

PART B – PROJECT LOCATION

Legal Street Address	1388 Halls Path	Village/Zip Code 02645
Title Book/Page or L.C.C. #	PL. Bo. 615, Pg 93	
Map(s) / Parcel(s)	Map 106, Pcl. G6-4	
Zoning & Overlay Districts	RR & Zone II	*Historic? no
Frontage (linear feet)	152'	
Total land area (s.f.)	183,403	
Upland (s.f.)	n/a	Wetlands (s.f.) n/a

PART C – PROJECT DESCRIPTION

Existing Floor Area in Sq. Ft	Gross: 1304	Net: 564
Proposed Floor Area in Sq. Ft	Gross: 1304	Net: 1304
Change in Sq. Ft + / -	Gross: 0	Net: 740
Existing # of parking spaces	4	Proposed # of parking spaces: 4
Existing Use(s)	<u>Accessory Building Residential – with Bedrooms</u>	
Proposed Use(s)	<u>Accessory Building Residential – with Bedrooms</u>	
<i>Attach a separate narrative if necessary.</i>		

The undersign hereby files an application with the Harwich Planning Board for the following special permits as proposed under the provisions of the Harwich Zoning Code: **(check all that apply)**

Site Plan Review § 325-55:

- Any floor area expansion of any structure or expansion of exterior space, other than parking, serving any of the following: commercial, industrial, multi-family or educational use or personal wireless service facility or the creation of a drive-up or drive-through window
- Expansion or reconfiguration of an existing parking lot and/or driveway(s) serving said parking lot.
- Establishment of any new commercial, industrial, multi-family, educational, fast food/take out restaurant or personal wireless service facility.
- Establishment of any new retail use(s) in the Industrial (IL) Zone.
- Waiver of Site Plan § 325-55.F

Article V, Use Regulations:

- Paragraph____, sub-paragraph #____ Paragraph____, sub-paragraph #____
- Paragraph____, sub-paragraph #____, supplemental regulation #____ § 325-14

Article X, Special Permits:

- Structures w/ gross floor area of 7,500+ s.f. § 325-51
- Structures requiring 20 or more new parking spaces § 325-51
- Accessory Apt./Shared Elderly Housing § 325-51.H Mixed Use § 325-51.M
- Drinking Water Resource Protection § 325-51.C Two Family § 325-51.N
- Village Commercial, Harwich Port § 325-51.L *Harwich Center Overlay § 325-51.O
- Signage § 325-27.F Additional Cluster, Excess SF, Non-entry Facades

Other Special Permits:

- Six Ponds Special District - Article XVI
- Wind Energy Systems - Article XVIII Large Scale Wind Generation – Article XIX

x Other (i.e. Alternate Access § 325-18.K, Special Cases § 325-44.B) Accessory Building, Residential w/ bedrooms _____

Repetitive Petition (MGL Ch 40A, §16): Proposed project evolved from a previously denied plan submitted to the Planning Board on _____ Year/Case # _____

**Note: Projects within the Harwich Center Overlay District may also be within the Harwich Center Historic District. This requires separate filing with the Historic District and Historical Commission. Please inquire for forms and instructions.*

Owner Authorization Document

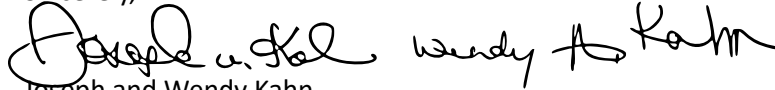
October 23, 2023

Joseph and Wendy Kahn
10 Shirley Road
Wellesley, MA 02482

To Whom It May Concern:

We, Joseph and Wendy Kahn, owners of 1388 Halls Path, Harwich,
hereby authorize Paul Muldoon, AIA, to represent us before the Town of Harwich Planning Board
regarding the same address.

Sincerely,


Joseph and Wendy Kahn

Muldoon Architects IIc

571 MA-28
Harwich Port, Ma
02646

t: 774 237 9671
muldoonarch.com

October 23, 2023

Kahn Residence
1388 Halls Path
Harwich, MA

Harwich Planning Board Project Narrative

Project Description:

The applicant is requesting a special permit approval for the renovation of an existing detached accessory building – residential with bedrooms (1), resulting in a detached accessory building – residential with bedrooms (2).

The existing detached accessory building – residential with bedrooms (1) includes a first-floor garage and storage area that is unfinished and a finished bedroom space on the second floor. The proposed project includes renovating the interiors spaces and finishing the garage space with habitable area to accommodate a first-floor bedroom. No added footprint. The resulting space will be a detached accessory building – residential with bedrooms (2).

There will be minor window replacement/reorientation as part of the proposed scope of work. There will be no change to the building footprint, hardscape, landscape, drainage, exterior lighting, paved areas, or parking. The existing septic system is design for seven bedrooms. The proposed additional bedroom will account for a total of 6 bedrooms on the property.

The structure will be used for seasonal family/guest overflow use, no rental. The existing gross square foot area is 1302 sq.ft. This figure will remain unchanged.

Existing Structure:

The existing detached accessory building (residential with bedrooms) includes the following spaces:

- First floor bathroom
- Kitchenette (no cooking facility)
- Garage
- Storage area
- Second floor bedroom
- Second floor kitchenette

Proposed Structure:

The proposed detached accessory building (residential with bedrooms) includes the following alterations/spaces:

- First floor bathroom
- New first floor full bathroom
- First floor bedroom
- First floor living room
- kitchenette
- Second floor bedroom
- Second floor bathroom

October 23, 2023

Kahn Residence
1388 Halls Path
Harwich, MA

Harwich Planning Board
Waiver Request

Item #11:

Drainage Calculations and Drainage Area Map

The applicant is requesting a waiver for the drainage requirements because the existing exterior landscape/hardscape/drainage conditions will remain unchanged.

Item #29, 30, 31, 32

Topography and Wetland Protection Act

The applicant is requesting a waive for topography requirements, information regarding the Wetland Protection Act and conservation areas. The property has always had good/positive drainage with no standing water. Likewise, the property is outside of any conservation areas.

Item #37 - 68

Detailed Plan Contents

The items listed in this category related to Commercial Construction. As our existing residential property will remain unchanged and the parking area will remain unchanged. The applicant requests a waiver.

Item #85

Ground Water Flow

The applicant is requesting a waiver for Ground Water Flow information. The existing grading, landscaping, hardscape, and drainage will all remain unchanged. The property has always had good/positive drainage with no standing water.

