



Case # _____

TOWN OF HARWICH

732 Main Street, Harwich, Massachusetts 02645

RECEIVED
TOWN CLERK
HARWICH, MA

ZONING BOARD OF APPEALS

Notice of Appeal/Application and Petition for Public Hearing, ("APPLICATION")

2022 JUL 28 P 12:00

This Application *does not* apply to Comprehensive Permits.

Please refer to the Rules and Regulations of the Town of Harwich Board of Appeals for documentation requirements.

This original completed and signed notice of this Application, along with a certified abutters list and twelve (12) copies of all plans, sketches, statements, site plans or other supporting documents per the attached checklist must be presented to the Building Department prior to being filed with the Town Clerk. The required documentation, **ALL** of which must be submitted on the date of filing, is listed on this Application. **THE RULES AND REGULATIONS ("RULES") OF THE TOWN OF HARWICH BOARD OF APPEALS APPLY TO ALL APPEALS AND APPLICATIONS AND SHOULD BE CONSULTED BEFORE FILING AN APPEAL OR APPLICATION TO ENSURE COMPLIANCE WITH THEM.**

To the Zoning Board of Appeals, Harwich, MA:

(We, I) hereby petition your Board for a public hearing on the request for action checked below:

- Appeal from decision of or refusal of permit application by the Building Inspector, Selectmen or Planning Board or other administrative officer or officers.
- Application for a Variance from requirements of the Harwich Zoning By-Law.
- Application for a Special Permit that is subject to Board of Appeals approval.

I/we am/are the owner[s]/agent of the property involved in this petition, which is located in Harwich, MA at the following address:

45 Christopher Way Said property is further described on
Assessor's Map # 108-X3-2000 and Parcel # 1712 located in the 1712 Zoning District as shown on the attached plan.

Describe Petition/Appeal: see attached

Relief requested - Cite specific Bylaw Section(s):
see attached correspondence from Bldg. Commissioner

Signature of Owner (or Agent) [Signature] Date 7/28/22
(Written authorization by the owner must accompany an Application signed by agent.)

Owner Name Susan E. Shaw Phone No. (508) 432-1643

Mailing Address: 4 Laurel Lane, Groton MA 01450

Agent Name: William D. Crowell, Esq. Phone No. (508) 432-1643
466 Main St., Box 185

Mailing Address: Harwich Port, MA 02646

Has a petition previously been submitted for this property (Y/N) _____

If yes, the date of original hearing _____ Petition No. _____ Decision _____

For Appeal Only:

Reason for Denial: _____

Denial From: _____ Date of Denial: _____

Within 14 days following any Board decision, the Board will file its decision with the Town Clerk. A building permit will not be issued during the appeals period, until 21 days after the Board of Appeals decision has been filed with the Town Clerk or if an appeal to that decision has been filed during that time. It is the **applicant's responsibility** to have the decision recorded at the Barnstable County Registry of Deeds or Land Court, whichever may be applicable, and to present copies of that recording to the Town Clerk and to the Building Department with all Building Permit application requirements.

Please be advised that incomplete Applications may result in a delay in processing your appeal/Application and **may result in a denial by the Board** without consideration of the merits of the appeal/Application. **IT IS YOUR RESPONSIBILITY TO REVIEW THE RULES THAT APPLY TO YOUR APPEAL/APPLICATION AND TO MAKE SURE BEFORE FILING THAT YOUR APPLICATION/APPEAL COMPLIES WITH THOSE RULES.** The burden of proof is on the petitioner, not on the Town. If you do not understand the criteria, legal counsel should be sought. Either the petitioner or his/her agent is required to appear at the hearing to present the Application.

All applicants for hearing before the Board of Appeals must complete this Application and submit along with it the supporting documentation listed herein to the Building Department for review and subsequent filing with the Town Clerk. The Building Department accepts Applications during posted hours. You are strongly encouraged to submit your Application to the Building Department well in advance of the filing deadline to allow adequate time for staff review for completeness. **All information, including the applicable fee made payable to the Town of Harwich, must be submitted with the Application.**

Please submit the following, sorted and grouped into twelve (12) packets along with one (1) Certified Abutters List (Available from the Assessors Department. A separate application and fee is required):

- ✓ **The original Application (additional stamped copies can be provided at a nominal fee):**
 - Signed by the owner or agent.
 - If signed by an agent, a letter of authorization signed by the owner must also be included.

- ✓ **A typewritten narrative to explain the project, the purpose for this Application and the relief requested, with citations to the applicable provisions of MGL and the Harwich Zoning Bylaws.**

- ✓ **The original and eleven (11) copies of a Certified Plot Plan with topographical information plan (not septic plans) not more than five (5) years old (total of 12 copies):**
 - 8½" x 11" or larger. *Larger plans must be folded.*
 - Scale no greater than 1" = 50'
 - Original stamped and signed by a Professional Engineer (as allowed by law), or a Professional Land Surveyor.
 - Certified Plot Plan must indicate:
 - the locus;
 - the parcel or parcels of land involved;
 - the existing building or buildings;
 - the proposed building or buildings and/or additions to, or alterations of existing buildings with all dimensions set forth;
 - the location of the septic;
 - the Town of Harwich zoning requirements applicable to the property, as well as existing and proposed dimensions for: frontage, front, sides, and rear setback distances, building height(s), building stories, building and site coverage and parking requirements (if any);
 - all perimeter dimensions (existing and proposed);
 - location and width of abutting and on-site street and drives, parking, existing topography;
 - a grading plan, areas of proposed and retained vegetation, distinction between upland and wetland.
 - Building Plans drawn to scale:
 - Floor layout (for existing structure and proposed additions and/or alterations)
 - Proposed front, side, and rear elevations

- ✓ **Certified Abutters List**

- ✓ **Check made payable to "Town of Harwich" for \$315.00.**

APPLICATION CHECKLIST ADDENDUM

This Addendum must be completed in full by the Applicant and is a part of the Application.

Name of Applicant: Dale M. Shaw
Susan E. Shaw
 Address of Property: 45 Christopher Way
 Zoning District: R2

Is the property Located in any Special District(s)/Overlay District(s) established by the Town of Harwich or the State of Massachusetts: Yes No

If Yes, specify District(s): _____

Year Structure(s) Built: ~1987

Name/Address of Engineer/Architect: unk

Name/Address of Attorney: William D. Crowell, Esq.
466 Main St., Box 185
Harwich Port, MA 02646


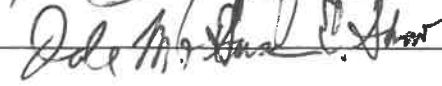
	Required by Bylaw	Existing	Proposed
Lot Area	40,000	15,017	n/a
Frontage	150	201.35	n/a
Front Yard Setback	25	32.3	32.3
Side yard Setback	20	21.4	21.4
2 nd Side Yard Setback	20	21.6	22.8
Rear Yard Setback	20	n/a	n/a
Building Coverage	15	8.55	10.9
Site Coverage	25	27.5	34.0
Building Height	30	<30	<30
If this is an Application for an Accessory Apartment, in addition to the above:			
A. Net Floor Area of the Principal Dwelling			
B. Net Floor Area of the proposed Accessory Apartment			

Form of Relief Requested: Special permit

If the Applicant is requesting a Variance, state the hardship which the Applicant believes justifies this form of relief in accordance with MGL Chapter 40 and the Harwich Zoning Bylaw:

By signing and submitting this Application, you hereby authorize the members of the Board of Appeals, or its agent, to conduct a site visit of the exterior of your property for an inspection of the property involved in this petition, should they deem it appropriate.

The Board of Appeals is entitled to rely on the information contained in this Application. Therefore, the undersigned certifies that the information provided in this Application, and all submitted plans and other documentation, is true and accurate to the best of my knowledge and belief.

Applicant's Signature:  Date: _____
Owner's Signature:  Date: 9/28/22

July 12, 2022

Dear Attorney Crowell,

We would like you to represent us for the Harwich Zoning Board of Appeals application and petition, regarding the building permit application No. BLD-22-001894 for our house at 45 Christopher Way Harwich, MA 02645. We hereby authorize you to act as our agent regarding all matters related to this appeals process.

If you need any additional information, you can contact us by e-mail at: musicman50@charter.net or by phone at 978-302-9610.

