



Case # _____

TOWN OF HARWICH
732 Main Street, Harwich, Massachusetts 02645

ZONING BOARD OF APPEALS
Notice of Appeal/Application and Petition for Public Hearing, ("APPLICATION")

This Application *does not* apply to Comprehensive Permits.

Please refer to the Rules and Regulations of the Town of Harwich Board of Appeals for documentation requirements.

This original completed and signed notice of this Application, along with a certified abutters list and twelve (12) copies of all plans, sketches, statements, site plans or other supporting documents per the attached checklist must be presented to the Building Department prior to being filed with the Town Clerk. The required documentation, **ALL** of which must be submitted on the date of filing, is listed on this Application. **THE RULES AND REGULATIONS ("RULES") OF THE TOWN OF HARWICH BOARD OF APPEALS APPLY TO ALL APPEALS AND APPLICATIONS AND SHOULD BE CONSULTED BEFORE FILING AN APPEAL OR APPLICATION TO ENSURE COMPLIANCE WITH THEM.**

To the Zoning Board of Appeals, Harwich, MA:

(We, I) hereby petition your Board for a public hearing on the request for action checked below:

- Appeal from decision of or refusal of permit application by the Building Inspector, Selectmen or Planning Board or other administrative officer or officers.
- Application for a Variance from requirements of the Harwich Zoning By-Law.
- Application for a Special Permit that is subject to Board of Appeals approval.

I/we am/are the owner[s]/agent of the property involved in this petition, which is located in Harwich, MA at the following address:

5 TRINITY COVE

Said property is further described on _____

Assessor's Map # 1 and Parcel # E3-9 located in the R-L Zoning District as shown on the attached plan.

Describe

Petition/Appeal: SEE ATTACHED

Relief requested - Cite specific Bylaw Section(s):

SEE ATTACHED CORRESP. OF BUDG COMM.

Signature of Owner (or Agent)

W.D. Crowell (written for Michael & Mary Beth Donovan)

Date 4/18/22

(Written authorization by the owner must accompany an Application signed by agent.)

Owner Name MICHAEL + MARY-BETH DONOVAN

Phone No. 508-432-1643

Mailing Address: 5 TRINITY COVE, W. HARWICH, MA 02671

Agent Name: W.D. CROWELL, ESQ

Phone No. 508-432-1643

Mailing Address: 466 MAIN ST, HARWICHPORT, MA 02646

Has a petition previously been submitted for this property (Y/N) (N)

If yes, the date of original hearing _____

Petition No. _____

Decision _____

For Appeal Only:

Reason for Denial: _____

Denial From: _____

Date of Denial: _____

Within 14 days following any Board decision, the Board will file its decision with the Town Clerk. A building permit will not be issued during the appeals period, until 21 days after the Board of Appeals decision has been filed with the Town Clerk or if an appeal to that decision has been filed during that time. It is the applicant's responsibility to have the decision recorded at the Barnstable County Registry of Deeds or Land Court; whichever may be applicable, and to present copies of that recording to the Town Clerk and to the Building Department with all Building Permit application requirements.

Please be advised that incomplete Applications may result in a delay in processing your appeal/Application and may result in a denial by the Board without consideration of the merits of the appeal/Application. **IT IS YOUR RESPONSIBILITY TO REVIEW THE RULES THAT APPLY TO YOUR APPEAL/APPLICATION AND TO MAKE SURE BEFORE FILING THAT YOUR APPLICATION/APPEAL COMPLIES WITH THOSE RULES.** The burden of proof is on the petitioner, not on the Town. If you do not understand the criteria, legal counsel should be sought. Either the petitioner or his/her agent is required to appear at the hearing to present the Application.

All applicants for hearing before the Board of Appeals must complete this Application and submit along with it the supporting documentation listed herein to the Building Department for review and subsequent filing with the Town Clerk. The Building Department accepts Applications during posted hours. You are strongly encouraged to submit your Application to the Building Department well in advance of the filing deadline to allow adequate time for staff review for completeness. All information, including the applicable fee made payable to the Town of Harwich, must be submitted with the Application.

Please submit the following, sorted and grouped into **twelve (12) packets along with one (1) Certified Abutters List** (Available from the Assessors Department. A separate application and fee is required):

- The original Application (additional stamped copies can be provided at a nominal fee):**
 - Signed by the owner or agent.
 - If signed by an agent, a letter of authorization signed by the owner must also be included.
- A typewritten narrative to explain the project , the purpose for this Application and the relief requested, with citations to the applicable provisions of MGL and the Harwich Zoning Bylaws.**
- The original and eleven (11) copies of a Certified Plot Plan with topographical information plan (not septic plans) not more than five (5) years old (total of 12 copies):**
 - 8½" x 11" or larger. *Larger plans must be folded.*
 - Scale no greater than 1" = 50'
 - Original stamped and signed by a Professional Engineer (as allowed by law), or a Professional Land Surveyor.
 - Certified Plot Plan must indicate:
 - the locus;
 - the parcel or parcels of land involved;
 - the existing building or buildings;
 - the proposed building or buildings and/or additions to, or alterations of existing buildings with all dimensions set forth;
 - the location of the septic;
 - the Town of Harwich zoning requirements applicable to the property, as well as existing and proposed dimensions for: frontage, front, sides, and rear setback distances, building height(s), building stories, building and site coverage and parking requirements (if any);
 - all perimeter dimensions (existing and proposed);
 - location and width of abutting and on-site street and drives, parking, existing topography;
 - a grading plan, areas of proposed and retained vegetation, distinction between upland and wetland.
 - Building Plans drawn to scale:
 - Floor layout (for existing structure and proposed additions and/or alterations)
 - Proposed front, side, and rear elevations
- Certified Abutters List**
- Check made payable to "Town of Harwich" for \$315.00.**

APPLICATION CHECKLIST ADDENDUM

This Addendum must be completed in full by the Applicant and is a part of the Application.

Name of Applicant: MICHAEL + MARY-BETH DOWLAN

Address of Property: 5 TRINITY COVE

Zoning District: R-L

Is the property Located in any Special District(s)/Overlay District(s) established by the Town of Harwich or the State of Massachusetts: Yes No

If Yes, specify District(s): N/A

Year Structure(s) Built: 1955

Name/Address of Engineer/Architect: UNK William D. Crowell, Esq.
466 Main Street

Name/Address of Attorney: P.O. Box 185
Harwich Port, MA 02646

	Required by Bylaw	Existing	Proposed
Lot Area	40,000	10,314	10,314
Frontage	150	68.75	68.75
Front Yard Setback	25	17.9	18.3
Side yard Setback	20	19.4	19.4
2 nd Side Yard Setback	20	16.8	20.0
Rear Yard Setback	20	13.4	3.9
Building Coverage	15%	26.6%	27.4%
Site Coverage	30%	34%	39%
Building Height	30	13.1	29.8
If this is an Application for an Accessory Apartment, in addition to the above:			
A. Net Floor Area of the Principal Dwelling			
B. Net Floor Area of the proposed Accessory Apartment			

Form of Relief Requested: SPEC. PERM.

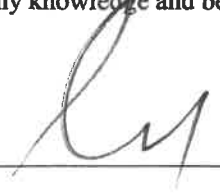
If the Applicant is requesting a Variance, state the hardship which the Applicant believes justifies this form of relief in accordance with MGL Chapter 40 and the Harwich Zoning Bylaw:

By signing and submitting this Application, you hereby authorize the members of the Board of Appeals, or its agent, to conduct a site visit of the exterior of your property for an inspection of the property involved in this petition, should they deem it appropriate.

✓

The Board of Appeals is entitled to rely on the information contained in this Application. Therefore, the undersigned certifies that the information provided in this Application, and all submitted plans and other documentation, is true and accurate to the best of my knowledge and belief.

Applicant's Signature:



Date:

4/18/22

Owner's Signature:

Date:

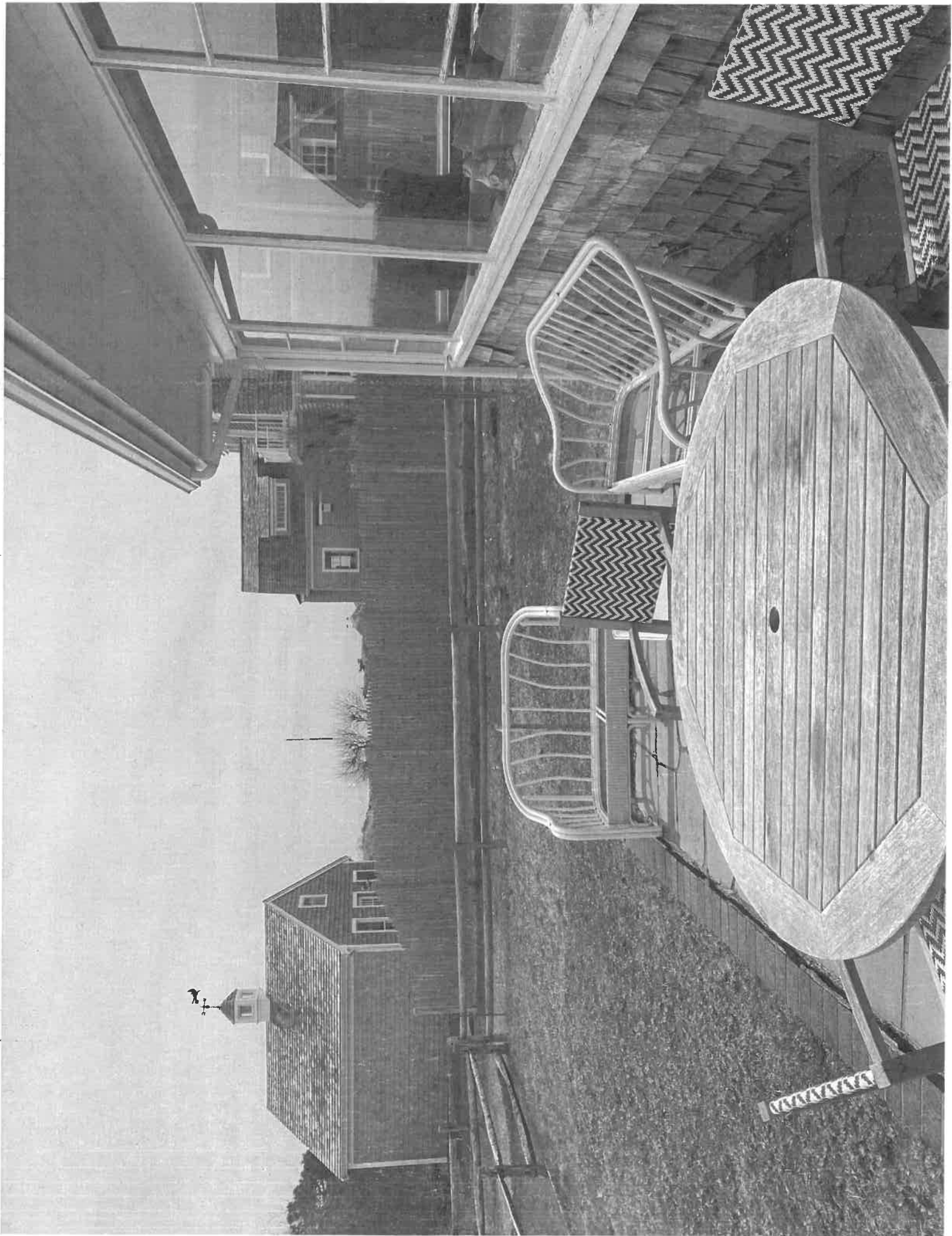
Donovan – 5 Trinity Cove, West Harwich

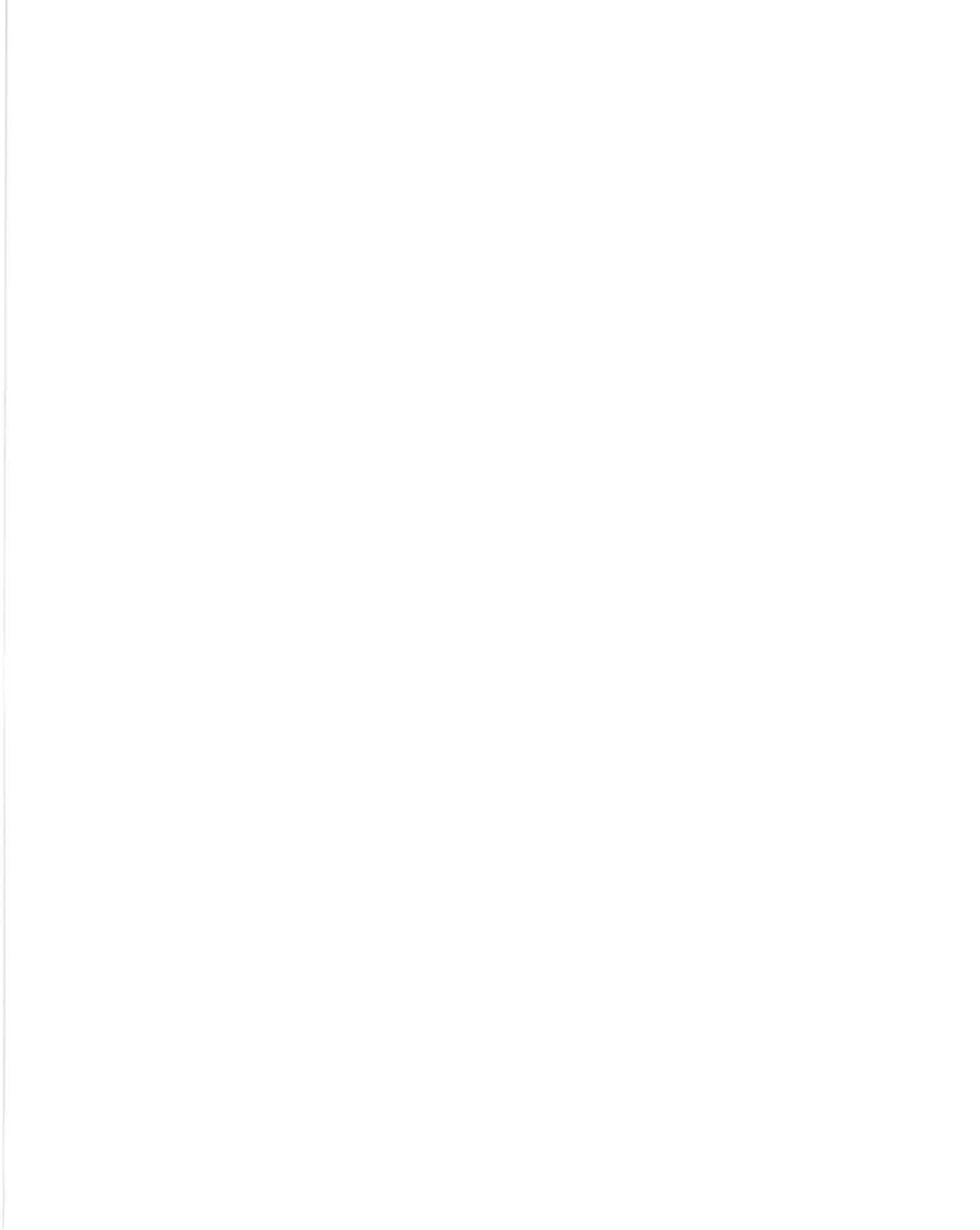
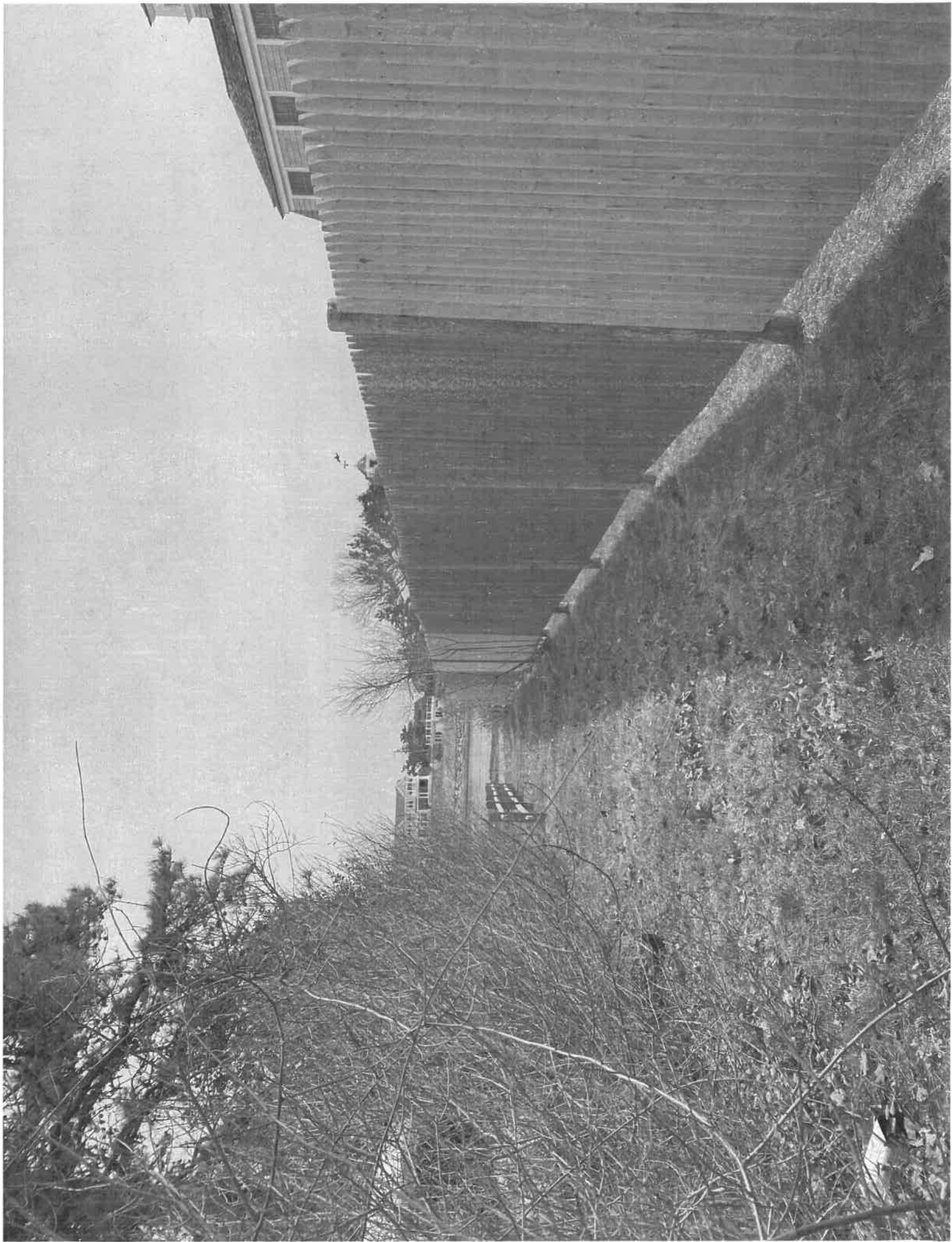
The Petitioners seek to renovate the eastern portion of the existing single-family residence as per the Existing Conditions Plan and Proposed Building Alterations Plan, both dated March 22, 2022 and revised April 18, 2022 by Ryder & Wilcox Inc., and the Building and Elevation Plans by Michael Hally Design, Inc. dated March 4, 2022 submitted herewith. The existing front setback is non-conforming at 17.9 feet and will increase slightly to 18.3 feet. The east side setback is non-conforming at 16.8 feet and will become conforming at 20.0 feet. The rear/southerly setback is nonconforming at 13.4 feet and will be decreased further to 3.9 feet from the southerly lot line to the deck as shown on said plans.

Building coverage (15% max) is non-conforming at 26.6% and will increase slightly to 27.4%. Site coverage (30% max) is nonconforming at 34% and will increase to 39%. However, as per the findings of the Gale Case existing nonconformities may be intensified by a Special Permit upon a finding by this Board that such will not constitute a substantial detriment to the entire neighborhood.

In addition, see attached photograph from the existing patio looking southerly toward Herring River to show the existing split rail fence and 6 foot high stockade fence. Also, see attached photograph looking easterly along a "10 foot strip" to Herring River. Although the Petitioners do not own said "10 foot strip" it, in effect, establishes a 10 foot buffer between the southerly lot line of the Petitioner's property and the stockade fence that screens the garage and residence of the southerly abutter.

In the alternative the Petitioners seek a Variance for the aforementioned renovations.





Sally@wcrowell.office1@comcast.net

From: wcrowell.office2@comcast.net
Sent: Tuesday, April 19, 2022 4:05 PM
To: 'Sally at William D. Crowell'
Subject: FW: Donovan Authorization Email

William D. Crowell, Esq.
466 Main Street - P.O. Box 185
Harwich Port, MA 02646
Telephone: 508-432-1643
Fax: 508-430-0631
e-mail: wcrowell.office2@comcast.net

From: Mike Donovan <donovanmike10@gmail.com>
Sent: Tuesday, April 19, 2022 3:52 PM
To: wcrowell.office2@comcast.net; Mike Donovan <donovanmike10@gmail.com>
Subject: Donovan Authorization Email

Bill: This email documents that Mary-Beth and I authorize you to represent us with respect to the Zoning Board of Appeal process for our property at 5 Trinity Cove, West Harwich, MA, including the filing and the hearing.

TOWN OF HARWICH
Building Department
732 Main Street
Harwich, MA 02645



Telephone: (508) 430-7506

Fax: (508) 430-4703

By First Class Mail

April 20, 2022

Michael & Mary Donovan
5 Trinity Cove
P.O. Box 267
West Harwich, MA
02671

cc. Michael Donovan

Re: Zoning Relief Required
Building Permit Application No. BLD-22-001447
5 Trinity Cove West Harwich, MA 02671 (Assessor's Map 1 Parcel E3-9)
Zoning District RL

Dear Mr. Donovan

Please be advised that as a condition to issuance of the above-referenced building permit as submitted, shown on a plan prepared by Ryder & Wilcox Inc. P.E & P.L.S. dated, March 22, 2022 with Revisions dated 4/18/2022, the following zoning relief is first required:

Harwich Zoning Bylaw:

§325-54A(2) Addition/extension and alteration, increasing the nonconforming nature of the structures rear setback, building coverage and site coverage requiring a Special Permit.

Should you desire to proceed with the project, you must first apply for the foregoing relief; this letter shall serve as a referral to the Board for the same. Copies of the necessary zoning forms and applications are available in the offices of the Town's Building and Planning Departments.

In the meantime, your building permit application shall be deemed 'incomplete' and the period to review and issue such permit suspended until such time as you apply for and obtain the special permit; the special permit decision issues and is filed with the Town Clerk; the applicable appeal period elapses; and you provide the Building Department a copy of the special permit decision as recorded with the Barnstable Registry of Deeds or, as applicable, the Barnstable Registry District.

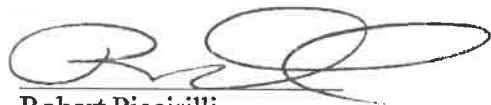
I also reserve the right, should you not expeditiously and continuously proceed with obtaining the required zoning relief or otherwise withdraw the building permit application, to deny the building permit application for incompleteness, or inconsistency with zoning, or both.

Further, be advised that, subject to obtaining the required permits and after construction, you will be required to submit a final as-built plan to the Building Department certifying that the project complies with the approved plans and all applicable dimensional requirements under town zoning.

This correspondence also serves as a zoning determination under Section 7 of Massachusetts General Laws Chapter 40A, which may be appealed by a 'person aggrieved' under Sections 8 & 15 of Massachusetts General Laws Chapter 40A.

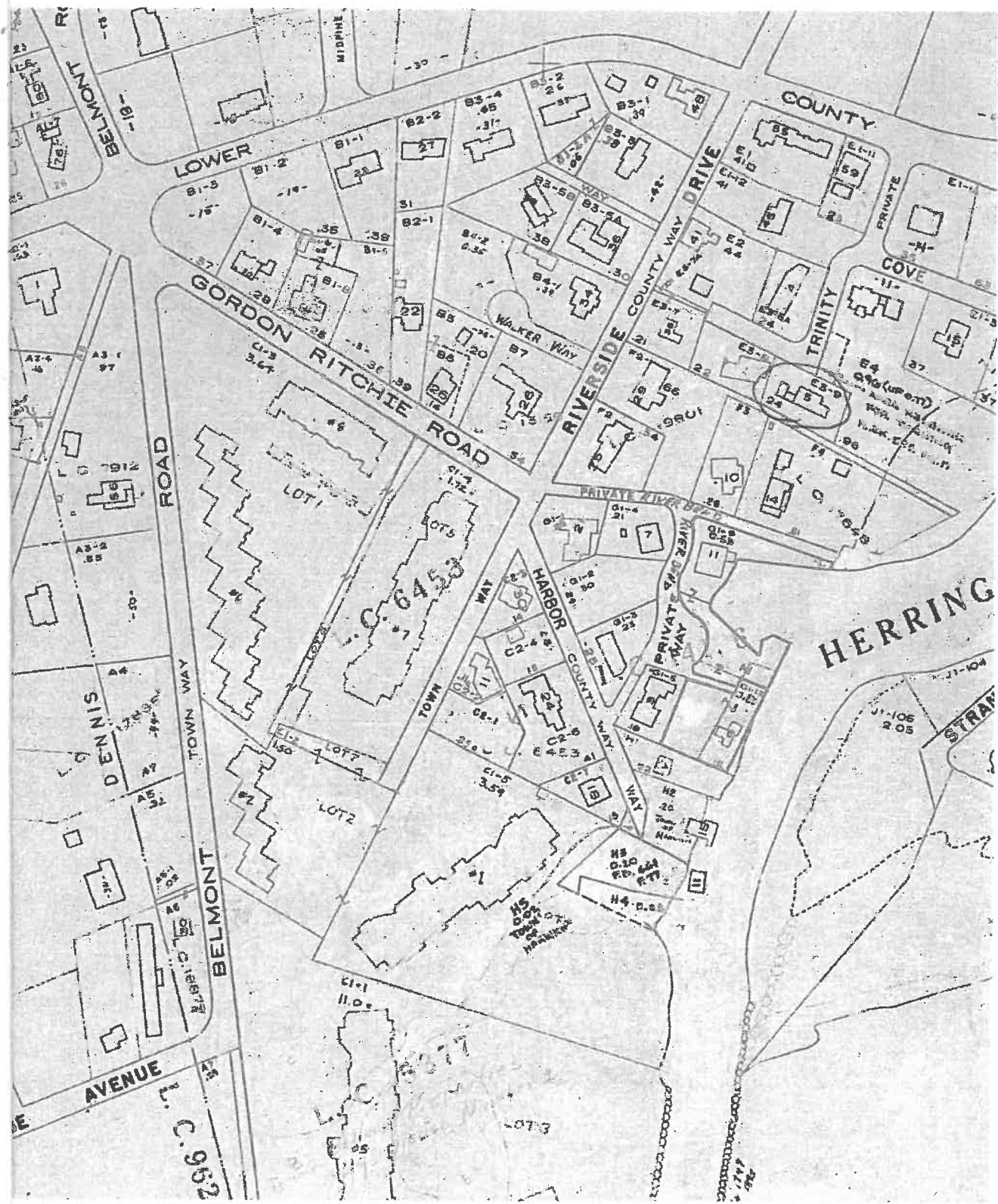
Please feel free to contact the Building Department to discuss further, as necessary.

