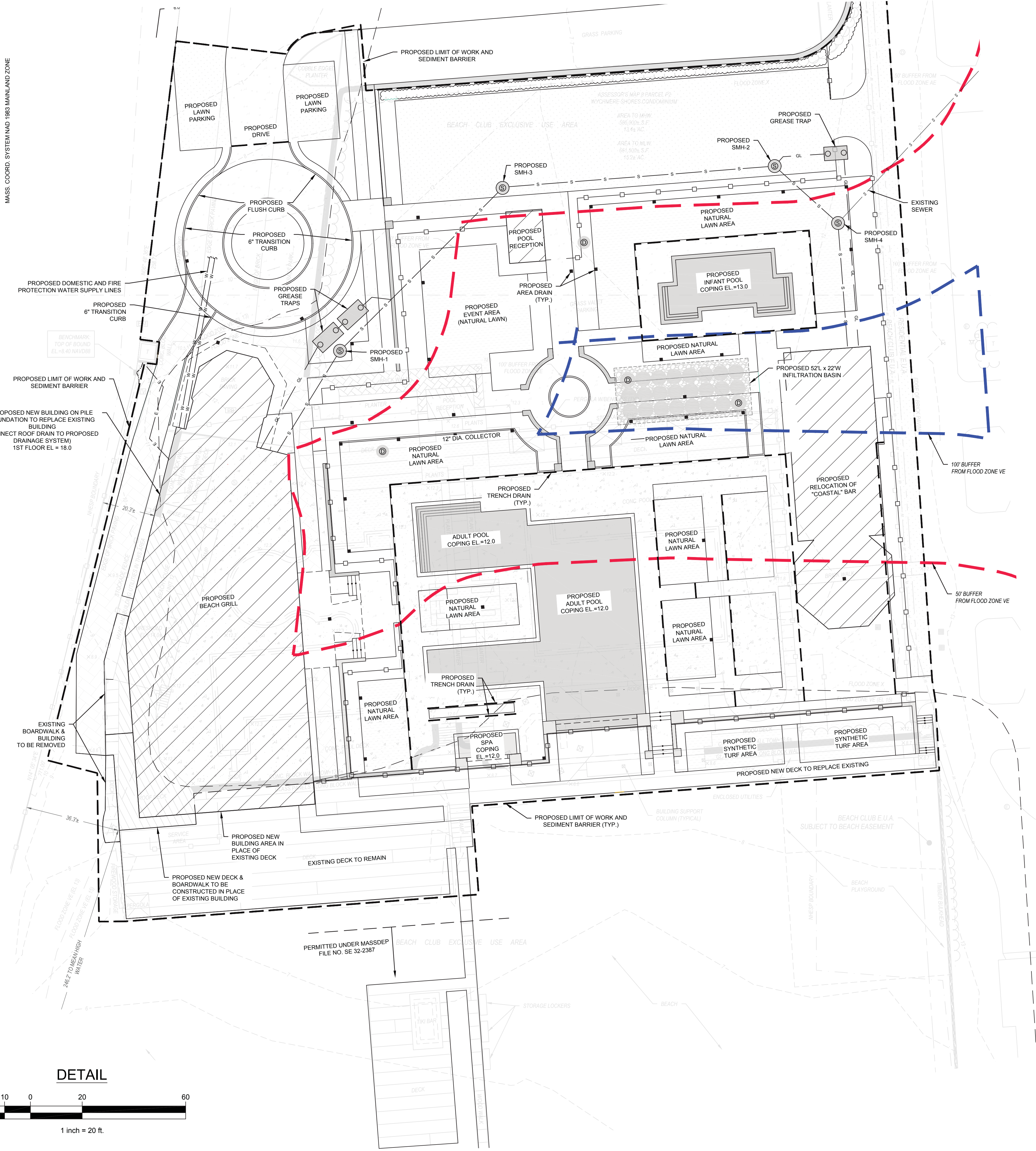
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**A0.0**  
Drawing Number:  
File Name: Scale: As Noted  
Date: 7/29/2020







MASS. COORD. SYSTEM (MAD 1983 MAINLAND ZONE)



**REFERENCE:**  
 ASSESSORS MAP 8, PARCEL P2  
 DEED BOOK 24547, PAGE 55  
 PLAN BOOK 634, PAGES 57-66

**FLOOD ZONE:**  
 FLOOD ZONE VE (EL. 15, EL. 14 & EL. 13), ZONE AE (EL. 11 & EL. 12), & ZONE X AS SHOWN ON FEMA FIRM PANEL #25010612J EFFECTIVE JULY 16, 2014. COMMUNITY FLOOD PLANE MANAGERS SHALL CONFIRM LOCATION OF SITE SPECIFIC FLOOD PLANE BOUNDARIES. PRIOR TO DESIGNING STRUCTURES, A CONDITIONAL LETTER OF MAP AMENDMENT (CLOMA) DETERMINATION SHOULD BE APPLIED FOR TO CONFIRM FLOOD INSURANCE REQUIREMENTS.

**DATUM:**  
 ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)

**OWNER:**  
 WYCHMERE HARBOR REAL ESTATE, LLC  
 23 SNOW INN ROAD  
 HARWICHPORT, MA 02646

**LEGEND**

EXISTING	PROPOSED
■ BOUND	⊙ AREA DRAIN
☆ LIGHT POLE	— FENCING
⊠ TRANSFORMER	⊕ DRAIN MANHOLE
⊞ ELECTRIC METER	— DRAIN LINE
⊞ PULL BOX	⊙ SEWER MANHOLE
⊙ SEWER MANHOLE	— GREASE LINE
— 12' — CONTOUR	— SEWER LINE
x 12.2 SPOT GRADE	
— STOCKADE FENCE	

SEE PLANS BY HAWK DESIGN, INC. FOR PROPOSED HARDSCAPE AND LANDSCAPE LAYOUT AND MATERIALS, AND PROPOSED GRADING

ZONING DISTRICT: RH-3 (RESIDENTIAL-HIGH DENSITY) AND R-L (RESIDENTIAL - LOW DENSITY) (1)  
 USE GROUP: PARAGRAPH IV - USE: 30 (RECREATION AND AMUSEMENT SERVICES) 32 (RESTAURANT OR LOUNGE)

SUBJECT	REQUIRED	EXISTING	PROPOSED
LOT AREA (TO M.L.W.)	40,000 S.F. MINIMUM	661,500 S.F. (3)	NO CHANGE
FRONTAGE	150 FT MINIMUM	447.91 FT	NO CHANGE
(2) FRONT SETBACK (BUILDING)	25 FT MINIMUM	301.9± FT	257± FT
(2) SIDE SETBACK (BUILDING)	20 FT MINIMUM	20.3± FT	NO CHANGE
(2) REAR SETBACK (BUILDING)	20 FT MINIMUM	246.2± FT (TO MHW)	NO CHANGE
BUILDING COVERAGE	15% MAXIMUM	10.2% (67,683± S.F.)	11.4% (75,715± S.F.)
AMENITIES COVERAGE	15% MAXIMUM	29.9% (197,824± S.F.)	28.5% (188,361± S.F.)
SITE COVERAGE (TOTAL)	35% MAXIMUM	40.1% (265,507± S.F.)	39.9% (264,076± S.F.)
GREEN SPACE	15% MINIMUM	59.9% (395,993± S.F.)	60.1% (397,424± S.F.)
BUILDING HEIGHT	50 FT & 4 STORIES MAXIMUM	---	SEE ARCH. PLANS

(1) THIS PROJECT IS LOCATED ENTIRELY WITHIN THE RH-3 ZONING DISTRICT.  
 (2) REQUIRED SETBACKS SHOWN ARE FOR RH-3 ZONING DISTRICT.  
 (3) CEC SURVEY AUGUST 15, 2019.

ISSUED FOR ZBA REVIEW 07-30-2020



MUB	CEM	CPM	TRG	BY
REVISIONS TO BUILDINGS & AMENITIES	CHANGE SYNTHETIC TURF TO NATURAL LAWN AT POOL PATIO LEVEL	UPDATE LOT AREA AND COVERAGE AREAS IN ZONING TABLE	REVISE PROPOSED POOL AREA AND DRAINAGE	UPDATE PROPOSED BUILDING FOOTPRINT, POOL LOCATIONS, AND UTILITIES
07-30-2020	02/10/2020	01/17/2020	12/20/2019	07/02/2019
5	4	3	2	1
NO.	NO.	NO.	NO.	NO.



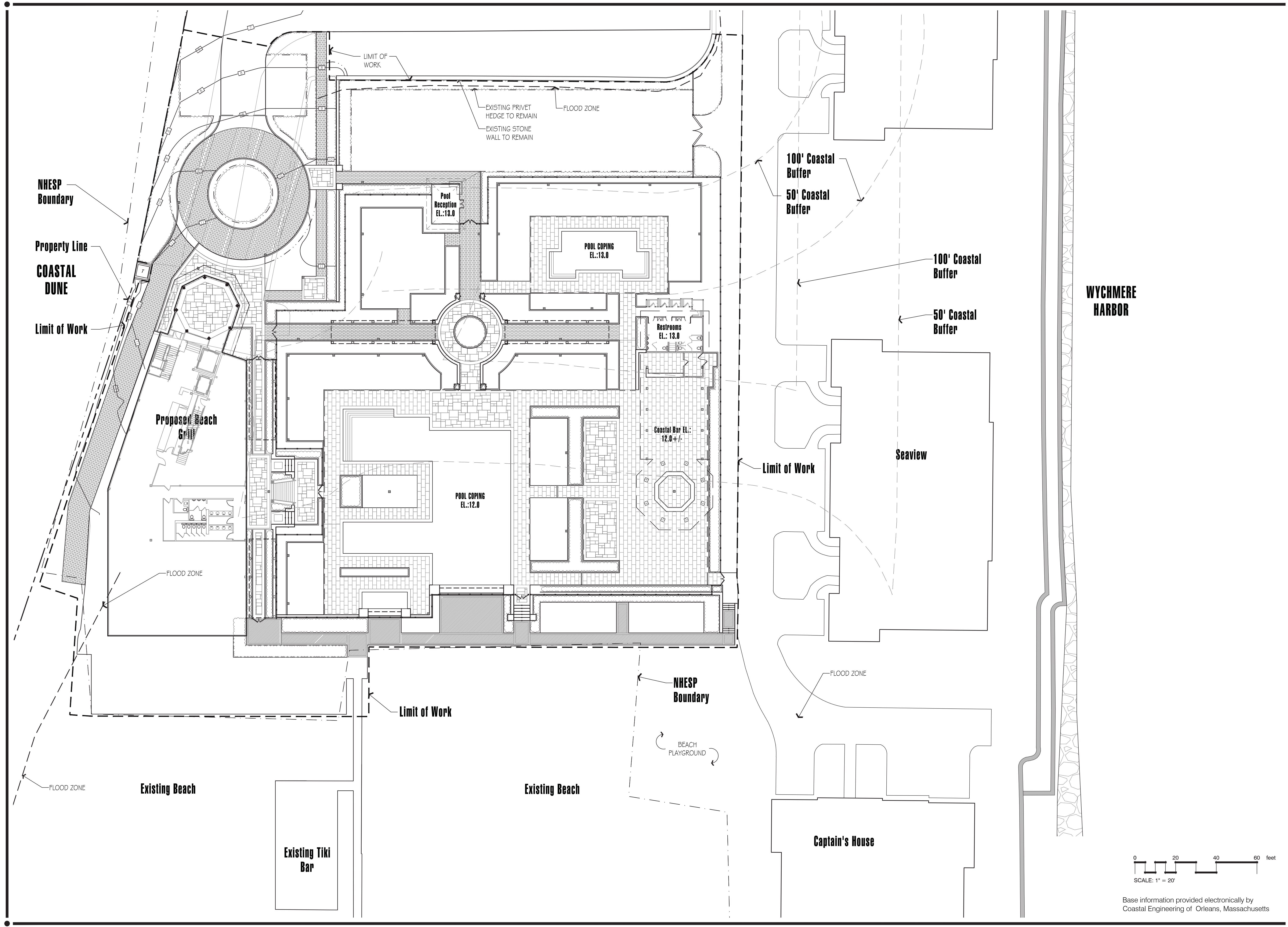
**PROJECT:** WYCHMERE HARBOR REAL ESTATE, LLC  
 HARWICHPORT, MA  
 23 SNOW INN ROAD  
**SHEET TITLE:** PROPOSED BUILDING AND SITE IMPROVEMENTS AT WYCHMERE BEACH CLUB

SCALE: AS NOTED  
 DRAWING FILE: C15766-C.dwg  
 DATE: 6/12/2019  
 DRAWN BY: TRG/CEM/MJB  
 CHECKED BY: DJM

**C2.2.1**  
 1 OF 1 SHEETS  
 PROJECT NO. C15766.05

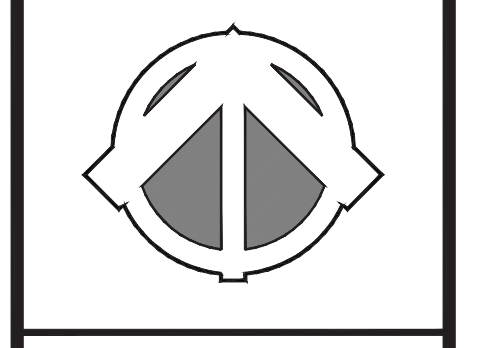
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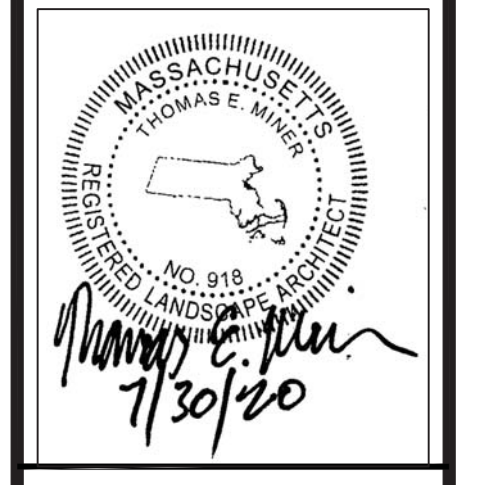
**Hawk Design, Inc.**  
 Landscape Architecture  
 Land Planning  
 Sagamore, MA  
 508-833-8800  
 info@hawkdesigninc.com  
 www.hawkdesigninc.com

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 ANY METHOD, WITHOUT WRITTEN PERMISSION OF  
 HAWK DESIGN, INC.



