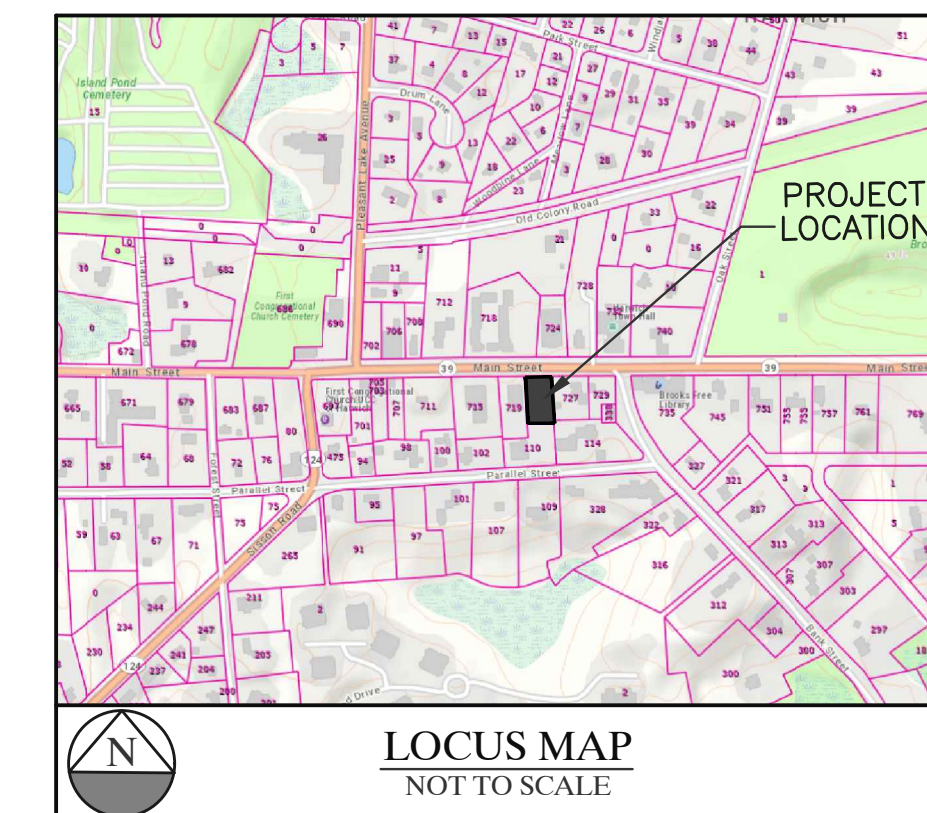
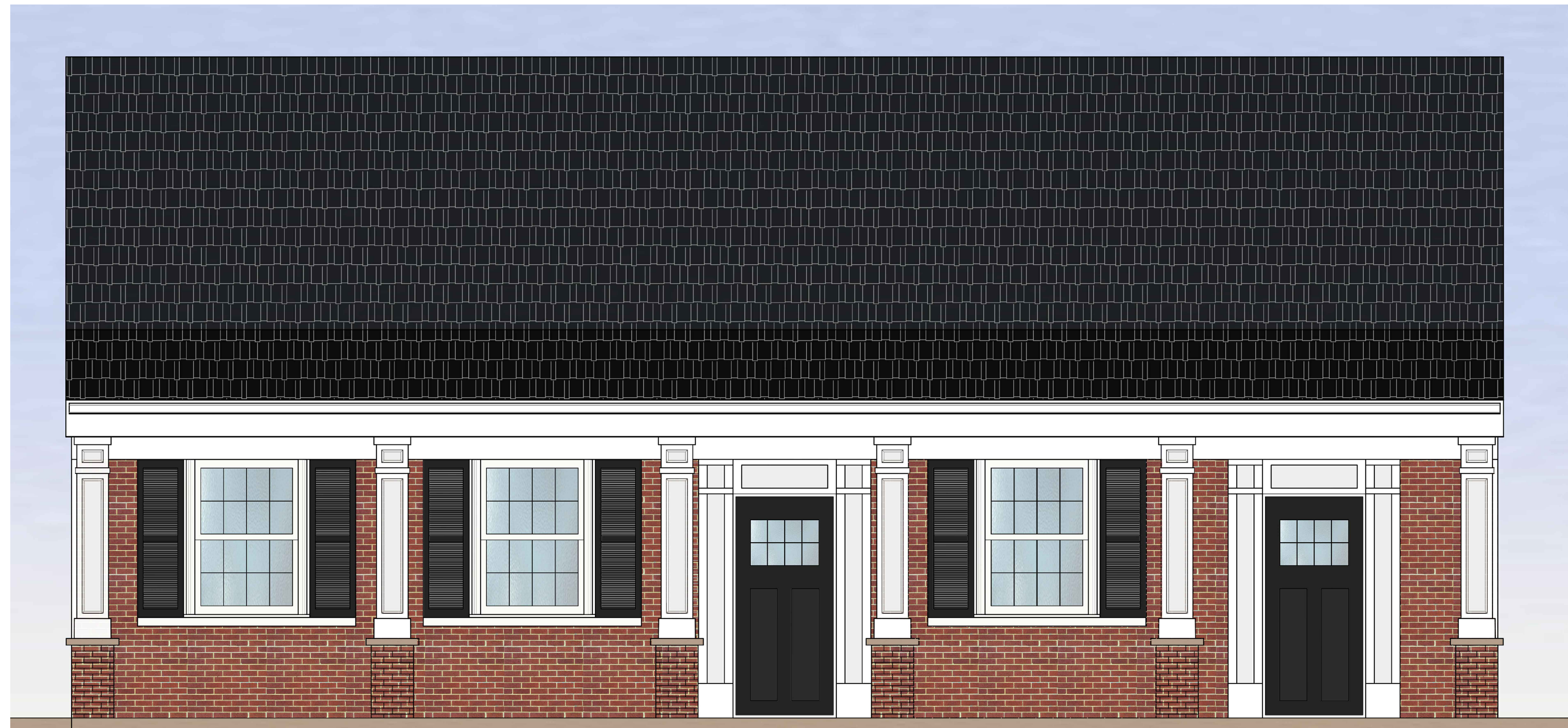
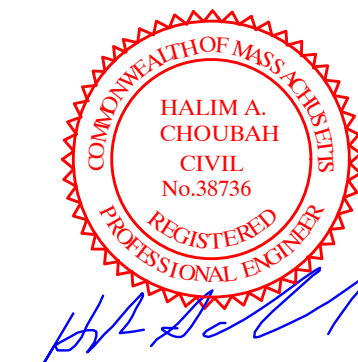


# PROPOSED MODIFICATIONS AT 721 MAIN STREET HARWICH, MA 02645



## INDEX OF DRAWINGS

SHEET	DESCRIPTION
1.	COVER SHEET
2.	EXISTING & PROPOSED SITE LAYOUT
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5.	EXISTING FLOOR LAYOUT
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8.	PROPOSED BUILDING ELEVATIONS
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### GENERAL NOTES