Respectfully,



Robert Piccirilli
Harwich Building Commissioner

Cc: File

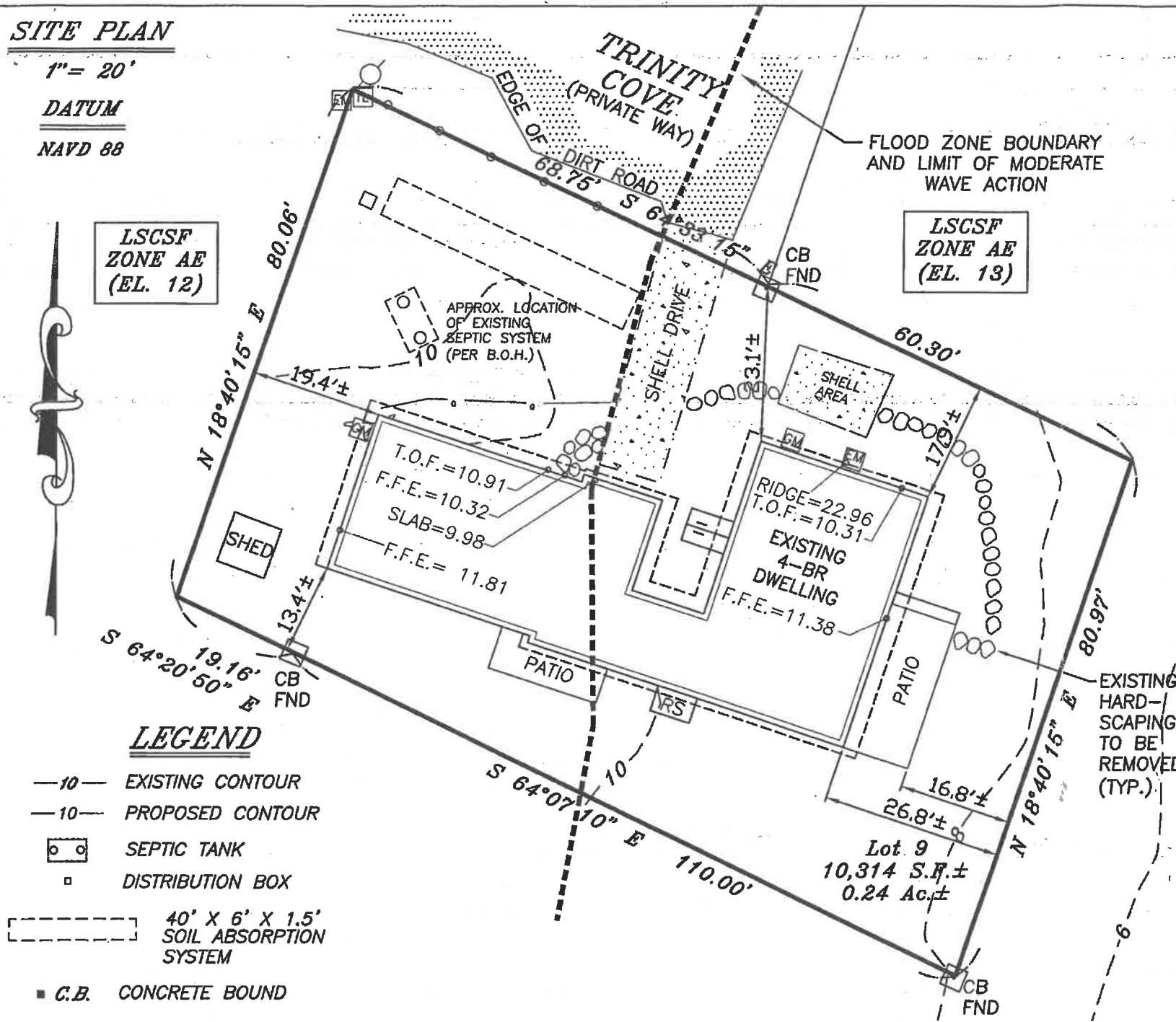


SITE PLAN

1" = 20'

DATUM

NAVD 88



LEGEND

- 10 — EXISTING CONTOUR
- 10 — PROPOSED CONTOUR
- SEPTIC TANK
- DISTRIBUTION BOX
- 40' X 6' X 1.5' SOIL ABSORPTION SYSTEM
- C.B. CONCRETE BOUND

I certify that the dwelling shown hereon is located as it exists on the ground.



Date: 4/18/2022

Professional Land Surveyor

ZONING COMPLIANCE TABLE - ZONE R-L

	REQUIRED	EXISTING
LOT AREA	40,000 S.F.	10,314 S.F.
FRONTAGE	150'	68.75'
SETBACKS		
FRONT	25'	17.9'
SIDE (WEST)	20'	19.4'
SIDE (EAST)	20'	16.8'
REAR	20'	13.4'
BUILDING COVERAGE	15% (1,547 SF)	26.6% (2,744 SF)
BUILDING HEIGHT	30.0'	13.1'
SITE COVERAGE	30% (3,094 SF)	34.0% (3,503 SF)

HEIGHT CALCULATIONS (Existing)

Dwelling Ridge Elevation = 22.96'
Average Grade Elevation = 9.9'
Dwelling Height = 13.1'

BUILDING COVERAGE CALCULATIONS

Existing
Dwelling* = 2,687 S.F.±
Shed = 57 S.F.±
Total = 2,744 S.F.± (26.6%)
Maximum Allowable = 15%

SITE COVERAGE CALCULATIONS

Existing
Buildings = 2,744 S.F.±
Deck/Steps = 18 S.F.±
Driveway = 365 S.F.±
Hardscaping = 376 S.F.±
Total = 3,503 S.F.± (34.0%)
Maximum Allowable = 30%

* Measured to dripline

SITE PLAN ~ SHOWING EXISTING CONDITIONS

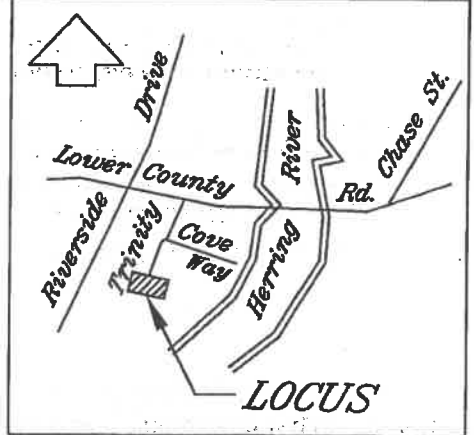
Prepared for: Mike & Mary Beth Donovan
Location: 5 Trinity Cove - Harwich, MA

Ryder & Wilcox, Inc., P.E. & P.L.S.
3 Giddiah Hill Rd.
P.O. Box 439
So. Orleans, MA, 02662
Tel. (508) 255-8312
Fax. (508) 240-2306

Scale: 1" = 20'
Drawn by RAS, SMM
Date - March 22, 2022
Rev. - 3/31/22 (F.F.E.)
Rev. - 4/18/22 (Zoning Compliance data)

Job No. 6655

LOCATION MAP
Not to Scale



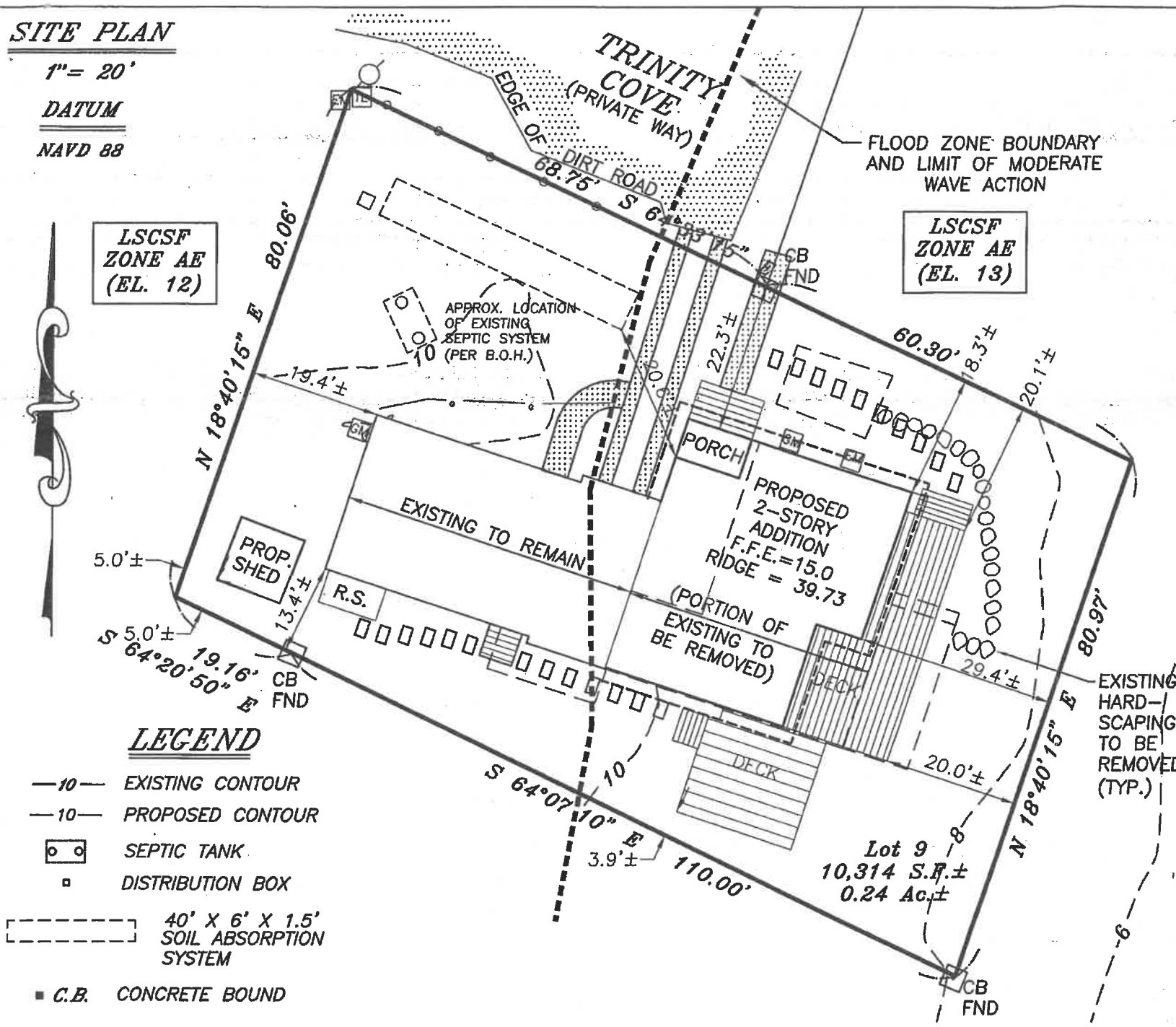
Reference
Assr's Map 1, Pcl. E3-9
Pl. Bk. 106, Pg. 61 (1952)

SITE PLAN

1" = 20'

DATUM

NAVD 88



LSCSF
ZONE AE
(EL. 12)

LSCSF
ZONE AE
(EL. 13)

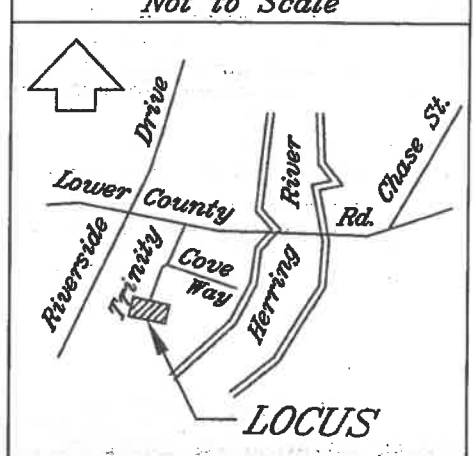
LEGEND

- 10— EXISTING CONTOUR
- 10— PROPOSED CONTOUR
- SEPTIC TANK
- DISTRIBUTION BOX
- 40' X 6' X 1.5' SOIL ABSORPTION SYSTEM
- C.B. CONCRETE BOUND

ZONING COMPLIANCE TABLE — ZONE R-L

	REQUIRED	PROPOSED
LOT AREA	40,000 S.F.	10,314 S.F.
FRONTAGE	150'	68.75'
SETBACKS		
FRONT	25'	18.3'
SIDE (WEST)	20'	19.4'
SIDE (EAST)	20'	20.0'
REAR	20'	3.9'
BUILDING COVERAGE	15% (1,547 SF)	27.4% (2,830 SF)
BUILDING HEIGHT	30.0'	29.8'
SITE COVERAGE	30% (3,094 SF)	39.0% (4,024 SF)

LOCATION MAP
Not to Scale



Reference
Assr's Map 1, Pcl. E3-9
Pl. Bk. 106, Pg. 61 (1952)

HEIGHT CALCULATIONS (Proposed)

Dwelling Ridge Elevation = 39.73'
Average Grade Elevation = 9.9'
Dwelling Height = 29.8'

BUILDING COVERAGE CALCULATIONS

Proposed
Dwelling* = 2,730 S.F. ±
Shed = 100 S.F. ±
Total = 2,830 S.F. ± (27.4%)
Maximum Allowable = 15%
* Measured to dripline

SITE COVERAGE CALCULATIONS

Proposed
Buildings = 2,830 S.F. ±
Deck/Steps = 800 S.F. ±
Driveway = 156 S.F. ±
Hardscaping = 238 S.F. ±
Total = 4,024 S.F. ± (39.0%)
Maximum Allowable = 30%

SITE PLAN ~ PROPOSED BUILDING ALTERATIONS

Prepared for: Mike & Mary Beth Donovan
Location: 5 Trinity Cove — Harwich, MA

Ryder & Wilcox, Inc., P.E. & P.L.S.
3 Giddiah Hill Rd.
P.O. Box 439
So. Orleans, MA, 02662
Tel. (508) 255-8912
Fax. (508) 240-2306

Scale: 1" = 20'
Drawn by RAS, SMM
Date - March 22, 2022
Rev. - 4/18/22 (Zoning Compliance data)

Job No.
6655

I certify that the dwelling shown hereon is located as it exists on the ground.