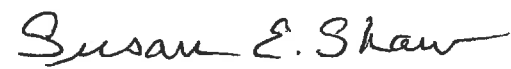
Thank you,



Dale M. Shaw

JULY 12, 2022

Date

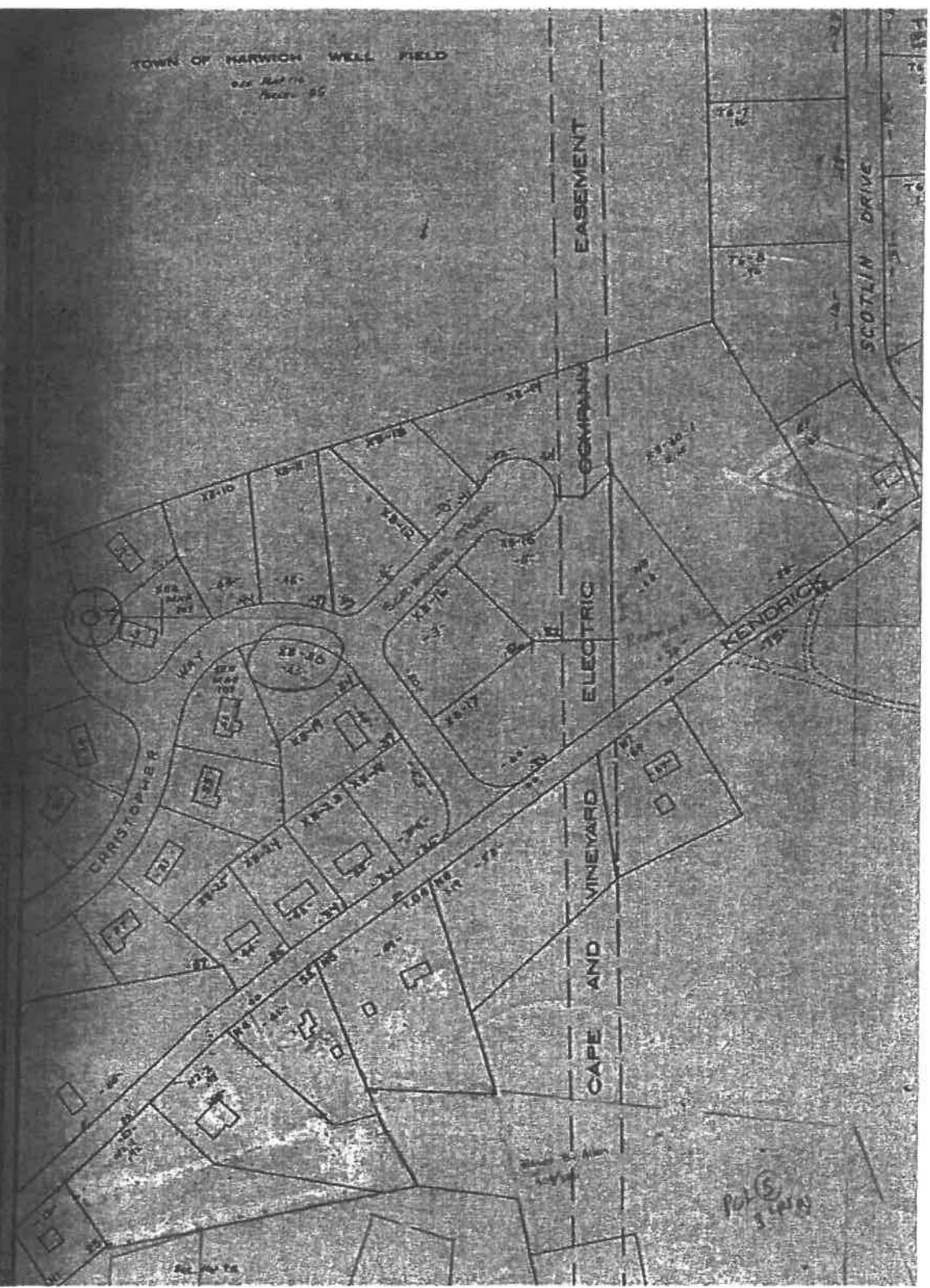


Susan E. Shaw

July 12, 2022

Date

TOWN OF WARWICK WILL FIELD
see also
page 55



Shaw – 45 Christopher Way

The Petitioners seek to construct an addition and retaining wall as per the Certified Plot Plan by TS Land Surveying, Inc. dated June 13, 2022 and the Building and Elevation Plans by Muldoon Architects dated June 3, 2022 (Sheets A0.0, A1.0-1, A3.1–A3.3, S1.0a, S1.0b, and S1.1-S1.3).

I. The proposed addition to the rear of the subject property will eliminate approximately half of the existing deck and will contain additional habitable space on the first floor with a garage under as shown on said plans. Although the addition will meet applicable setback requirements and building coverage requirements the existing site coverage is 27.5% (25% max) and will increase somewhat to 34%. However, in accordance with the findings of the Gale Case an existing nonconformity regarding site coverage can be intensified by Special Permit from this Board upon a finding that such will not constitute a substantial detriment to the entire neighborhood.

In the alternative, the Petitioners request a Variance for the same.

II. In addition, as shown on the Plans, the Petitioners seek to construct a retaining wall 15 feet from the northwest boundary in order to expand somewhat the width of the driveway to allow for sufficient width and turning radius for the garage under the addition. It is the Petitioner's contention that in accordance with Section 325–17F (2) of the By-law that the retaining wall is a structure under 4 feet in height which would reduce the required setback from 20 feet to 10 feet. The proposed retaining wall will be 15 feet from said lot line and therefore would not require relief from the Board.

However, if this Board believes that a Variance is required for said retaining wall the Petitioners contend that the property has a unique "slice of pie" shape as well as unique topographical features in that the property drops off approximately 4 feet from the northwest lot line down to the proposed retaining wall. There is a similar retaining wall on the neighboring property to accommodate this topographical feature as well. Additionally, the Petitioners argue that since the retaining wall will not bring any habitable space closer to the lot line to cause any inconvenience to the abutter that a Variance could be granted without substantial detriment to the public good and that the structure would remain a single-family residence in accordance with the By-law. If a Variance is not granted the Petitioner would have a hardship due to the possibility of the banking not holding for the driveway without a retaining wall and the driveway needs to be expanded as set forth above in order to accommodate the turning radius and ease of use by the owners of the dwelling.

TOWN OF HARWICH
Building Department
732 Main Street
Harwich, MA 02645



Telephone: (508) 430-7506

Fax: (508) 430-4703

By First Class Mail

June 15, 2022

Dale M. Shaw
4 Laurel Ln.
Groton Ma.
01450

Re: Zoning Relief Required
Building Permit Application No. BLD-22-001894
45 Christopher Way Harwich, Ma. 02645 (Assessor's Maps 108-X3-20-0)
Zoning District RR

Dear Mr. Shaw:

Please be advised that as a condition to issuance of the above-referenced building permit as submitted, shown on a plan prepared by TS Land Surveying, Inc. dated, 6/13/2022, the following zoning relief is first required:

Harwich Zoning Bylaws:

§325-54, Addition/Extension increasing the site coverage, beyond the maximum allowable area in accordance with Table 3 Height and Bulk Regulations, requiring a Special Permit from the Board of appeals.

§325-52, Addition/Extension of a "Structure" (§325-2 Structure-retaining wall) exceeding the allowable side setback requiring a variance from the Board of appeals.

Should you desire to proceed with the project, you must first apply for the foregoing relief; this letter shall serve as a referral to the Board for the same. Copies of the necessary zoning forms and applications are available in the offices of the Town's Building and Planning Departments.

In the meantime, your building permit application shall be deemed 'incomplete' and the period to review and issue such permit suspended until such time as you apply for and obtain the special permit; the special permit decision issues and is filed with the Town Clerk; the applicable appeal period elapses; and you provide the Building Department a copy of the special permit decision as recorded with the Barnstable Registry of Deeds or, as applicable, the Barnstable Registry District.

I also reserve the right, should you not expeditiously and continuously proceed with obtaining the required zoning relief or otherwise withdraw the building permit application, to deny the building permit application for incompleteness, or inconsistency with zoning, or both.

Further, be advised that, subject to obtaining the required permits and after construction, you will be required to submit a final as-built plan to the Building Department certifying that the project complies with the approved plans and all applicable dimensional requirements under town zoning.

This correspondence also serves as a zoning determination under Section 7 of Massachusetts General Laws Chapter 40A, which may be appealed by a 'person aggrieved' under Sections 8 & 15 of Massachusetts General Laws Chapter 40A.

Please feel free to contact the Building Department to discuss further, as necessary.