- ALL LANDSCAPING SHOWN ON PLANS SHALL CONFORM TO THE TOWN OF HARWICH ZONING REGULATIONS.
- ALL SITE LIGHTING SHOWN ON PLANS SHALL BE DIRECTED ONTO SITE AND CONFORM TO THE APPLICABLE TOWN OF HARWICH ZONING REGULATIONS.
- ALL SIGNAGE SHALL CONFORM TO APPLICABLE TOWN OF HARWICH ZONING REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
- SITE IMPROVEMENTS DEPICTED ON THESE PLANS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSIONS AND GRADE AND NUMBER OF SPACES.
- ALL UTILITIES INCLUDING ALL ELECTRIC, TELEPHONE, CABLE TELEVISION, AND OTHER COMMUNICATION LINES, BOTH MAIN AND SERVICE CONNECTIONS, SERVICING NEW BUILDING SHALL BE PROVIDED BY UNDERGROUND WIRING WITHIN EASEMENTS OR DEDICATED PUBLIC RIGHT-OF-WAY, INSTALLED IN ACCORDANCE WITH THE BOARD OF PUBLIC WORKS SPECIFICATIONS.
- THE LOCATION OF EXISTING BUILDING, EXISTING UTILITIES, GRADING AND PROPERTY LINE INFORMATION ARE TAKEN FROM A PLAN ENTITLED, "EXISTING CONDITIONS PLAN OF LAND IN HARWICH MA", PREPARED FOR 721 HARWICH, LLC, BY SCHOFIELD BROTHERS OF CAPE COD, 161 CRANBERRY HIGHWAY, ORLEANS, MA 02653, DATED JANUARY 16, 2022, SCALE 1"=10'.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF MASSACHUSETTS AND THE TOWN OF HARWICH PRIOR TO COMMENCING ANY WORK.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES (ELECTRIC, GAS, TELEPHONE, WATER AND SEWER) SHOWN ON THIS PLAN IS APPROXIMATE AND WERE OBTAINED FROM VARIOUS SOURCES OF INFORMATION.
- PRIOR TO ANY EXCAVATION ON THIS SITE, THE EXCAVATING CONTRACTOR SHALL MAKE THE REQUIRED 72 HOUR NOTIFICATION TO DIG SAFE (1-888-344-7233) AND ANY OTHER UTILITIES WHICH MAY HAVE CABLE, PIPE OR EQUIPMENT IN THE CONSTRUCTION AREA FOR VERIFICATION OF LOCATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW THE CONSTRUCTION DRAWING AND TO NOTIFY THE ENGINEER WITH ANY DISCREPANCY BETWEEN THE PROPOSED WORK SHOWN ON THESE PLANS AND THE REQUIREMENTS OF LOCAL AND STATE CODES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY AND JOB SAFETY ON THE SITE. THE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH "OSHA" AND THE LOCAL MUNICIPALITY CONSTRUCTION STANDARDS.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, SUPERVISION, TOOLS, EQUIPMENT, FUEL, POWER, SANITARY FACILITIES AND INCIDENTALS NECESSARY FOR THE FURNISHING, PERFORMANCE TESTING, START-UP AND COMPLETION OF THIS WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ANY UNSUITABLE OR SURPLUS MATERIALS PROPERLY OF SITE IN ACCORDANCE WITH LOCAL AND STATE ENVIRONMENTAL CODES.
- IN CASE OF A CONFLICT BETWEEN THE PROPOSED WORK SHOWN ON THIS PLAN AND THE APPLICABLE LOCAL AND STATE CODES, THE APPLICABLE CODES SHALL GOVERN.
- THE CONTRACTOR SHALL SHORE, BRACE, SHEET PILE OR OTHERWISE SUPPORT THE EXISTING UTILITIES AND STREETS NEXT TO THE PROPOSED WORK.
- ALL CONSTRUCTION MATERIAL, COMPONENTS, AND METHODS EMPLOYED ON THIS PROJECT WORK SHALL CONFORM TO THE TOWN OF HARWICH OR THE MASS DOT FOR BRIDGES AND HIGHWAYS AS AMENDED TO PRESENT.
- DESIGN LOADING FOR ALL PRE-CAST UNITS TO BE AASHTO-H20 UNLESS OTHERWISE NOTED.
- RESTORE ALL DISTURBED AREAS BEYOND PROJECT LIMITS AND 6" LOAM AND SEED ALL AREAS NOT PAVED.
- COORDINATE UTILITY INSTALLATION WITH APPROPRIATE VENDORS.
- ALL OUTSIDE MECHANICAL APPURTENANCES TO BE PLACED ON CONCRETE UTILITY PADS AND SCREENED WITH FINISH TO MATCH BUILDING.
- ROOF DRAIN TIE-INS AND DRAIN LINES SHALL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.

### GENERAL BUILDING NOTES:

- PROPOSED MODIFICATIONS & CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE 9th EDITION AND ITS APPLICABLE REFERENCED STANDARDS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE PORTION OF THE WORK.
- DETAILS NOT SPECIFICALLY SHOWN SHALL BE SIMILAR TO THOSE FOR MOST NEARLY SIMILAR CONDITIONS AS DETERMINED BY THE ENGINEER.
- ELECTRICAL WORK AND SERVICE UPGRADES SHALL BE IN ACCORDANCE WITH THE GOVERNING CODES, REGULATIONS AND ORDINANCES. THESE REQUIREMENTS ARE MINIMUM CRITERIA AND NO REDUCTIONS IN STANDARDS PERMITTED BY CODES WILL BE ALLOWED.
- PROPOSED MODIFICATIONS SHOWN ON THESE PLANS ARE ASSOCIATED WITH A 15'X30' (450 S.F.) BUILDING ADDITION TO AN EXISTING (2,500+/- S.F.) ONE STORY COMMERCIAL BUILDING LOCATED AT 721 MAIN STREET IN HARWICH, MA. THE APPLICANT IS ALSO PROPOSING FLOOR MODIFICATIONS TO ACCOMMODATE TWO COMMERCIAL UNITS IN THE FRONT OF THE BUILDING AND TWO 1,000 S.F. TWO BEDROOM APARTMENTS TO THE REAR OF THE BUILDING.
- PROPOSED MODIFICATIONS ARE SUBJECT TO THE INSPECTION AND APPROVAL OF THE LOCAL BUILDING AND BOARD OF HEALTH INSPECTORS IN COMPLIANCE WITH ALL APPLICABLE BUILDING AND HEALTH CODES.
- THIS ENGINEER IS NOT RESPONSIBLE FOR ANY HIDDEN STRUCTURAL PROBLEMS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ANY UNSUITABLE OR SURPLUS MATERIALS PROPERLY OFF SITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE ENVIRONMENTAL CODES.
- THE CONTRACTOR SHALL SHORE, BRACE, SHEET PILE OR OTHERWISE SUPPORT THE STRUCTURE AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY AT ALL TIMES. SHORING DESIGN SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.
- HEADERS SHALL BE PLACED ACROSS TOP OF SHORING POSTS AND SHALL BE TIGHT AGAINST UNDERSIDE OF STRUCTURE ABOVE.
- SHORING SHALL BEAR ON SLEEPERS TO PREVENT DAMAGE TO STRUCTURE BELOW.
- NEW STRUCTURAL SYSTEM SHALL BE COMPLETELY INSTALLED AND CAPABLE OF SUPPORTING DESIGN LOADS BEFORE SHORES ARE REMOVED. SHORES SHALL BE RELEASED GRADUALLY.

SPECIAL PERMIT/  
SITE PLAN REVIEW SET

Prepared For:  
721 HARWICH, LLC  
721 MAIN STREET,  
HARWICH, MA

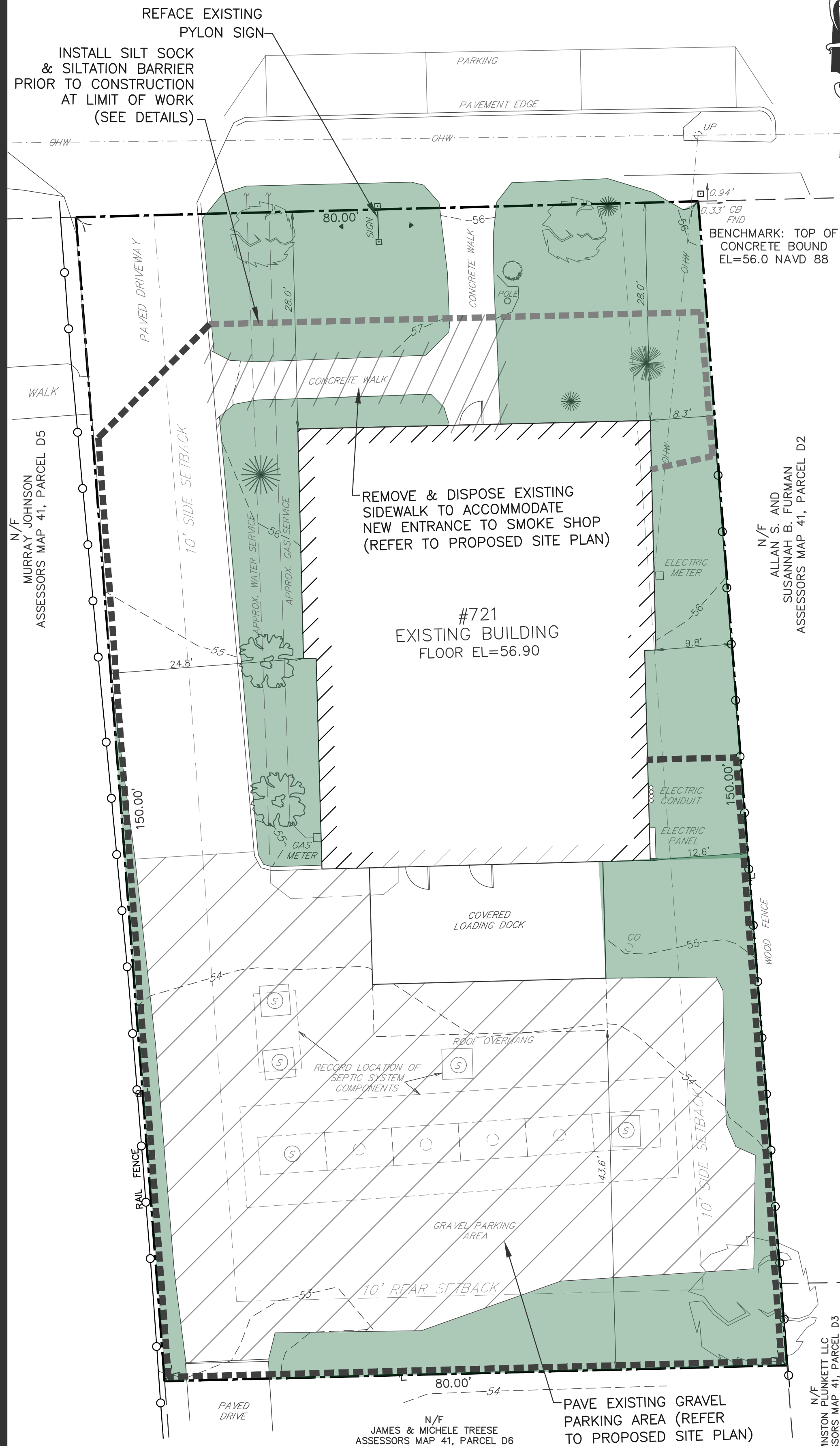
Prepared By:



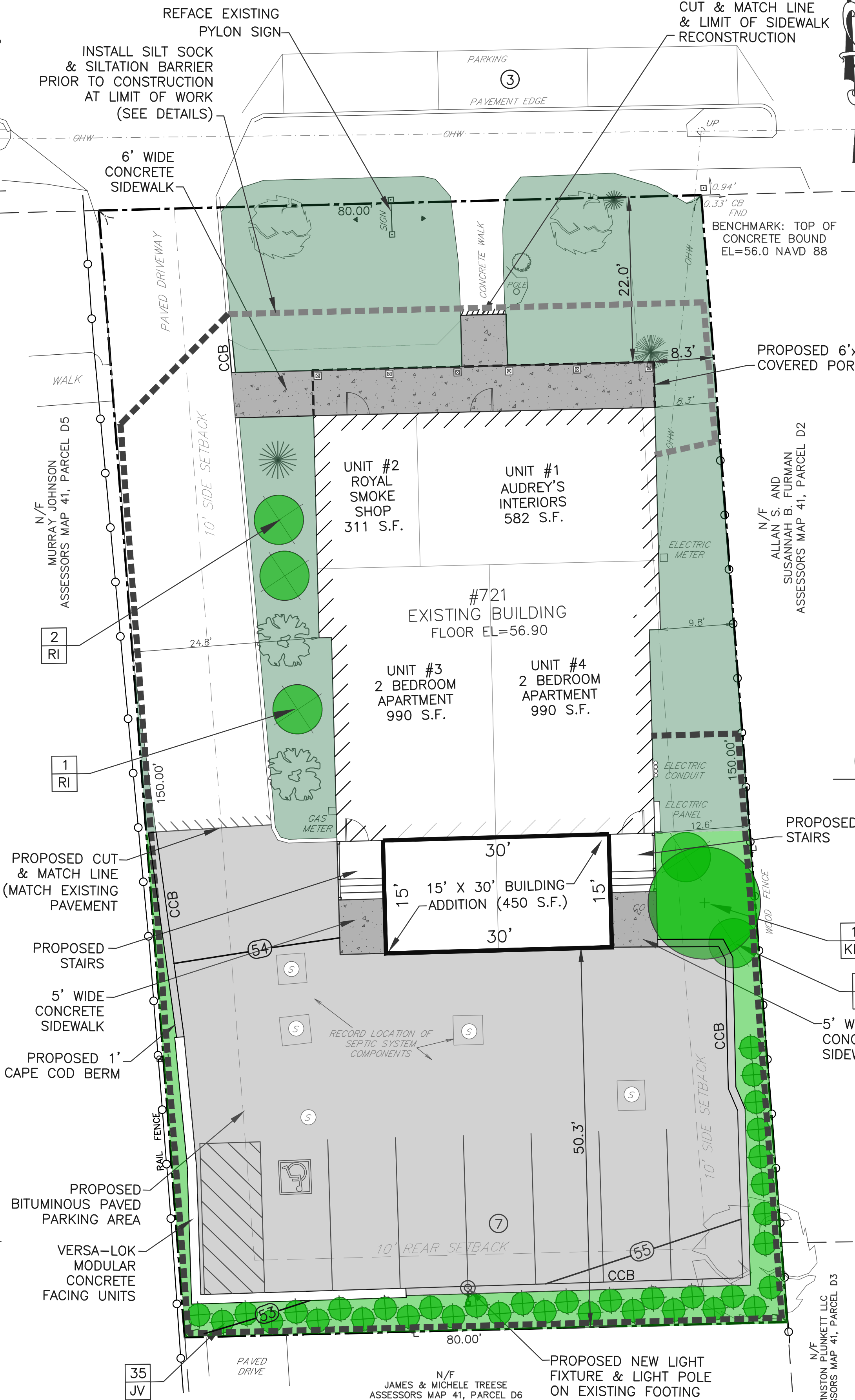
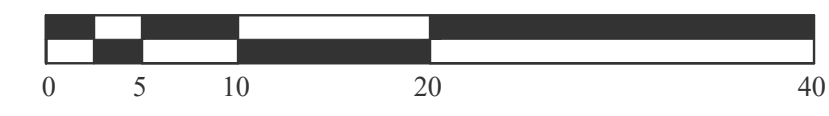
112 STATE ROAD (ROUTE 6) No. DARTMOUTH, MA 02747  
TEL:(508) 858-5040 FAX:(508) 858-5041 www.choubahgroup.com  
AUGUST 10, 2022  
PROJECT N° 22-611

**MAIN STREET**

**MAIN STREET**



**EXISTING CONDITIONS**  
1"=10' SCALE IN FEET

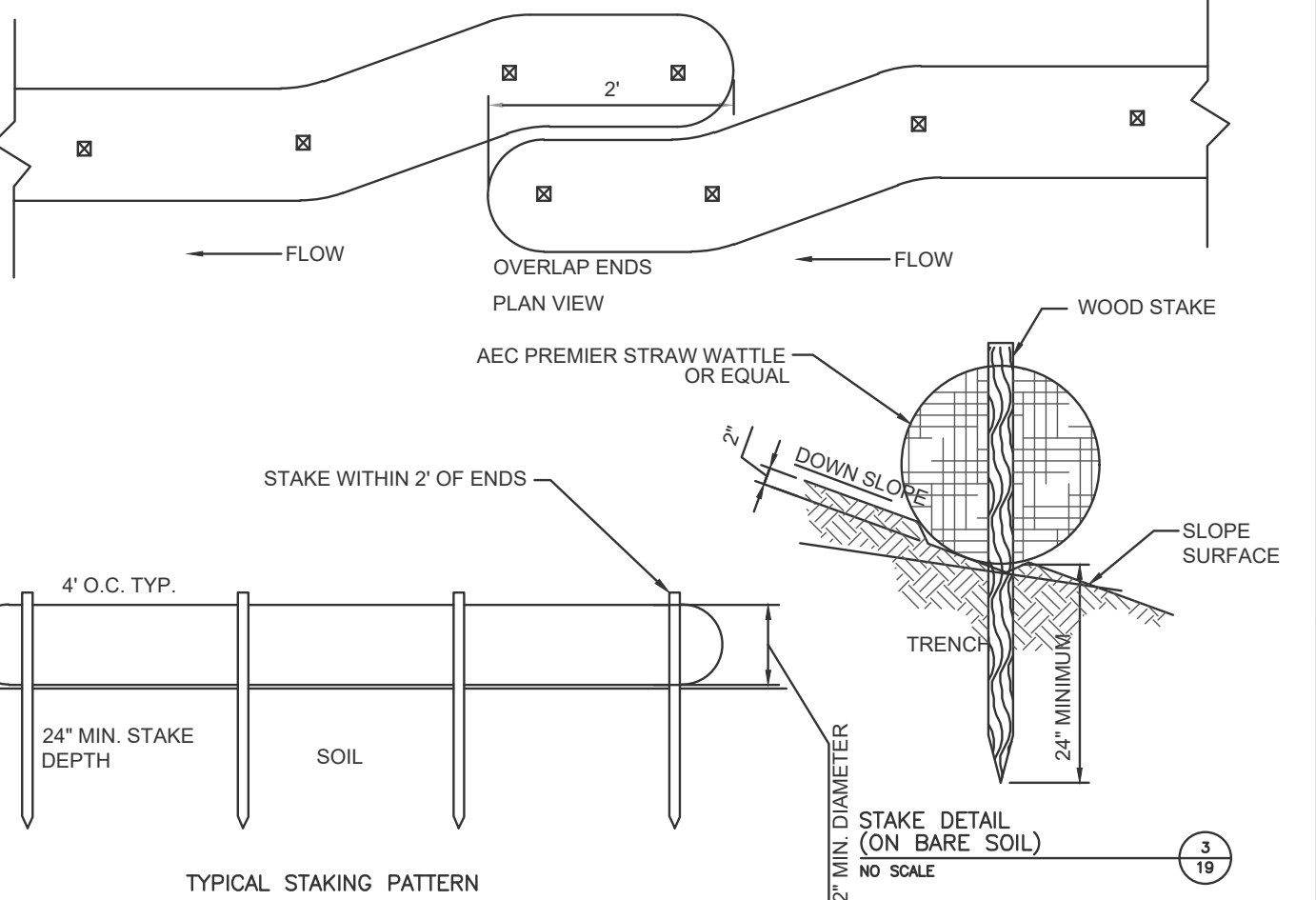
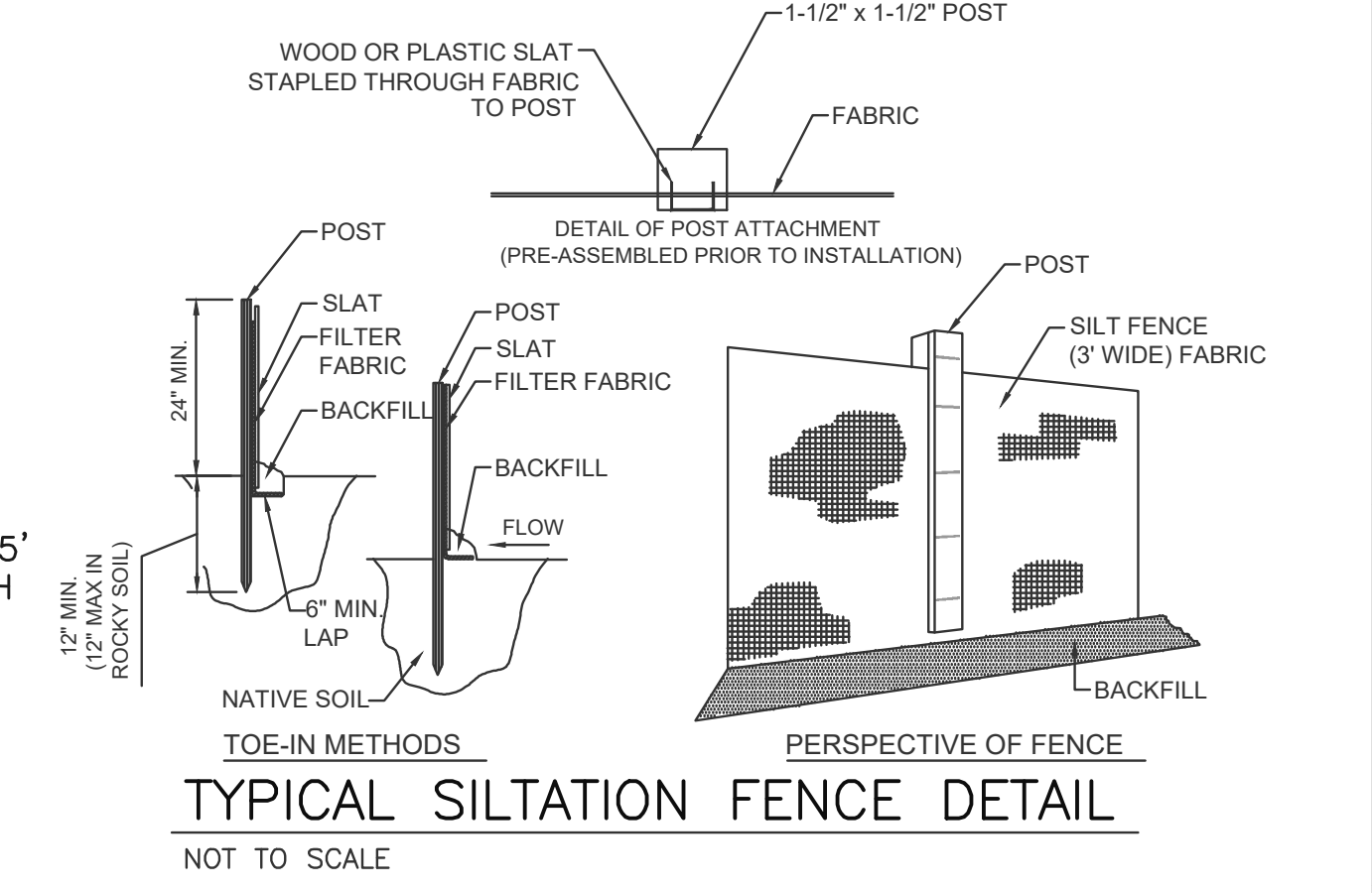