David A. Lytle
Professional Land Surveyor

Date: 4/18/2022



Above Elevations are NOT to Scale. See Sheets A-3 & A-4 For Elevations Drawn to Scale

General Notes:

Information in drawings represents the 9th edition of the Massachusetts State Building Code. All work to be performed by a licensed contractor. All state and local codes supercede any information on these drawings. These drawings are subject to the approval of the local building inspector.

See Sheet S-1 For Additional Notes.

Contractor to review all drawing sheets prior to beginning construction. Contractor **MUST** Verify ALL dimensions in field. And notify designer on any changes and discrepancies.

Please refer to manufacturer for all spans, uses and installation of engineered lumber. Manufacturer to provide appropriate engineering. Use appropriate jacks and posts to support all structural members as necessary.

Engineering has been completed by a Professional Structural Engineer. Please review all structural drawings and details supplied by engineer. Structural design meets ground snow loading of 25 PSF and Wind Loading of 140 MPH. Exposure D.

Window information provided is from Andersen Windows. Contractor must verify all dimensions with manufacturer. Please review product dimensions, rough openings, installation information, and quantities selected. Client to approve all windows and rough opening locations along with final window specifications from MFG.

Use of all Materials must meet state and local agencies. Contractor must verify proper use and installation from all Product Manufacturers.

Window Schedule-Andersen 400 Series Windows & Doors

This is Not a Final Schedule. Contractor to Verify All Dimensions, Rough Openings, Egress Dim.s, Grids, Finishes, Hardware, & Quantities W/ MFG
 All Windows Must Meet or Exceed Energy Code Requirements

ID	QTY	Rough Opening	MFG #	SQ FT	U-Factor	SHGC	Grille
A	3	2'-0 5/8"x2'-0 5/8"	A21	2.8	.30		Colonial
B	1	2'-0 5/8"x2'-0 5/8"	Cir 20	2.1	.30		Colonial
C	1	6'-0 3/8"x4'-0 1/2"	CN34	12.0	.30		6/1
D	2	11'-9 3/4"x8'-0"	FWG 12069-4	47.6	.30		Top Row
E	1	5'-0"x8'-0"	FWG 5086L	23.2	.30		Top Row
F	2	5'-0 1/4"x5'-8 7/8"	TW2456-2	19.2	.30		6/1
G	4	5'-0 1/4"x4'-4 7/8"	TW2442-2	7.1	.30		6/1
H	2	5'-6 1/8"x4'-4 7/8"	TW3442	7.4	.30		6/1
I	1	2'-4 7/8"x2'-0 5/8"	A251	3.7	.30		Colonial
J	1	9'-3 3/4"x6'-8"	FWG10069-4	37.4	.30		Top Row
K	1	6'-0 1/4"x4'-8 7/8"	TW2442-3	19.2	.30		6/1
L	1	2'-2 1/8"x3'-8 7/8"	TW2036	26.4	.30		6/1
M	1	4'-4 1/8"x3'-8 7/8"	TW2036-2	6.4	.30		6/1
N	1	5'-0"x8'-0"	FWG 5086L	18.5	.30		Top Row
O	1	2'-9"x8'-0"	FWH2968AR	9.2	.30		Top Row

Verify all Unit Dimensions, Rough Openings & Quantities W/ MFG.

**Verify Emergency Egress Dimension
 * Verify Tempered Glass
 Requirements See Plan Views For
 Specific Locations

Drawings

Category	ID	Description
Architectural	A-1	1st Floor Plan View
	A-2	2nd Floor Plan View
	A-3	Exterior Elevations
	A-4	Exterior Elevations
	A-5	Lighting Plan View
	A-6	Lighting Plan View
Structural	S-1	Foundation Plan & Structural Notes
	S-2	First Floor Framing Plan
	S-3	Second Floor Framing Plan
	S-4	Roof Framing Plan
	S-5	Ceiling Framing Plan
	S-6	Section AA, BB, & CC



Date:

Approved:

Donovan Addition

Construction Drawings

Drawn by MTH
 Date: 03.04.22

5 Trinity Cove Road
 Harwichport, MA

A-0



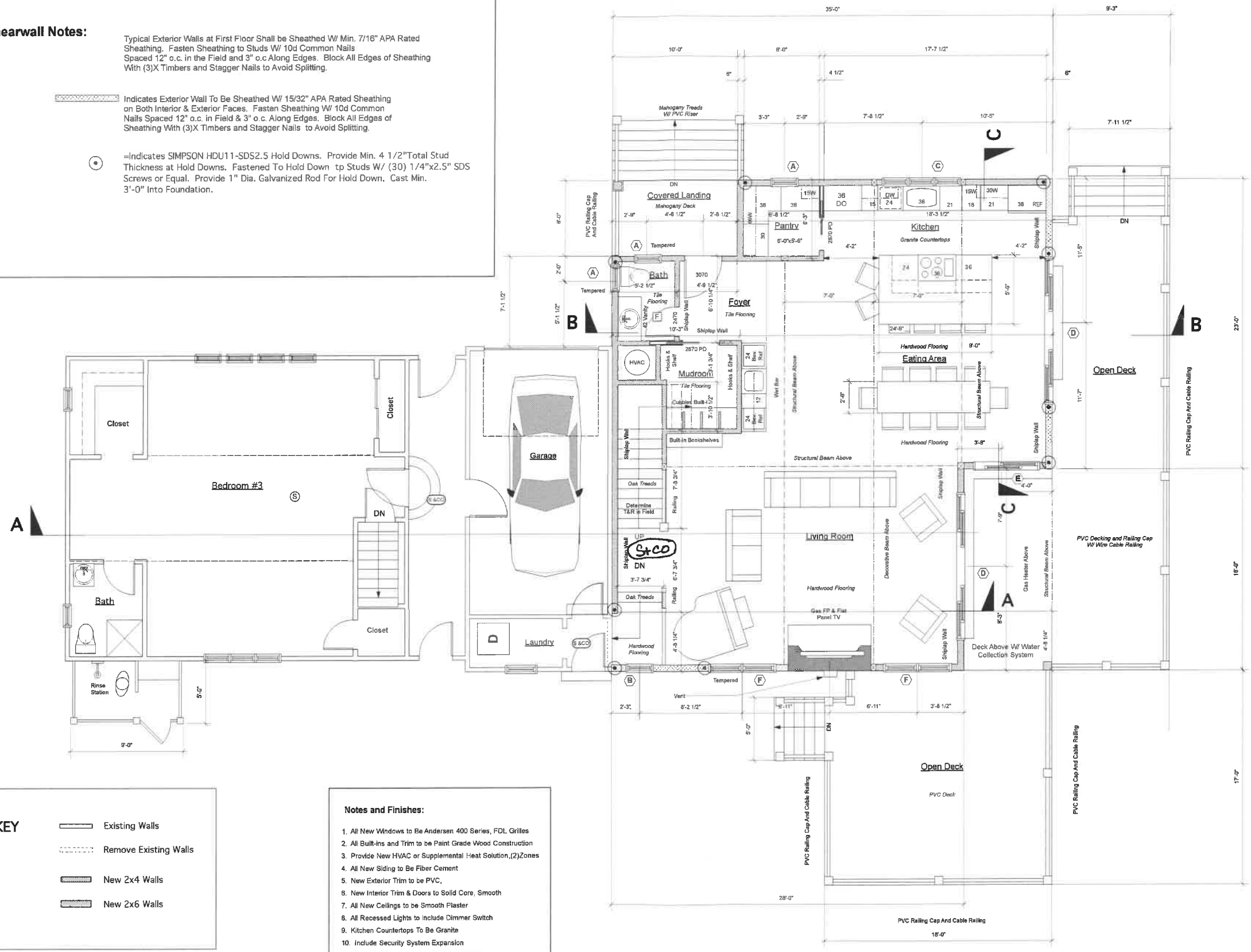
Date: _____
Approved: _____

Shearwall Notes:

Typical Exterior Walls at First Floor Shall be Sheathed W/ Min. 7/16" APA Rated Sheathing. Fasten Sheathing to Studs W/ 10d Common Nails Spaced 12" o.c. in the Field and 3" o.c. Along Edges. Block All Edges of Sheathing With (3)X Timbers and Stagger Nails to Avoid Splitting.

Indicates Exterior Wall To Be Sheathed W/ 15/32" APA Rated Sheathing on Both Interior & Exterior Faces. Fasten Sheathing W/ 10d Common Nails Spaced 12" o.c. in Field & 3" o.c. Along Edges. Block All Edges of Sheathing With (3)X Timbers and Stagger Nails to Avoid Splitting.

Indicates SIMPSON HDU11-SDS2.5 Hold Downs. Provide Min. 4 1/2" Total Stud Thickness at Hold Downs. Fastened To Hold Down tp Studs W/ (30) 1/4"x2.5" SDS Screws or Equal. Provide 1" Dia. Galvanized Rod For Hold Down. Cast Min. 3'-0" Into Foundation.



KEY

- Existing Walls
- Remove Existing Walls
- New 2x4 Walls
- New 2x6 Walls

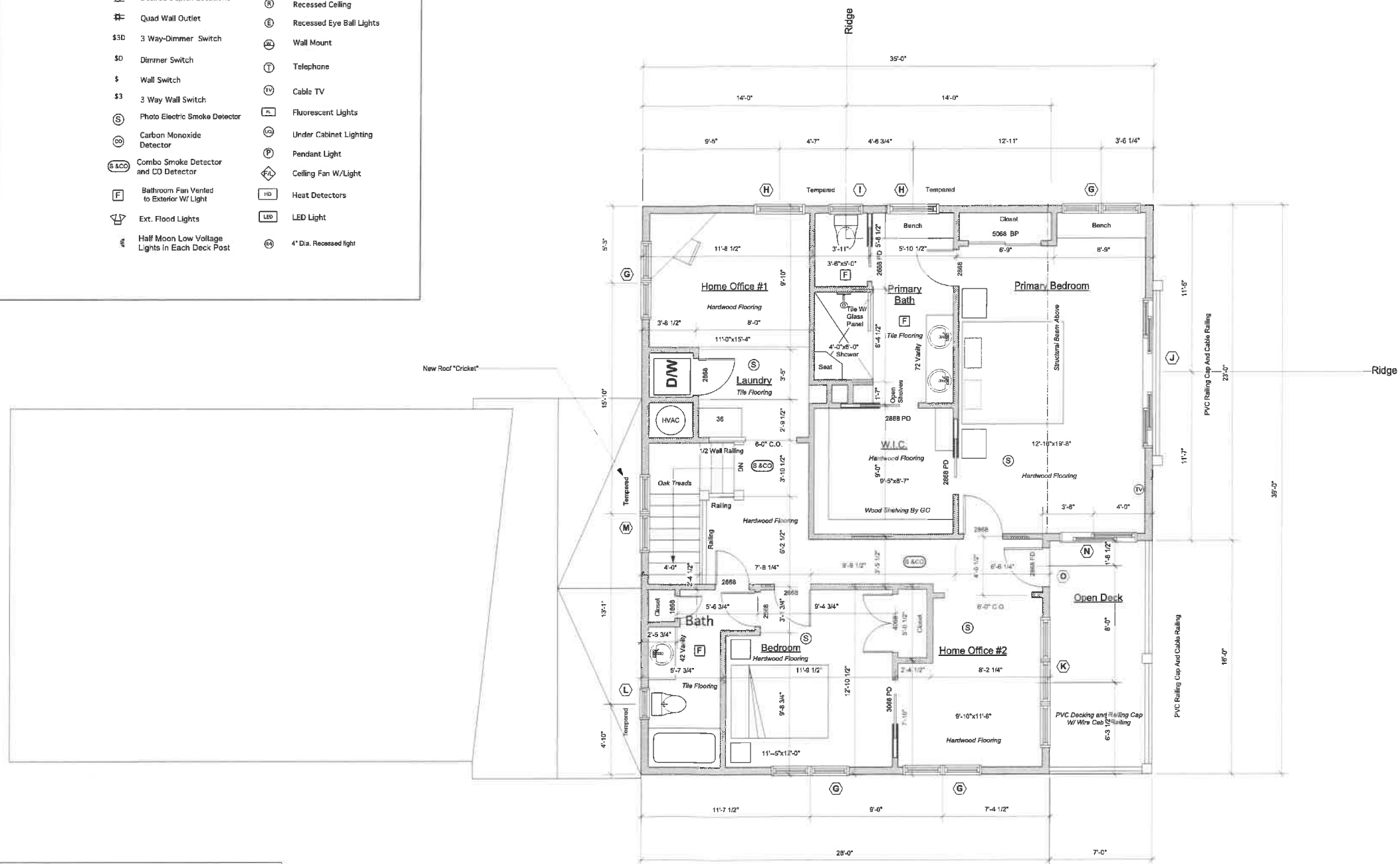
- Notes and Finishes:**
1. All New Windows to Be Andersen 400 Series, FDL Grilles
 2. All Built-ins and Trim to be Paint Grade Wood Construction
 3. Provide New HVAC or Supplemental Heat Solution. (2) Zones
 4. All New Siding to Be Fiber Cement
 5. New Exterior Trim to be PVC.
 6. New Interior Trim & Doors to Solid Core, Smooth
 7. All New Ceilings to be Smooth Plaster
 8. All Recessed Lights to include Dimmer Switch
 9. Kitchen Countertops To Be Granite
 10. Include Security System Expansion
 11. Include New Lawn, Landscaping by others
 12. Include Spray Foam Insulation in Home Office Exterior Walls For Soundproofing