Respectfully,



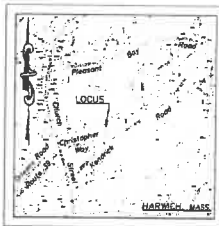
Robert Piccirilli
Harwich Building Commissioner

Cc: File

ZONING COMPLIANCE TABLE

ZONING DISTRICT R-R

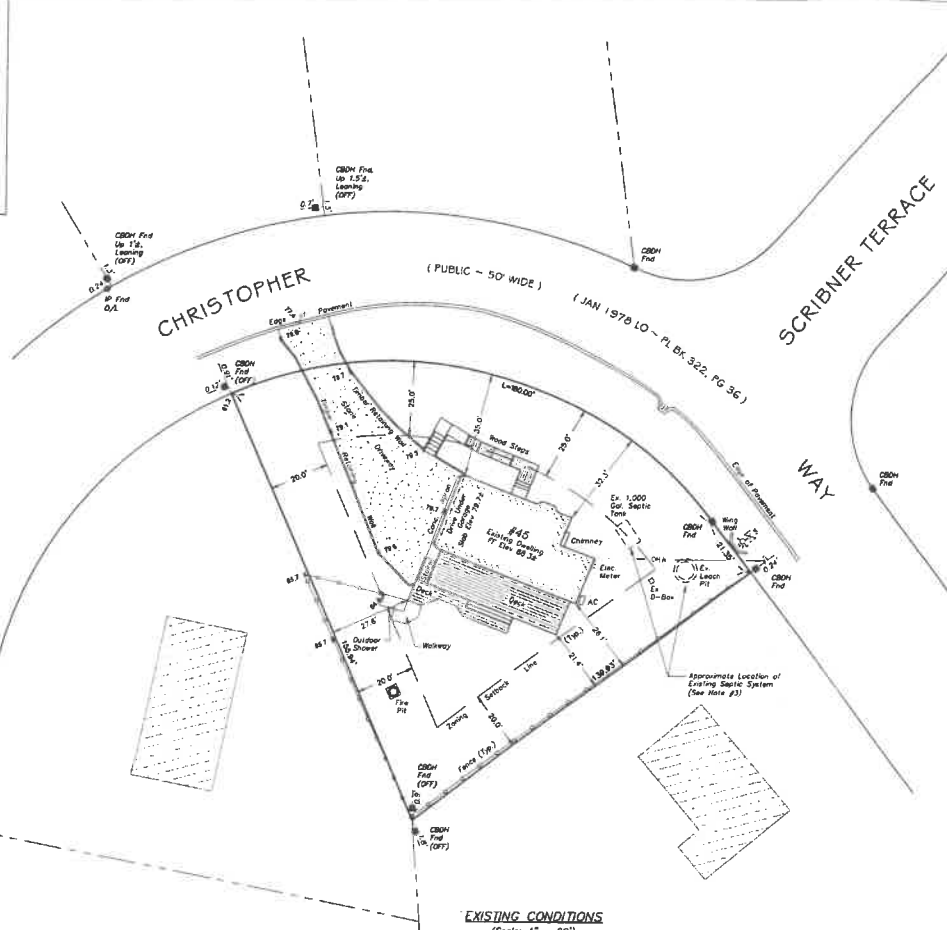
DIMENSIONAL REQUIREMENTS	MIN.	EXISTING	PROPOSED
LOT AREA (S.F.)	40,000	15,017	N/A
FRONTAGE (FT.)	150	201.35	N/A
FRONT SETBACK (FT.)	25	32.3	32.3
SIDE SETBACK (FT.)	20	21.4/27.6	21.4/22.8 to Stairs
REAR SETBACK (FT.)	20	N/A	N/A
	MAX.		
BUILDING COVERAGE (%)	15	(1,240 S.F.) 8.3	(1,633 S.F.) 10.9
SITE COVERAGE (%)	25	(4,129 S.F.) 27.5	(5,100 S.F.) 34.0



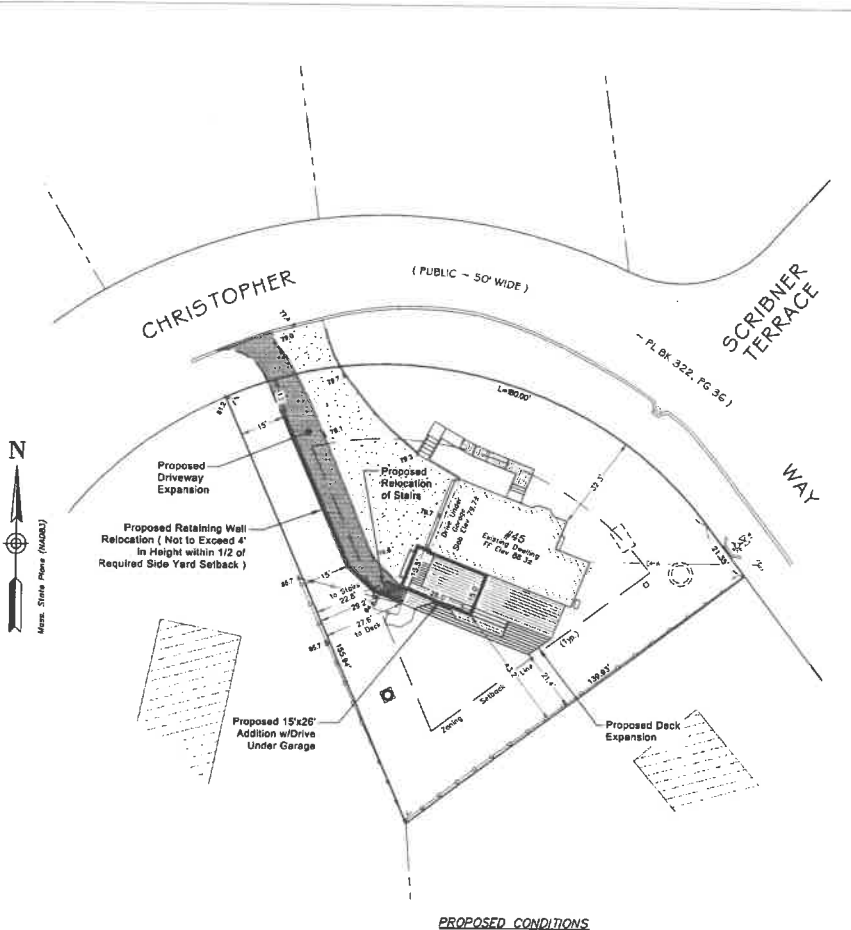
LOCUS MAP (N.T.S.)

ZONING DISTRICTS
R-R (Residential Rural)
 Minimum Area 40,000 S.F.
 Minimum Frontage 150 Ft.
 Front Setback 25 Ft.
 Side Setback 20 Ft.
 Rear Setback 20 Ft.
 Max. Bldg. Coverage 15 %
 Max. Site Coverage 25 %
 Building Height 30 Ft.

OWNER(S) OF RECORD
 Dale M. and Susan E. Shaw
 Deed Book 33013, Page 286
 Plan Book 245, Page 41
 Lot 20
 Assessor's Parcel ID 108-X3-20-0

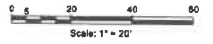


EXISTING CONDITIONS
 (Scale: 1" = 20')
LOT 20
 Area 15,016 S.F. ±
 0.345 Acres



PROPOSED CONDITIONS
 (Scale: 1" = 20')
LOT 20
 Area 15,016 S.F. ±
 0.345 Acres

- NOTES**
- Horizontal Datum: NAD83
Vertical Datum: Approximate NAVD88
 - The subject lot is located in FEMA Order Areas Zone X, "areas determined to be outside the 0.2% annual chance floodplain" as shown on FRM No. 25001C06084 effective date July 16, 2014.
 - Septic system location is approximate and is based on information on file with the Health Department.
 - Existing utility locations are based on visible, above ground components located during the field survey and are considered to be approximate. Contractor shall notify DigSafe (call 811 or 888-DIG-SAFE) at least 72 hours prior to any construction to have all existing utilities located and clearly marked.
 - The existing conditions shown herein are based on an on-the-ground survey performed on July 8, 2021.