**PROPOSED SITE LAYOUT**  
1"=10' SCALE IN FEET



**NOTE:**  
FOR LANDSCAPE SCHEDULE AND DETAILS REFER TO SHEET #3.

- SURVEY NOTES**
1. LOCATION OF OVERHEAD AND UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS UTILITY POLES, CATCH BASINS, MANHOLES, WATER GATES, ETC. THE LOCATION SHOWN SHALL BE CONSIDERED APPROXIMATE. BEFORE CONSTRUCTION, THE LOCATION OF UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR. IN ACCORDANCE WITH CH. 82, SEC 40 AS AMENDED, ALL UTILITY COMPANIES AND APPLICABLE GOVERNMENT AGENCIES MUST BE CONTACTED. CONTACT "DIG-SAFE" AT 1-888-344-7233.
  2. VERTICAL DATUM BASED ON NAVD 1988 DATUM. SEE BENCHMARK ON PLAN.
  3. EXISTING CONDITIONS INCLUDING TOPOGRAPHIC DATA WERE OBTAINED BY FIELD SURVEY DECEMBER, 2021.



**TYPICAL "SILT SOCK" WITH SILT FENCING FOR EROSION CONTROL**  
NOT TO SCALE

**PARKING DATA**

RETAIL (ROYAL SMOKE SHOP & AUDREY'S INTERIORS):  
ONE (1) SPACE PER ONE HUNDRED FIFTY (150) SQUARE FEET OF FLOOR AREA DEDICATED TO CUSTOMER USE OR DISPLAY, BUT NOT LESS THAN 70% OF THE TOTAL AREA.

70% TOTAL AREA = 0.7 X 893 S.F./150 S.F. = 4 SPACES

MULTI FAMILY OR MIXED USE DEVELOPMENT:  
1.5 SPACES PER UNIT = 3 SPACES  
(2 UNITS) X (1.5 SPACES)

TOTAL PARKING REQUIRED = 7 SPACES

PROVIDED:  
TOTAL PARKING PROVIDED = 7 SPACES

721 MAIN STREET, HARWICH, MA

**ZONING ANALYSIS TABLE (C-V) COMMERCIAL VILLAGE (HCHDO) HARWICH CENTER HISTORIC DISTRICT OVERLAY**

ZONING CRITERIA	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	40,000 S.F.	15,000 S.F.	11,984 S.F.
MIN. FRONTAGE	150'	150'	80'
MAX. LOT COVERAGE	80%	80%	68.0%
MAX. BUILDING COVERAGE	50%	50%	26.1%
MAX. BLDG. HEIGHT	30'	30'	21'-4" +/-
MIN. FRONT SETBACK	25'	***	28'
MIN. REAR SETBACK	20'	10'	43.6'
MIN. SIDE SETBACK	20'	10'	8.3'

\*\*\* FRONT SETBACK REQUIREMENTS FOR HARWICH CENTER OVERLAY DISTRICT SHALL BE DETERMINED AT THE TIME OF SITE PLAN REVIEW BASED ON EXISTING DEVELOPMENT PATTERNS AND THE ELEMENTS OF THE PROPOSED PROJECT.



112 STATE ROAD (ROUTE 6),  
No. DARTMOUTH, MA 02747  
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Project:  
**PROPOSED MODIFICATIONS AT 721 MAIN STREET, HARWICH, MA**

Prepared For:  
**721 HARWICH, LLC  
721 MAIN STREET,  
HARWICH, MA**

**SITE DATA :**  
ADDRESS: 721 MAIN STREET,  
HARWICH, MA 02645

OWNER: 721 HARWICH, LLC  
ASSESSORS MAP 41 LOT D5-1  
ZONING DISTRICT:  
COMMERCIAL VILLAGE

AREA: 11,984 Sq.Ft. (0.28 Acre)  
EXISTING USE: SMOKE SHOP  
PROPOSED USE:  
SMOKE SHOP, INTERIOR  
DESIGN OFFICE & TWO  
RESIDENTIAL APARTMENTS