Date: 07/30/20

Revisions:  
 Num. Date Description



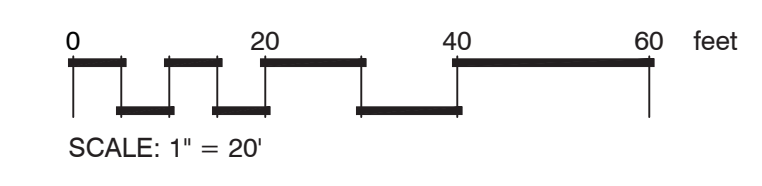
**Wychmere Beach Club**  
 22 Snow Inn Rd, Harwich Port, MA  
 Longwood Venues / Atlas Development

Drawn By: TM Checked By: DH

**Overall Site Plan**

Scale: 1" = 20'-0"

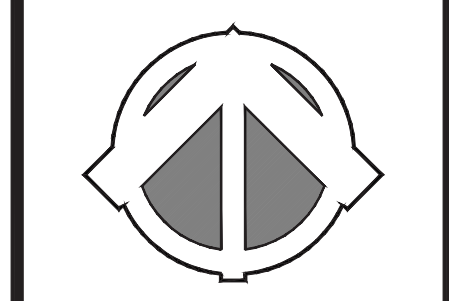
Sheet: **L1.0**



Base information provided electronically by  
 Coastal Engineering of Orleans, Massachusetts

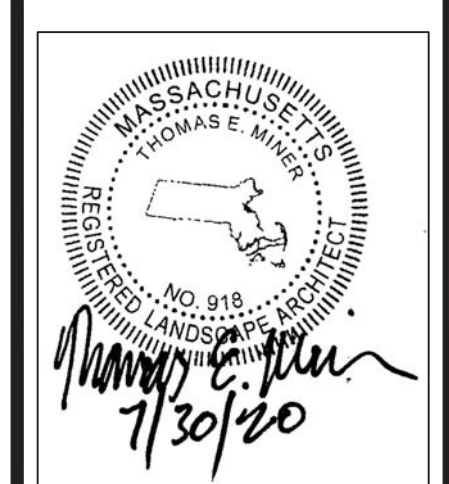


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Date: 07/30/20

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Num. Date Description



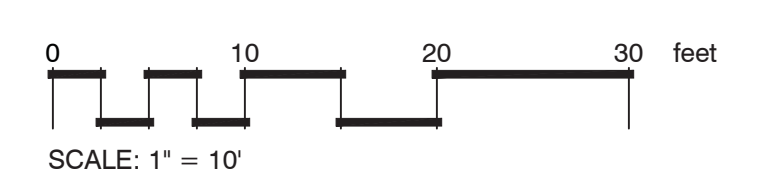
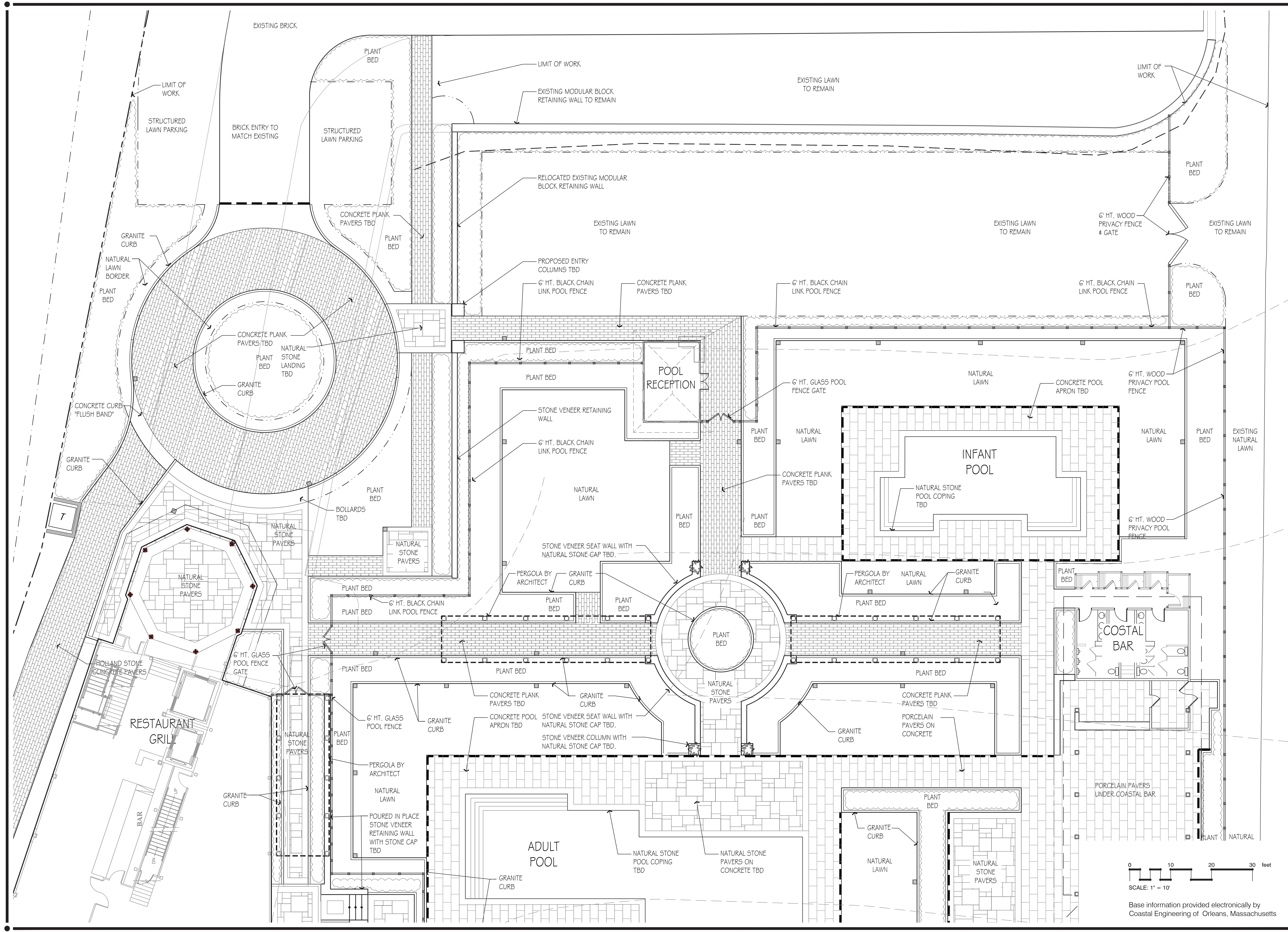
**Wychmere Beach Club**  
22 Snow Inn Rd, Harwich Port, MA  
Longwood Venues / Atlas Development

Drawn By: TM Checked By: TM

**Materials  
Enlargement Plan**

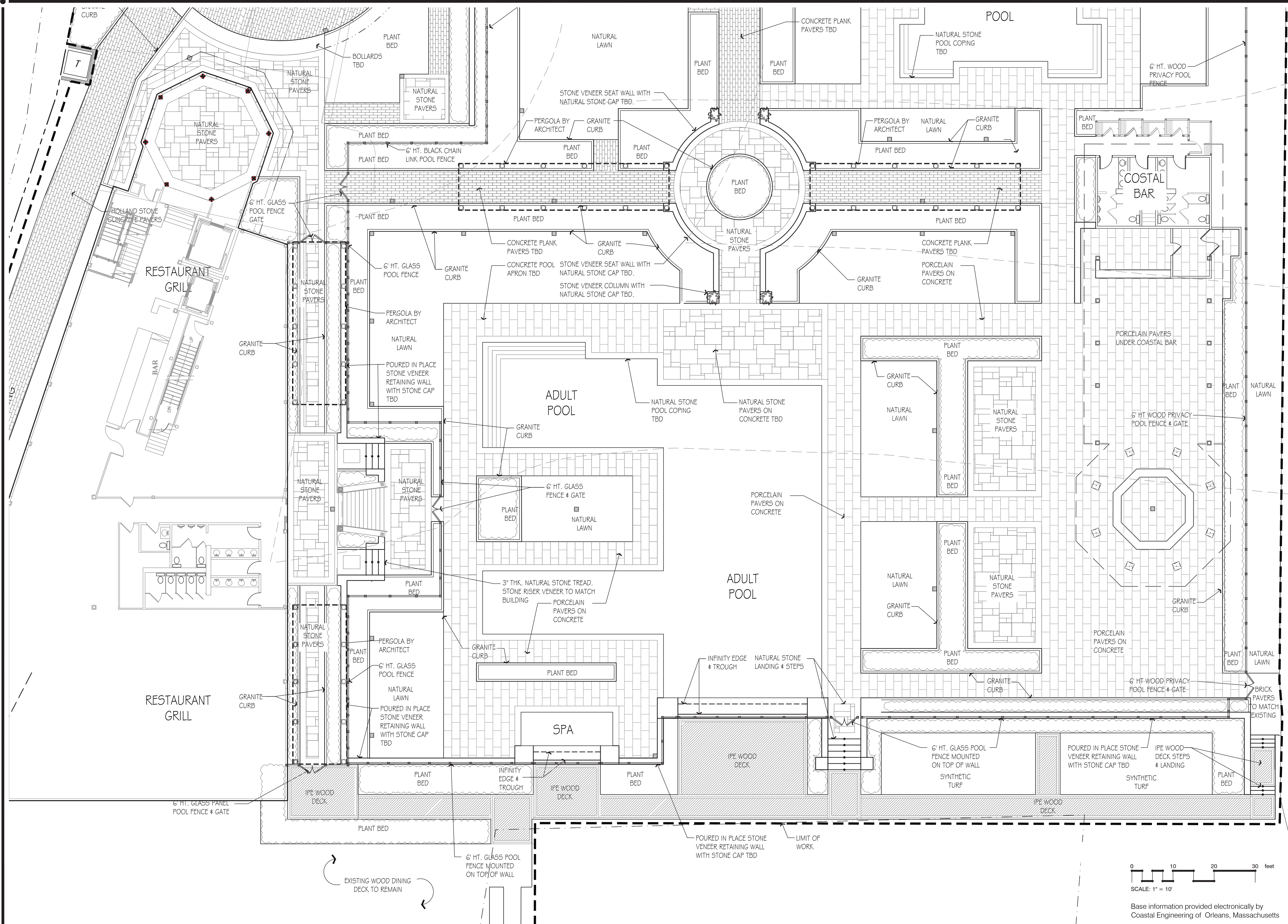
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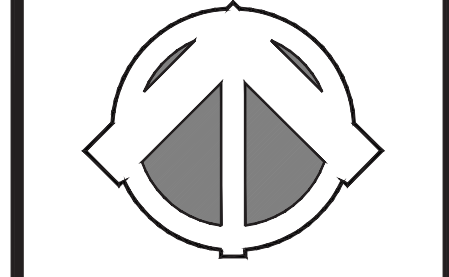
Base information provided electronically by Coastal Engineering of Orleans, Massachusetts