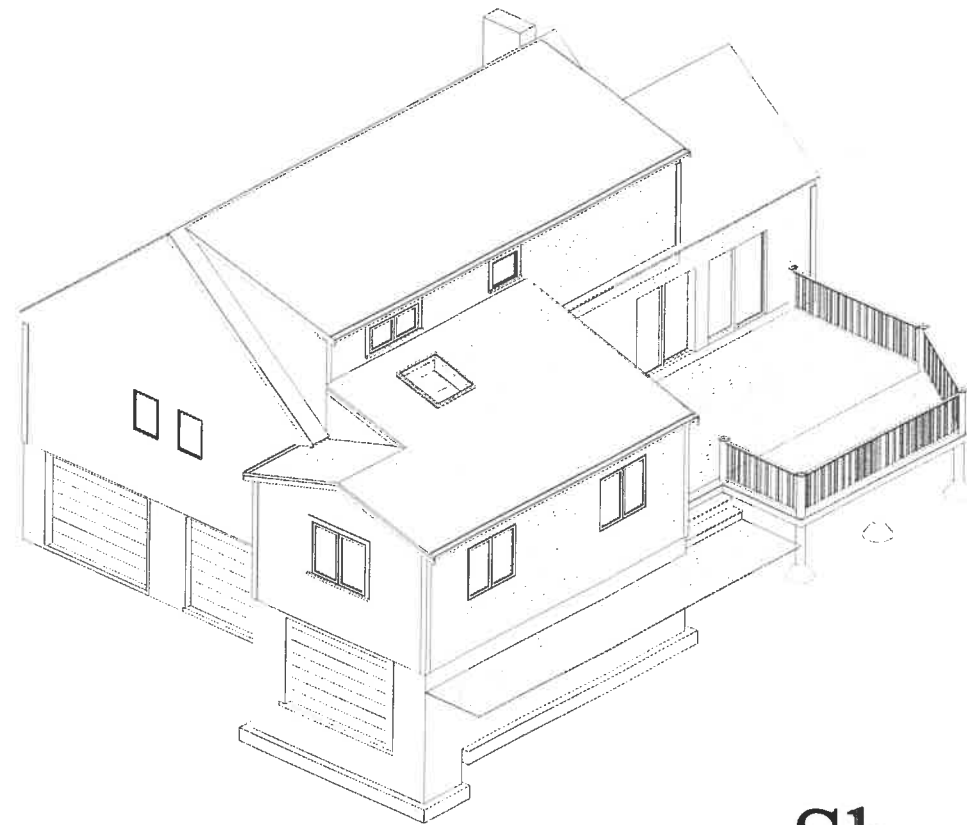
ZONING COMPLIANCE TABLE			
ZONING DISTRICT R-R			
STANDARD REQUIREMENTS	MIN.	EXISTING	PROPOSED
LOT AREA (SQ. FT.)	40,000	15,017	N/A
FRONTAGE (FT.)	150	200.35	N/A
FRONT SETBACK (FT.)	25	32.3	32.3
REAR SETBACK (FT.)	20	21.4/22.8	21.4/22.8 to Stairs
REAR SETBACK (FT.)	20	N/A	N/A
BUILDING COVERAGE (%)	15	(1,240 S.F.) 8.3	(1,833 S.F.) 10.3
SITE COVERAGE (%)	25	(4,128 S.F.) 27.5	(5,100 S.F.) 34.0

SITE PLAN
 Prepared For
 Dale Shaw
 45 Christopher Way
 HARWICH, MASS.

Scale: 1" = 20'
 Sheet Size: 24"x36"
 Project No.: H-277.0
 45 Christopher Way, Harwich, MA
 P.O. Box 801
 Harwich Port, MA 02546
 508-771-8833
 info@tsland.com

TS Land
 Surveying, Inc.
 www.tsland.com
 PROFESSIONAL LAND SURVEYING, MAPPING & TITLE SERVICES

Date: June 13, 2022
 Sheet No. 1 of 1



Drawing List	
Sheet Number	Sheet Name
X1.0	Existing Basement Plan
X1.1	Existing First Floor Plan
X1.2	Existing Second Floor Plan
X1.3	Existing Roof Plan
A1.0	Proposed Floor Plans
A1.1	Proposed Floor Plans
A3.1	Building Sections
A3.2	Building Section
A3.3	Building Section
S1.0a	Structural Notes
S1.0b	Structural Notes
S1.1	Foundation Plan
S1.2	Framing Plans

Shaw Residence

Project Status: Permit Set
June 3, 2022

45 Christopher Way, Harwich, MA



Muldoon Architects LLC
571 Main St
Harwich Port, MA
774 237 9671
www.muldoonarch.com

Revisions
Date Description

Permit Set
June 3, 2022

Shaw Residence
45 Christopher Way, Harwich, MA

Project #: 1000022
Checked By: PM
Scale:
Drawn By: MM




Cover Sheet

A0.0

GENERAL NOTES

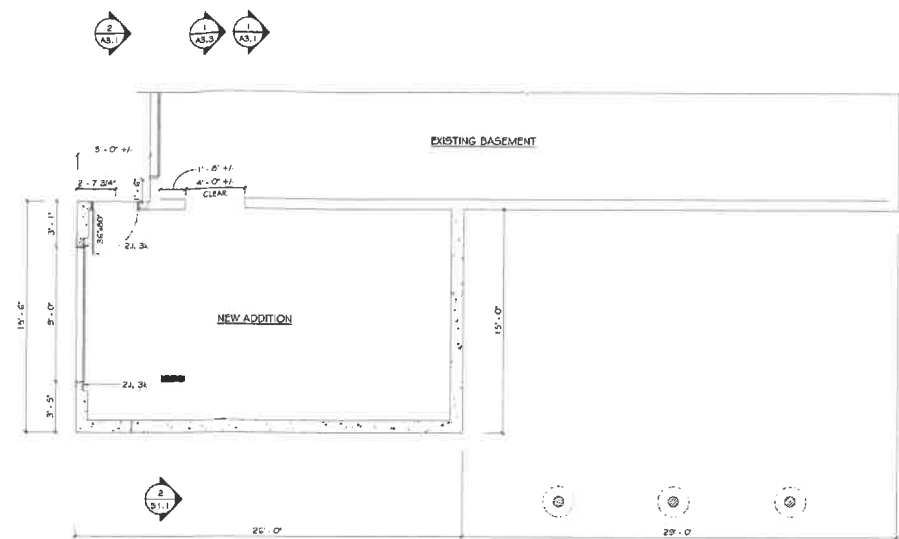
1. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
2. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY QUESTIONABLE STRUCTURAL CONDITIONS PRIOR TO AND DURING DEMOLITION WORK. PROVIDE TEMPORARY SHORING. DO NOT REMOVE ANY LOAD BEARING ELEMENTS WITHOUT PROVIDING TEMPORARY SUPPORT.
3. IF DURING THE NORMAL COURSE OF DEMOLITION AND CONSTRUCTION, AREAS OF WET OR ROTTING WOOD ARE FOUND, BRING TO IMMEDIATE ATTENTION OF ARCHITECT / OWNER. THOSE AREAS SHALL BE REPAIRED OR REPLACED WITH CHANGE ORDER.
4. SPECIAL CARE IS TO BE TAKEN IN PRESERVING EXISTING FEATURES TO REMAIN INTACT.
5. ALL WORK AND PROPERTY SHALL BE PROTECTED FROM EXPOSURE TO THE WEATHER.
6. ALL PRECAUTIONS SHALL BE TAKEN TO ENSURE THE PROTECTION OF THE PUBLIC, WORKERS AND PROPERTY FROM CONSTRUCTION INJURIES.
7. CONTRACTOR SHALL INSTALL ALL AFFLUENCES NOTED, TO BE PROVIDED BY OWNER.
8. REFER TO FLOOR PLANS FOR ALL FLOORING INFORMATION.
9. ANY REMOVED ITEMS SUITABLE FOR SALVAGE SHALL BE NEATLY STORED ON SITE FOR RESTORE PICK UP. COORDINATE WITH OWNER.