Ryder & Wilcox

SURVEYING · ENGINEERING
HOME PLANNING & DESIGN

3 GIDDIAH HILL ROAD P.O. BOX 439
SO. ORLEANS, MASSACHUSETTS 02662
TEL: 508.255.8312 FAX: 508.240.2306

Certified Plot Plan

Location

1388 Halls Path
Harwich, MA

prepared for
Joseph & Wendy
Kahn

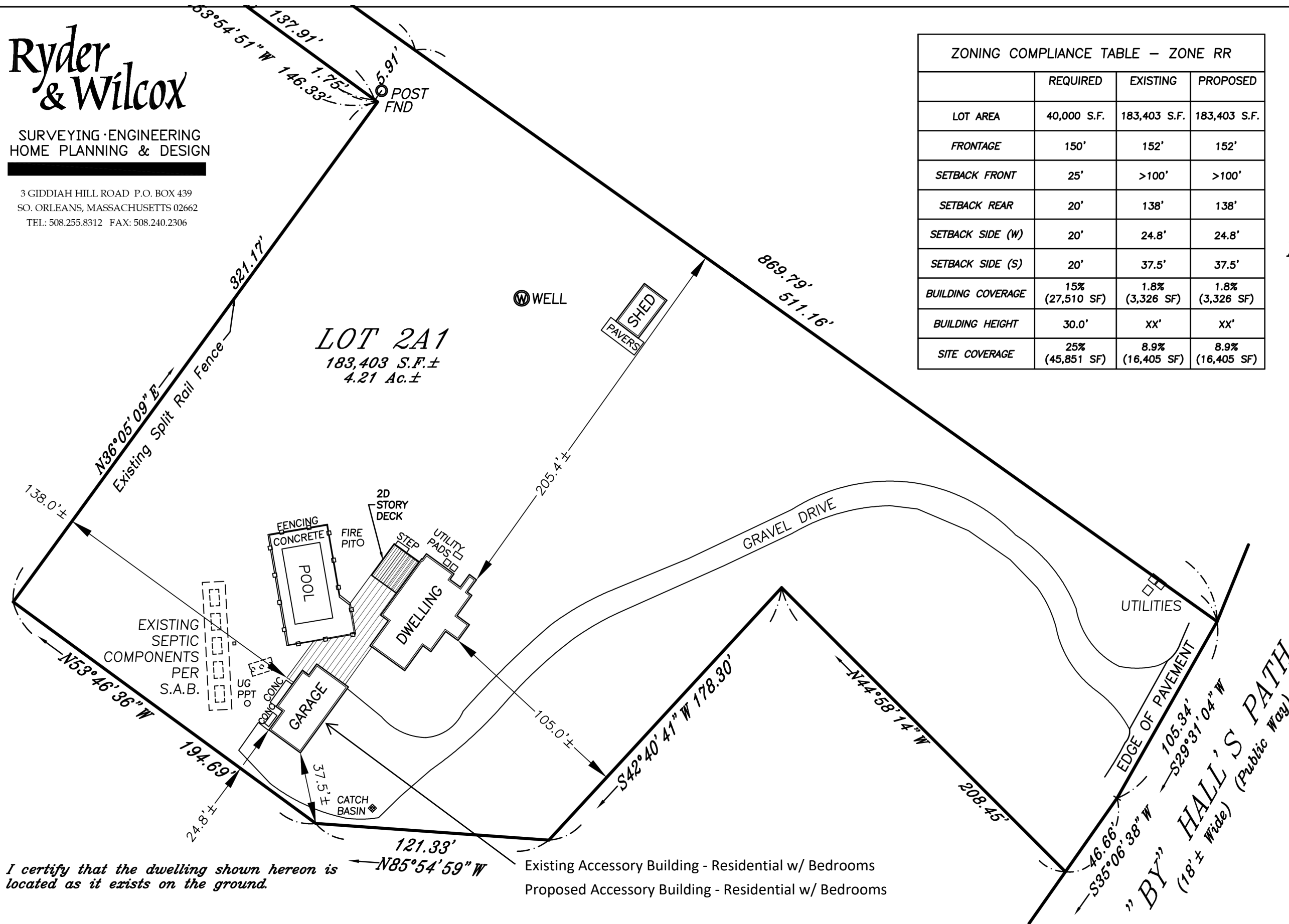
Scale: 1" = 50'

Date: November 14, 2022

Reference:

Assr's. Map 106, Pcl. C6-4
Pl. Bk. 615, Pg. 93

ZONING COMPLIANCE TABLE - ZONE RR			
	REQUIRED	EXISTING	PROPOSED
LOT AREA	40,000 S.F.	183,403 S.F.	183,403 S.F.
FRONTAGE	150'	152'	152'
SETBACK FRONT	25'	>100'	>100'
SETBACK REAR	20'	138'	138'
SETBACK SIDE (W)	20'	24.8'	24.8'
SETBACK SIDE (S)	20'	37.5'	37.5'
BUILDING COVERAGE	15% (27,510 SF)	1.8% (3,326 SF)	1.8% (3,326 SF)
BUILDING HEIGHT	30.0'	XX'	XX'
SITE COVERAGE	25% (45,851 SF)	8.9% (16,405 SF)	8.9% (16,405 SF)



I certify that the dwelling shown hereon is located as it exists on the ground.

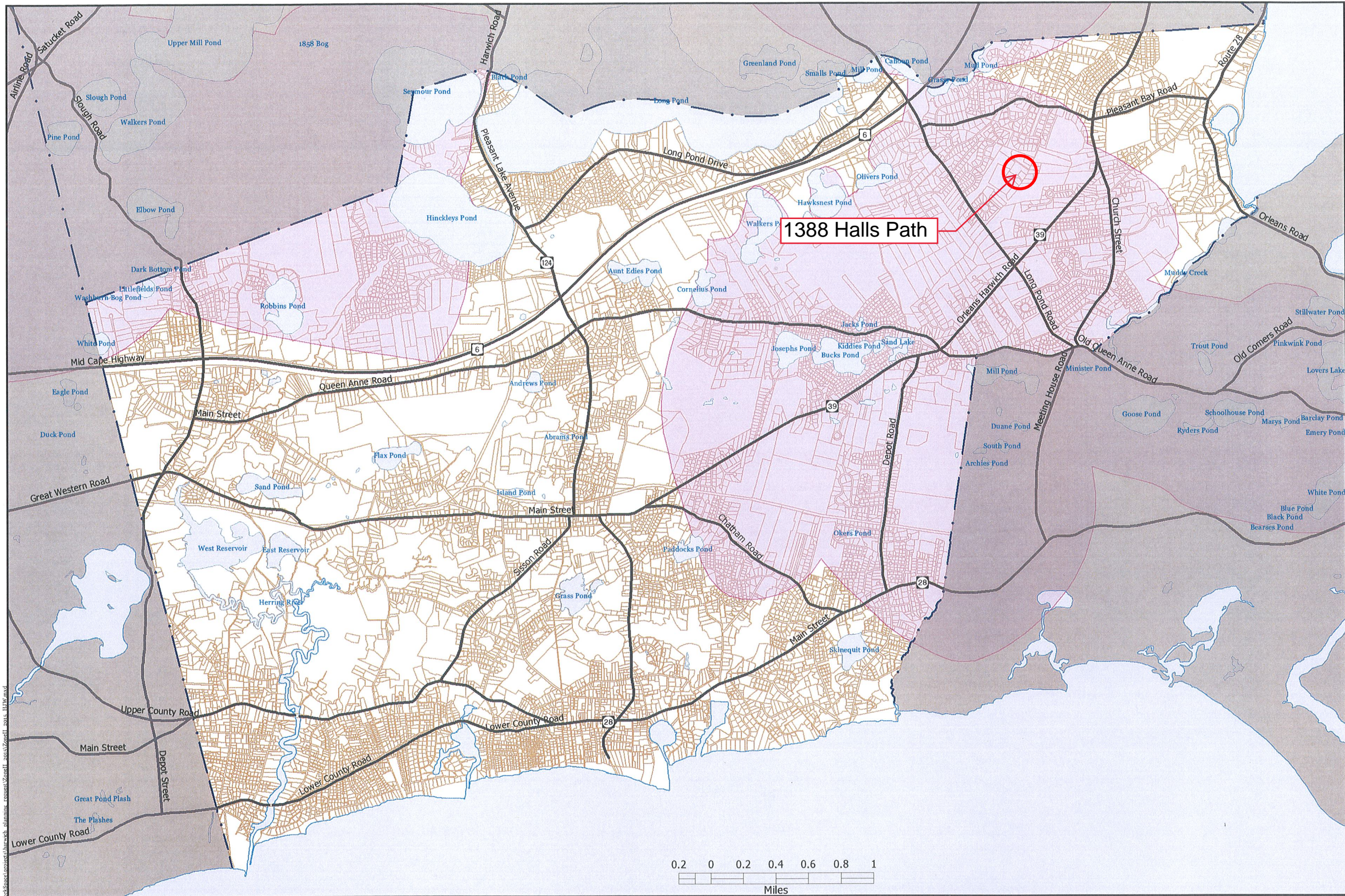
N85°54'59" W

Existing Accessory Building - Residential w/ Bedrooms
Proposed Accessory Building - Residential w/ Bedrooms