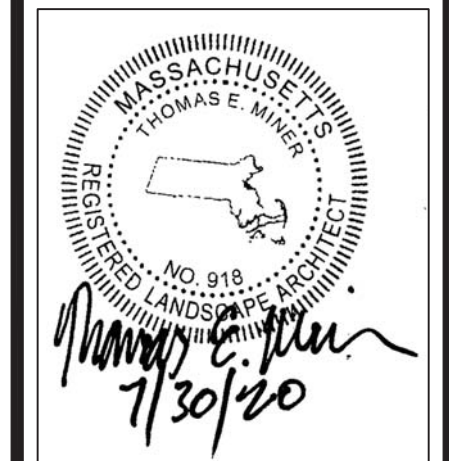
**Hawk Design, Inc.**  
 Landscape Architecture  
 Land Planning  
 Sagamore, MA  
 508-833-8800  
 info@hawkdesigninc.com  
 www.hawkdesigninc.com

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Date: 07/30/20

Revisions:  
 Num. Date Description



**Wychmere Beach Club**  
 22 Snow Inn Rd, Harwich Port, MA  
 Longwood Venues / Atlas Development

Drawn By: TM Checked By: DH

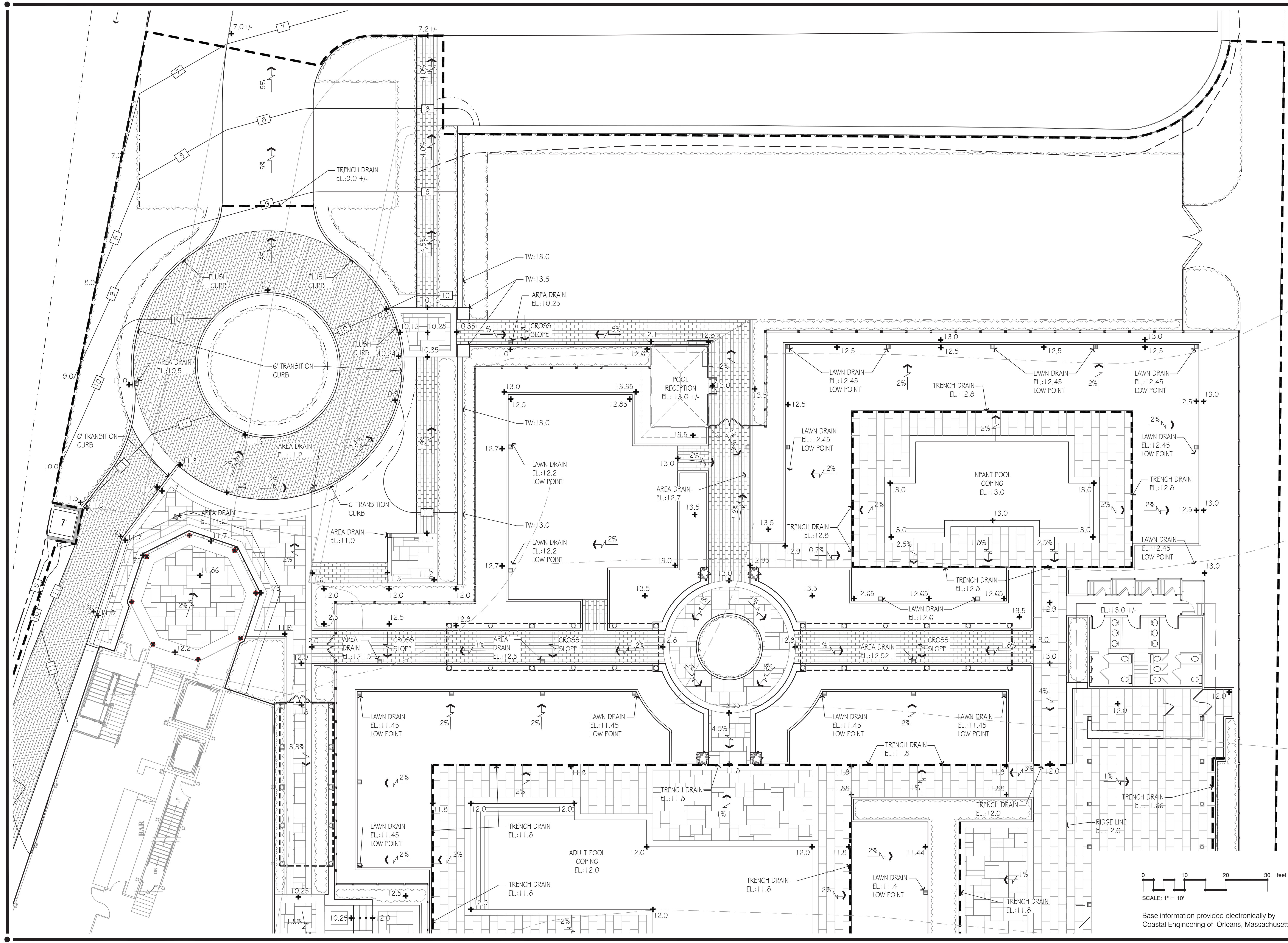
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 Enlargement Plan

Scale: 1" = 10'-0"

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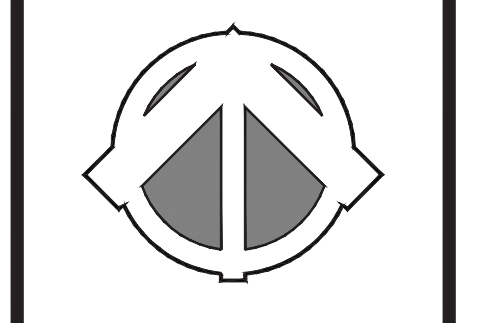
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 SCALE: 1" = 10'  
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**Wychmere Beach Club**  
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Drawn By: TM Checked By: DH

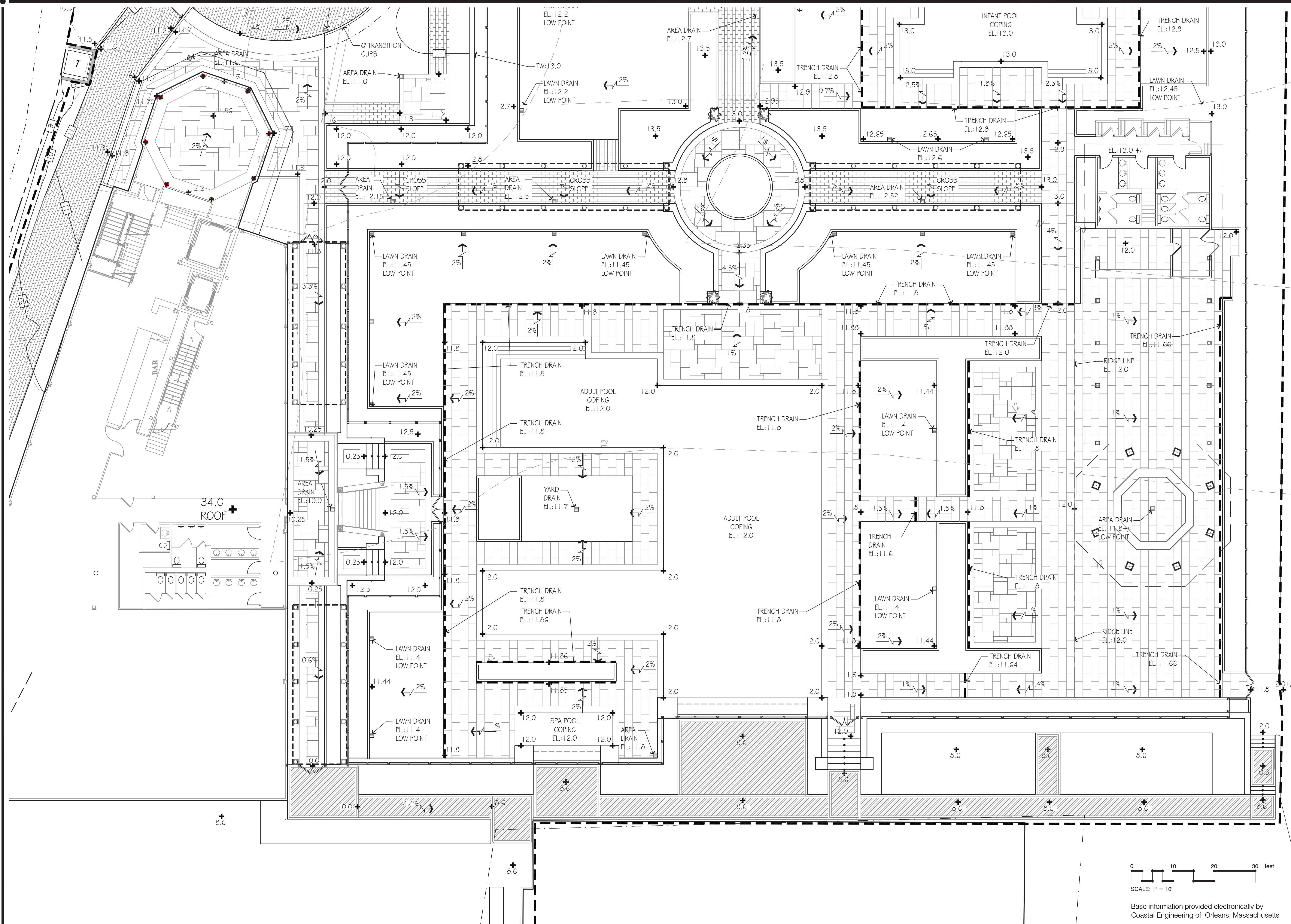
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 Enlargement Plan**

Scale: 1" = 10'-0"

Sheet: **L2.1**

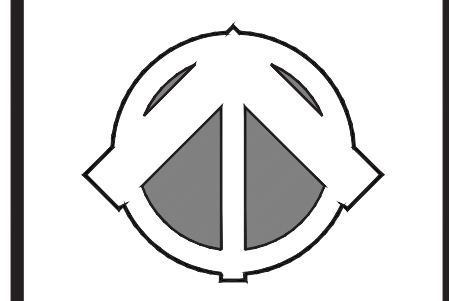
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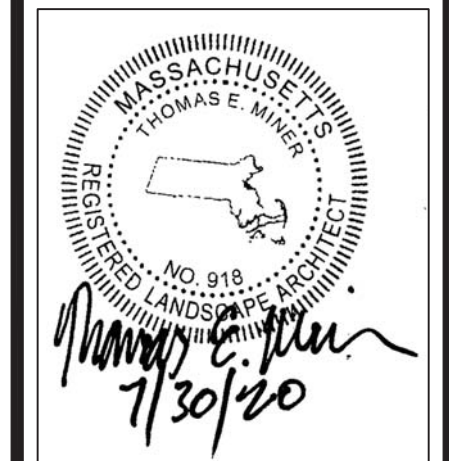
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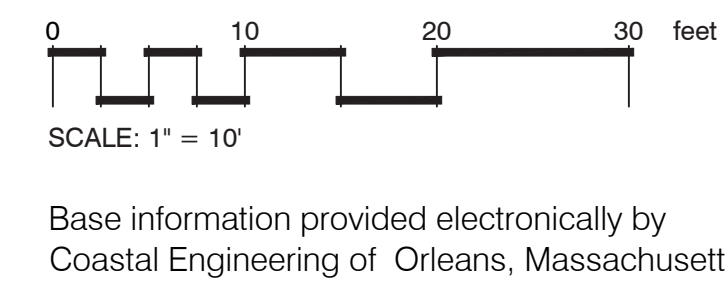
**Wychmere Beach Club**  
 22 Snow Inn Rd, Harwich Port, MA  
 Longwood Venues / Atlas Development