**SPECIAL PERMIT/ SITE PLAN REVIEW SET**

Issue Date: 08/10/2022

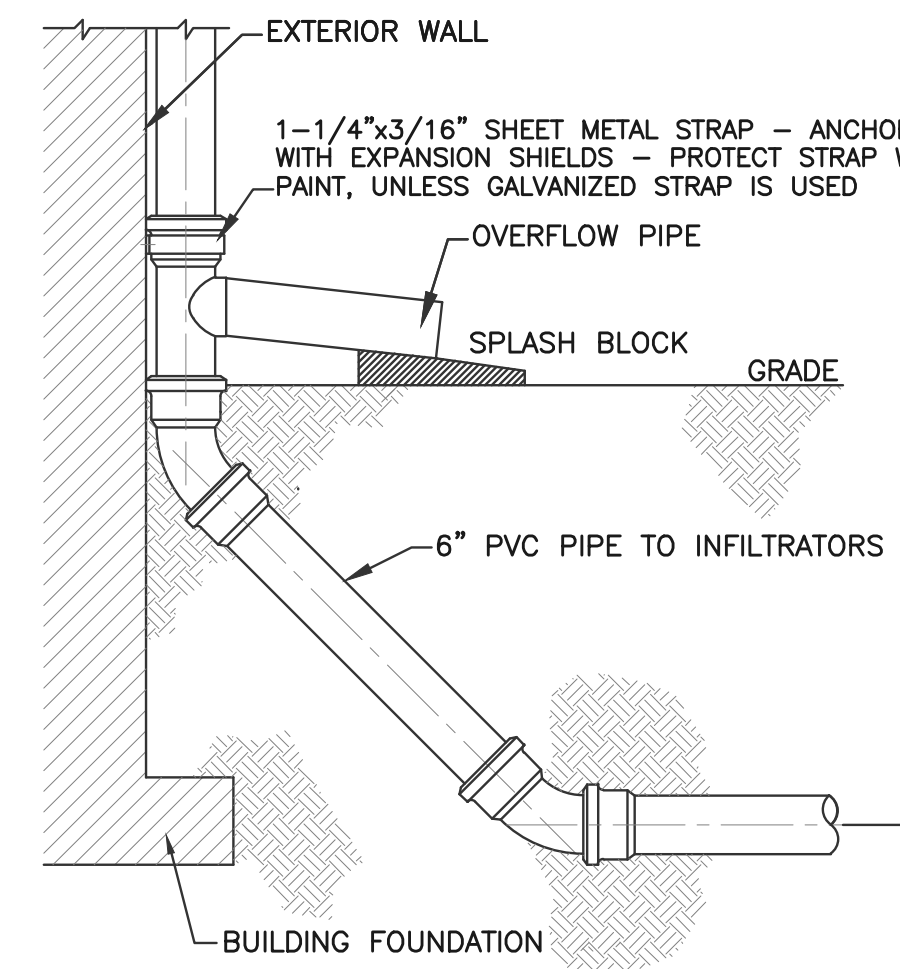
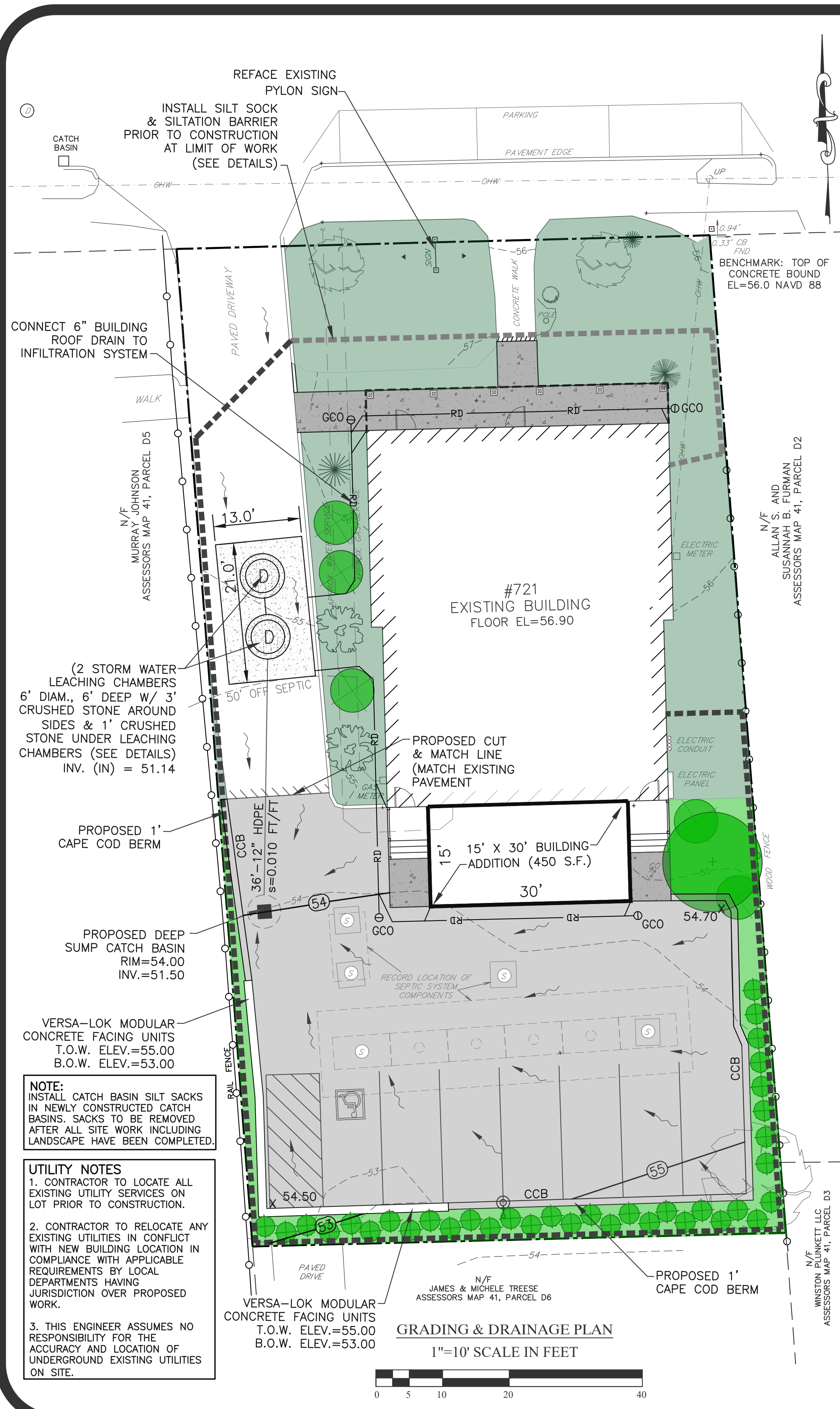
Revisions

No.	Date	Description

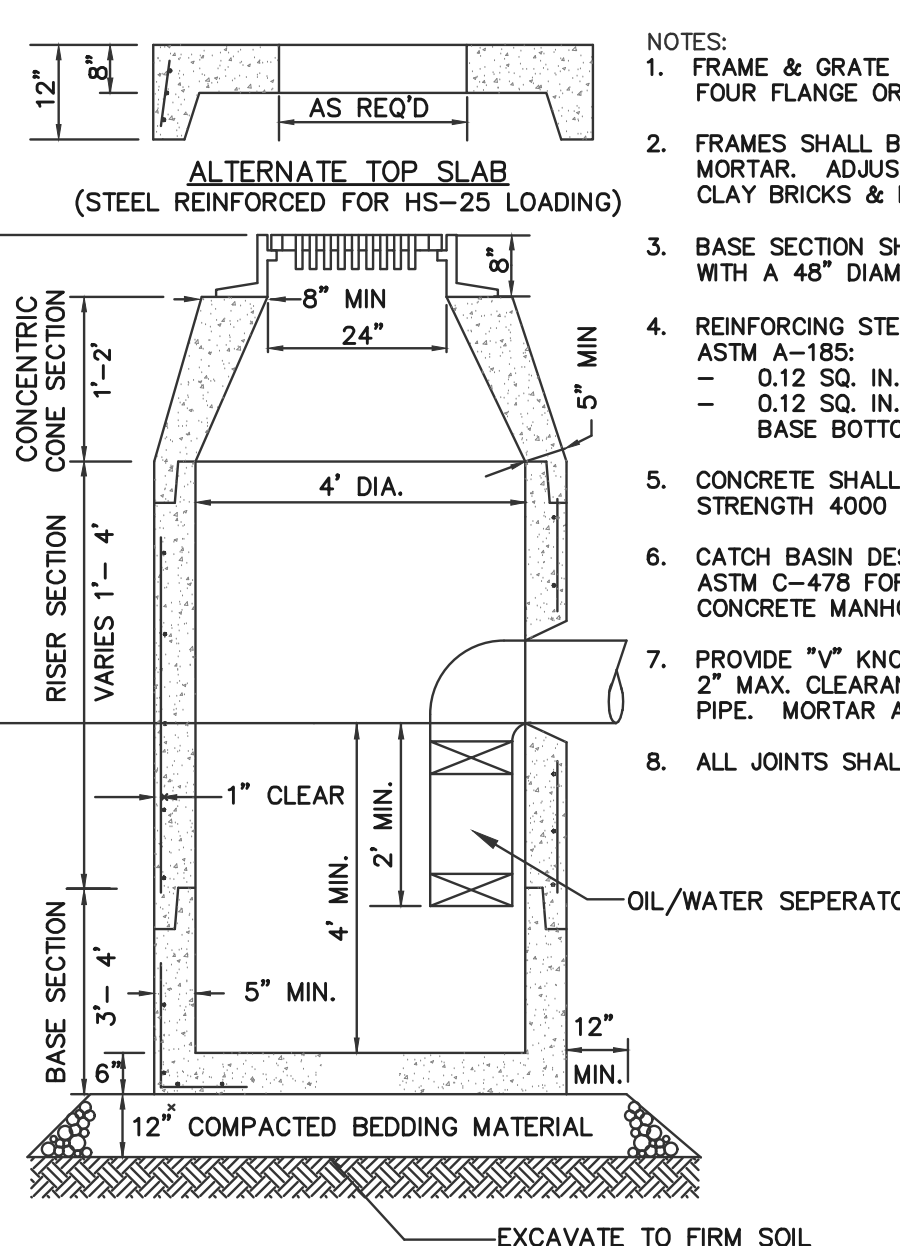
Project Number: 22-611

Scale: AS SHOWN  
Designed By: CMS  
Drawn By: CMS | Checked By: HC

Sheet Title:  
**EXISTING & PROPOSED SITE LAYOUT**



**TYPICAL ROOF DRAIN**  
NOT TO SCALE



**PRECAST 4' DIA. DEEP SUMP CATCH BASIN WITH OIL/WATER SEPARATOR**  
NOT TO SCALE

**DRAINAGE DESIGN CRITERIA (100 YEAR STORM, 24 HR PRECIPITATION PER NOAA ATLAS 14)**  
DESIGN FOR 6.97" OF ROOF & PAVED AREAS  
PERCOLATION RATE = 8.27"/hr X 24 hours/12"/FT  
(\*SANDY SOIL PER SEWAGE DISPOSAL SYSTEM SOIL DATA) = 16.6 FEET/DAY

TOTAL IMPERVIOUS AREAS TO DRAINAGE SYSTEM (PAVEMENT & ROOF AREA) = 8,380 S.F.  
VOLUME OF RUNOFF= 6.97"/12"/FT X 8,380 S.F. = 4,867 C.F.