Professional Land Surveyor

Date: _____

Job No. 8917



Harwich Drinking Water Protection Districts

- Mass DEP Zone II, 2014
- Harwich Parcels 2012

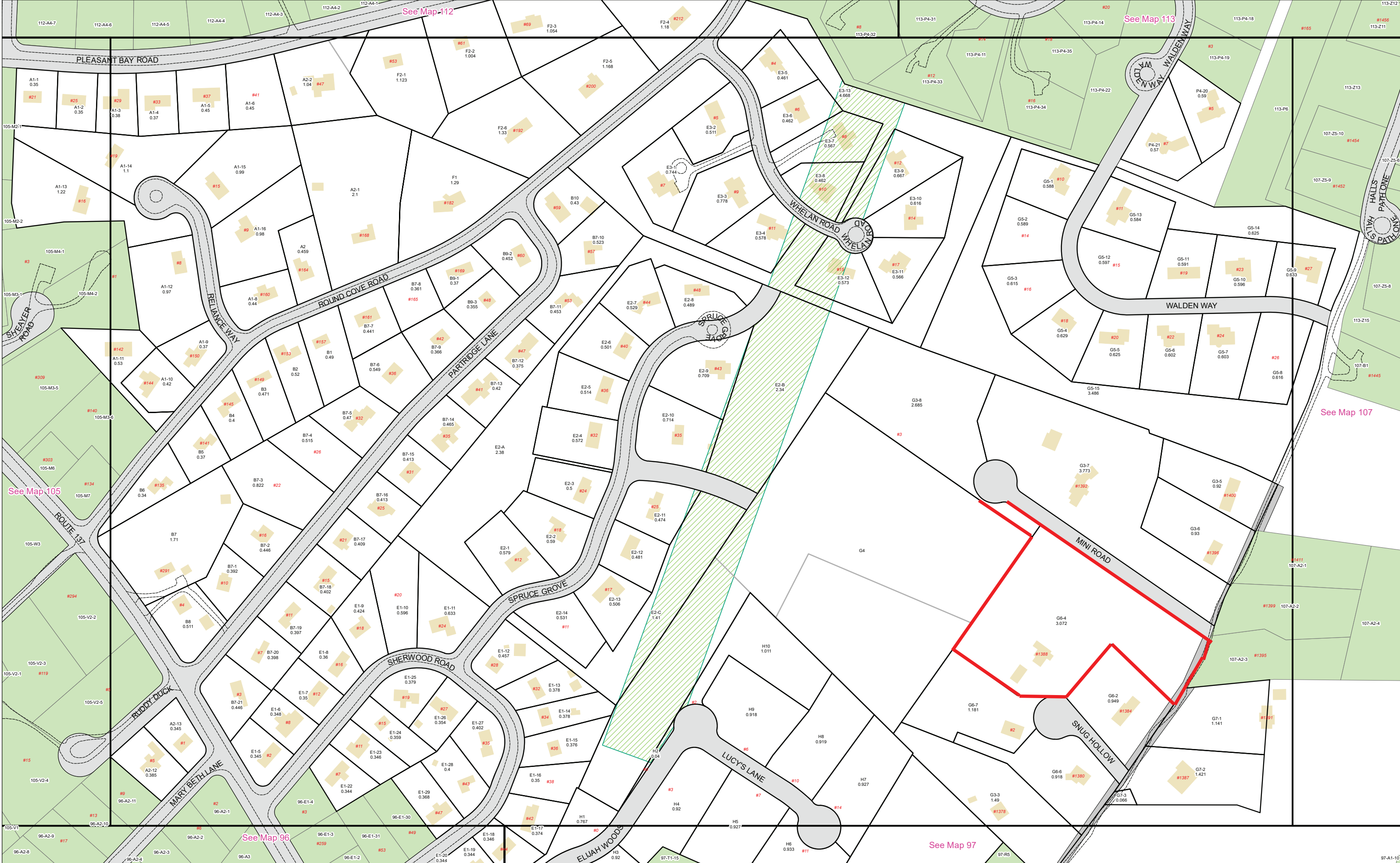
This map is produced by the GIS Department of the Cape Cod Commission, a division of Barnstable County, October 2015. The information depicted on these maps is for planning purposes only. It is not adequate for legal boundary definition, regulatory interpretation, or parcel level analysis. It should not substitute for actual on-site survey, or supersede deed research.

Date: 10/6/2015
User: gprahm

THIS IS TO CERTIFY THAT THIS IS THE MAP DEPICTING THE DRINKING WATER RESOURCE PROTECTION DISTRICTS REFERRED TO IN PART II, ARTICLE III, §325-4.8 OF THE CODE OF THE TOWN OF HARWICH, MASSACHUSETTS.
EFFECTIVE DATE: *December 8, 2015*
ATTEST:
HARWICH TOWN CLERK *Arleta Dorettte*



CAPE COD COMMISSION

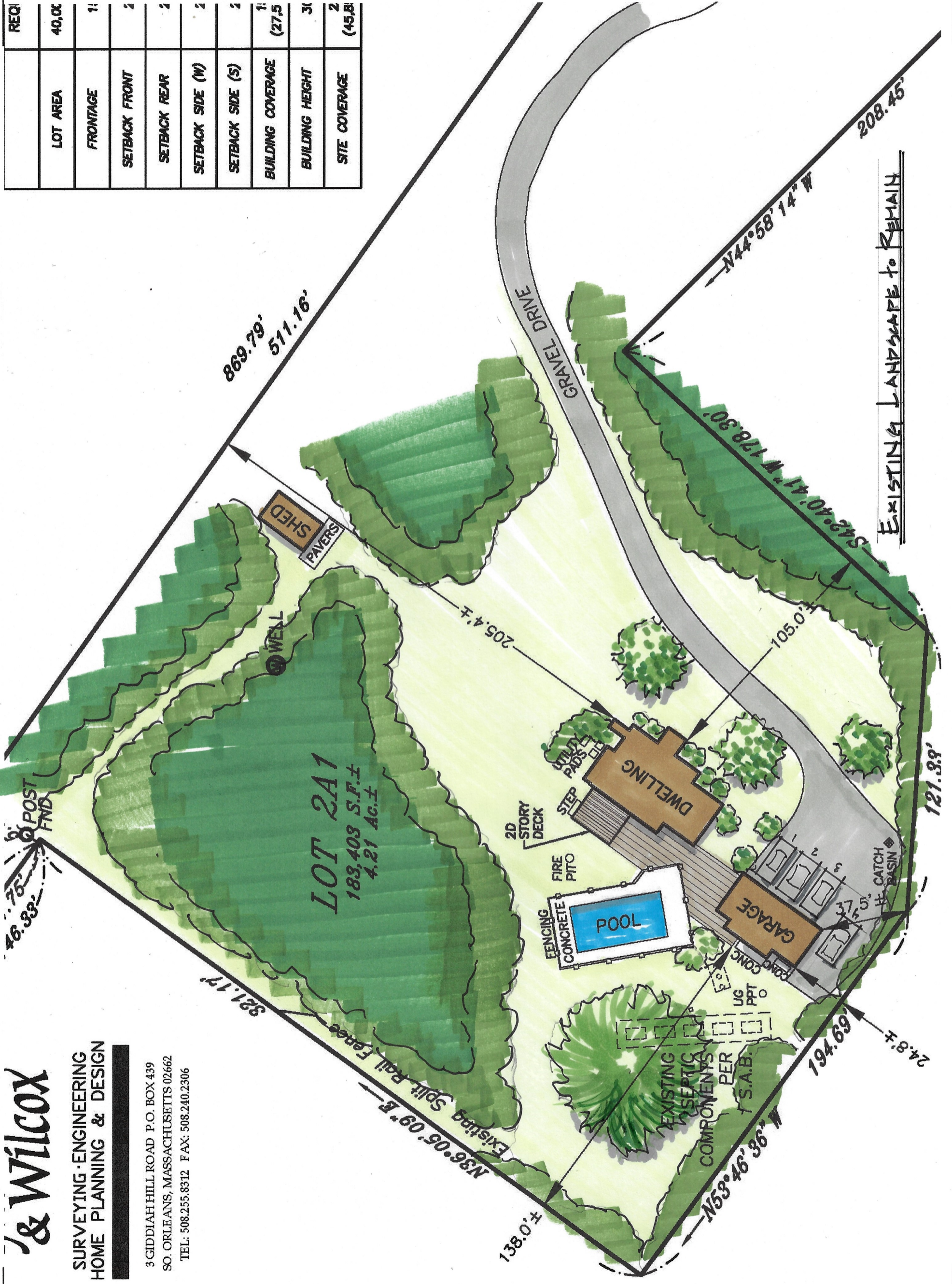


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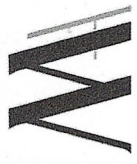
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TEL: 508.255.8312 FAX: 508.240.2306