Drawn By: TM    Checked By: DH

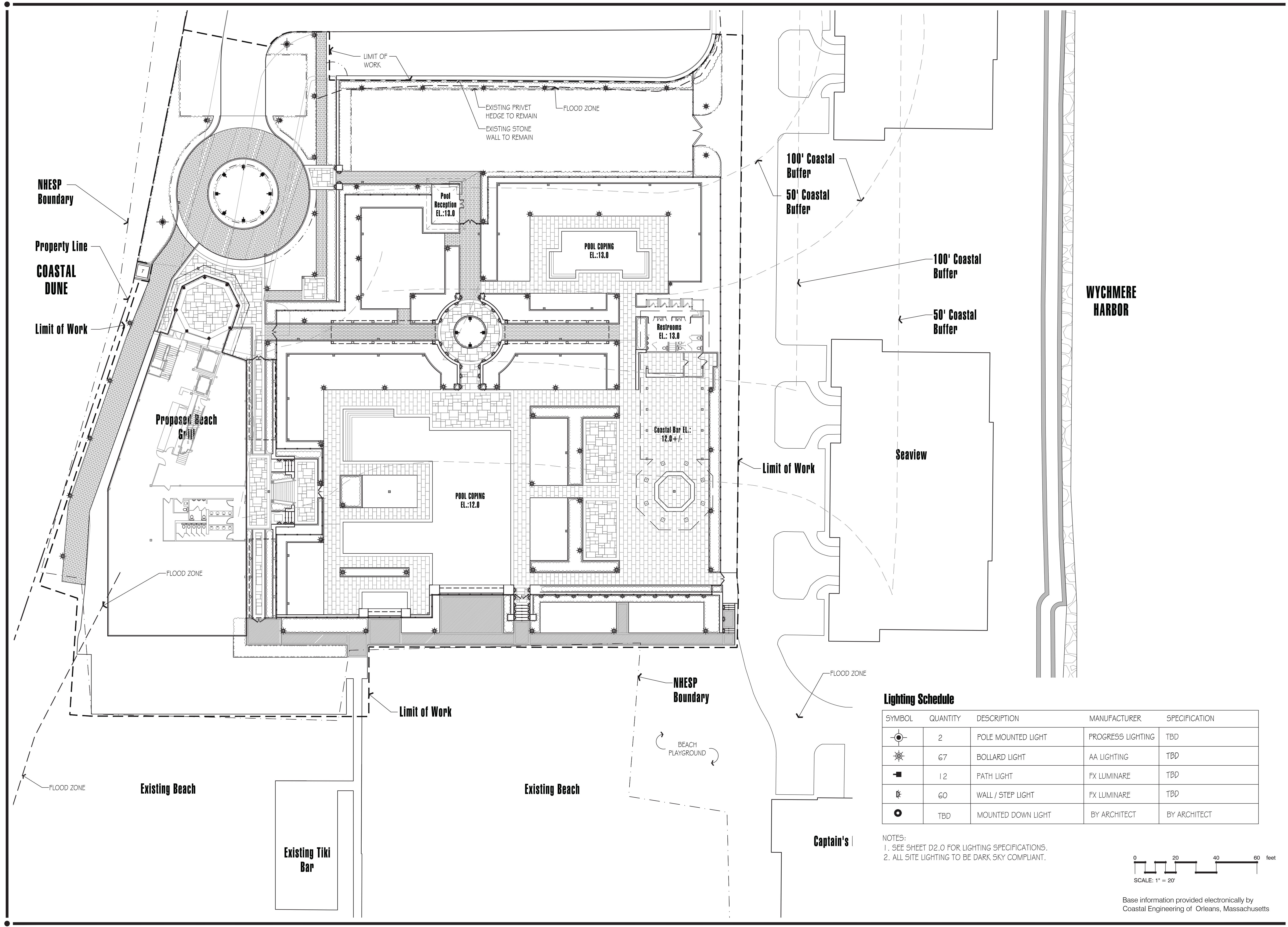
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Enlargement Plan**

Scale: 1" = 10'-0"

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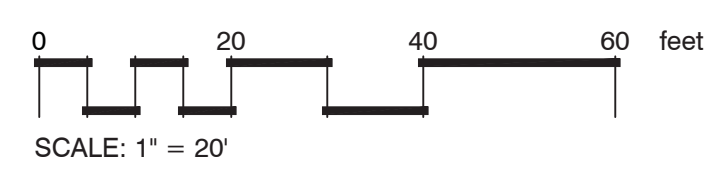




**Lighting Schedule**

SYMBOL	QUANTITY	DESCRIPTION	MANUFACTURER	SPECIFICATION
☉	2	POLE MOUNTED LIGHT	PROGRESS LIGHTING	TBD
☀	67	BOLLARD LIGHT	AA LIGHTING	TBD
■	12	PATH LIGHT	FX LUMINARE	TBD
⊕	60	WALL / STEP LIGHT	FX LUMINARE	TBD
○	TBD	MOUNTED DOWN LIGHT	BY ARCHITECT	BY ARCHITECT

NOTES:  
 1. SEE SHEET D2.0 FOR LIGHTING SPECIFICATIONS.  
 2. ALL SITE LIGHTING TO BE DARK SKY COMPLIANT.

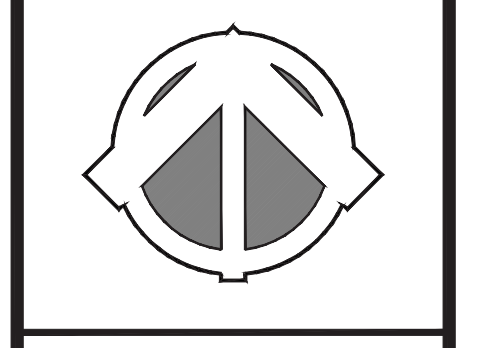


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 Num. Date Description



**Wychmere Beach Club**  
 22 Snow Inn Rd, Harwich Port, MA  
 Longwood Venues / Atlas Development

Drawn By: TM Checked By: DH

**Overall Site Lighting Plan**

Scale: 1" = 20'-0"

Sheet: **L3.0**



**PROGRESS LIGHTING COMMERCIAL**

Project: \_\_\_\_\_  
 Fixture Type: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Contact: \_\_\_\_\_

### PCPTS SERIES

LED Post-Top Designer

**Specifications:**

**Construction:**  
 Traditional style post top luminaire with decorative cast aluminum cap mechanically attached to optical chamber. Cast aluminum multi-sided caps with UV stabilized acrylic lenses sealed for weather tight operation. Aluminum lower electrical chamber with bottom flange to mount to 3"OD x 4"HT hexon.

**Optics:**  
 One piece optical system with internal brass standoffs soldered to the board which can be field replaced. Two piece die cut silicone and polycarbonate foam gasket ensures weather proof seal around each individual LED and allows luminaires to be used for high pressure hose down applications. The optical cartridge is secured to recessed housing with fasteners and heat pad to ensure thermal conductivity. Optics held into place without use of adhesives and complete assembly is gasketed for high pressure hose down cleaning.

**Electrical:**  
 Luminaire equipped with LED driver that operates with 120-277V universal voltage, 50/60Hz and includes 0-10V dimming capability. Power factor is 0.92 at full load. All electrical components rated at 50,000 hours at full load and 40°C ambient conditions. Thermal feedback between PCB and driver to protect luminaire from excessive temperature by reducing drive current as necessary. Surge protection standard with device providing surge current rating of 20kA using 8/20µsec wave, LSP clamping voltage of 850V and surge rating of 50k.

**Finish:**  
 Polyester powder paint finish that is corrosion resistant and resists surface impacts up to 160 inch-pound.

**Listing/Certification:**  
 The luminaire bears an NRTL label and is marked suitable for wet locations.

**Warranty:**  
 5 year limited warranty covering LED array and LED driver(s).

**Images:**

**Dimensions & Mounting:**

7.5" (192 mm)  
 1.5" (38 mm)  
 1.5" (38 mm)  
 1.5" (38 mm)  
 1.5" (38 mm)

Wattage	Lumens
55W	8010-8770
80W	8410-9200
110W	11220-12340

**Electrical:**

Series	Wattage	Distribution	Finish	Options
PCPTS	55 - 80W	3 - Type 3	BZ - Bronze	BL - Blank
	80 - 110W	4 - Type 4	BL - Black	OR - Green
			ON - Green	IP - Protocol

For more information visit our website: [www.progresscommercial.com](http://www.progresscommercial.com)

**PROGRESS LIGHTING COMMERCIAL**

Project: \_\_\_\_\_  
 Fixture Type: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Contact: \_\_\_\_\_

### PCAD SERIES

LED Area Designer Lighting

**Specifications:**

**Construction:**  
 The decorative pendant mount luminaire is pendant mounted in place with stainless steel bolts. The driver is located in the cast aluminum top housing and is accessible without tools by lifting the lower shade assembly. The lower shade assembly is a one-piece aluminum spinning.

**Optics:**  
 One piece optical system with internal brass standoffs soldered to the board which can be field replaced. Two piece die cut silicone and polycarbonate foam gasket ensures weather proof seal around each individual LED and allows luminaires to be used for high pressure hose down applications. The optical cartridge is secured to the aluminum heat sink with fasteners to ensure thermal conductivity. Optics held into place without use of adhesives and complete assembly is gasketed for high pressure hose down cleaning.

**Electrical:**  
 Luminaire equipped with LED driver that operates with 120-277V universal voltage, 50/60Hz and includes 0-10V dimming capability. Power factor is 0.92 at full load. All electrical components rated at 50,000 hours at full load and 40°C ambient conditions. Thermal feedback between PCB and driver to protect luminaire from excessive temperature by reducing drive current as necessary. Surge protection standard with device providing surge current rating of 20kA using 8/20µsec wave, LSP clamping voltage of 850V and surge rating of 50k.

**Finish:**  
 Polyester powder paint finish that is corrosion resistant and resists surface impacts up to 160 inch-pound.

**Listing/Certification:**  
 The luminaire bears a CSA label and is marked suitable for wet locations.

**Warranty:**  
 5 year limited warranty covering LED array and LED driver(s).

**Images:**

**Dimensions & Mounting:**

PCADS: EPA 1.04 Ft  
 PCADL: EPA 1.39 Ft

Engine/Wattage	# of LEDs	Delivered Lumens (varies by driver)	Delivered LPW	Drive Current (milliamps)
27	24	3500-3500	131-139	350 mA
55	34	6100-6450	107-113	300 mA
85	36	9100-9200	108-114	300 mA
110	48	13400-1800	110-116	300 mA
135	60	15200-16000	111-117	300 mA

**Catalog number:**

Series	Engine/Wattage	Color Temp	Distribution	Finish	Options
PCADS - Designer Small	27LED - 24LEDS @ 27W	3K - 3000K, 70 CRI	2 - Type 2	BZ - Bronze	BLANK
PCADL - Designer Large	55LED - 24LEDS @ 55W	4K - 4000K, 70 CRI	3 - Type 3	BL - Black	PCZ7 - 27V Photocell
	85LED - 36LEDS @ 85W		4 - Type 4	OR - Green	CR - Cast Rings
	110LED - 48LEDS @ 110W**		4W - Type 4 Wide		BC - Backlight Control
	135LED - 60LEDS @ 135W**		5R - Type 5 Round		

For more information visit our website: [www.progresslighting.com](http://www.progresslighting.com)

**Kick™ - KB6 Bollard**

TYPE

**FEATURES:**

- Sensor and wireless operation
- Field installable optics and housing
- Customizable side panels
- 120-277, 347 and 480VAC input
- IDA Dark Sky Approved with clear lenses and 3000K
- TrueIES distributions
- 3000K, 4000K, 5000K CCT
- Uniformly diffused lens
- 20kV/10kA surge protection
- Integral thermal protection and 3000K
- IP66

**Dimensions:**

MODEL: KB6  
 OVERALL HEIGHT: 42" / 1066mm  
 OVERALL LENGTH: 6" / 152mm  
 OVERALL WIDTH: 6" / 152mm  
 WINDOW HEIGHT: 39.7" / 1005mm  
 WINDOW WIDTH: 4.7" / 119mm  
 WEIGHT: 3.1lb / 1.4kg

**DISTRIBUTION OUTPUT:**

SHIELDING SIDE: FRONT, LEFT, BACK, RIGHT

**ORDERING INFORMATION:**

1	2	3	4	5	6	7
KB6	YES	No Shield	3000k	TBD	TBD	TBD

**1. MODEL:** 8" Square x 42" HAY bollard

**2. DISTRIBUTION:**  
 Y2: IES Type II, clear lens  
 Y3: IES Type III, clear lens  
 Y4: IES Type IV, clear lens  
 Y5: IES Type V, clear lens  
 YD: Symmetric distribution, diffused lens

**3. SHIELDING:** Optional, may choose from 1 to 3 sides closest from options A, B, C, D or you may choose HSS option.

**4. LIGHT ENGINE:**  
 2050: 5000K CCT, 29 watts  
 2040: 4000K CCT, 29 watts  
 2030: 3000K CCT, 29 watts  
 1050: 5000K CCT, 14 watts  
 1040: 4000K CCT, 14 watts  
 1030: 3000K CCT, 14 watts  
 560mm monochromatic amber and/or custom lumen package available by request. †

**5. CONTROL:** May choose one:  
 SC-MINI: Motion Sensor  
 WIR: Wi-Safe Connectivity  
 BPC: Button Type Physical

**6. VOLTAGE:** 120-277VAC input or may choose one:  
 347: 347VAC input  
 480: 480VAC input  
 HSS: House side shield†

**7. FIXTURE FINISH:**  
 Standard Color:  
 ASH: Antique Green  
 BL: Black  
 BLT: Matte Black  
 CRT: Carbon  
 DB: Dark Bronze  
 DGH: Dark Green  
 GT: Graphite  
 LG: Light Grey  
 MAL: Matte Aluminum  
 MDB: Bronze Metallic  
 MD: Medium Grey  
 TT: Titanium  
 WH: Arctic White  
 WDB: Weathered Bronze  
 WBU: Verd Blue  
 Premium Color:  
 SHK: Shamrock  
 SPP: Salt and Pepper  
 SPM: Slatwood  
 WCP: Weathered Copper  
 RAL: RAL 4 digit Color  
 CUSTOM: Custom Color

**Photometry:**

For more information visit our website: [www.progresscommercial.com](http://www.progresscommercial.com)

**PROGRESS LIGHTING COMMERCIAL**

Project: \_\_\_\_\_  
 Fixture Type: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Contact: \_\_\_\_\_

### PCBO SERIES

Walkway Lighting

**Specifications:**

**Construction:**  
 • Extruded aluminum square or round housing, with tamper resistant hardware; Flat top, for round. Single screw access for top relamping.  
 • Sealed one-piece, clear acrylic lens; Spectral anodized aluminum optical systems; dual reflector or tube optics.  
 • Concealed, galvanized steel anchor base; Four 3/8" x 10" anchor bolts.  
 • Durable Tekelco® TCC thermoset polyester powder coat paint finish assures long life and maintenance-free service.