First Floor Plan View

1193 New S.F.
817 Existing S.F.
248 Garage S.F.
Window Header Heights Shown on Section AA Sheet S-6

Lighting Key

- | | |
|--|----------------------------|
| △ Duplex Floor | ⊙ Ceiling Fixture |
| ⊙ Desired Duplex Locations | ⊖ Recessed Ceiling |
| ⊕ Quad Wall Outlet | ⊖ Recessed Eye Ball Lights |
| 3D 3 Way-Dimmer Switch | ⊕ Wall Mount |
| SD Dimmer Switch | ⊕ Telephone |
| W Wall Switch | ⊕ Cable TV |
| 3 3 Way Wall Switch | ⊕ Fluorescent Lights |
| ⊖ Photo Electric Smoke Detector | ⊕ Under Cabinet Lighting |
| ⊖ Carbon Monoxide Detector | ⊕ Pendant Light |
| ⊖ Combo Smoke Detector and CO Detector | ⊕ Ceiling Fan W/Light |
| ⊖ Bathroom Fan Vented to Exterior W/ Light | ⊕ Heat Detectors |
| ⊖ Ext. Flood Lights | ⊕ LED Light |
| ⊖ Half Moon Low Voltage Lights in Each Deck Post | ⊕ 4" Dia. Recessed light |



- KEY**
- | |
|---------------------------------|
| — Existing Walls |
| - - - - - Remove Existing Walls |
| ▬ New 2x4 Walls |
| ▬ New 2x6 Walls |

Second Floor Plan View

1253 S.F.
 Window Header Heights Shown on Section AA Sheet S-6

MICHAEL HALLY DESIGN, INC.
 7 Olde Coach Road
 Westborough, MA 01581
 508.574.6912 phone
 www.michaelhallydesign.com



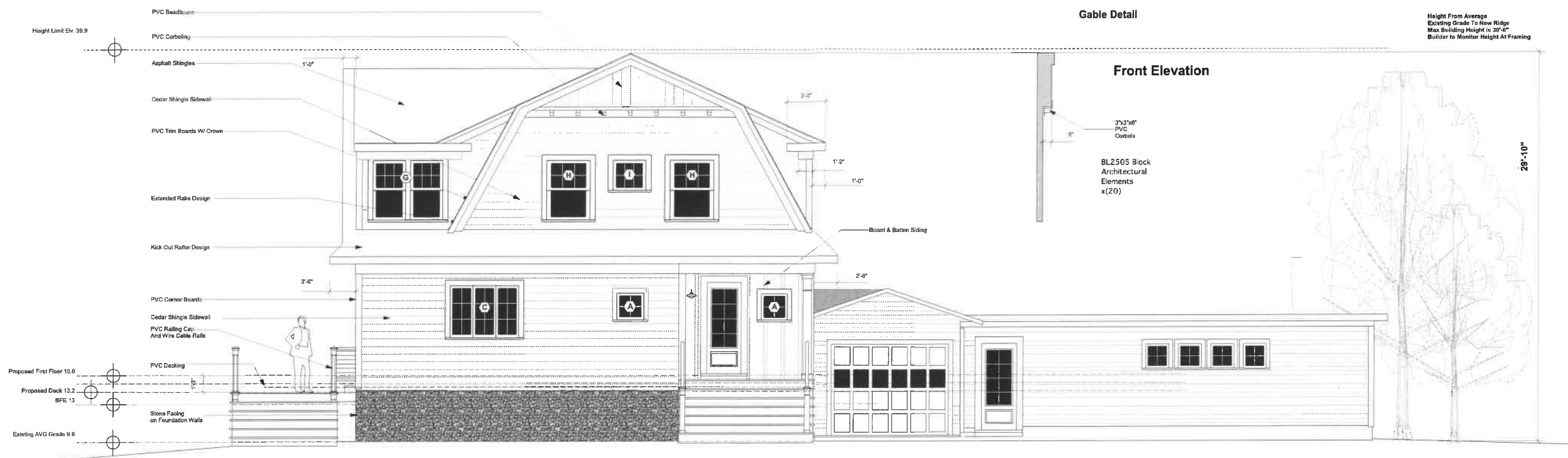
Approved: _____
 Date: _____

Donovan Addition

Second Floor Plan View

Drawn by MTH
 Date: 03.04.22
 Scale: 1/4"=1'-0"

**5 Trinity Cove Road
 Harwichport, MA**



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Donovan Addition

Exterior Elevations

Drawn by MTH

Date: 03.04.22

Scale: 1/4"=1'-0"

5 Trinity Cove Road
 Harwichport, MA

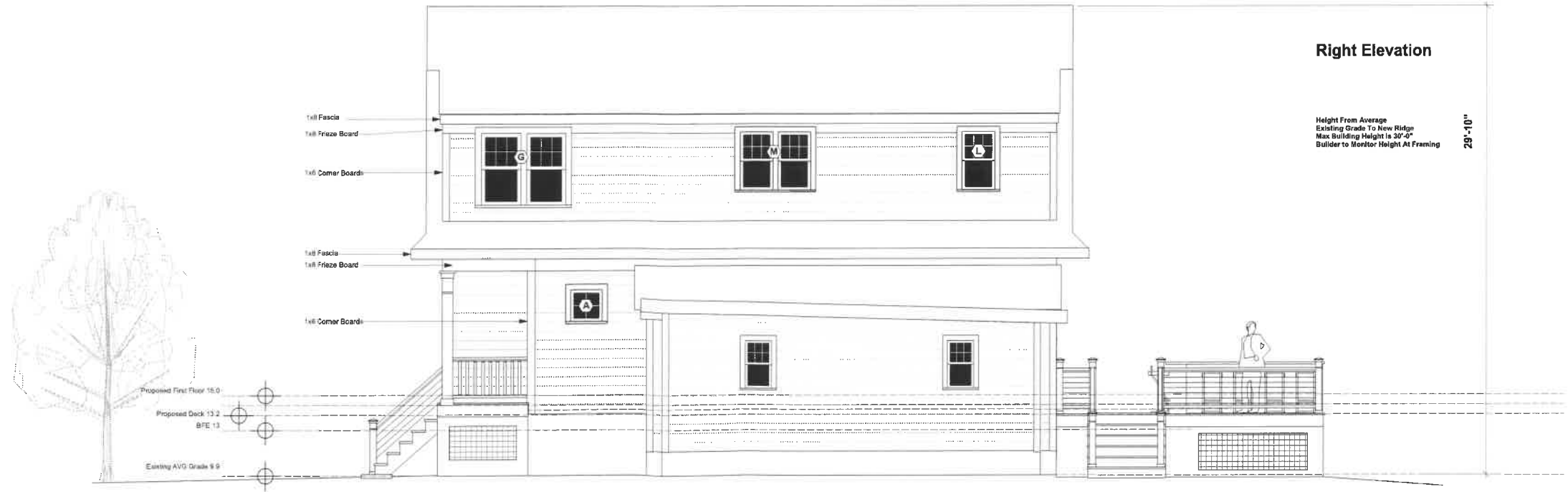
A-3

Gable Detail

Rear Elevation



Right Elevation



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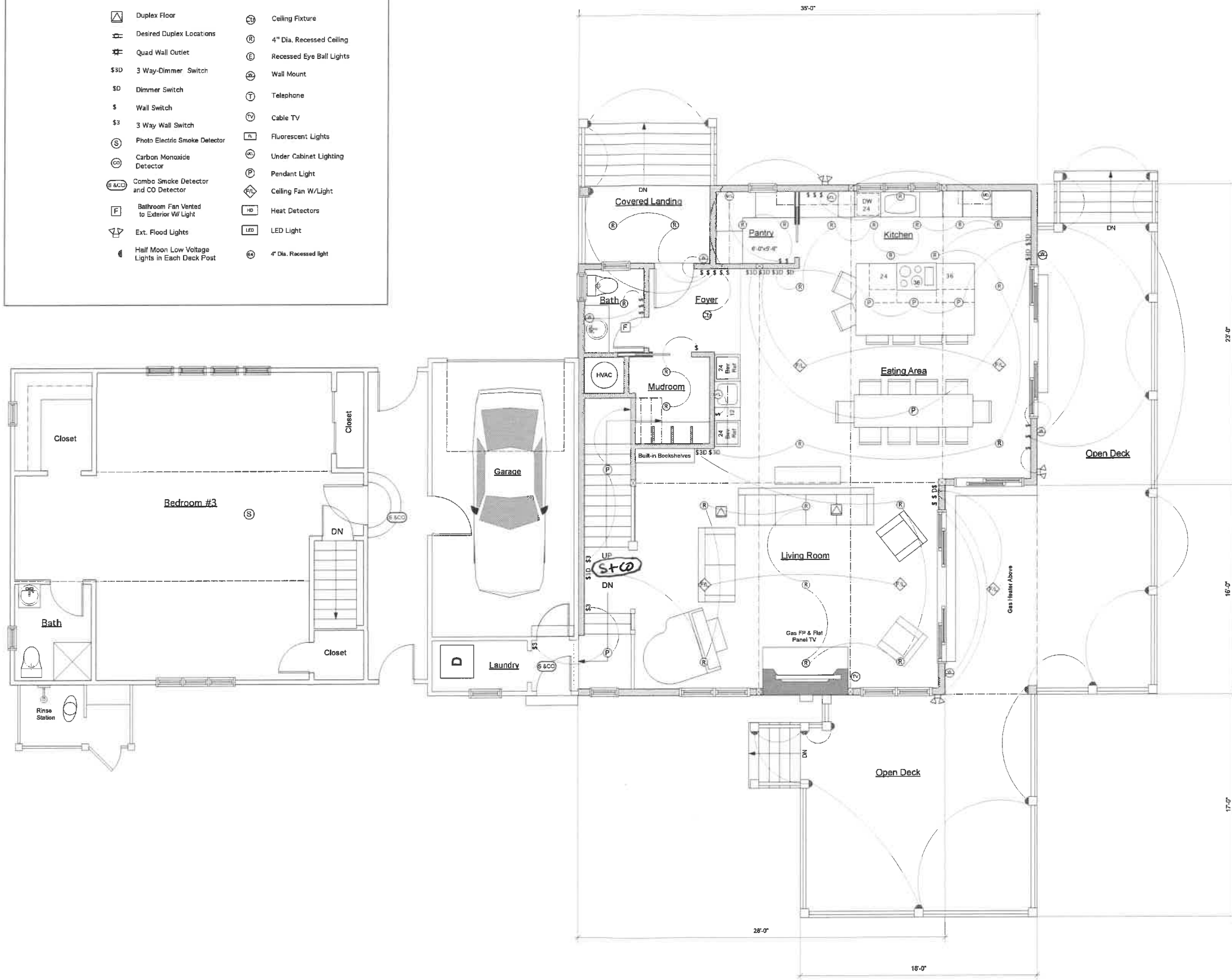


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Donovan Addition
Exterior Elevations
Drawn by MTH
Date: 03.04.22
Scale: 1/4"=1'-0"
5 Trinity Cove Road
Harwichport, MA

Lighting Key

- | | | | |
|--|--|--|--------------------------|
| | Duplex Floor | | Ceiling Fixture |
| | Desired Duplex Locations | | 4" Dia. Recessed Ceiling |
| | Quad Wall Outlet | | Recessed Eye Ball Lights |
| | 3 Way-Dimmer Switch | | Wall Mount |
| | Dimmer Switch | | Telephone |
| | Wall Switch | | Cable TV |
| | 3 Way Wall Switch | | Fluorescent Lights |
| | Photo Electric Smoke Detector | | Under Cabinet Lighting |
| | Carbon Monoxide Detector | | Pendant Light |
| | Combo Smoke Detector and CO Detector | | Ceiling Fan W/Light |
| | Bathroom Fan Vented to Exterior W Light | | Heat Detectors |
| | Ext. Flood Lights | | LED Light |
| | Half Moon Low Voltage Lights in Each Deck Post | | 4" Dia. Recessed light |