REQUIREMENT	REQUIREMENT	REQUIREMENT
LOT AREA	40,000	
FRONTAGE	111	
SETBACK FRONT	2	
SETBACK REAR	2	
SETBACK SIDE (W)	2	
SETBACK SIDE (S)	2	
BUILDING COVERAGE	(27.5)	
BUILDING HEIGHT	30	
SITE COVERAGE	(45.8)	



Muldoon Architects llc
571 Ma-28, Harwich Port, MA 02646
t: 774.237.9671 www.muldoonarch.com



Landscape Sketch

Scale: As Noted
Drawn By: PM

Date: 10/23/23

Joe and Wendy Kahn

1388 Halls Path Harwich, MA

Proposed Renovations to the

L1.1

Revisions		
#	Date	Description

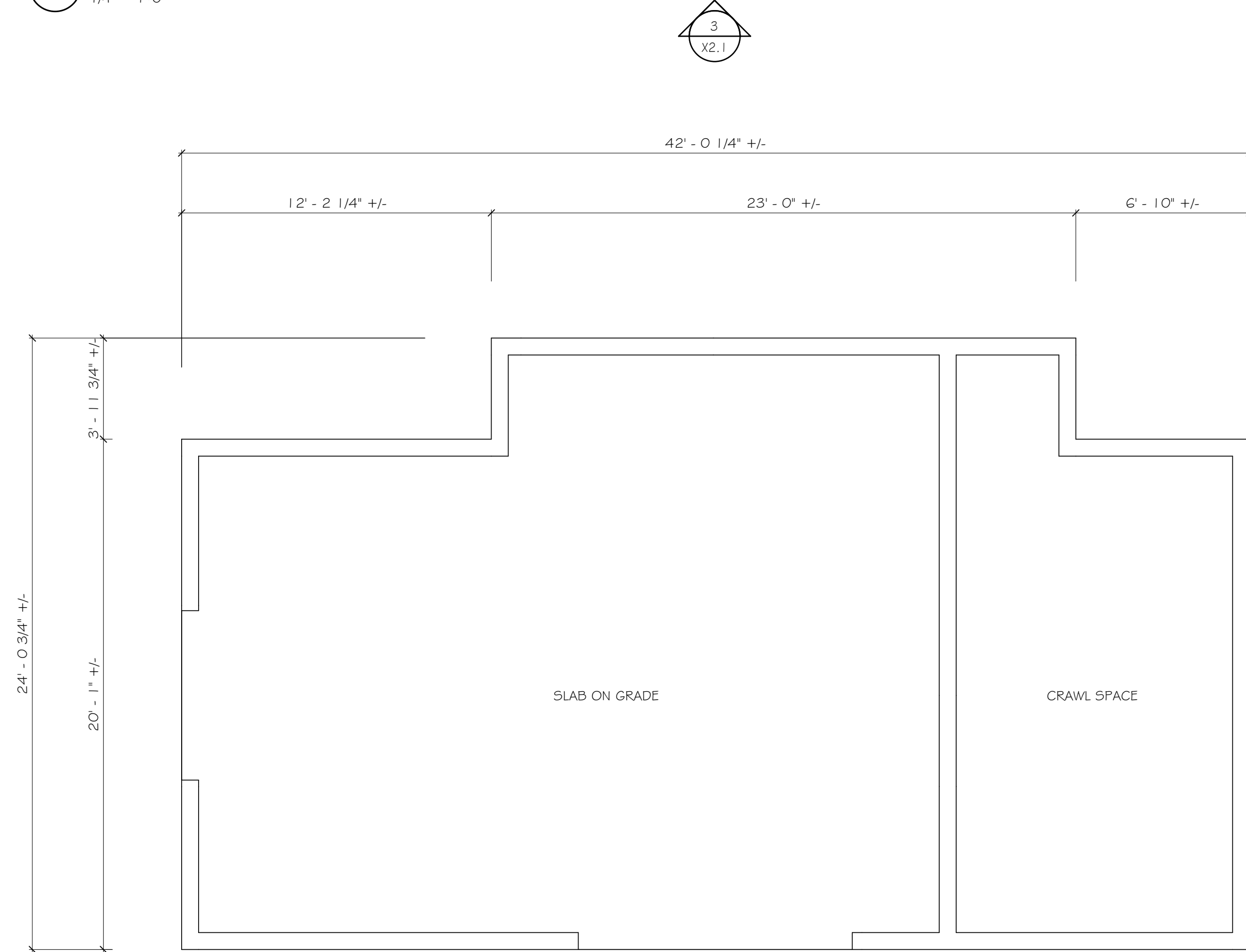
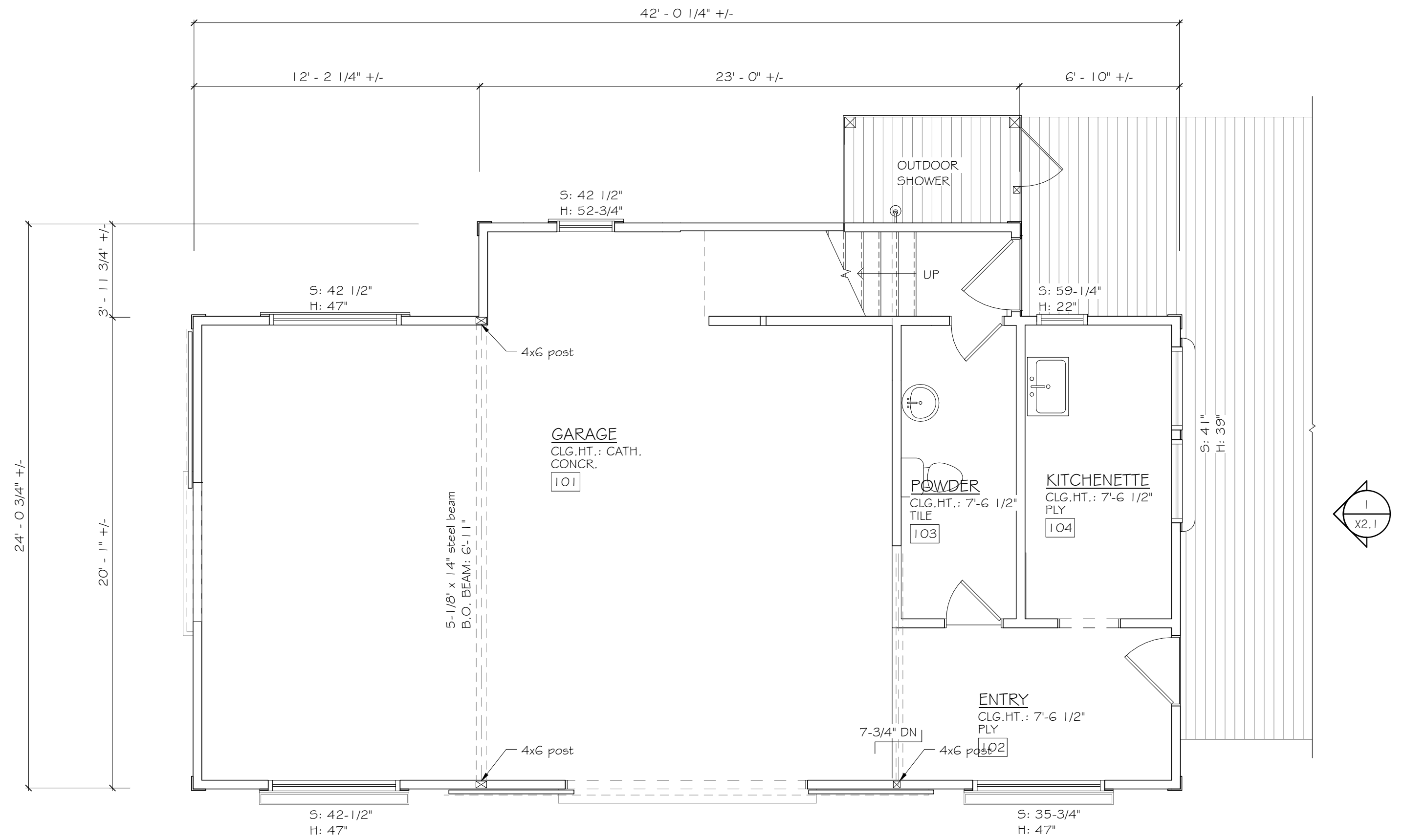
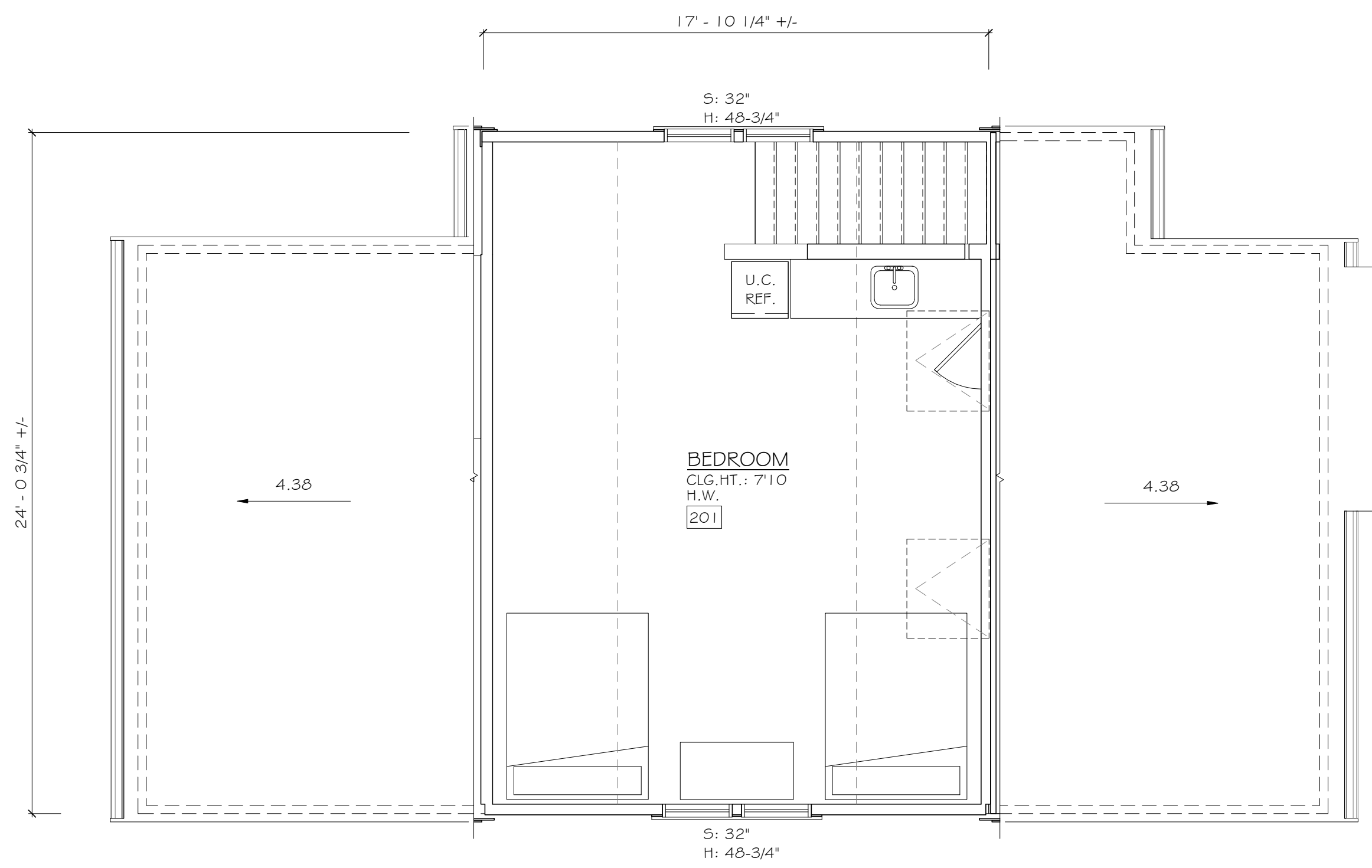
Planning Board
October 23, 2023