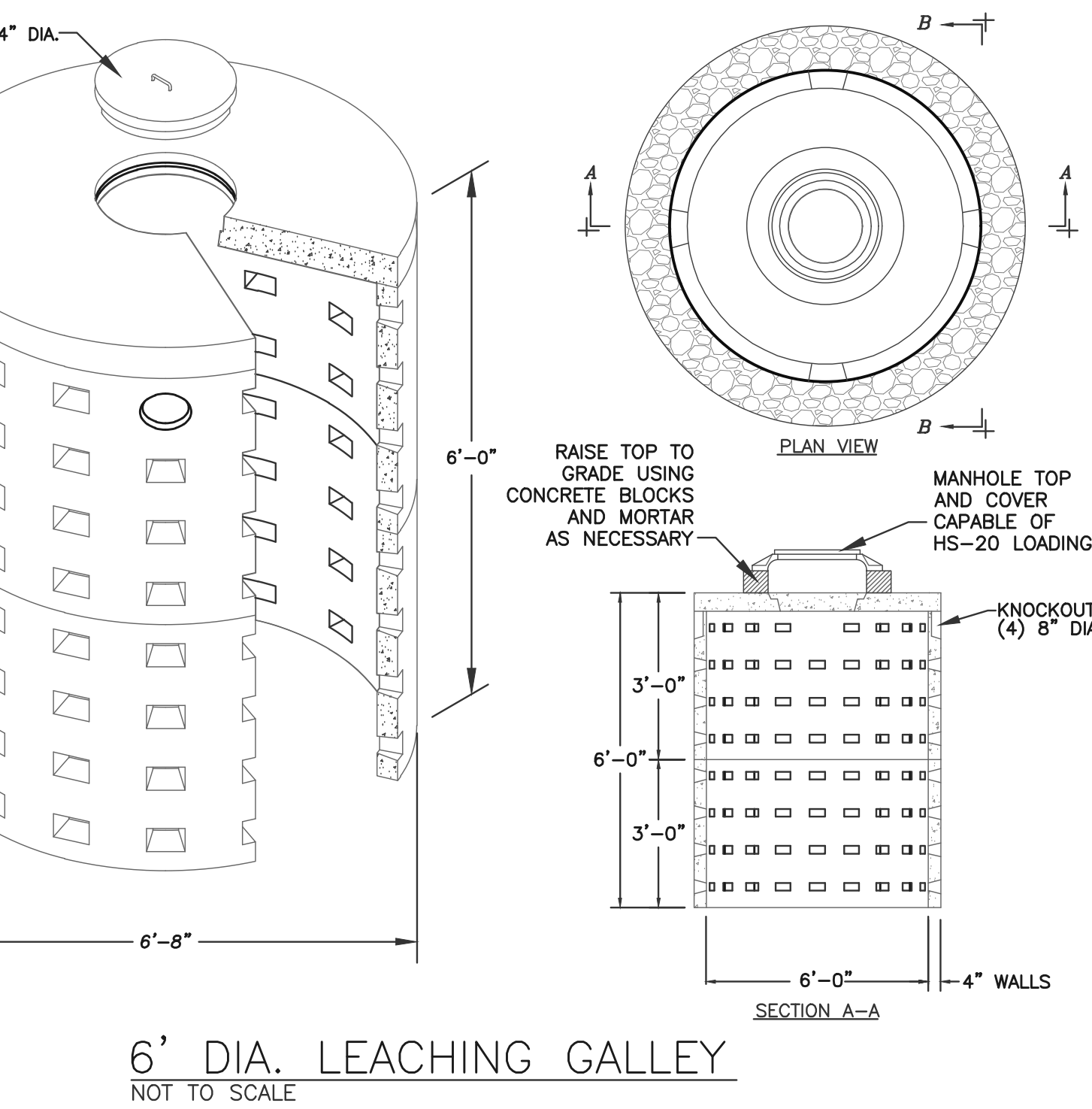
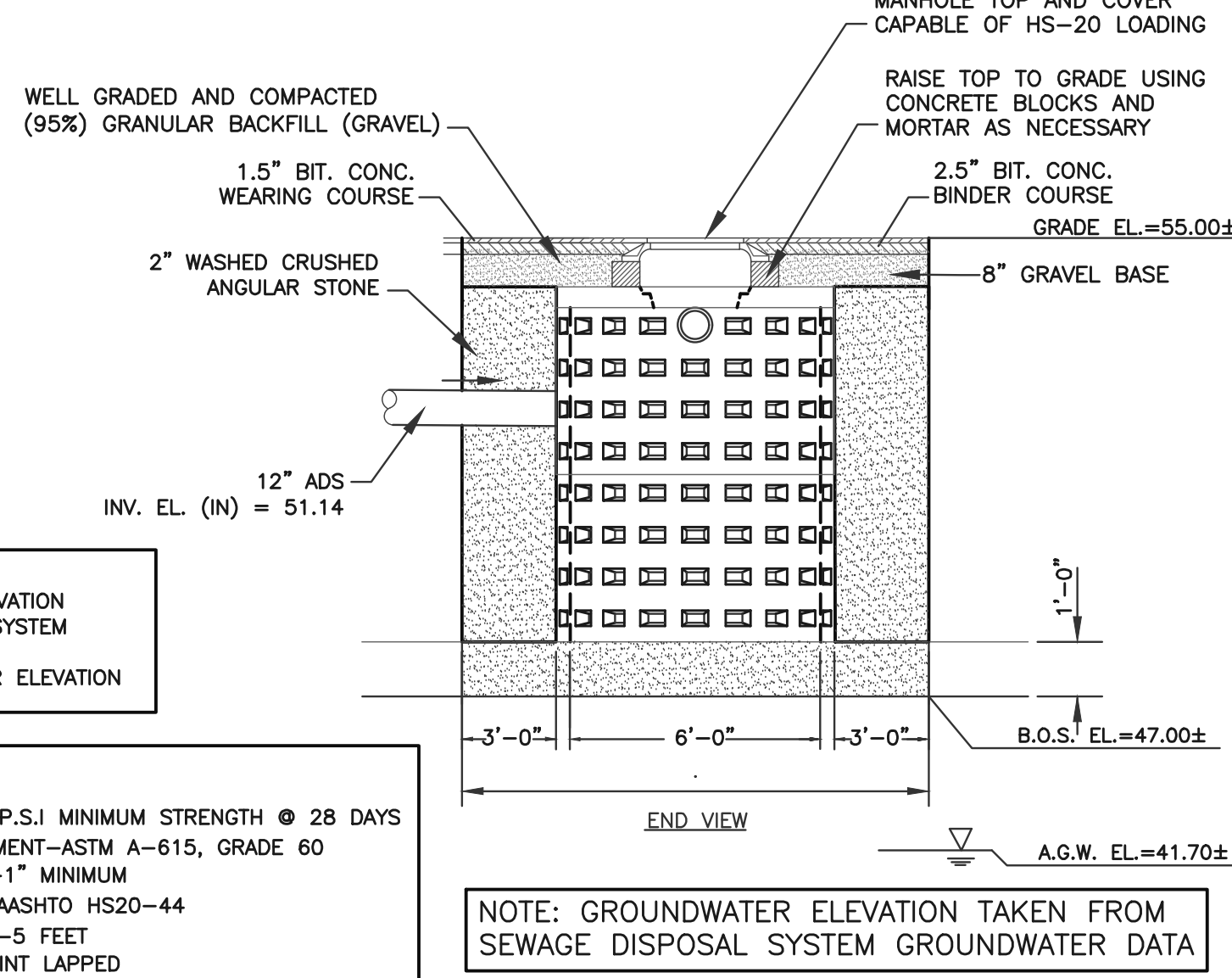
**SYSTEM STORAGE CAPACITY**  
USE (6' DIAMETER) x (6' DEEP) CONCRETE GALLEYS WITH 3' CRUSHED STONE BETWEEN AND AROUND GALLEYS & 1' UNDER.  
VOLUME OF STORAGE PER GALLEY (INSIDE VOLUME) =  $\pi(R)^2 \times (\text{DEPTH}) = \pi(3)^2 \times 6' = 170 \text{ CF/GALLEY}$   
VOLUME OF GALLEY INCLUDING 4" WALLS =  $\pi(R)^2 \times (\text{DEPTH}) = \pi(3.3)^2 \times 6' = 205 \text{ CF/GALLEY}$   
VOLUME OF STONE STORAGE (40% POROSITY) = (TOTAL SYSTEM VOLUME - VOLUME OF GALLEY) x 0.40  
=  $(\pi(R)^2 \times \text{DEPTH} - 205) \times 0.40$   
=  $(3.14(5)^2 \times 7 - 205) \times 0.40$   
= 138 CF/GALLEY

TOTAL CAPACITY PER UNIT = 205 C.F. + 138 C.F. = 343 C.F./UNIT  
TOTAL SYSTEM STORAGE CAPACITY = (343 C.F.) x (2 UNITS) = 686 C.F.