First Floor Plan View

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Donovan Addition

First Floor Plan View

Drawn by MTH

Date: 03.04.22

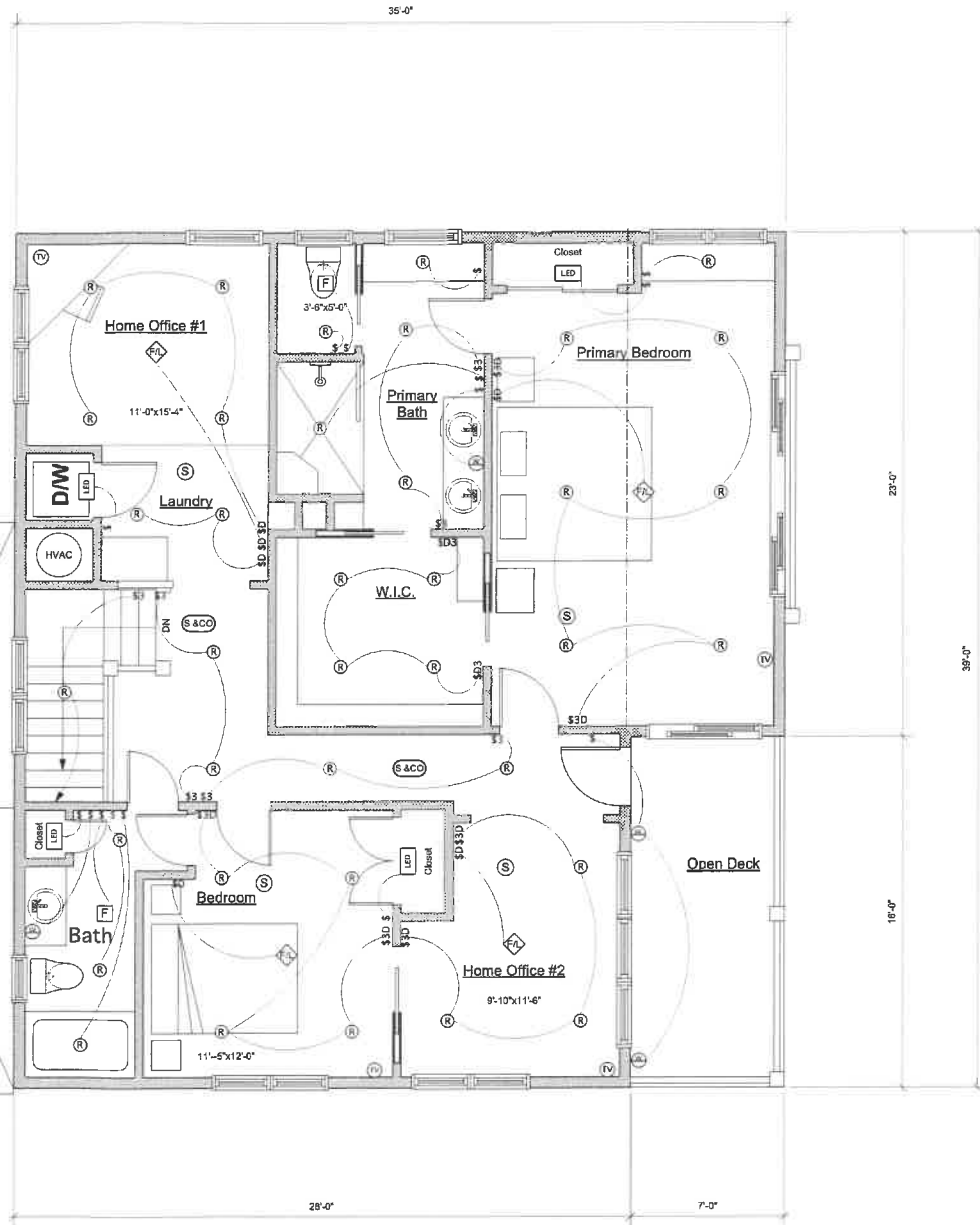
Scale: 1/4"=1'-0"

5 Trinity Cove Road
 Harwichport, MA

A-5

Lighting Key

- | | | | |
|--|--|--|--------------------------|
| | Duplex Floor | | Ceiling Fixture |
| | Desired Duplex Locations | | 4" Dia. Recessed Ceiling |
| | Quad Wall Outlet | | Recessed Eye Ball Lights |
| | 3 Way-Dimmer Switch | | Wall Mount |
| | Dimmer Switch | | Telephone |
| | Wall Switch | | Cable TV |
| | 3 Way Wall Switch | | Fluorescent Lights |
| | Photo Electric Smoke Detector | | Under Cabinet Lighting |
| | Carbon Monoxide Detector | | Pendant Light |
| | Combo Smoke Detector and CO Detector | | Ceiling Fan W/Light |
| | Bathroom Fan Vented to Exterior W/ Light | | Heat Detectors |
| | Ext. Flood Lights | | LED Light |
| | Half Moon Low Voltage Lights in Each Deck Post | | 4" Dia. Recessed light |



KEY

- | | |
|--|-----------------------|
| | Existing Walls |
| | Remove Existing Walls |
| | New 2x4 Walls |
| | New 2x6 Walls |

Second Floor Plan View

1293 S.F.

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Donovan Addition

Second Floor Plan View

Drawn by MTH
 Date: 03.04.22
 Scale: 1/4"=1'-0"

5 Trinity Cove Road
 Harwichport, MA

Structural Notes

General Notes:

- G1. The Contractor Shall Be Responsible For Checking And Coordinating All Dimensions With Architectural Drawings. In Case Of Conflict, The Designer Shall Be Notified And Resolve The Conflict.
- G.2. All Work Shall Comply With Applicable Codes And Local Laws And Regulations.
- G.3. General Contractor Shall Coordinate Locations Of Openings, Pits, Boxes, Sumps, Trenches, Sleeves With Mechanical, Electrical, And Plumbing Trades.
- G.4. The Structural Design Of The Building Is Based On The Full Interaction Of All Its Component parts. No Provisions Have Been Made For Conditions Occurring During Construction. It's The Sole Responsibility Of The Contractor To Make Proper And Adequate Provisions For Stability Of The Structure Due To Any Cause During Construction.

Structural Design Criteria

- 1. Codes: Massachusetts State Building Code: Ninth Edition
- 2. Loads:
 - A. Live Loads:
 - 1. Living Area/Decks: 40 PSF
 - 2. Bedrooms: 30 PSF
 - 3. Attic: 20 PSF
 - 4. Solar Panel Allow: 5 PSF
 - B. Snow Loads:
 - 1. Basic Ground Snow: 25 PSF
 - C. Basic Wind Speed: 140 MPH

3. Foundation Conditions Assumed For Foundation Design Include An Allowable Soil Bearing Capacity Of 1 TSF. Water Table Well Below Below The Finished First Floor Level And Frost Depth of Four Feet.

Wood

- W1. Framing Lumber Shall Be SPF No. 2 Or Better. Studs Shall Be SPF Stud Grade Or Better.
- W2. All Wood Exposed To Weather Shall Be SPY No. 1 Or Better. And Shall Be Pressure Treated In Accordance With The American Wood Preservers Institute.
- W3. LVL Members Shall Be 2.0E Versallam By Boise Cascade.
- W4. All PSL Posts Shall Be Parallam PSL By Level I Or Versallam By Boise Cascade.
- W5. All Exterior Wall Sheathing Shall Be Min. 7/16" APA Rated Sheathing. Fasten Sheathing to Studs W/8d Common Nails Spaced 6" o.c. along the Edges and 12" o.c. in the Field. Block all Edges of Sheathing.

Structural Steel

- S1. Structural Steel Shall Conform To The Requirements Of The Latest Edition Of The AISC Specifications.
- S2. Structural Steel Shall Be New Structural Carbon Steel Conforming To: Rolled Shapes, Plates, and Bars; ASTM A992 Grade 50 Steel Pipe: ASTM A53 Grade B
- S3. Welding Shall Conform To AWS D1.1 And Shall Be Done By A Certified Welder.
- S4. All Welding Electrodes Shall Be Grade E-70.
- S5. All Structural Steel Shall Be Shop Primed Unless Otherwise Noted.
- S6. All Cuts, Holes, Copings, Etc. Required In The Steel Shall Be Shown On The Shop Drawings And Made In The Shop.
- S7. Temporary Bracing Of Steel Members During Construction Is Required And Is The Responsibility Of The Contractor.

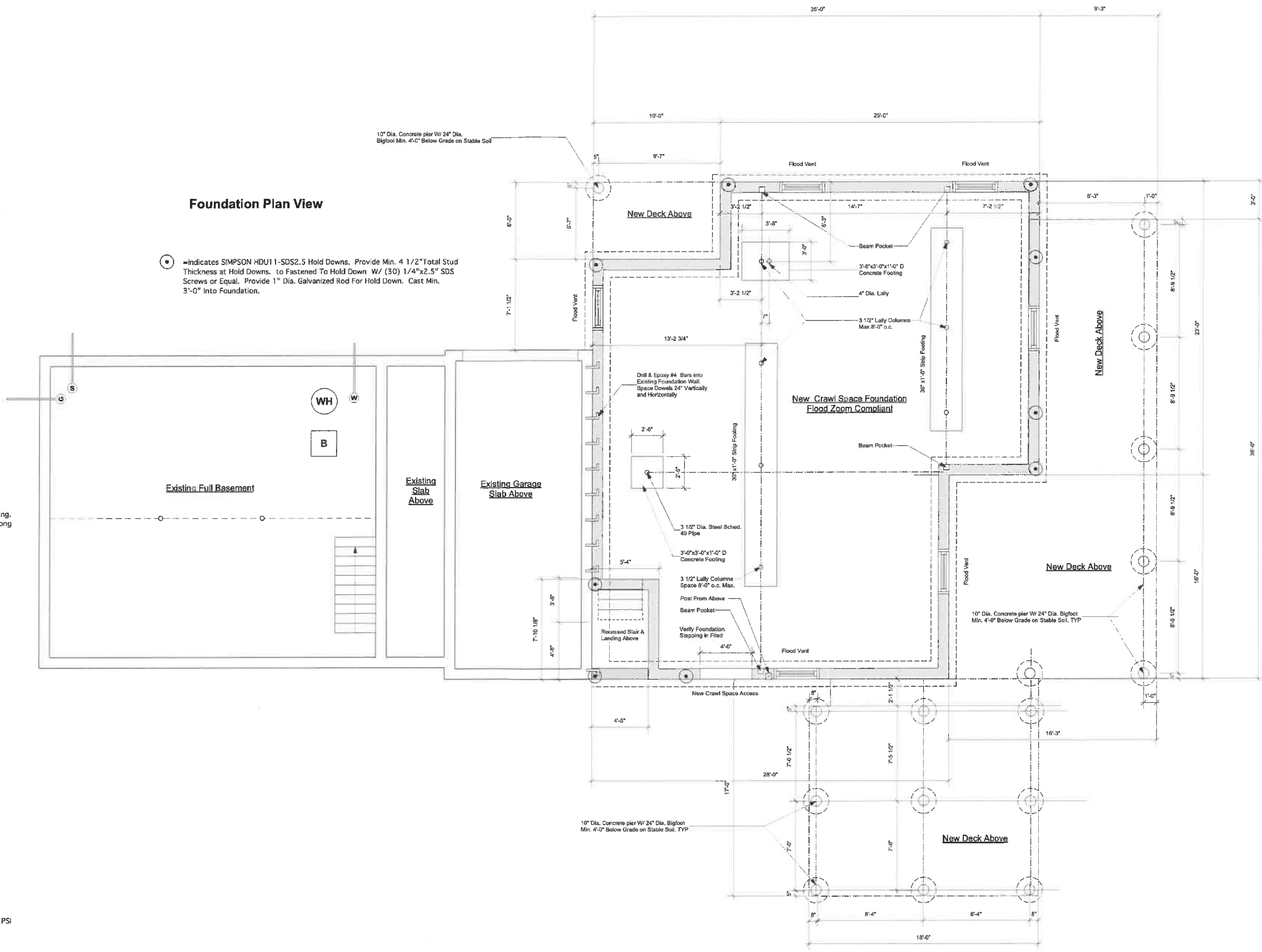
Foundations and Backfill

- F1. All Foundations Shall Bear On Undisturbed Material
- F2. No Footing Shall Be Placed in Water Or Upon Frozen Ground
- F3. All Foundation Walls Shall Be Braced During Backfill Operations And Shall Remain Braced Until Permanent Restraints Have Been Installed.
- F4. All Footings Shall Be Centered Under Members Supported Unless Other Wise Noted.

Concrete

- C1. Concrete For Foundation Shall be Normal Weight 3/4 Stone W/ 3000 PSI 28 Day Compression Strength. Concrete For Slabs Shall Have a Min. 28 Day Strength of 3500 PSI. All Concrete For Foundations Shall Be Air Entrained 5% To 7%.
- C2. All Reinforcing Shall Be ASTM A-615 Grade 60. Welded Wire Fabric Shall Be ASTM A-185.
- C3. All Reinforcing Shall Be Securely Held In Place For Concrete Placement. Additional Bars or Stirrups Shall Be Provided For Support of All Bars As Required.
- C4. Contractor is Responsible For All Proper and Adequate Shoring Of Concrete Work.