Joe and Wendy Kahn
1388 Halls Path Harwich, MA

Existing Floor Plans - Garage

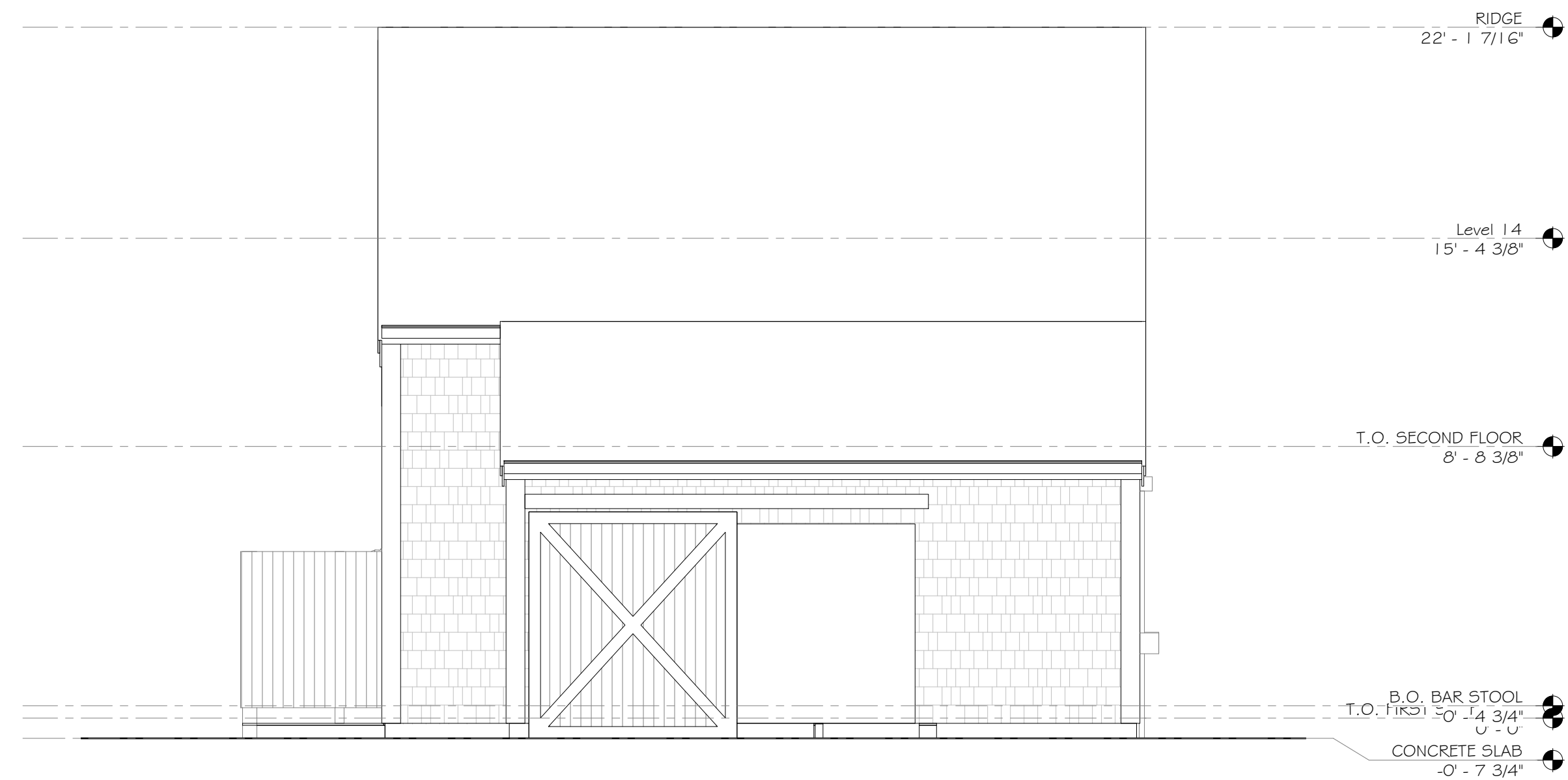
Scale: 1/4" = 1'-0"
Drawn By: JM
Project #: 1182022
Checked By: PM