**SYSTEM INFILTRATION CAPACITY**  
INFILTRATION BOTTOM AREA = (13' X 21') = 273 S.F.  
INFILTRATION RATE = (INFILTRATION AREA) x (INFILTRATION RATE)  
= (273 S.F.) x (16.6 FEET/DAY) = 4,532 C.F.

TOTAL CAPACITY = (TOTAL STORAGE + INFILTRATION CAPACITY)  
= (686 C.F. + 4,532 C.F.) = 5,218 C.F.

TOTAL SYSTEM CAPACITY = (5,218 C.F.) > (4,867 C.F.) REQUIRED (SYSTEM OK)



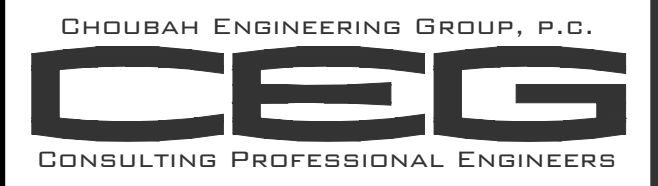
**DRAINAGE & MAINTENANCE SCHEDULE**  
ONCE ACCEPTED AS-BUILT, THE OWNER SHALL PERFORM ROUTINE MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM. THE OWNER SHALL COORDINATE/SCHEDULE ALL DRAINAGE STRUCTURES TO BE CLEANED IN COMPLIANCE WITH ALL STATE, FEDERAL GUIDELINES AND REGULATIONS.

**DEEP SUMP CATCH BASINS WITH OIL/WATER SEPARATOR**  
CATCH BASIN CLEANING SHALL BE CONDUCTED BI-ANNUALLY IN THE MONTH OF APRIL AND IN OCTOBER. REMOVAL OF ACCUMULATED SEDIMENT IN MID-FALL CREATES ADDITIONAL SEDIMENT STORAGE IN CATCH BASIN SUMPS, ENSURING AN ADEQUATE STORAGE VOLUME IS AVAILABLE.

**ROUTINE SITE MAINTENANCE**  
PARKING LOT MAINTENANCE IN THE FORM OF SWEEPING WITH HIGH EFFICIENCY VACUUM SWEEPER SHALL BE CONDUCTED MONTHLY THROUGH THE MONTHS OF APRIL THROUGH NOVEMBER. SWEEPING PROVIDES IMPORTANT NON-POINT SOURCE POLLUTION CONTROL. WHEN PRACTICAL AND AS WEATHER PERMITS, ACCUMULATED SEDIMENTS SHOULD BE SWEEPED AND REMOVED ON AN AS NEEDED BASIS DURING THE MONTH OF JANUARY THROUGH MARCH.

**UNDERGROUND INFILTRATION BASIN**  
INSPECT WATER LEVELS IN INFILTRATION BASIN AFTER EACH STORM EVENT, WHERE RAINFALL EXCEEDS 3". WATER LEVEL WITHIN THE INFILTRATION BASIN SHALL BE MONITORED FOR ELEVATION OVER THE NEXT 24 HOURS DURING IN WATER LEVELS SHALL BE MONITORED TO ENSURE ADEQUATE PERFORMANCES. DURING CONSTRUCTION OF THE FACILITY AND THE STORMWATER MANAGEMENT SYSTEM THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAY TO DAY OPERATIONS AND MAINTENANCE OF ALL STORMWATER CONTROL SYSTEMS. AFTER CONSTRUCTION IS COMPLETED, THE OWNER WILL TAKE OVER ALL MAINTENANCE REQUIREMENTS FOR THE STORMWATER CONTROL SYSTEM IN COMPLIANCE WITH THE OPERATION AND MAINTENANCE PLAN.

DURING CONSTRUCTION OF THE FACILITY AND THE STORMWATER MANAGEMENT SYSTEM THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAY TO DAY OPERATIONS AND MAINTENANCE OF ALL STORMWATER CONTROL SYSTEMS. AFTER CONSTRUCTION IS COMPLETED, THE OWNER WILL TAKE OVER ALL MAINTENANCE REQUIREMENTS FOR THE STORMWATER CONTROL SYSTEM IN COMPLIANCE WITH THE OPERATION AND MAINTENANCE PLAN.



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Project:  
**PROPOSED MODIFICATIONS AT 721 MAIN STREET, HARWICH, MA**

Prepared For:  
**721 HARWICH, LLC  
721 MAIN STREET,  
HARWICH, MA**

**SITE DATA :**  
ADDRESS: 721 MAIN STREET, HARWICH, MA 02645  
OWNER: 721 HARWICH, LLC  
ASSESSORS MAP 41 LOT D5-1  
ZONING DISTRICT: COMMERCIAL VILLAGE  
AREA: 11,984 Sq.Ft. (0.28 Acre)  
EXISTING USE: SMOKE SHOP  
PROPOSED USE: SMOKE SHOP, INTERIOR DESIGN OFFICE & TWO RESIDENTIAL APARTMENTS



**SPECIAL PERMIT/ SITE PLAN REVIEW SET**

Issue Date: 08/10/2022

No.	Date	Description

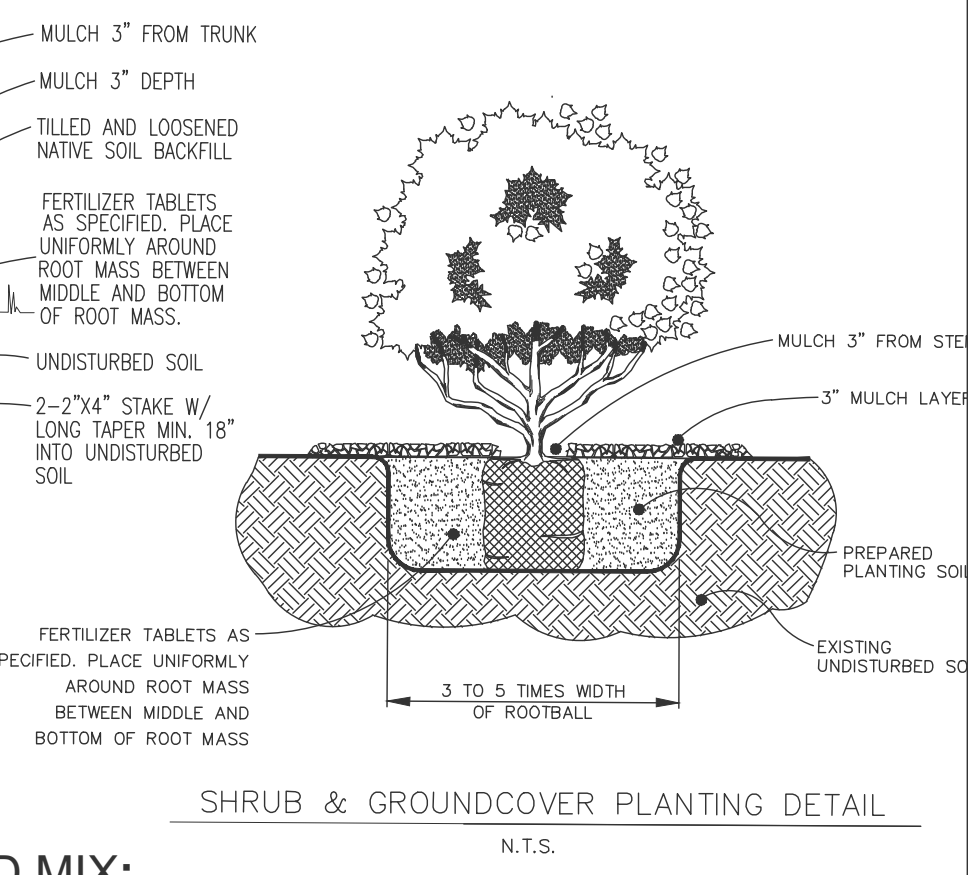
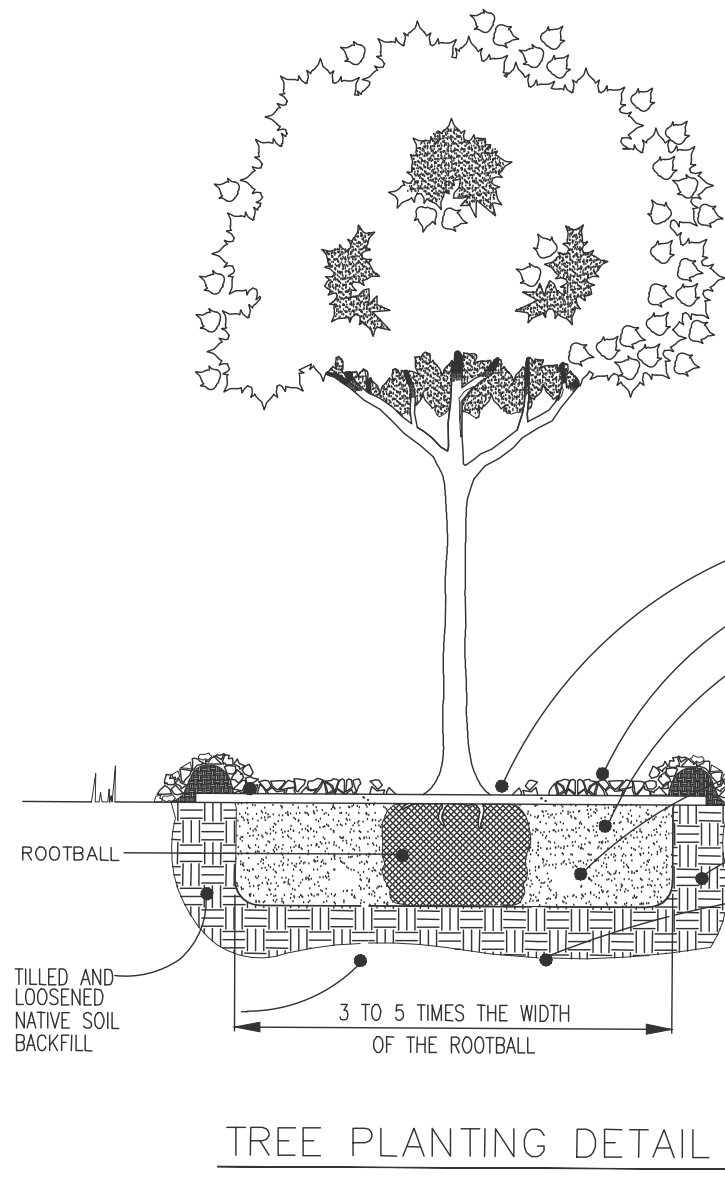
Project Number: 22-611