**Electrical:**  
 • Universal voltage (120-277V) drivers with +/- 10% tolerance, starting temperature rated at -30°C.  
 • Rotatable LED assembly adjustment for ideal placement and aiming of symmetric light pattern.  
 • 24 high brightness LEDs at 500 mA deliver symmetric distribution at 46 Watts.  
 • 12 high brightness LEDs at 700 mA deliver asymmetric distribution at 31 Watts.

**Warranty:**  
 5 year limited warranty for LED system.

**Listing/Certification:**  
 The luminaire is listed to UL 1598 for use in wet locations.

**Catalog number:**

Series	Distribution	Finish
PCBOR - Bollard Round	ASY - 12 LEDs @ 31W	BZ - Bronze
PCBOS - Bollard Square	SYM - 24 LEDs @ 46W	BL - Black

**Photometry:**

For more information visit our website: [www.progresscommercial.com](http://www.progresscommercial.com)

## Site Light on 12' HT. Pole

Scale: nts

## Alternate Site Light on 12' HT. Pole

Scale: nts

## Bollard Light

Scale: nts

## Alternate Bollard Light

Scale: nts

**FXLuminaire**

LED Wall Lights

PROJECT: \_\_\_\_\_  
 CATALOG # \_\_\_\_\_  
 TYPE \_\_\_\_\_  
 NOTES \_\_\_\_\_

**UN Wall Light DESIGNER PREMIUM**

Subtle, curved design elements adds style to this recessed wall light. 1 LED. Available in brass.

**Quick Facts:**

- Die-cast brass construction
- Natural, powder coated, or antiqued brass finish
- Cree® integrated LEDs
- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V

**Dimensions:** 5.2" (132 mm) x 3.8" (97 mm) x 5.8" (148 mm)

**Mounting Options:** Specify Separately

**Accessories:** Code \_\_\_\_\_

**LANDSCAPE LIGHTING**

**UN Wall Light ORDERING INFORMATION**

Fixture	Luxor Option	Output	Finish
UN*	[Default] Zone	TLED 11 Lumens	BS Natural Brass
	ZD Zone/Dim		BZ Bronze Metallic
			DG Desert Granite
			WI Weathered Iron
			SB Sedona Brown
			FB Black
			WG White Gloss
			FW Flat White
			AL Almond
			SV Silver
			NP Nickel Plate
			AB Antique Bronze
			AT Antique Tumbled

EXAMPLE FIXTURE CONFIGURATION: UN - [ ] - [ ] - TLED - [ ]

**Mounting Options:** Specify Separately

**Accessories:** Code \_\_\_\_\_

**LANDSCAPE LIGHTING**

**FXLuminaire**

**PF Path Light DESIGNER PREMIUM**

Sleek hat area light in 1 LED. Copper and brass construction.

**Quick Facts:**

- Copper/brass construction
- Natural, powder coated, or antiqued copper/brass
- Cree® integrated LEDs
- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V

**Dimensions:** 5.1" (130 mm) x 15.1" (384 mm)

**Mounting Options:** Specify Separately

**Accessories:** Code \_\_\_\_\_

**LANDSCAPE LIGHTING**

**PF Path Light ORDERING INFORMATION**

Fixture	Luxor Option	Output	Riser	Finish
PF*	[Default] Zone	33 Lumens	BR 8" (203 mm) Riser	CU Natural Copper
	ZD Zone/Dim		LR 12" (305 mm) Riser	BZ Bronze Metallic
			LR 18" (457 mm) Riser	DG Desert Granite
			LR 24" (610 mm) Riser	WI Weathered Iron
			LR 36" (914 mm) Riser	FB Black
				WG White Gloss
				FW Flat White
				AL Almond
				SV Silver
				AB Antique Bronze
				AT Antique Tumbled
				NP Nickel Plate

EXAMPLE FIXTURE CONFIGURATION: PF - [ ] - [ ] - TLED - [ ] - [ ]

**Mounting Options:** Specify Separately

**Mounts:** Code \_\_\_\_\_

**Accessories:** Code \_\_\_\_\_

**LANDSCAPE LIGHTING**

## Wall / Step Light

Scale: nts

## Path Light

Scale: nts

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 Num. Date Description

MASSACHUSETTS REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT  
 THOMAS E. HAWK  
 No. 918  
 7/30/20

**Wychmere Beach Club**  
 22 Snow Inn Rd, Harwich Port, MA  
 Longwood Venues / Atlas Development

Drawn By: TM Checked By: DH

Site Lighting Specifications

Scale: nts

Sheet: **D3.0**















**GENERAL NOTE:**

- ALL WINDOWS AND DOORS TO BE FELLA® RESERVE™ - TRADITIONAL CASING 5/4X5 W/O BAND MOLDING & APPLIED SUBSILL IMPACT GLASS

**TYPICAL ROOF CONSTRUCTION:**

- WESTERN RED CEDAR ROOF SHINGLES PERFECTION GRADE, #1 BLUE LABEL REBUTTED & RE-SQUARED
- 5/8" EXTERIOR PLYWOOD SHEATHING ON 2X10" ROOF RAFTERS @ 16" O/C (SEE STRUCTURAL DRAWINGS)
- CEAR BREATHER
- ICE AND WATER SHIELD AT ENTIRE ROOF
- ALL FLASHING AND DRIP EDGES TO BE ZINC COATED COPPER (TYP.)
- 7" CLOSED CELL POLYURETHANE FOAM INSULATION (MIN. R-6)

**TYPICAL EXTERIOR WALL SECTION:**

- WHITE CEDAR PERFECTION GRADE BLUE LABEL R&R ON 3D NYLON MATRIX RAINSCREEN MATERIAL ON 5/8" EXTERIOR PLYWOOD SHEATHING ON 2X4 W/O STUDS NO.2 OR BETTER @ 16" O/C WITH CLOSED CELL POLYURETHANE FOAM INSULATION (MIN. R-5/INCH) ON 6MIL POLY FILM VAPOR BARRIER ON 7/8" BLUE BOARD SKIM COAT PLASTER

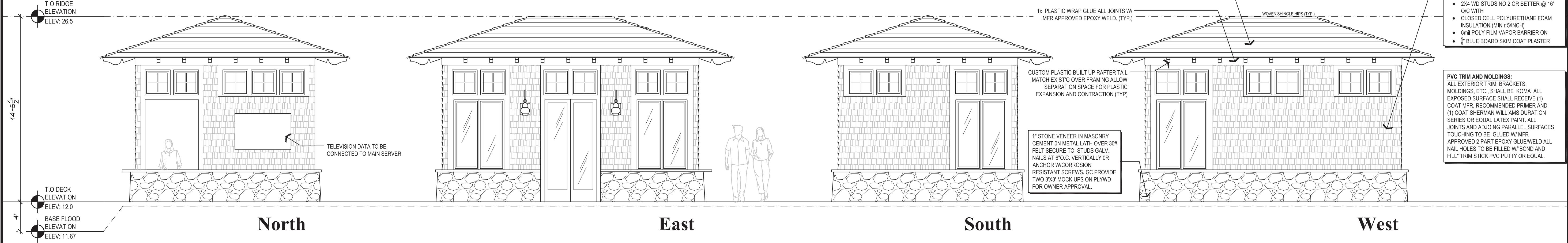
**PVC TRIM AND MOLDINGS:**

ALL EXTERIOR TRIM, BRACKETS, MOLDINGS, ETC., SHALL BE ROMA ALL EXPOSED SURFACE SHALL RECEIVE (1) COAT MFR. RECOMMENDED PRIMER AND (1) COAT SHERMAN WILLIAMS DURATION SERIES OR EQUAL LATEX PAINT. ALL JOINTS AND ADJOINING PARALLEL SURFACES TOUCHING TO BE GLUED W/ MFR APPROVED 2 PART EPOXY GLUE/WELD ALL NAIL HOLES TO BE FILLED W/ BOND AND FILL TRIM STICK PVC PUTTY OR EQUAL.

1" PLASTIC WRAP GLUE ALL JOINTS W/ MFR APPROVED EPOXY WELD. (TYP.)

CUSTOM PLASTIC BUILT UP RAFTER TAIL MATCH EXIST'G OVER FRAMING ALLOW SEPARATION SPACE FOR PLASTIC EXPANSION AND CONTRACTION (TYP.)

1" STONE VENEER IN MASONRY CEMENT ON METAL LATH OVER 30# FELT SECURE TO STUDS GALV. NAILS AT 6" O.C. VERTICALLY OR ANCHOR WOODROSSION RESISTANT SCREWS, GC PROVIDE TWO 3X3" MOCK UPS ON PLYWD FOR OWNER APPROVAL.