X1.0



Revisions		
#	Date	Description

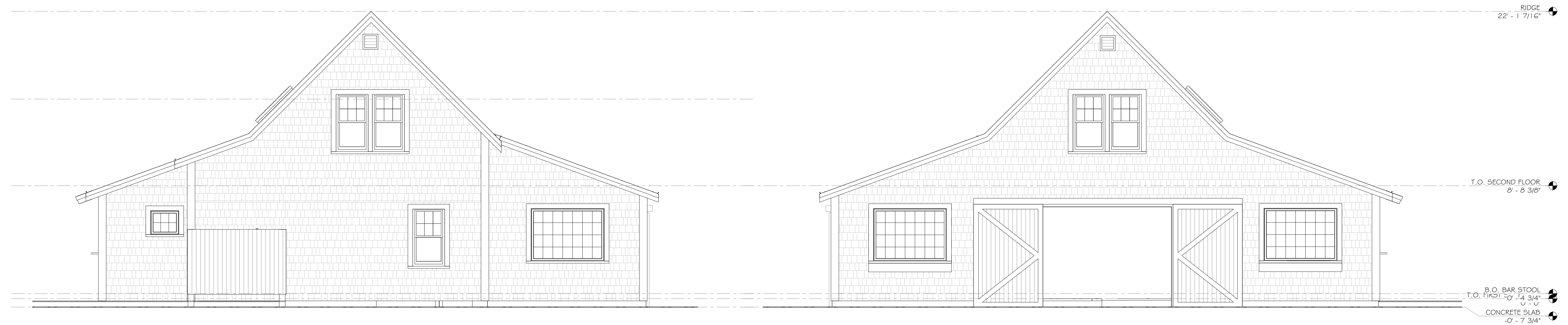
Planning Board
October 23, 2023



2 EXISTING WEST ELEVATION
1/4" = 1'-0"



1 EXISTING EAST ELEVATION
1/4" = 1'-0"



4 EXISTING NORTH ELEVATION
1/4" = 1'-0"

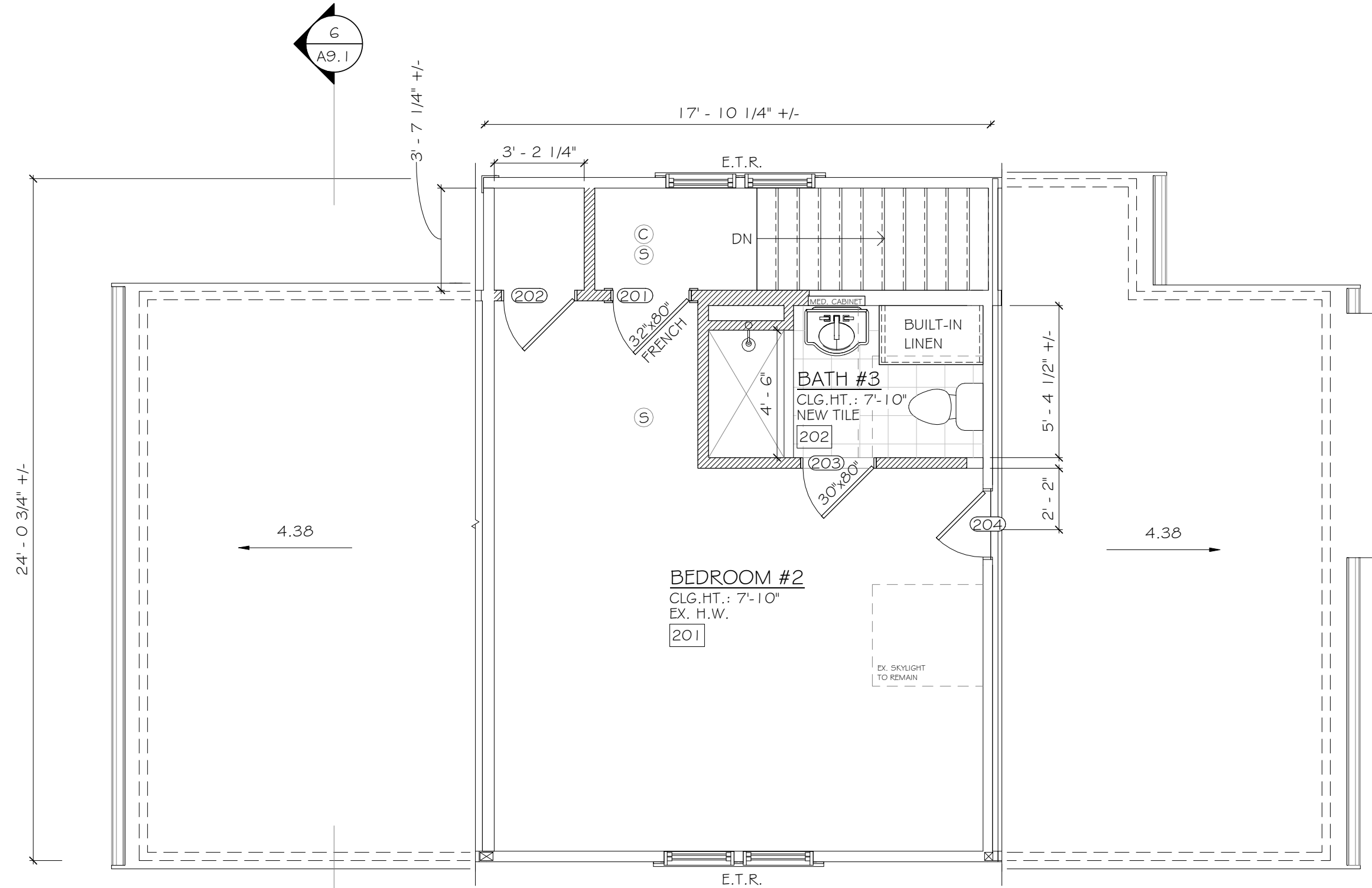
3 EXISTING SOUTH ELEVATION
1/4" = 1'-0"