DEMOLITION / CONSTRUCTION LEGEND

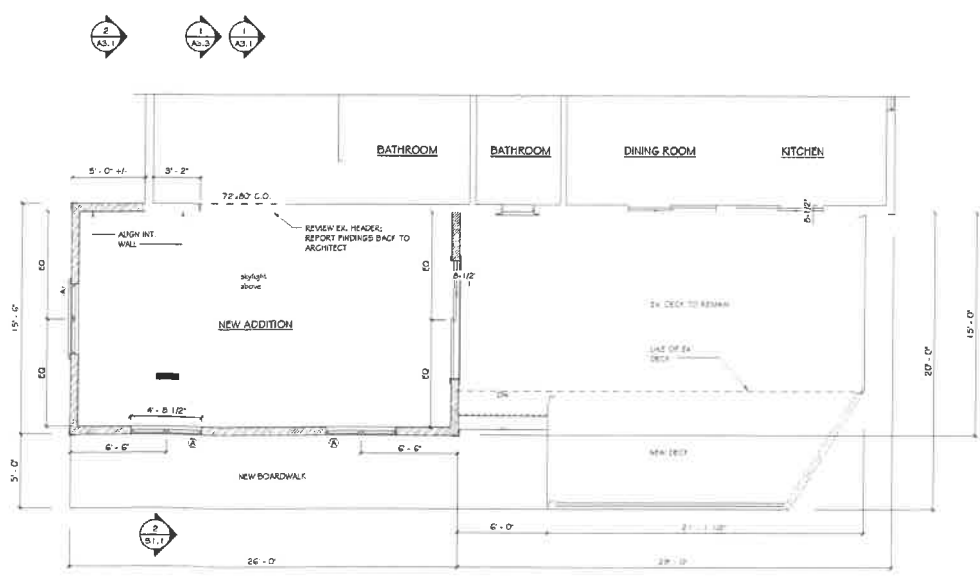
-  EXISTING PARTITIONS TO REMAIN
-  EXISTING PARTITIONS TO BE REMOVED
-  NEW WALL CONSTRUCTION
- E.T.R. EXISTING TO REMAIN

Window Schedule

TYPE	MODEL	MANUFACTURER	WIDTH	HEIGHT	COMMENTS
A	CW24	Andersen 400 Series	56 1/2"	48"	
B	CW22	Andersen 400 Series	56 1/2"	24 1/8"	
C	CW12	Andersen 400 Series	28 3/8"	24 1/8"	
D	SD	Velux	44 3/4"	46 1/4"	



1 Proposed Basement Plan
1/4" = 1'-0"



2 Proposed First Floor Plan
1/4" = 1'-0"



Muldoon Architects Inc.
571 MA-28
Harwich Port MA
774 237 9671

www.muldoonarch.com

Revisions
Date Description

Permit Set
June 3, 2022

Shaw Residence
45 Christopher Way, Harwich, MA

Proposed Floor Plans

Scale: 1/4" = 1'-0"
Drawn By: JMM
Project #: 1002022
Checked By: RM

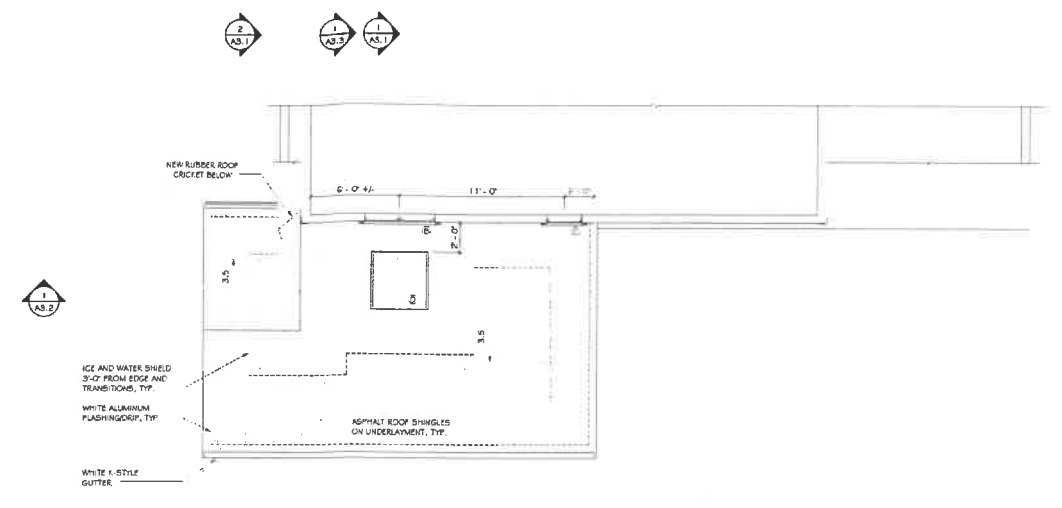
A1.0

GENERAL NOTES

1. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
2. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY QUESTIONABLE STRUCTURAL CONDITIONS PRIOR TO AND DURING DEMOLITION WORK. PROVIDE TEMPORARY SHORING. DO NOT REMOVE ANY LOAD BEARING ELEMENTS WITHOUT PROVIDING TEMPORARY SUPPORT.
3. IF DURING THE NORMAL COURSE OF DEMOLITION AND CONSTRUCTION AREAS OF WET OR ROTTING WOOD ARE FOUND, BRING TO IMMEDIATE ATTENTION OF ARCHITECT / OWNER. THOSE AREAS SHALL BE REPAIRED OR REPLACED WITH CHANGE ORDERS.
4. SPECIAL CARE IS TO BE TAKEN IN PRESERVING EXISTING FEATURES TO REMAIN INTACT.
5. ALL WORK AND PROPERTY SHALL BE PROTECTED FROM EXPOSURE TO THE WEATHER.
6. ALL PRECAUTIONS SHALL BE TAKEN TO ENSURE THE PROTECTION OF THE PUBLIC, WORKERS AND PROPERTY FROM CONSTRUCTION HAZARDS.
7. CONTRACTOR SHALL INSTALL ALL APPLIANCES NOTED, TO BE PROVIDED BY OWNER.
8. REFER TO FLOOR PLANS FOR ALL FLOORING INFORMATION.
9. ANY REMOVED ITEMS SUITABLE FOR SALVAGE SHALL BE NEATLY STORED ON SITE FOR RESTORE PICK UP. COORDINATE WITH OWNER.

DEMOLITION / CONSTRUCTION LEGEND

- EXISTING PARTITIONS TO REMAIN
- EXISTING PARTITIONS TO BE REMOVED
- NEW WALL CONSTRUCTION
- E.T.R. EXISTING TO REMAIN



1 Proposed Second Floor Plan
1/8" = 1'-0"



Muldoon Architects LLC
571 MA-28
Harwich Port MA
774 237 9671
www.muldoonarch.com

Revisions	
#	Date: Description

Permit Set
June 3, 2022

Shaw Residence
45 Christopher Way, Harwich, MA

Proposed Floor Plans
Scale: 1/8" = 1'-0"
Drawn By: MM
Project #: 100202
Checked By: PM