Foundation Plan View



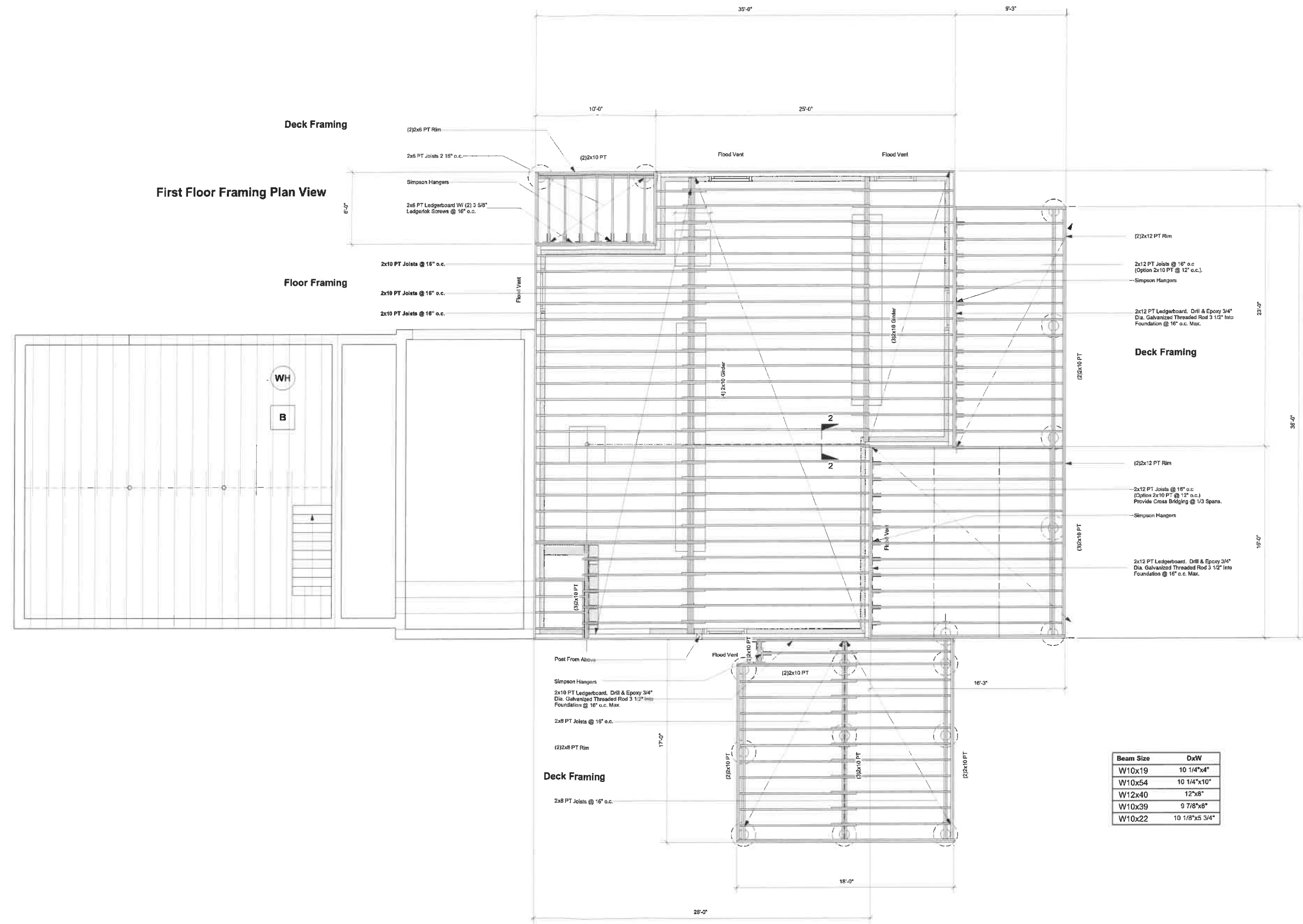
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Approve: _____					

Donovan Addition
Foundation Plan View
Drawn by MTH
Date: 03.04.22
Scale: 1/4"=1'-0"
5 Trinity Cove
Harwichport, MA
S-1

First Floor Framing Plan View



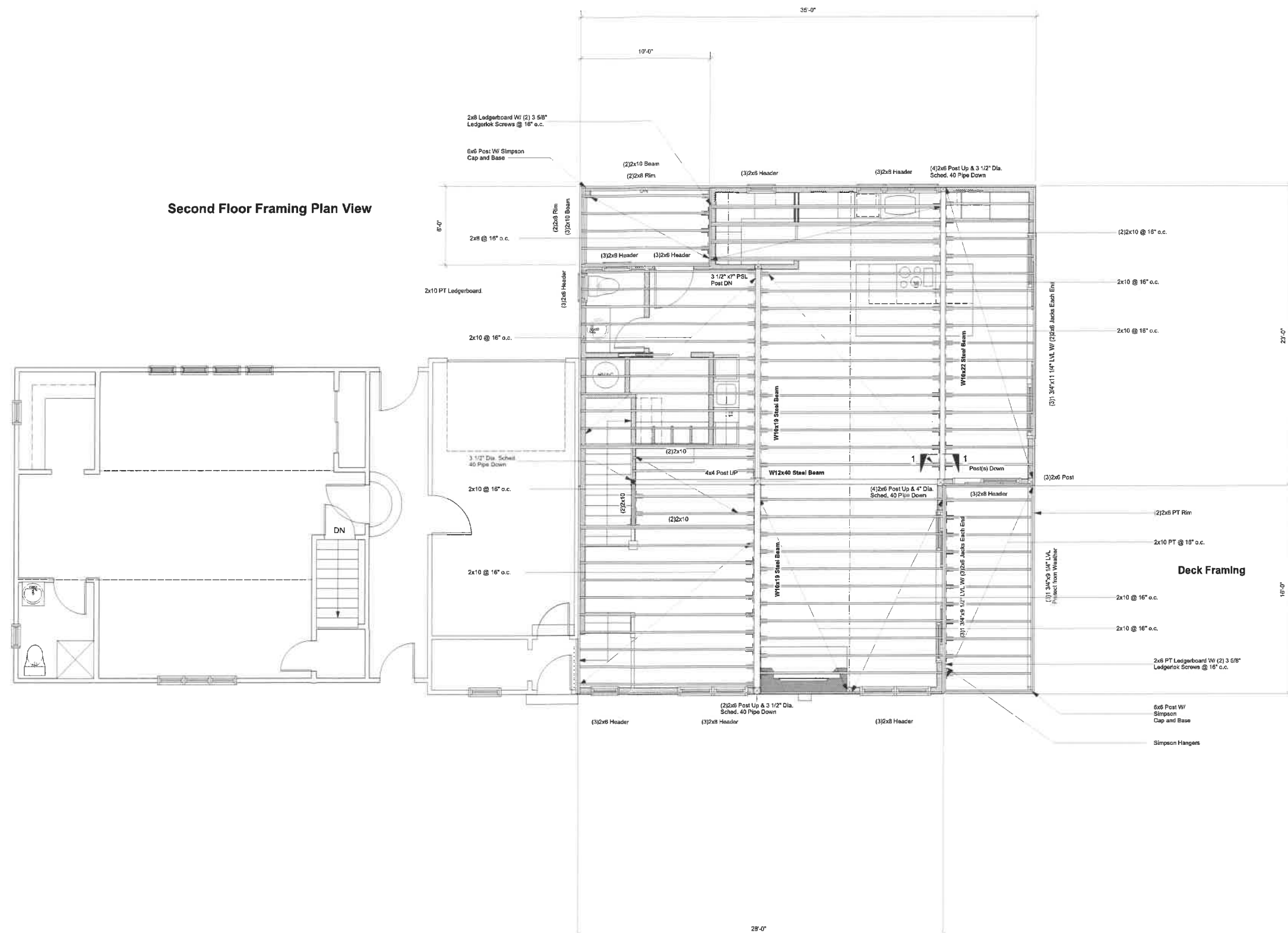
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**Donovan
Addition
First Floor
Framing Plan**
Drawn by MTH
Date: 03.04.22
Scale: 1/4"=1'-0"
5 Trinity Cove
Harwichport, MA

Second Floor Framing Plan View



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Donovan Addition

Second Floor Framing Plan

Draws by MTH
 Date: 03.04.22
 Scale: 1/4" = 1'-0"

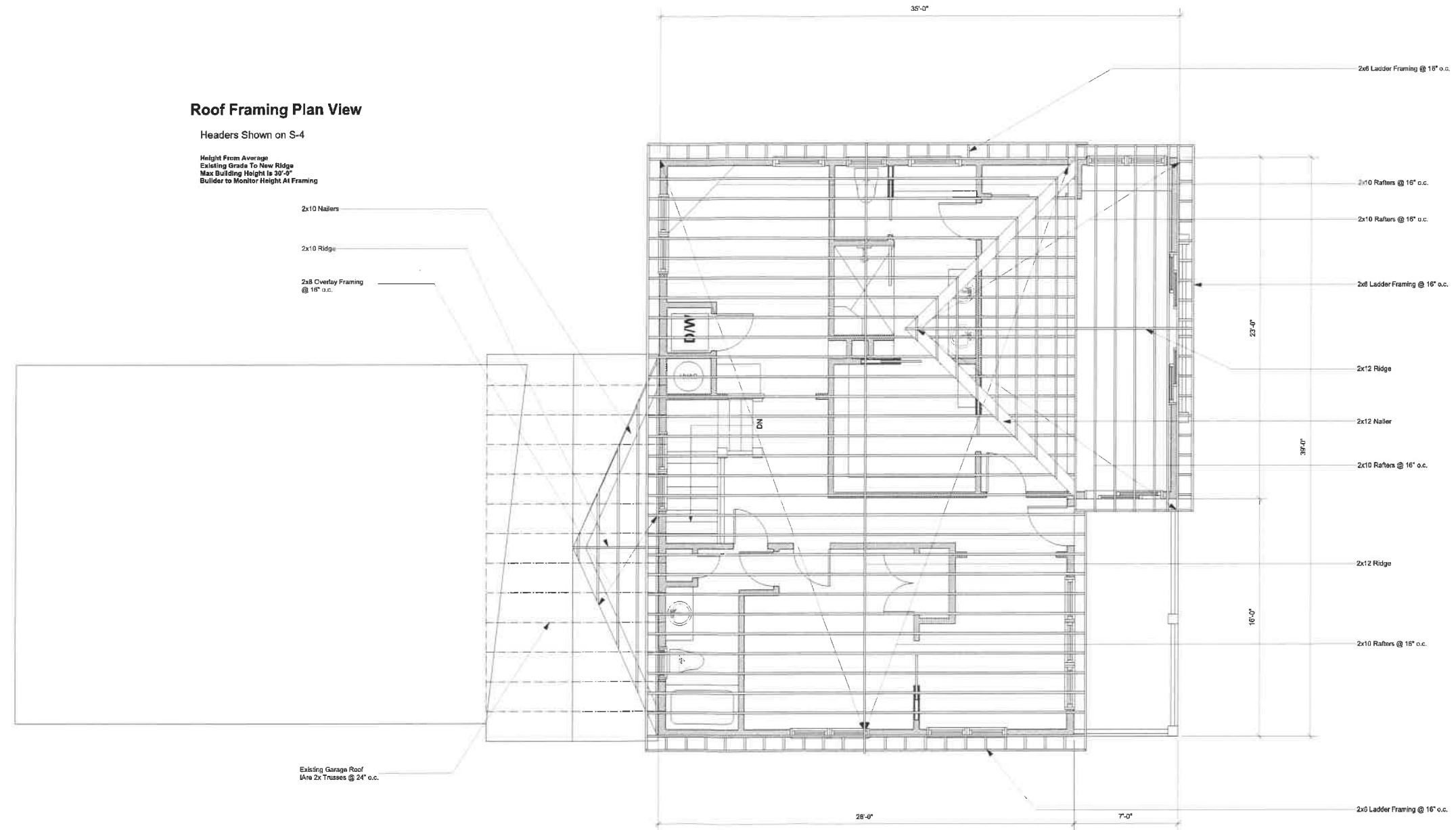
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S-3

Roof Framing Plan View

Headers Shown on S-4

Height From Average
 Existing Grade To New Ridge
 Max Building Height is 30'-0"
 Builder to Monitor Height At Framing



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Donovan Addition
Roof Framing Plan View
 Drawn by MTH
 Date: 03.04.22
 Scale: 1/4" = 1'-0"
 5 Trinity Cove Road
 Harwichport, MA