Joe and Wendy Kahn
1388 Halls Path Harwich, MA

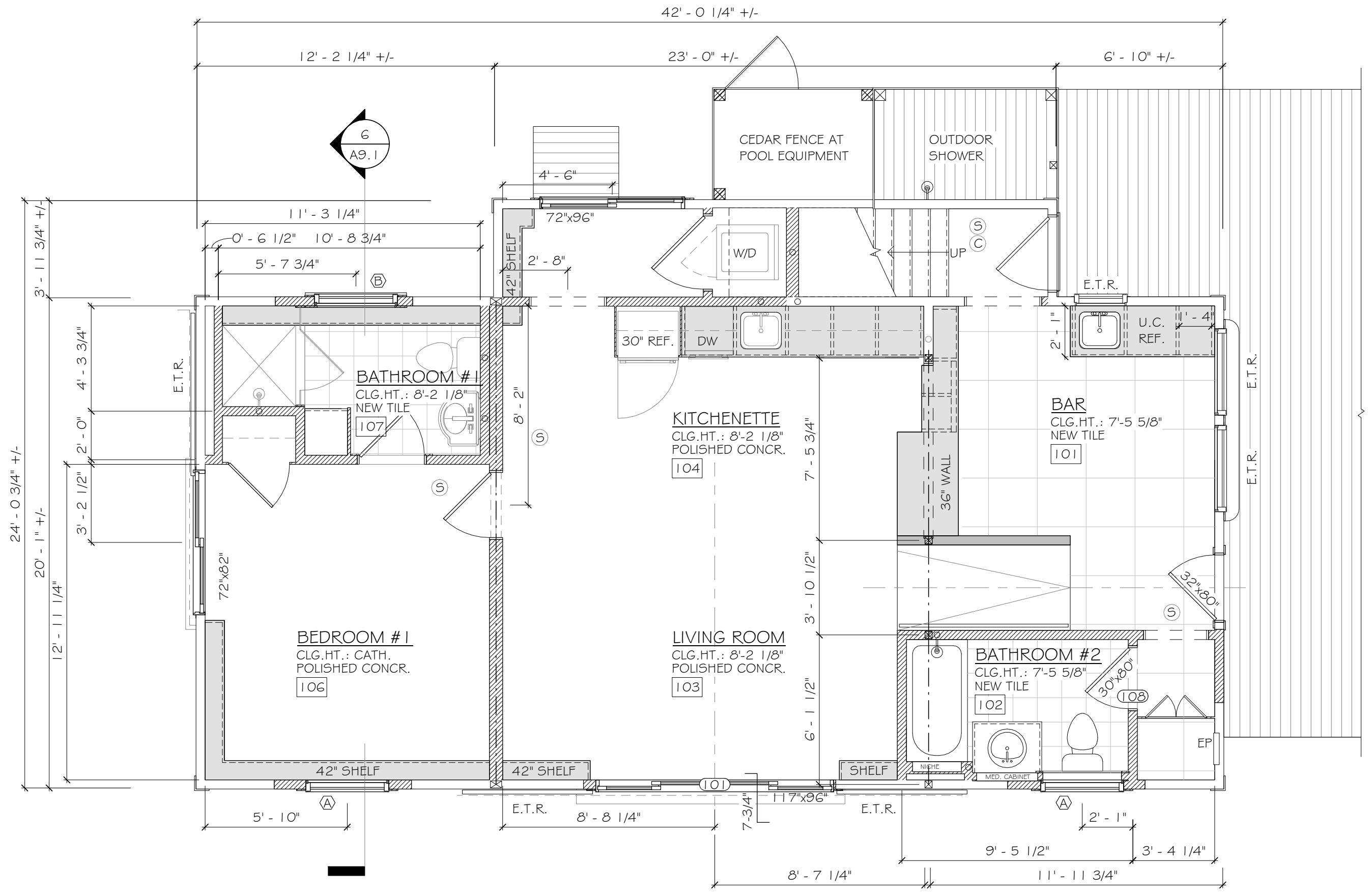
Existing Elevations - Garage

Project #: 1182022
Checked By: PM
Scale: 1/4" = 1'-0"
Drawn By: MM

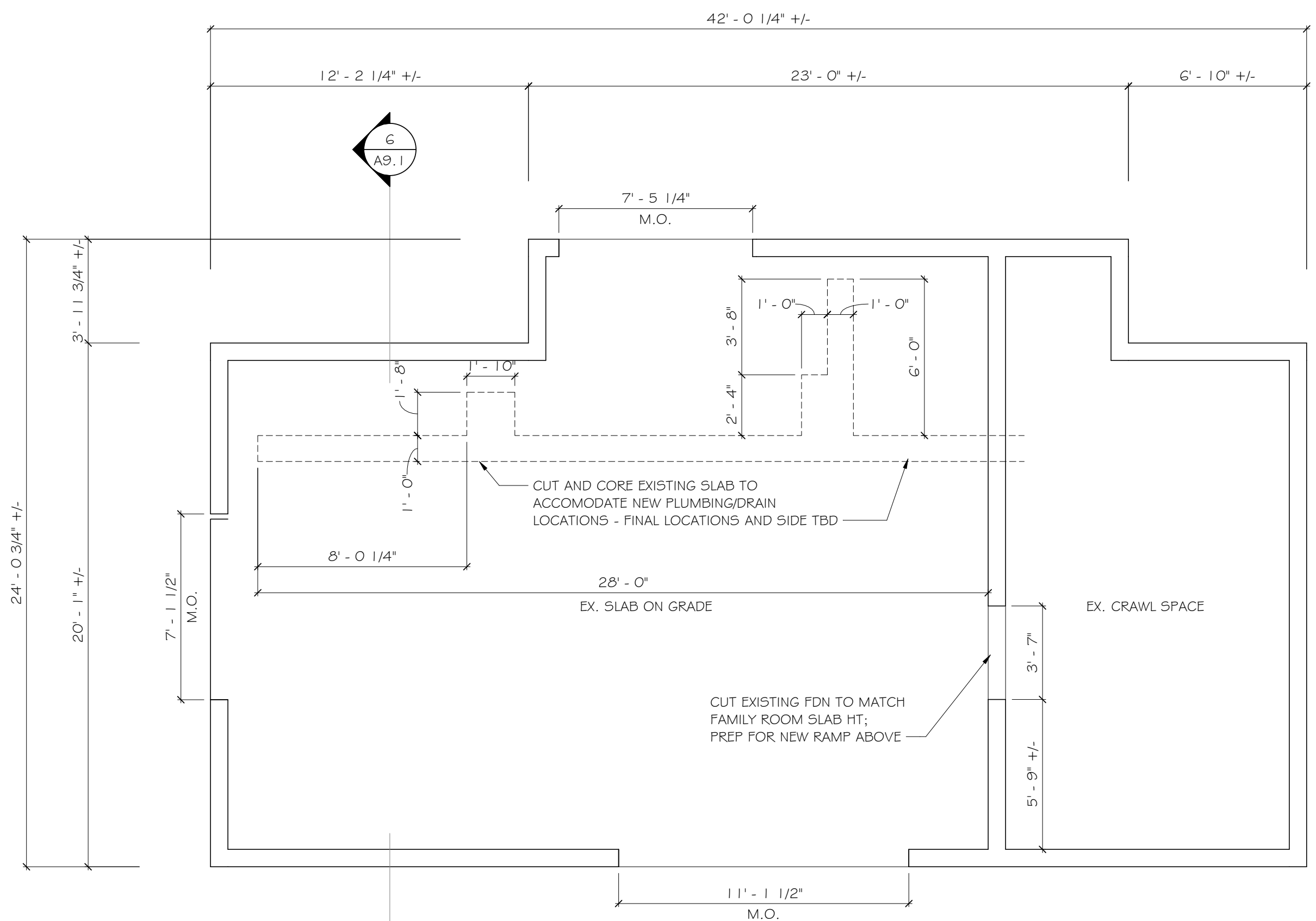
X2.1



3 Proposed Second Floor Plan
1/4" = 1'-0" SQ.FT. - 361



2 Proposed First Floor Plan
1/4" = 1'-0" SQ.FT. - 940



1 Proposed Basement Plan
1/4" = 1'-0"

DEMOLITION / CONSTRUCTION LEGEND

- EXISTING PARTITIONS TO REMAIN
- EXISTING PARTITIONS TO BE REMOVED
- NEW WALL CONSTRUCTION
- E.T.R. EXISTING TO REMAIN