A1.1



Muldoon Architects LLC
571 MA 28
Harwich Port MA
774 237 9671

www.muldoonarch.com

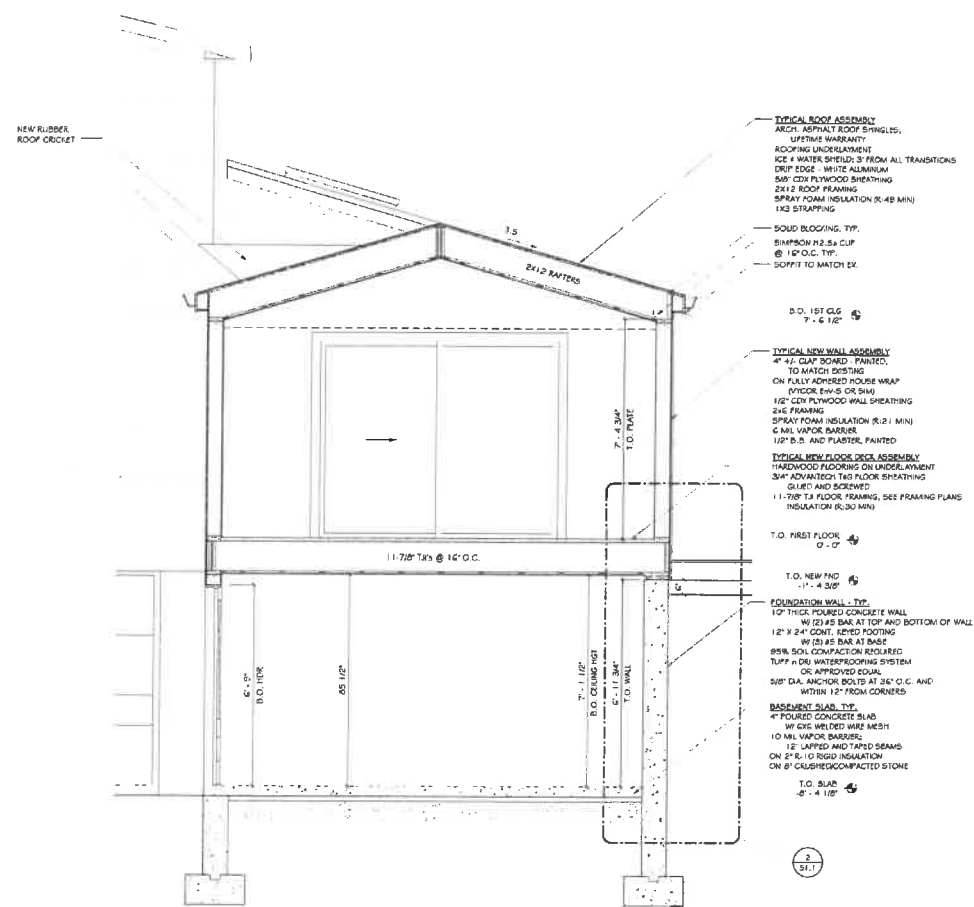
Revisions	
#	Date Description

Permit Set
June 3, 2022

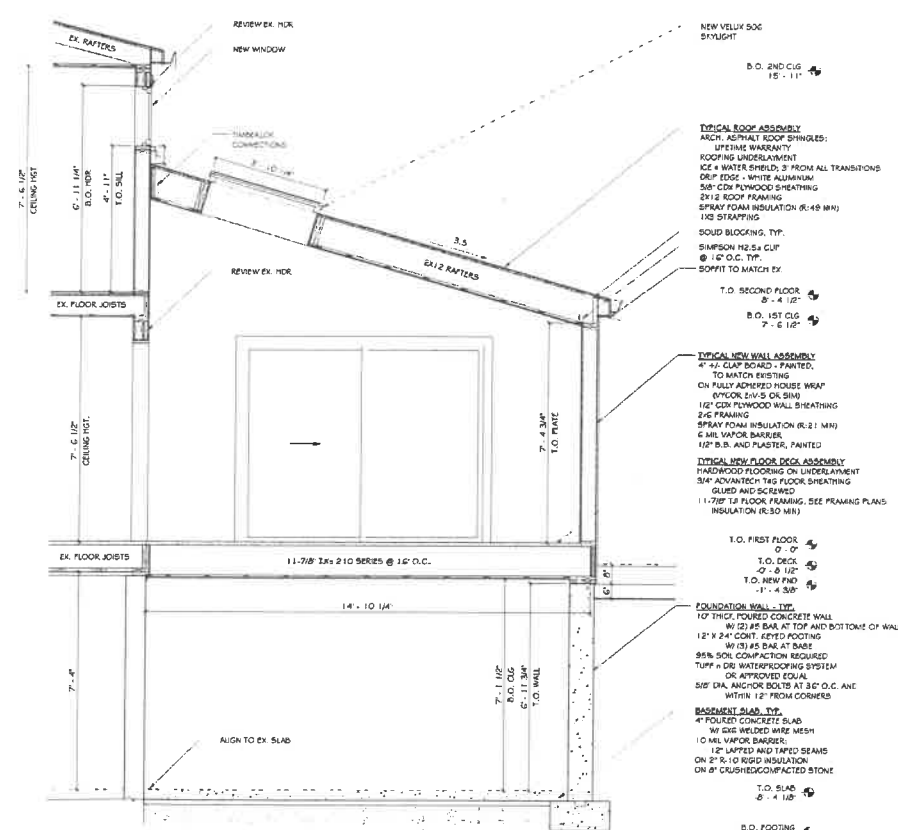
Shaw Residence
45 Christopher Way, Harwich, MA

Building Sections
Scale: 1/16" = 1'-0"
Drawn by: AM
Checked by: JM
Project: 1902022

A3.1



2 Section @ Gable Roof
1/8" = 1'-0"



1 Cross Section @ Skylight
1/8" = 1'-0"



Muldoon Architects llc
573 MA-28
Harwich Port MA
774 237 9671

www.muldoonarch.com

Revisions	
#	Date Description

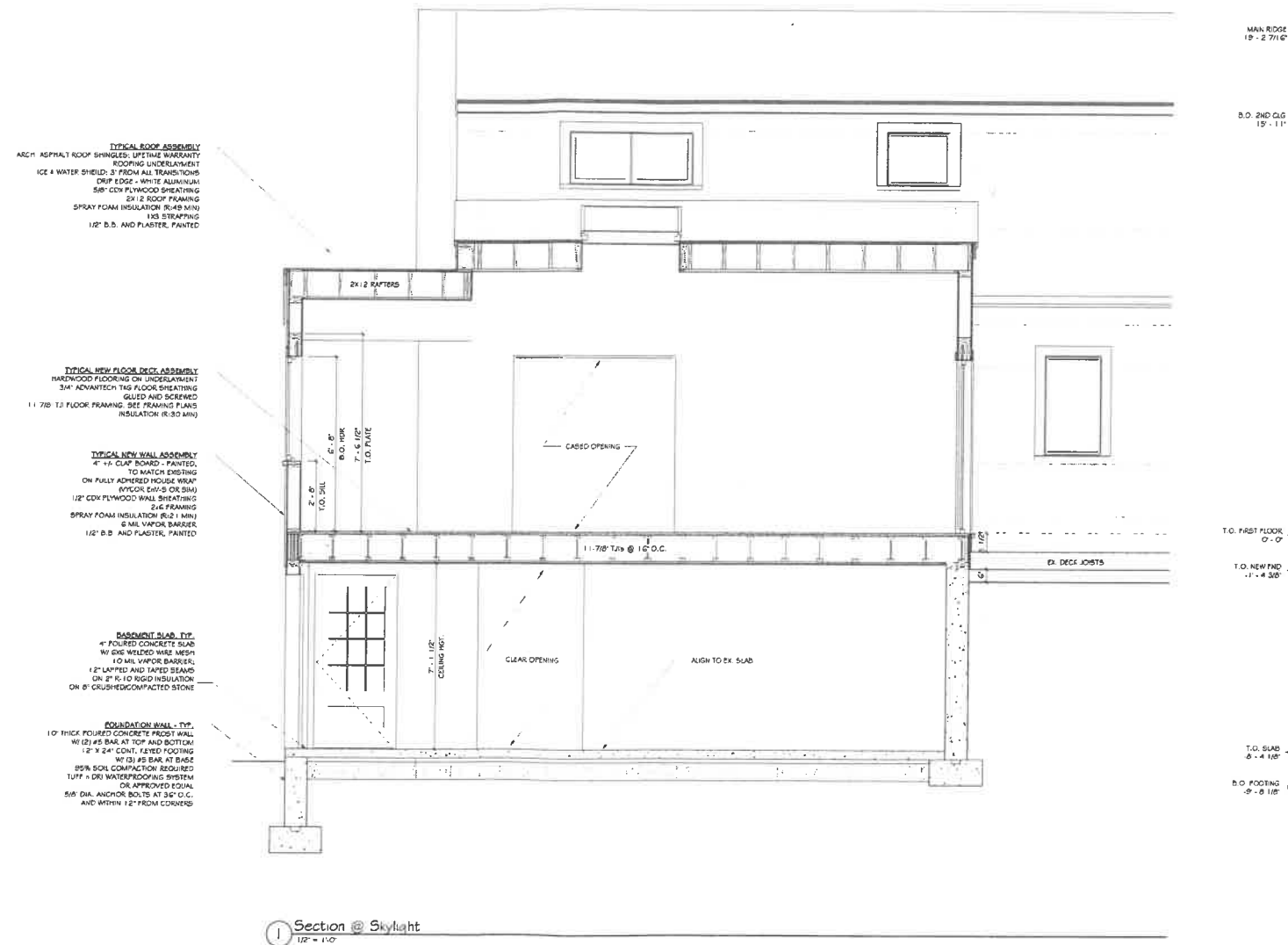
Permit Set
June 3, 2022

Shaw Residence
45 Christopher Way, Harwich, MA

Project #: 1001002
Checked By: JM
Scale: 1/2" = 1'-0"
Drawn By: MM

Building Section

A3.2



GENERAL STRUCTURAL NOTES

- GENERAL NOTES
1. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE FOR ONE- AND TWO-FAMILY DWELLINGS...

- FOUNDATIONS
1. ALL WORKMANSHIP TO CONFORM TO THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE LATEST EDITION...

- FRAMING
1. ALL WORKMANSHIP TO CONFORM TO THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE LATEST EDITION...

- METAL CONNECTIONS
1. AS MANUFACTURED BY SIMPSON STRONG-TIE CO. SHALL BE HANDLED AND INSTALLED PER MANUFACTURER'S REQUIREMENTS...

- WOOD FRAMING CONNECTIONS
1. EXTERIOR WALL STUDS OF UPPER FLOORS TO BE ATTACHED TO STUDS ON THE FLOOR BELOW...