Project  
**Gate House**  
23 Snow Road  
Harwichport, MA

**NOTES:**

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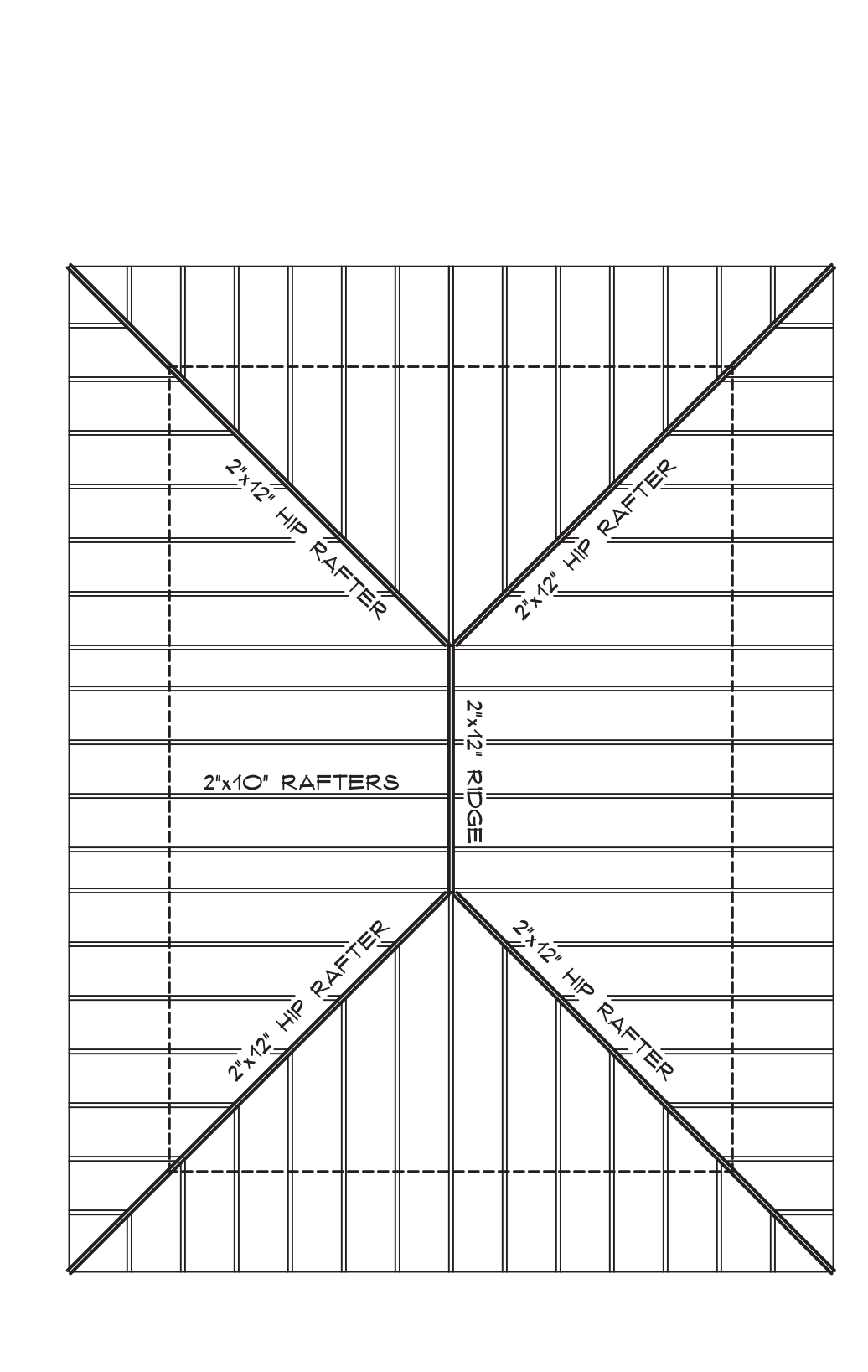
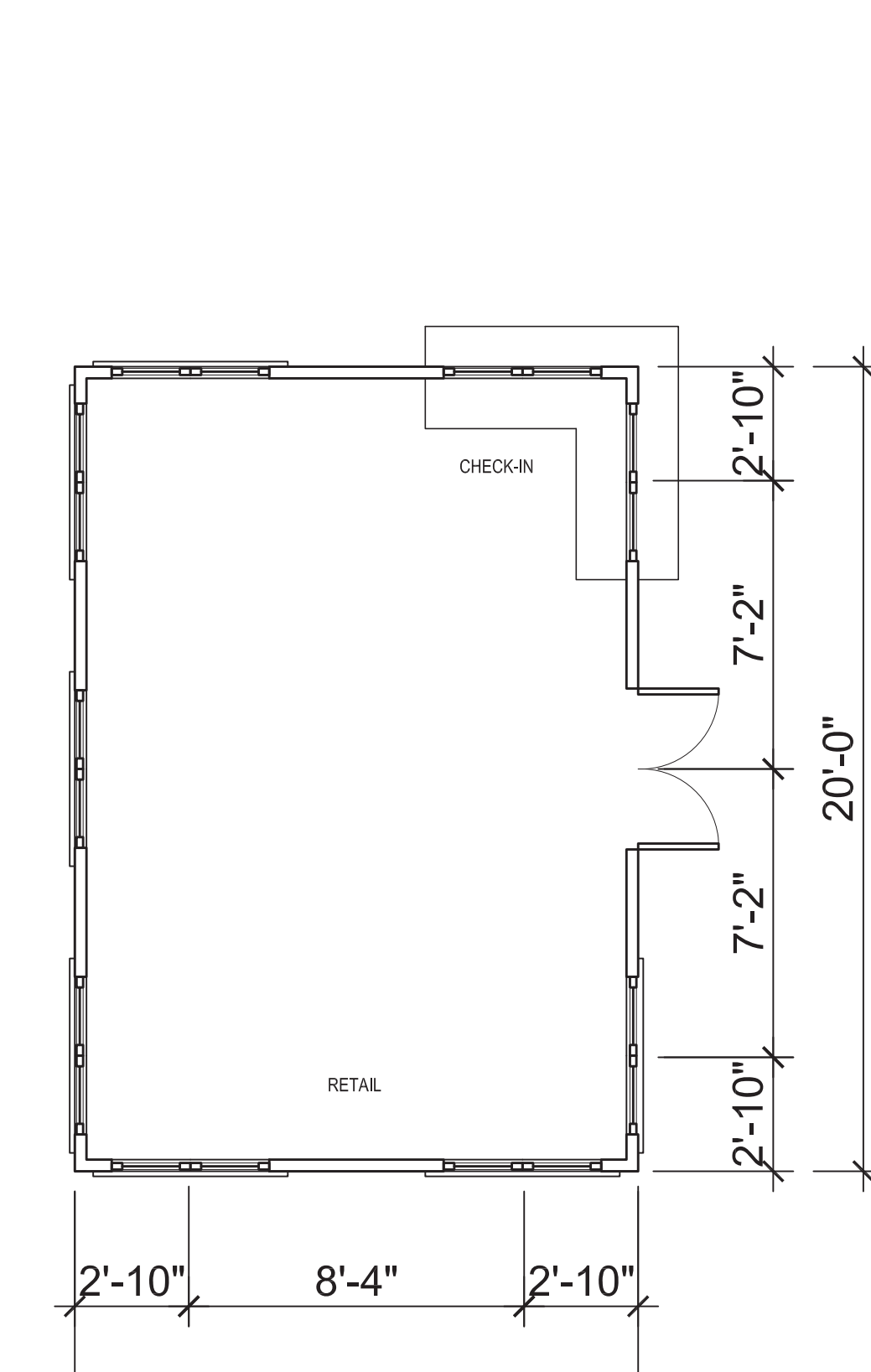
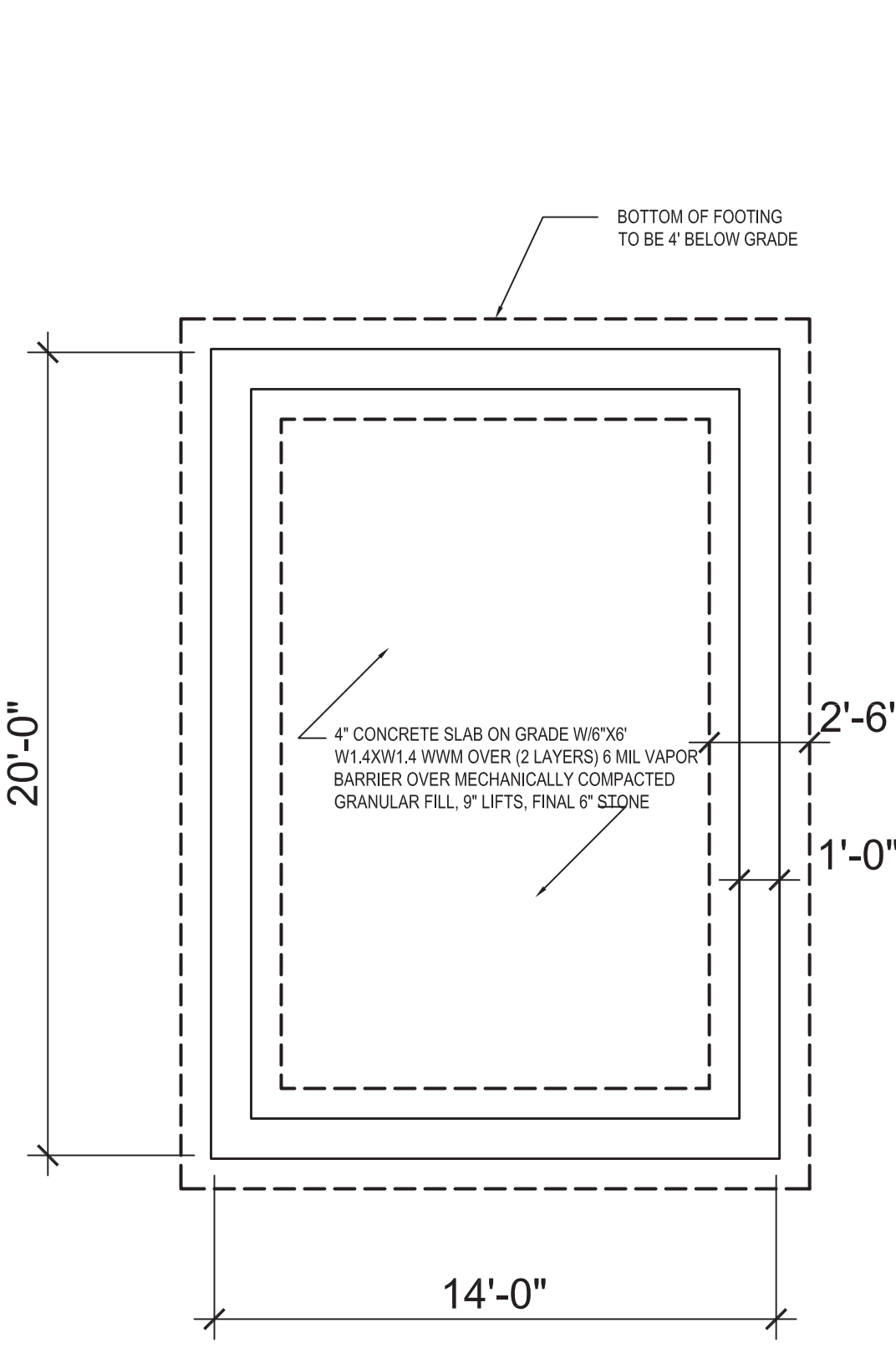
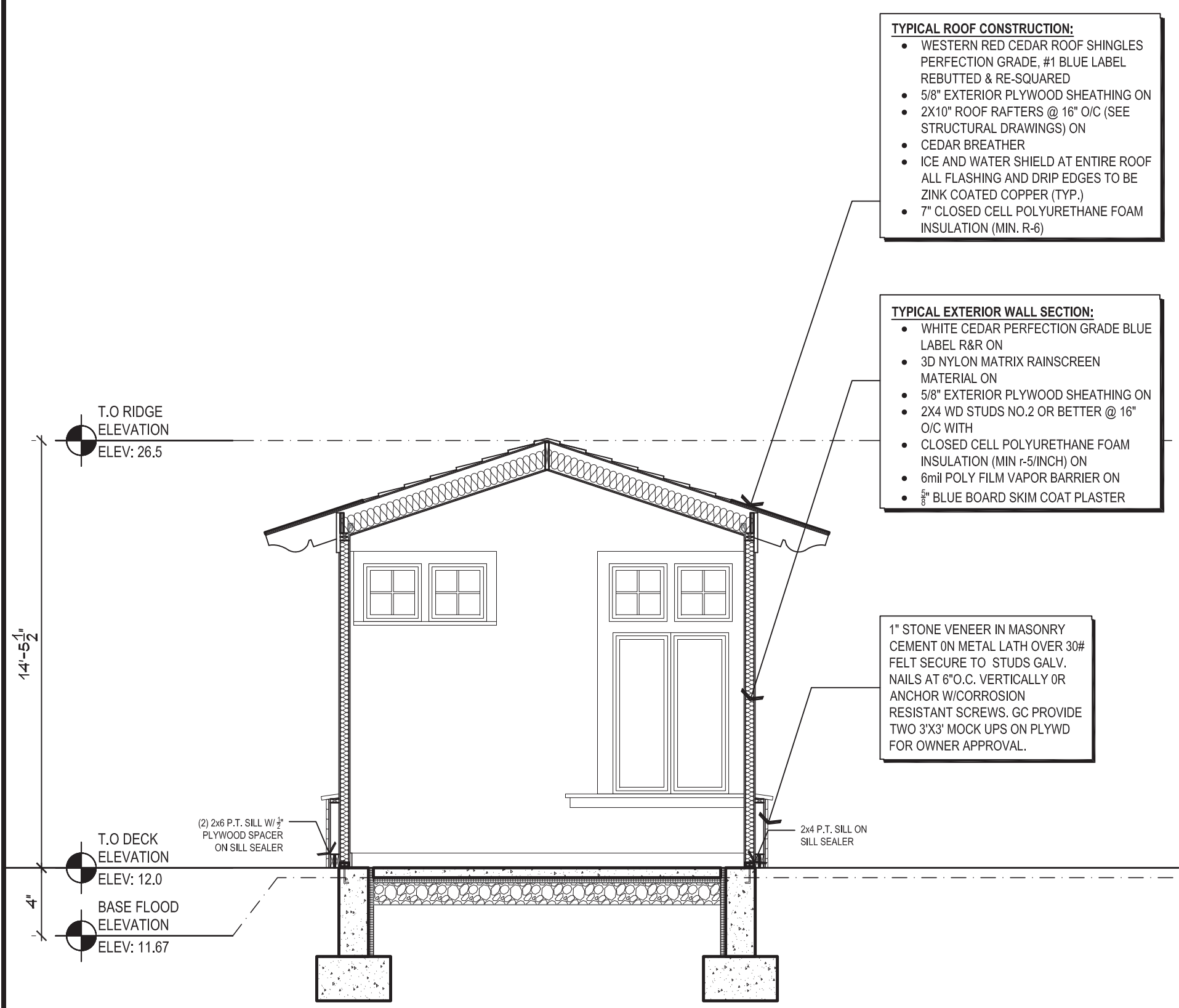
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**GS Design Group Inc.**  
215 Onset Ave.  
P.O. Box 1200  
Onset, MA 02532  
Tel 508.295.2952



**Building Elevations** Scale: 1/4" = 1'-0" **1**



**Foundation Plan** **Floor Plan** **Roof Plan**

Issued For

REV.	ISSUE	DATE

DESIGN DEVELOPMENT PRICING SET

**PLANS, SECTION, & ELEVATIONS**

Drawing Title:  
Drawn By: CT Checked By: GG

**A1.3**

Drawing Number:  
File Name: Scale: AS NOTED  
Date: 7/29/2020

**Building Section** Scale: 1/4" = 1'-0" **2** **Building Plans** Scale: 1/4" = 1'-0" **3**



Project  
**The Beach Grill**  
23 Snow Road  
Harwichport, MA

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Tel 508-295-2952



Issued For

REV.	ISSUE	DATE

DESIGN  
DEVELOPMENT  
PRICING SET

ELEVATIONS

Drawing Title:

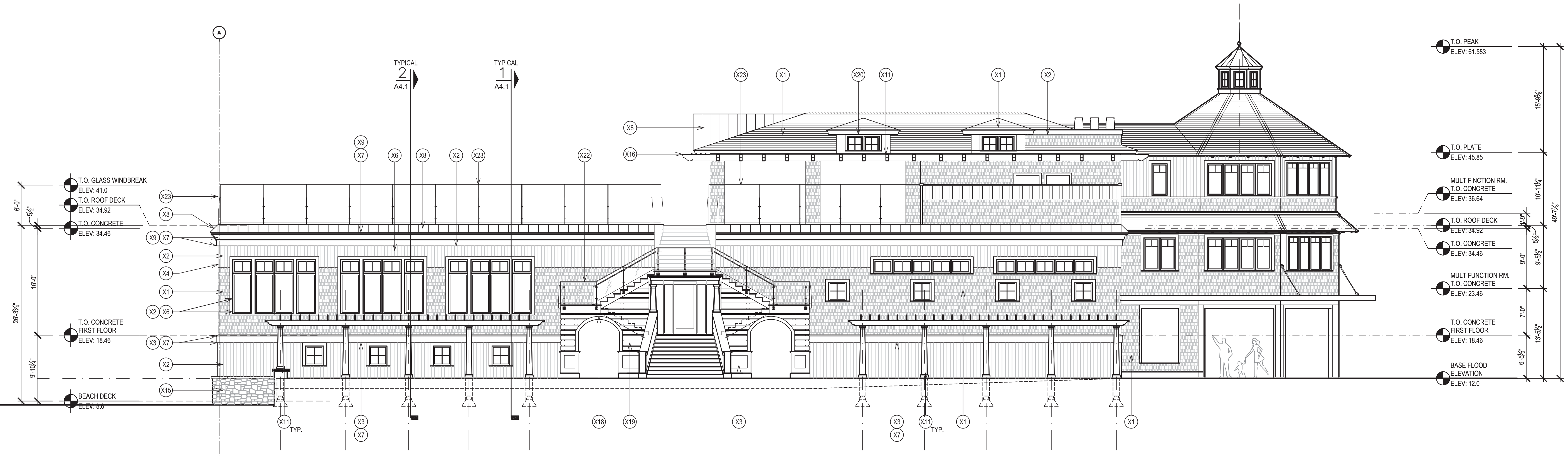
Drawn By: CT Checked By: GG

**A2.1**

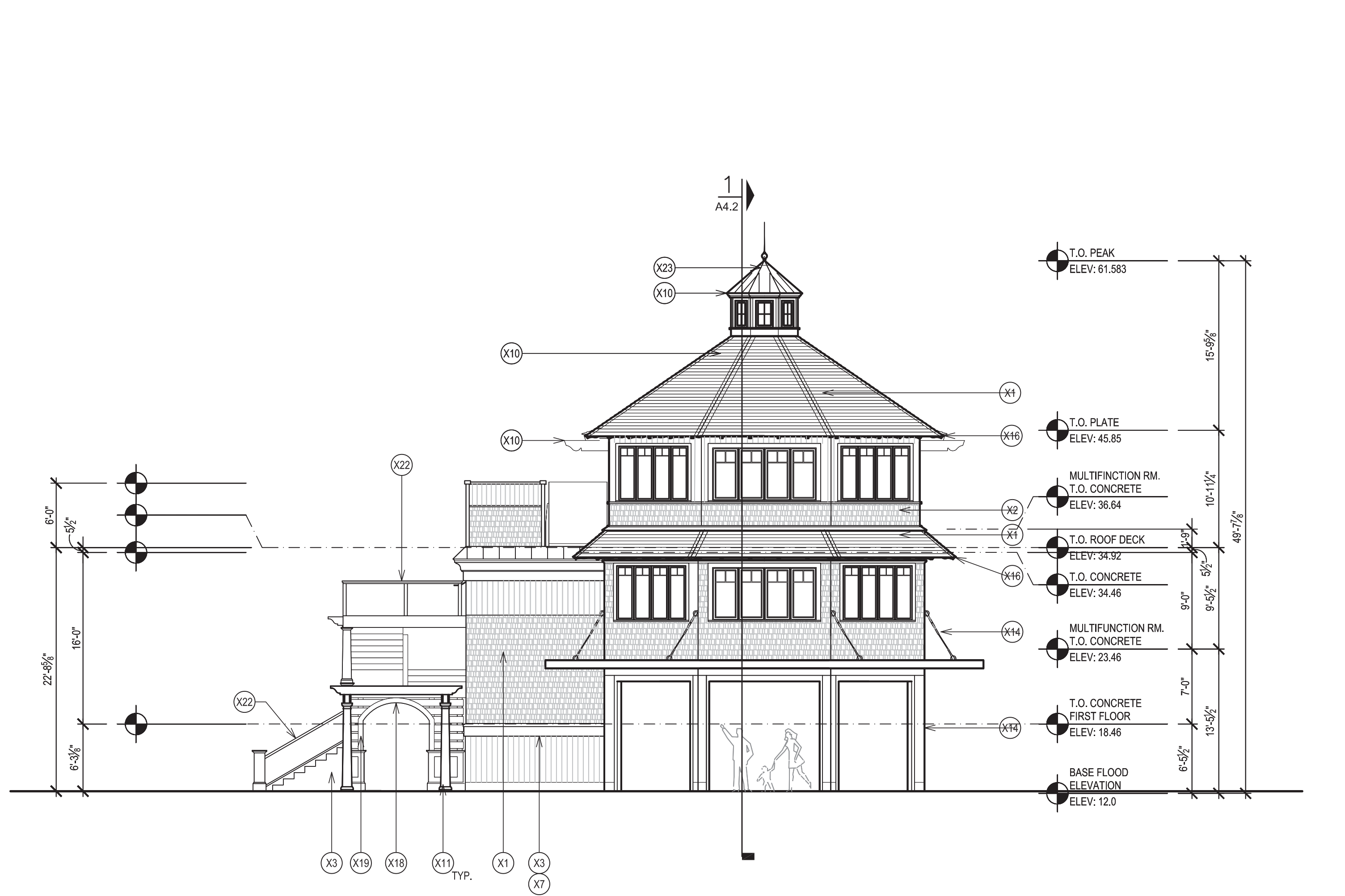
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Date: 7/29/2020



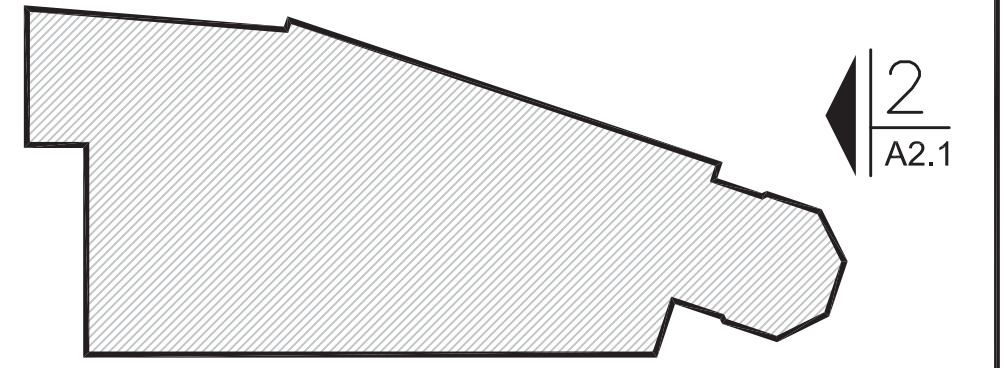
**Exterior Elevation** Scale: 1/8" = 1'-0" **1**



**Exterior Elevation** Scale: 1/8" = 1'-0" **2**

EXTERIOR FINISH SCHEDULE			
TAG	MATERIAL / MODEL NO.	COLOR / FINISH	NOTES
X1	WESTERN RED CEDAR SHINGLES, REBUTTED & RESQUARED	PERFECTION GRADE, #1 BLUE LABEL	UNTREATED TO SILVER NATURALLY. PROVIDE WOVEN HIPS, RIDGES, & OUTSIDE CORNERS AT ROOF & EXTERIOR WALLS
X2	1X6" T&G WESTERN RED CEDAR BOARDS (LAI VERTICALLY)	CLEAR VERTICAL GRAIN (NO KNOTS)	UNTREATED TO SILVER NATURALLY.
X3	2X4" WESTERN RED CEDAR WATER TABLE	---	RIPPED TO FIT, CUSTOM CUT W/ INTEGRAL DRIP
X4	3/4"X2" WESTERN RED CEDAR TRIM	---	INSTALLED AT WINDOW SILL & BETWEEN X1 & X2
X5	3/4"X4" WESTERN RED CEDAR TRIM	---	INSTALLED AT BREAKAWAY PANELS
X6	3/4"X8" WESTERN RED CEDAR TRIM	---	WINDOW & DOOR CASINGS
X7	3/4"X12" WESTERN RED CEDAR TRIM	---	INSTALL AT LOW CORNICE AROUND DECK PERIMETER & BELOW WATER TABLE
X8	20oz. STANDING SEAM COPPER ROOF	UNTREATED TO PATINA NATURALLY	INSTALL ON 30# FELT PAPER WITHOUT ICE & WATER SHIELD. PROVIDE CUSTOM COPPER FINIAL
X9	HIGH DENSITY URETHANE FOAM CROWN MOULDING MANUFACTURED TRIM BY FYPON, LLC. (OR APPROVED EQUAL)	#MLD-588 (@ LOW CORNICE)	FACTORY PRIMED, READY FOR PAINT. ALL JOINTS & HOLES IN CLOSED CELL PVC CLADDING/ TRIM & URETHANE MOULDINGS SHALL BE FLUSH FILLED, & SANDED SMOOTH TO ELIMINATE SEAMS. SHEET PVC TO BE ADHERED TO PLYWOOD BACKUP FOR STABILITY. SEE EXTERIOR ELEVATION NOTE #3
X10	---	#MLD-453 (@ CUPOLA)	---
X11	POLY-CLASSIC DURAGLASS FIBER-GLASS COLUMNS BY TURNCRRAFT	FACTORY PRIMED, FIELD PAINTED	UNFLUTED TAPERED ROUND COLUMN W/ ONE-PIECE TUSCAN BASE & CAPITAL
X12	ADJUSTABLE EDESTAL SYSTEM BY TILE TECH, OR O.A.E.	1" PORCELAIN PAVERS IN HEXAGONAL TRAY SUPPORT SYSTEM	SIZE & COLOR OF PAVERS T.B.D.
X13	---	---	---
X14	STAINLESS STEEL TURNBUCKLE SYSTEM (BY AFT FASTENERS, O.A.E.)	STAINLESS STEEL	5'-0" LONG X 1/2" SHANK DIA; JAW/JAW W/ CENTER TURNBUCKLE & EYELETS AT EACH END FOR WALL / CANOPY ATTACHMENT
X15	CULTURED STONE VENEER (BY BORAL O.A.E.)	COLOR, PATTER, ETC. T.B.D.	PROVIDE PRECAST CONCRETE CAP W/ BEVELED TOP
X16	CLOSED CELL PVC TRIM ON BUILT UP PLYWOOD SUBSTRATE (BY KOMA, O.A.E.)	READY FOR PAINT	SEE DETAIL XXXXX. ALLOW SEPARATION SPACE FOR DISSIMILAR MATERIAL EXPANSION & CONTRACTION. SEE X10 FOR TYPICAL PVC FINISHING NOTES
X17	3/4"X4" CLOSED CELL PVC	---	ALL EXTERIOR TRIM, BRACKETS, MOULDINGS, ETC SHALL BE KOMA AS MANUFACTURED BY KOMERLING. ALL EXPOSED SURFACES SHALL RECEIVE ONE COAT OF MANUFACTURER RECOMMENDED PRIMER & TWO COATS OF RECOMMENDED FINISH PAINT
X18	3/4"X6" CLOSED CELL PVC	---	---
X19	3/4"X8" CLOSED CELL PVC	---	---
X20	3/4"X12" CLOSED CELL PVC	---	---
X21	3/4" CLOSED CELL PVC SHEET GOODS	---	---
X22	"SOLO" RAILING SYSTEM BY VIVA (OR APPROVED EQUAL)	3/4" SGP CLEAR LAMINATED GLASS	PROVIDE POLISHED CHROME ASSEMBLY BRACKETS ON CLEAR LAMINATED GLASS SOLO POST
X23	"WINDWALL" RAILING SYSTEM BY VIVA (OR APPROVED EQUAL)	---	---
X24	---	---	---
X25	---	---	---

- EXTERIOR ELEVATION NOTES:
- ALL WESTERN RED CEDAR SIDING, TRIM, BOARDS, ETC. SHALL BE INSTALLED ON 30 NYLON MESH RAINSCREEN.
  - ALL METAL FLASHING (I.E.: DRIP EDGE, BASE, VALLEY, KICKOUT, COUNTER FLASHING, ETC.) SHALL BE ZINC COATED COPPER.
  - EXTERIOR SIGNAGE UNDER SEPARATE PERMIT. REFER TO APPROVED SIGNAGE PACKAGE FROM SIGNAGE VENDOR FOR SIZES AND LOCATIONS OF SIGNS. EXTERIOR SIGNAGE TO BE EXPANSION ANCHORED. PROVIDE POWER AS REQUIRED & COORDINATE WITH ELECTRICAL DRAWINGS.
  - PLUMBING STACKS, BATHROOM EXHAUST, KITCHEN EXHAUST, ETC. LOCATIONS ARE TO BE SUBMITTED & REVIEWED BY THE ARCHITECT / OWNER PRIOR TO INSTALLATION.
  - GAS METER & ELECTRIC METER LOCATIONS SHOWN FOR DIAGRAMMATIC PURPOSES ONLY. G.C. TO COORDINATE EXACT LOCATIONS WITH CIVIL DRAWINGS & MECHANICAL ENGINEERING DRAWINGS.
  - FOR FIRE ALARM CONTROL PANEL(S), FIREMAN'S BOX(ES), ELECTRICAL METER(S), HOSE BIB(S), AND SIMILAR EXTERIOR WALL MOUNTED EQUIPMENT, SEE ENGINEERED MECHANICAL DRAWINGS. PROVIDE 3/4" BACKER BOARD AS REQUIRED.