Revisions		
#	Date	Description

Planning Board
October 23, 2023

Revisions

#	Date	Description

Planning Board
October 23, 2023

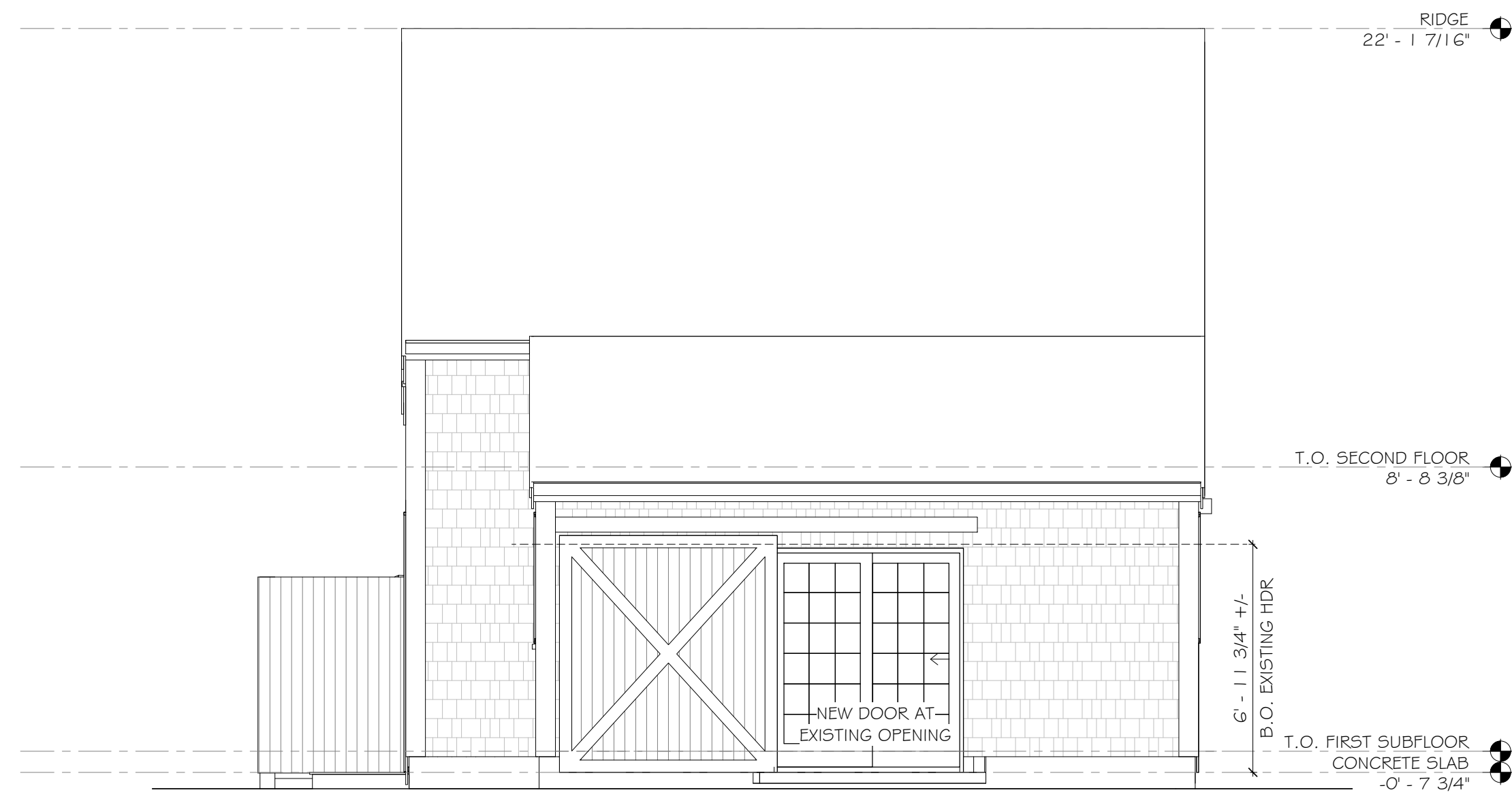
Joe and Wendy Kahn
1388 Halls Path Harwich, MA

Proposed Elevations - Garage

Project #: 1182022
Checked By: PM

Scale: 1/4" = 1'-0"
Drawn By: MM

A2.1



4 Proposed West Elevation

1/4" = 1'-0"



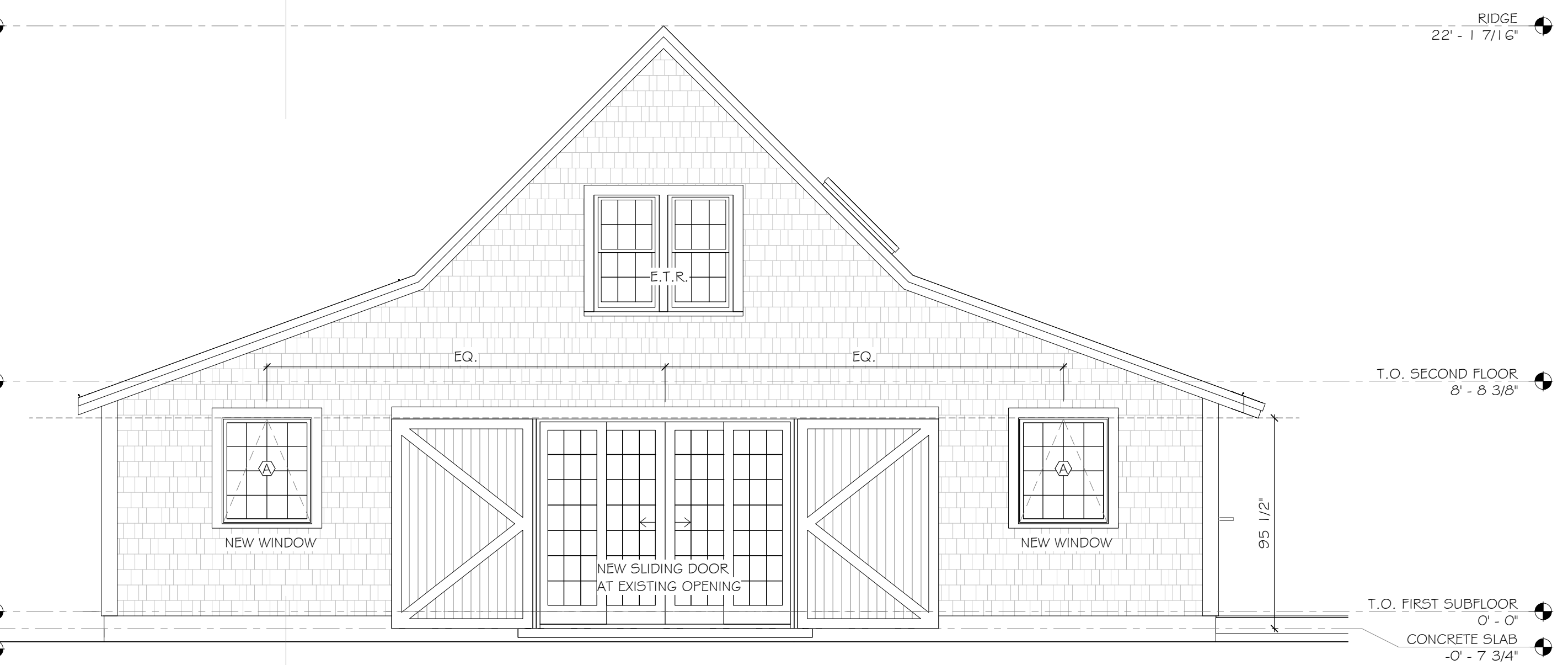
3 Proposed East Elevation

1/4" = 1'-0"



2 Proposed North Elevation

1/4" = 1'-0"



1 Proposed South Elevation

1/4" = 1'-0"