- WOOD FRAMING CONNECTIONS
1. EXTERIOR WALL STUDS OF UPPER FLOORS TO BE ATTACHED TO STUDS ON THE FLOOR BELOW...

- WOOD FRAMING CONNECTIONS
1. EXTERIOR WALL STUDS OF UPPER FLOORS TO BE ATTACHED TO STUDS ON THE FLOOR BELOW...

- WOOD FRAMING CONNECTIONS
1. EXTERIOR WALL STUDS OF UPPER FLOORS TO BE ATTACHED TO STUDS ON THE FLOOR BELOW...

- WOOD FRAMING CONNECTIONS
1. EXTERIOR WALL STUDS OF UPPER FLOORS TO BE ATTACHED TO STUDS ON THE FLOOR BELOW...

- WOOD FRAMING CONNECTIONS
1. EXTERIOR WALL STUDS OF UPPER FLOORS TO BE ATTACHED TO STUDS ON THE FLOOR BELOW...

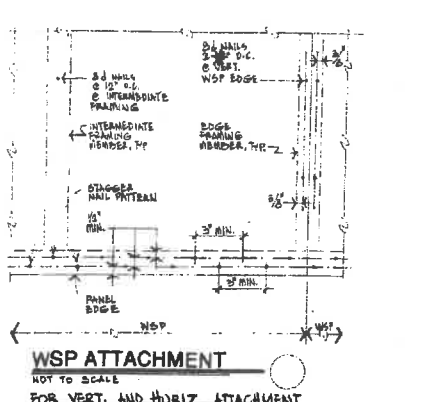
- WOOD FRAMING CONNECTIONS
1. EXTERIOR WALL STUDS OF UPPER FLOORS TO BE ATTACHED TO STUDS ON THE FLOOR BELOW...

- WOOD FRAMING CONNECTIONS
1. EXTERIOR WALL STUDS OF UPPER FLOORS TO BE ATTACHED TO STUDS ON THE FLOOR BELOW...

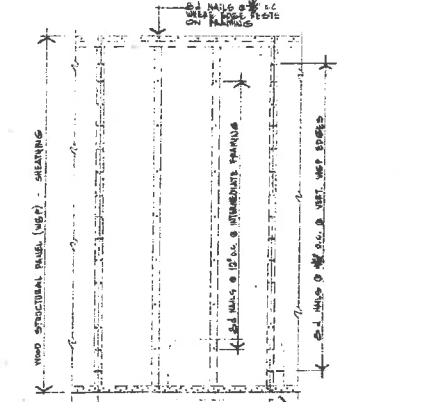
- WOOD FRAMING CONNECTIONS
1. EXTERIOR WALL STUDS OF UPPER FLOORS TO BE ATTACHED TO STUDS ON THE FLOOR BELOW...

- WOOD FRAMING CONNECTIONS
1. EXTERIOR WALL STUDS OF UPPER FLOORS TO BE ATTACHED TO STUDS ON THE FLOOR BELOW...

- WOOD FRAMING CONNECTIONS
1. EXTERIOR WALL STUDS OF UPPER FLOORS TO BE ATTACHED TO STUDS ON THE FLOOR BELOW...

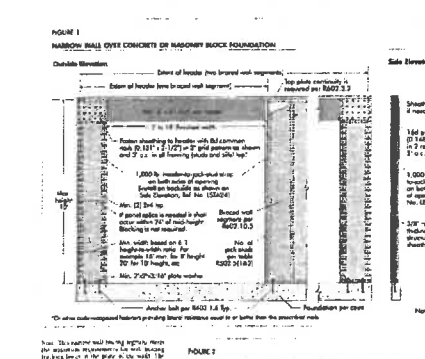


NOTES:
Wood Structural Panels shall be minimum thickness of 7/16" and be installed as follows:
1. Panels shall be installed with strength in parallel to walls.



NOTES:
Wood Structural Panels shall be minimum thickness of 7/16" and be installed as follows:
1. Panels shall be installed with strength in parallel to walls.

CONSTRUCTION DETAILS FOR THE APA NARROW WALL BRACING METHOD



NOTES:
1. Double Shear Wall: 1500 lb. minimum post-tensioning force on both sides of framing.
2. Side Shear Wall: 1000 lb. minimum post-tensioning force on both sides of framing.



Muldoon Architects Inc
571 MA-38
Harwich Port MA
774 237 9671

www.muldoonarch.com

Revisions
Date Description
Permit Set
June 3, 2022

Shaw Residence
45 Christopher Way, Harwich, MA

Structural Notes
Project #: 100022
Checked By: Director
Scale: 1/4" = 1'-0"
Drawn By: Author

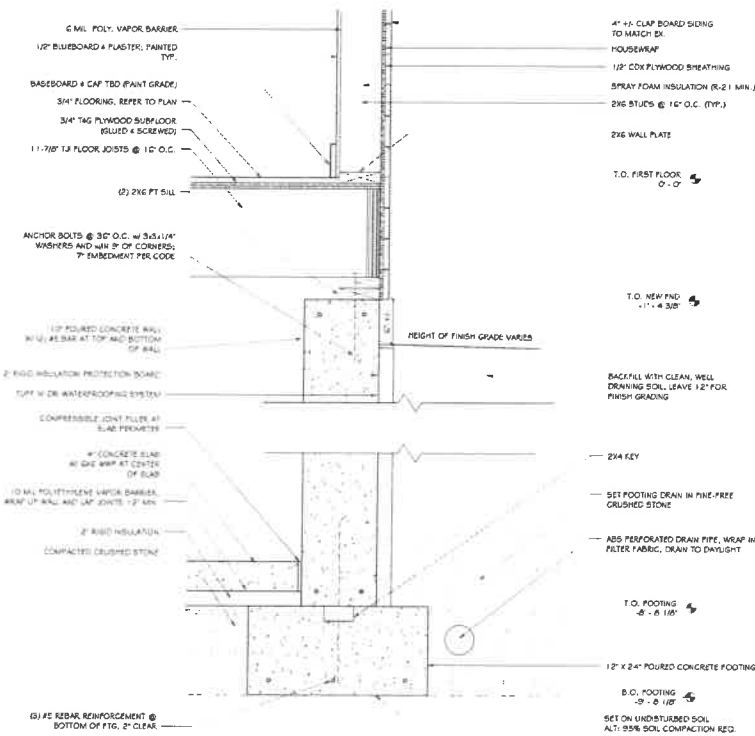
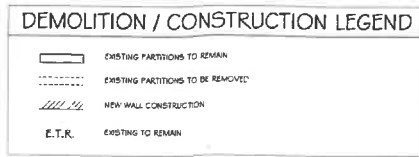
S1.0a

GENERAL NOTES

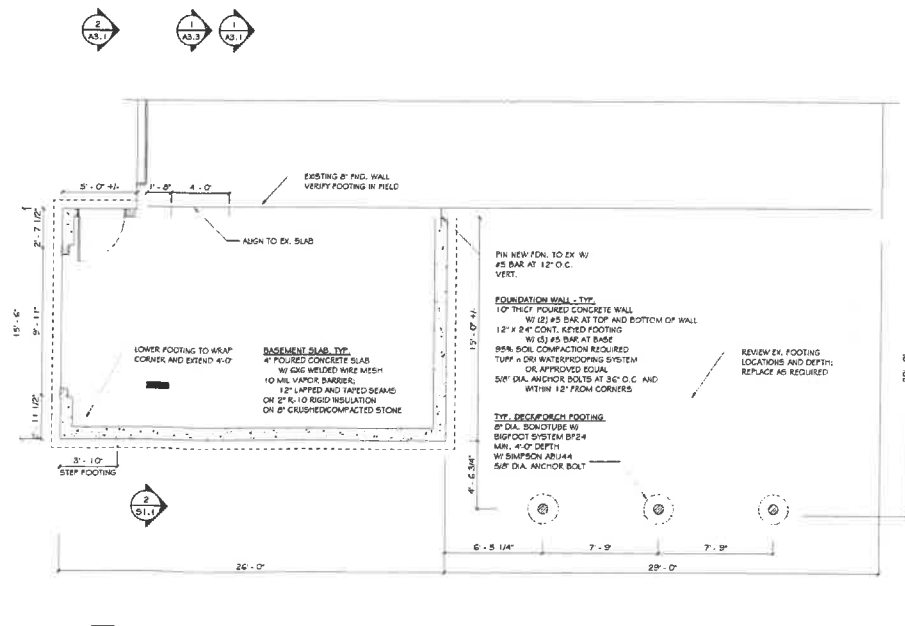
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY QUESTIONABLE STRUCTURAL CONDITIONS PRIOR TO AND DURING DEMOLITION WORK. PROVIDE TEMPORARY SHORING. DO NOT REMOVE ANY LOAD BEARING ELEMENTS WITHOUT PROVIDING TEMPORARY SUPPORTS.
- IF DURING THE NORMAL COURSE OF DEMOLITION AND CONSTRUCTION AREAS OF WET OR ROTTING WOOD ARE FOUND, BRING TO IMMEDIATE ATTENTION OF ARCHITECT / OWNER. THESE AREAS SHALL BE REPAIRED OR REPLACED WITH CHANGE ORDER.
- SPECIAL CARE IS TO BE TAKEN IN PRESERVING EXISTING FEATURES TO REMAIN INTACT.
- ALL WORK AND PROPERTY SHALL BE PROTECTED FROM EXPOSURE TO THE WEATHER.
- ALL PRECAUTIONS SHALL BE TAKEN TO ENSURE THE PROTECTION OF THE PUBLIC, WORKERS AND PROPERTY FROM CONSTRUCTION HAZARDS.
- CONTRACTOR SHALL INSTALL ALL APPLIANCES NOTED. TO BE PROVIDED BY OWNER.
- REFER TO FLOOR PLANS FOR ALL FLOORING INFORMATION.
- ANY REMOVED ITEMS SUITABLE FOR SALVAGE SHALL BE NEATLY STORED ON SITE FOR RESTORE PICK UP. COORDINATE WITH OWNER.