S-4

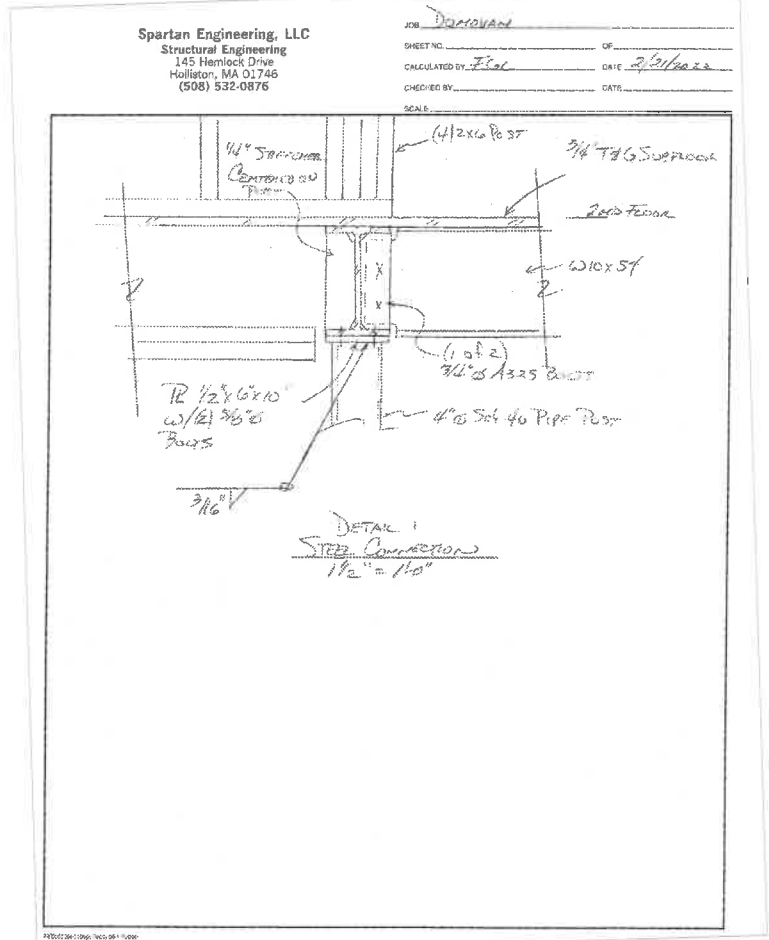
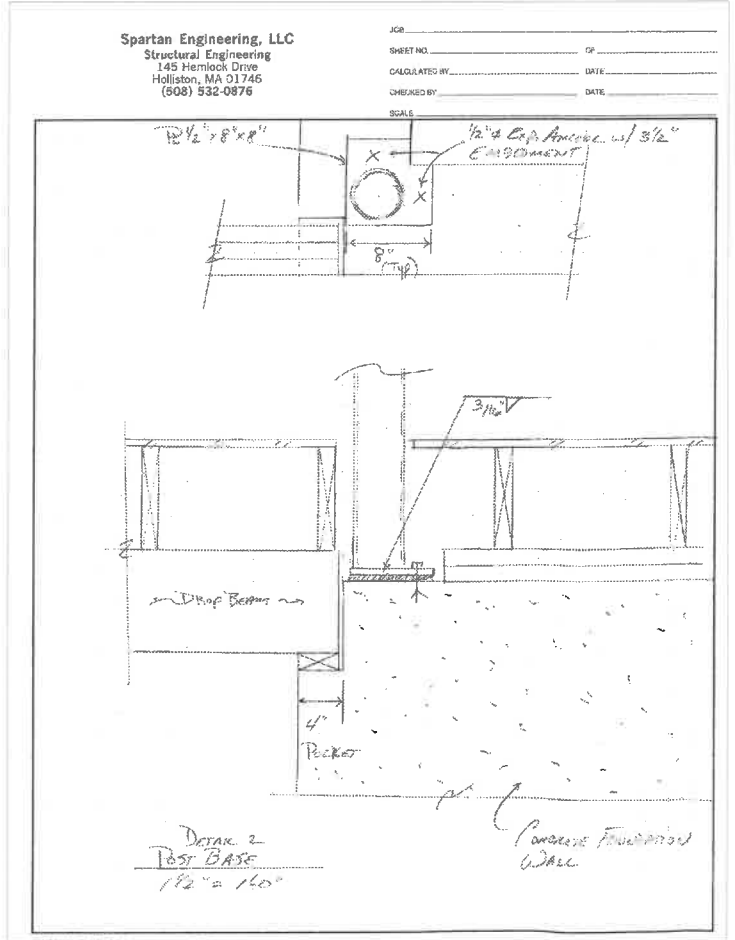
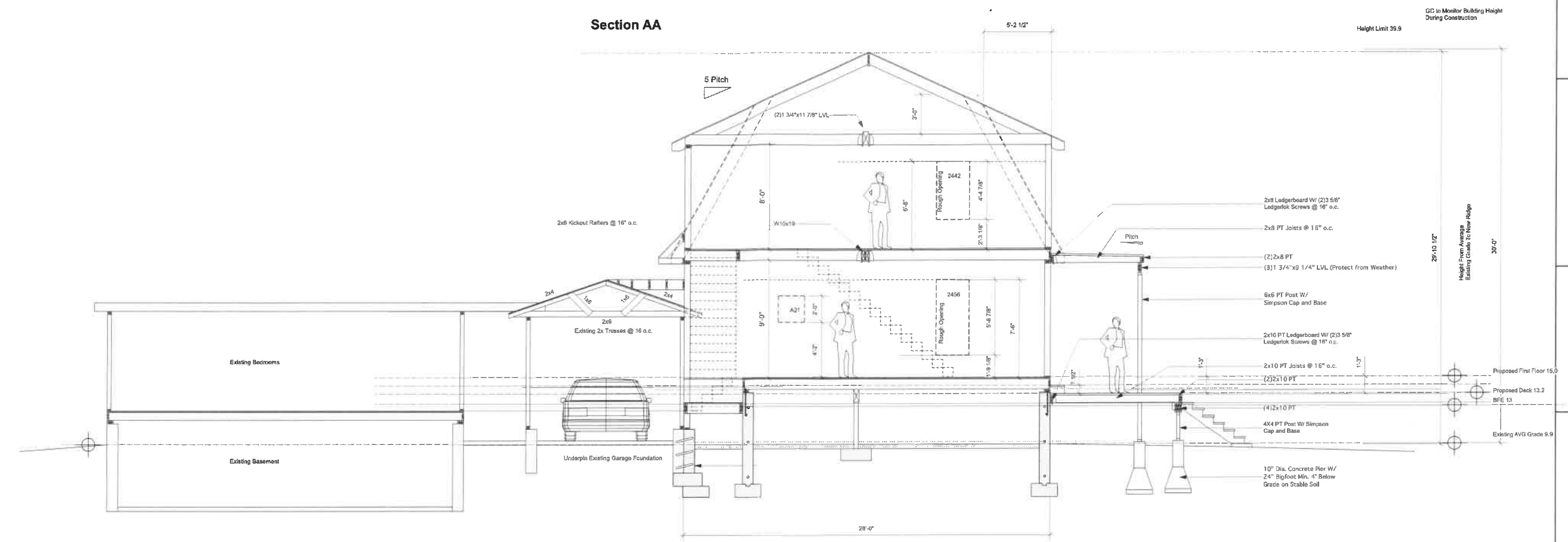
Ceiling Framing Plan View



Date:

Approved:

**Donovan
Addition**
**Ceiling Framing
Plan View**
Drawn by MTH
Date: 03.04.22
Scale: 1/4"=1'-0"
**5 Trinity Cove Road
Harwichport, MA**

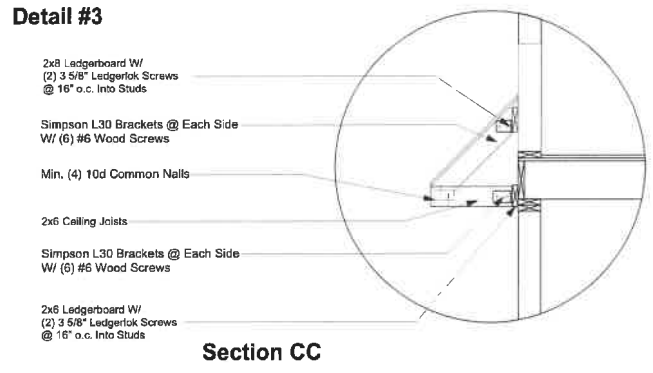
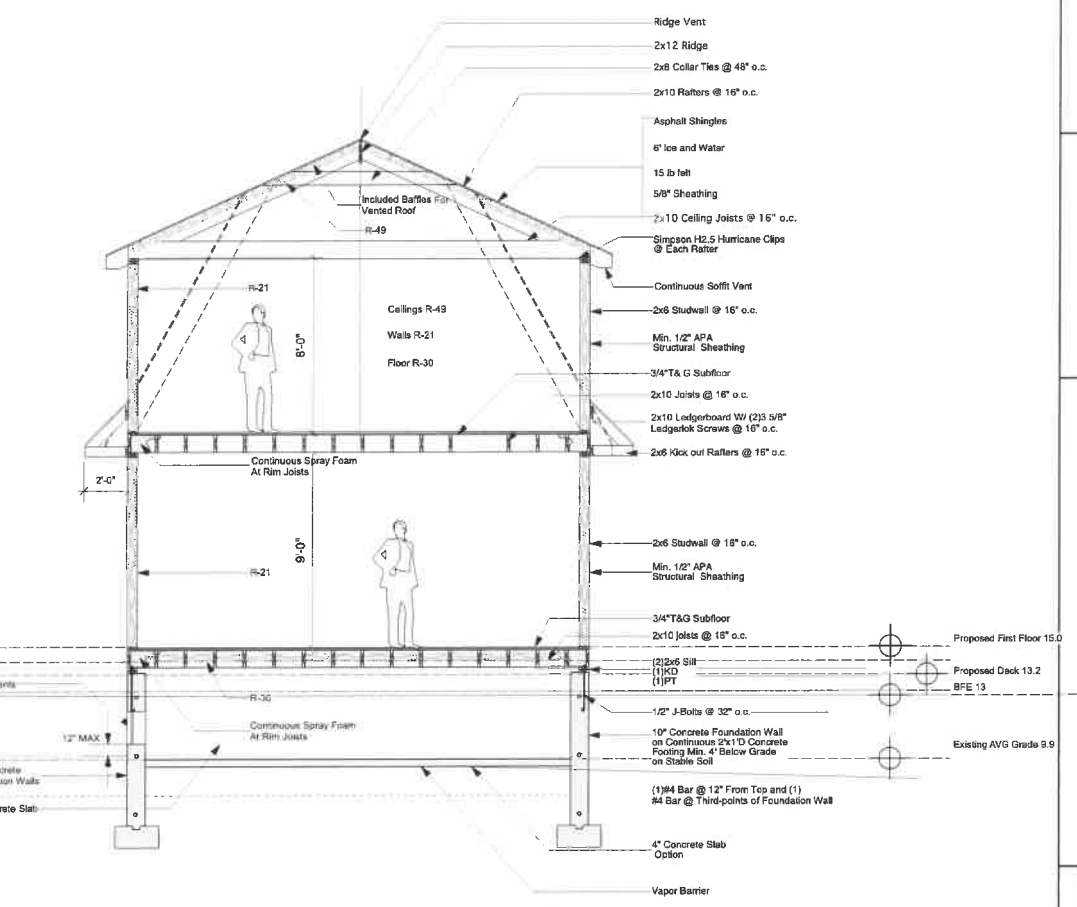
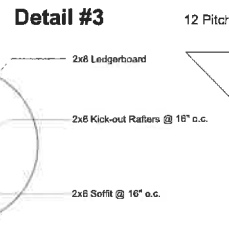
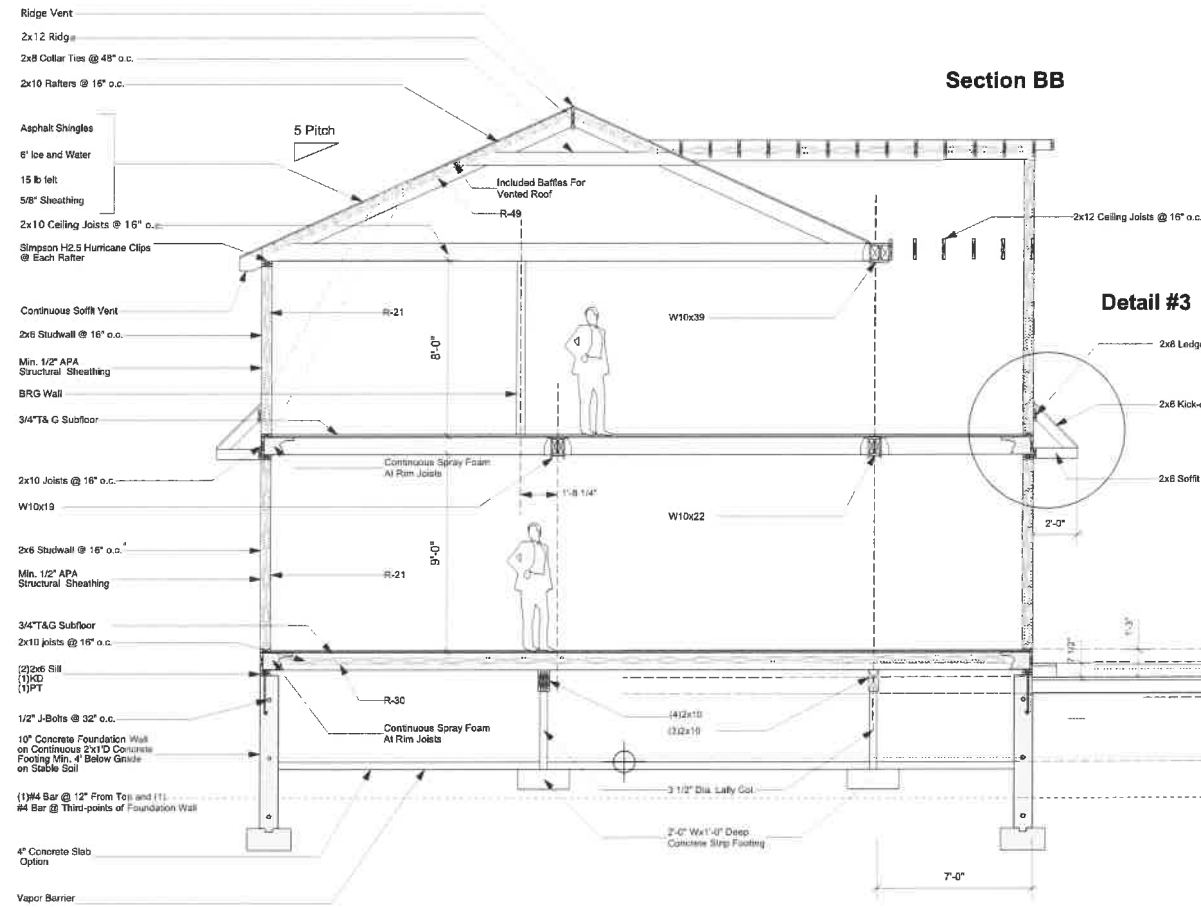


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NO.	DATE	REVISIONS

Date: _____
Approved: _____

Donovan Addition
Sections AA,
Details #1 & #2
Drawn by MTH
Date: 03.04.22
Scale: 1/4" = 1'-0"
5 Trinity Cove Road
Harwichport, MA



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Donovan Addition

Sections BB & CC

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 Harwichport, MA**

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