**KEY PLAN** N.T.S.

- EXTERIOR ELEVATION LEGEND:
- XX - SEE EXTERIOR MATERIAL FINISH SCHEDULE
  - XX - SEE WINDOW TYPES & ELEVATIONS (SHEET A7.2)

**Finish Schedule, Reference Notes, Key Plan** Scale: N.T.S. **3**



# The Beach Grill

23 Snow Road  
Harwichport, MA

**NOTES:**  
All notes on this drawing are typical and apply equally to all comparable conditions. Dimensions shall take precedence. Errors or discrepancies on details are to be brought to the attention of the GSDesign Group Inc. before the work or materials have either been commenced, and/or purchased.  
These drawings are the property of the GSDesign Group, Inc. & specifically prepared for the owner of this project at this site and are not to be duplicated or used in part or whole for any other purpose, project location or owner without the express written consent of the GSDesign Group, Inc.



**GSDesign Group Inc.**  
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Issued For

REV.	ISSUE	DATE

DESIGN  
DEVELOPMENT  
PRICING SET

**ELEVATIONS**

Drawing Title:

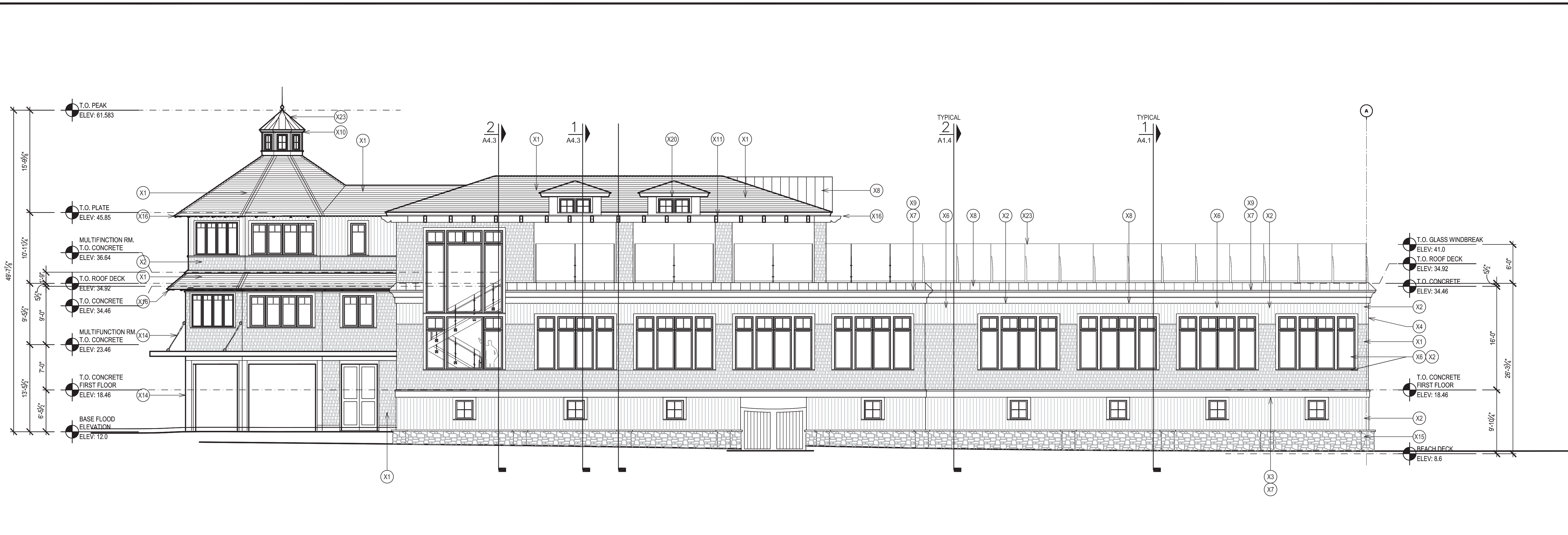
Drawn By: CT Checked By: GG

**A2.2**

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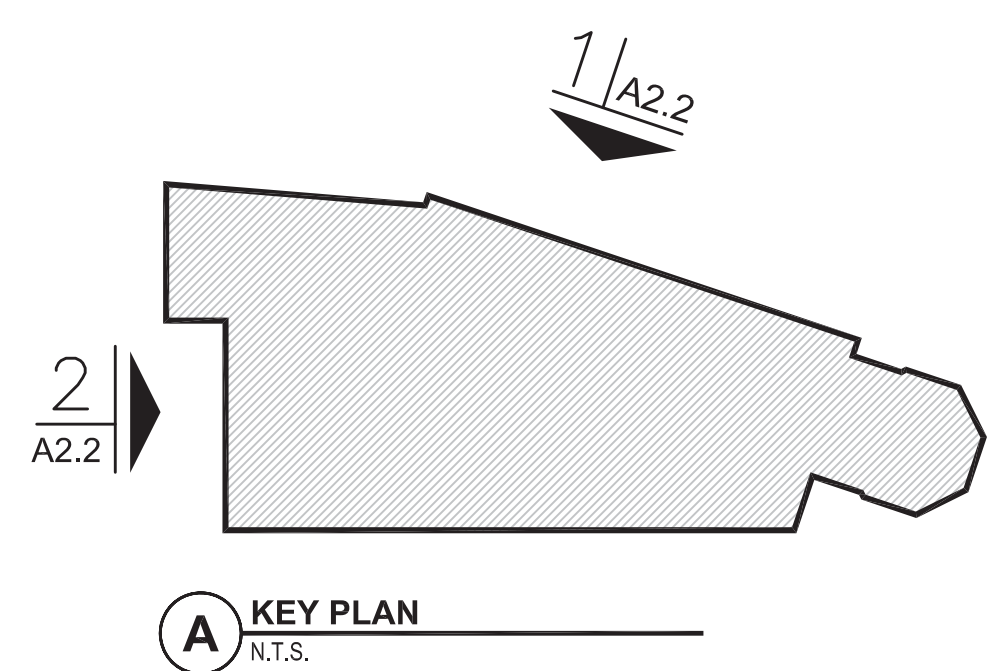
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**Exterior Elevation** Scale: 1/8" = 1'-0" **1**

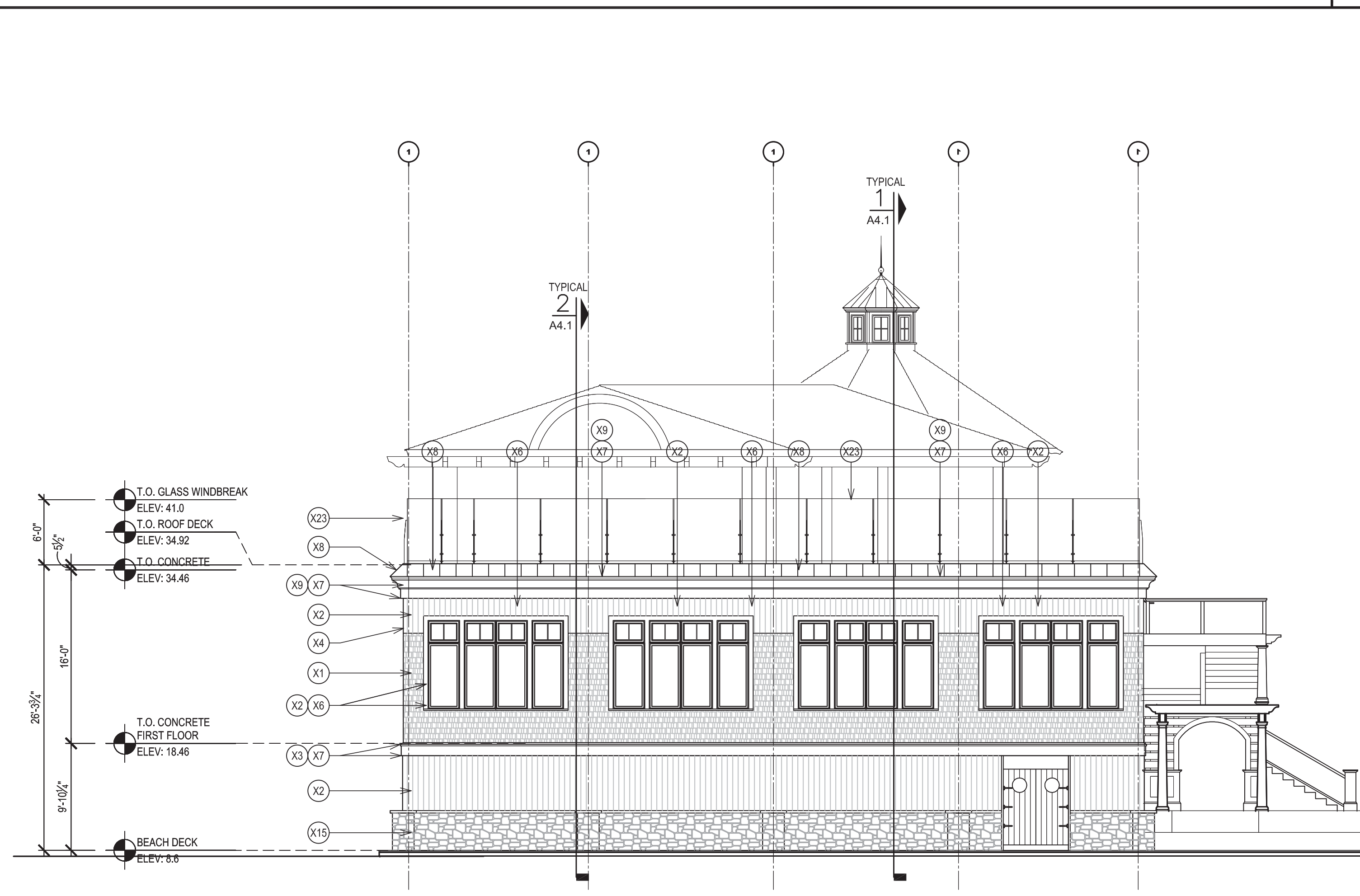
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X6	2"X6" WESTERN RED CEDAR TRIM		WINDOW & DOOR CASINGS
X7	2"X12" WESTERN RED CEDAR TRIM		INSTALL AT LOW CORNICE AROUND DECK PERIMETER & BELOW WATERTABLE
X8	20oz. STANDING SEAM COPPER ROOF	UNTREATED TO PATINA NATURALLY	INSTALL ON 30# FELT PAPER WITHOUT ICE & WATER SHIELD. PROVIDE CUSTOM COPPER FINIAL
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X12	ADJUSTABLE EDESTAL SYSTEM BY TILE TECH, OR O.A.E.	1" PORCELAIN PAVERS IN HEXAGONAL TRAY SUPPORT SYSTEM	SIZE & COLOR OF PAVERS T.B.D.
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X25			

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- EXTERIOR ELEVATION LEGEND:**
- XX - SEE EXTERIOR MATERIAL FINISH SCHEDULE
  - XX - SEE WINDOW TYPES & ELEVATIONS (SHEET A7.2)

**Finish Schedule, Reference Notes, Key Plan** Scale: N.T.S. **3**



**Exterior Elevation** Scale: 1/8" = 1'-0" **2**