POST LEGEND

□	P1 : 5'-12" x 5'-12" PSL
■	P2 : 3'-12" x 3'-12" PSL
□	P3 : 3'-12" x 5'-12" PSL
□	P4 : PT GRC POST
■	P6 : (3) 2x6 STUDS
■	P8 : (2) 2x4 STUDS
■	P9 : (2) 2x4 STUDS
□	F1 : 1/2" FILLER LALLY
□	F15 : 5'-5 1/2" 12" STEEL HSS



2 Typ. Foundation Detail
1/4" = 1'-0"



1 Foundation Plan
1/4" = 1'-0"



Muldoon Architects LLC
571 MA-28
Harwich Port MA
774 237 9571

www.muldoonarch.com

Revisions

#	Date	Description

Permit Set
June 3, 2022

Shaw Residence
45 Christopher Way, Harwich, MA

Foundation Plan





Scale: As Indicated
Drawn by: JAM
Project #: 1000022
Checked by: PM

S1.1




GENERAL NOTES

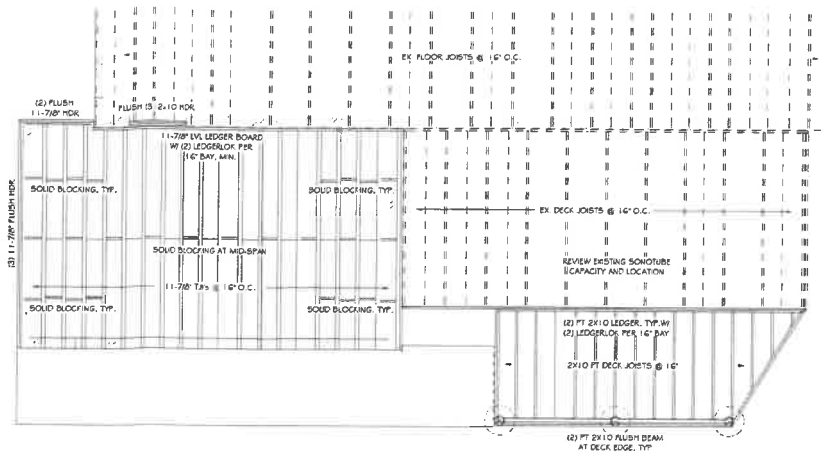
1. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
2. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY UNDESIRABLE STRUCTURAL CONDITIONS PRIOR TO AND DURING DEMOLITION WORK. PROVIDE TEMPORARY SHORING. DO NOT REMOVE ANY LOAD BEARING ELEMENTS WITHOUT PROVIDING TEMPORARY SUPPORT.
3. IF DURING THE NORMAL COURSE OF DEMOLITION AND CONSTRUCTION AREAS OF WET OR ROTTING WOOD ARE FOUND, BRING TO IMMEDIATE ATTENTION OF ARCHITECT / OWNER. THOSE AREAS SHALL BE REPAIRED OR REPLACED WITH CHANGE ORDER.
4. SPECIAL CARE IS TO BE TAKEN IN PRESERVING EXISTING FEATURES TO REMAIN INTACT.
5. ALL WORK AND PROPERTY SHALL BE PROTECTED FROM EXPOSURE TO THE WEATHER.
6. ALL PRECAUTIONS SHALL BE TAKEN TO ENSURE THE PROTECTION OF THE PUBLIC, WORKERS AND PROPERTY FROM CONSTRUCTION HAZARDS.
7. CONTRACTOR SHALL INSTALL ALL APPLIANCES NOTED, TO BE PROVIDED BY OWNER.
8. REFER TO FLOOR PLANS FOR ALL FLOORING INFORMATION.
9. ANY REMOVED ITEMS SUITABLE FOR SALVAGE SHALL BE NEATLY STORED ON SITE FOR RESTORE PICK UP. COORDINATE WITH OWNER.

DEMOLITION / CONSTRUCTION LEGEND

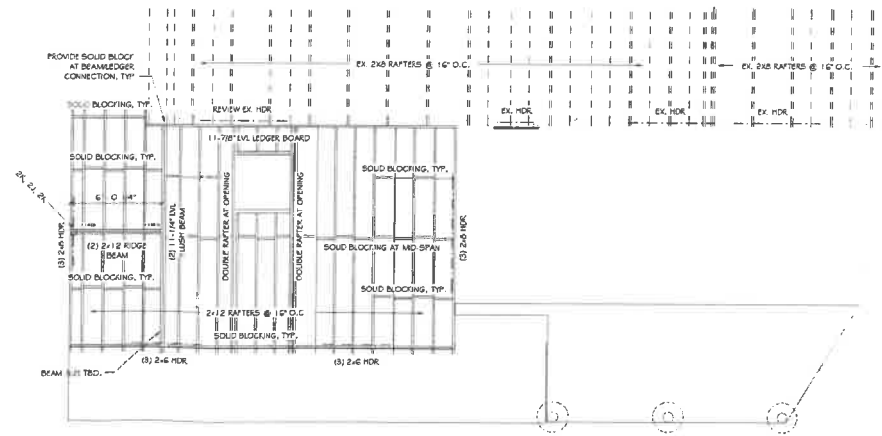
-  EXISTING PARTITIONS TO REMAIN
-  EXISTING PARTITIONS TO BE REMOVED
-  NEW WALL CONSTRUCTION
-  E.T.R. EXISTING TO REMAIN

POST LEGEND

-  P1 : 3-1/2" x 3-1/2" PSL
-  P2 : 3-1/2" x 3-1/2" PSL
-  P3 : 3-1/2" x 3-1/2" PSL
-  P4 : 3-1/2" x 3-1/2" PSL
-  P5 : (2) 3-4 STUDS
-  P6 : (2) 3-4 STUDS
-  P7 : (2) 3-4 STUDS
-  P8 : (2) 3-4 STUDS
-  P9 : (2) 3-4 STUDS
-  P10 : 5/8" x 1/2" STEEL H56



1 First Floor Framing Plan
1/4" = 1'-0"



2 Roof Framing Plan
1/4" = 1'-0"



Muldoon Architects Inc.
571 MA-28
Harwich Port MA
774 237 9671

www.muldoonarch.com

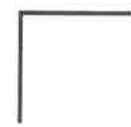
Revisions
Date Description

Permit Set
June 3, 2022

Shaw Residence
45 Christopher Way, Harwich, MA

Framing Plans
Scale: 1/4" = 1'-0"
Drawn By: JMM
Project #: 1002022
Checked By: PM

S1.2



 Muldoon Architects llc 571 MA-28 Harwich Port MA 774 237 9671 www.muldoonarch.com							
Revisions <table border="1"> <thead> <tr> <th>#</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		#	Date	Description			
#	Date	Description					
Permit Set June 3, 2022							
Shaw Residence 45 Christopher Way, Harwich, MA							
Framing Plan Second Floor	Scale: _____ Project #: 100002 Drawn By: AJR Checked By: DAK						
S1.3							