Scale: AS SHOWN

Designed By: CMS

Drawn By: CMS Checked By: HC

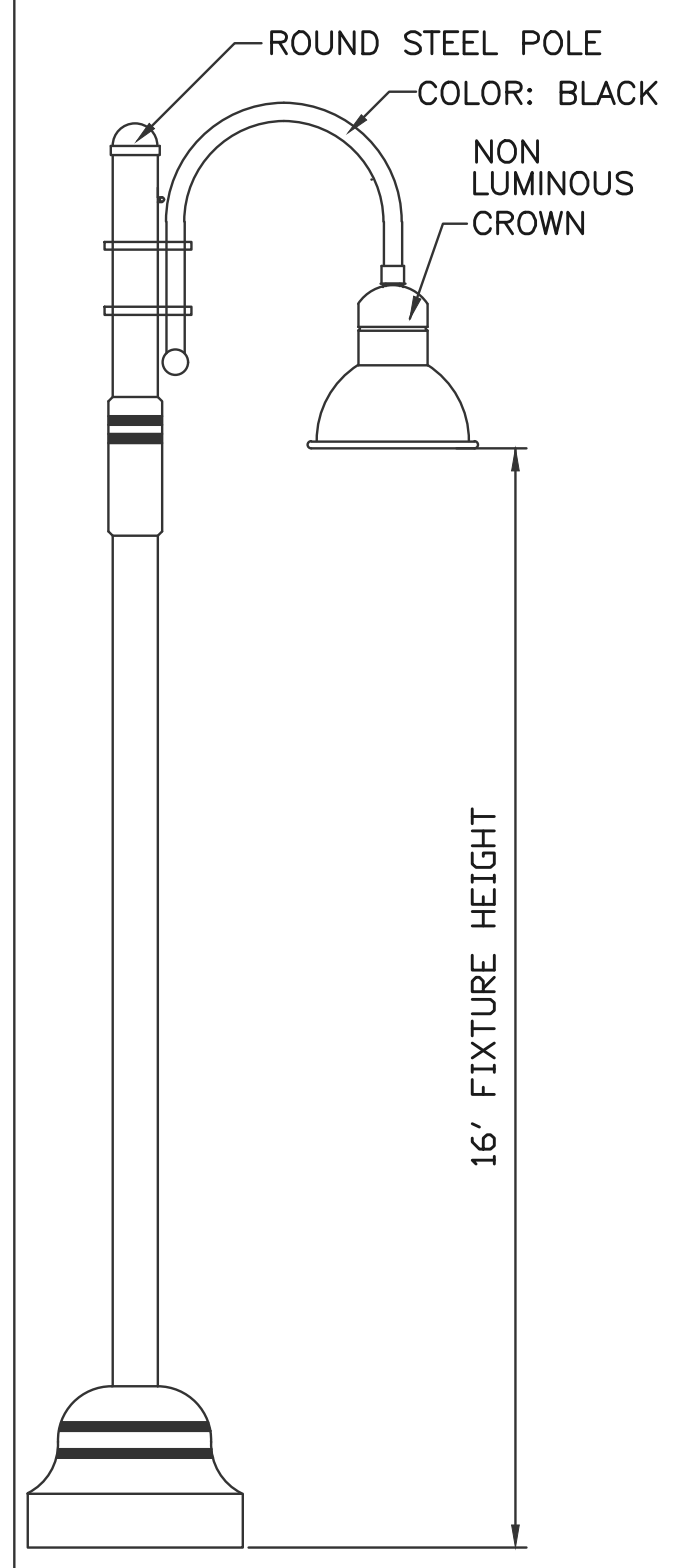
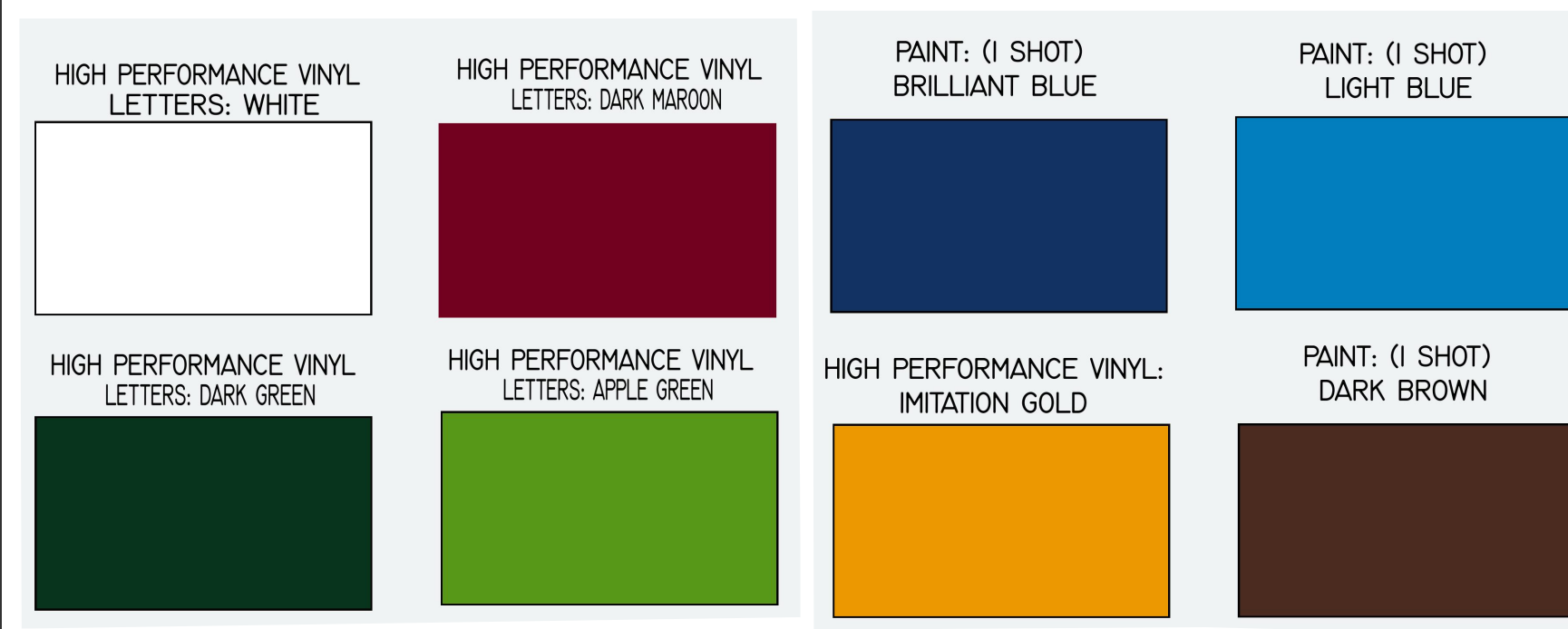
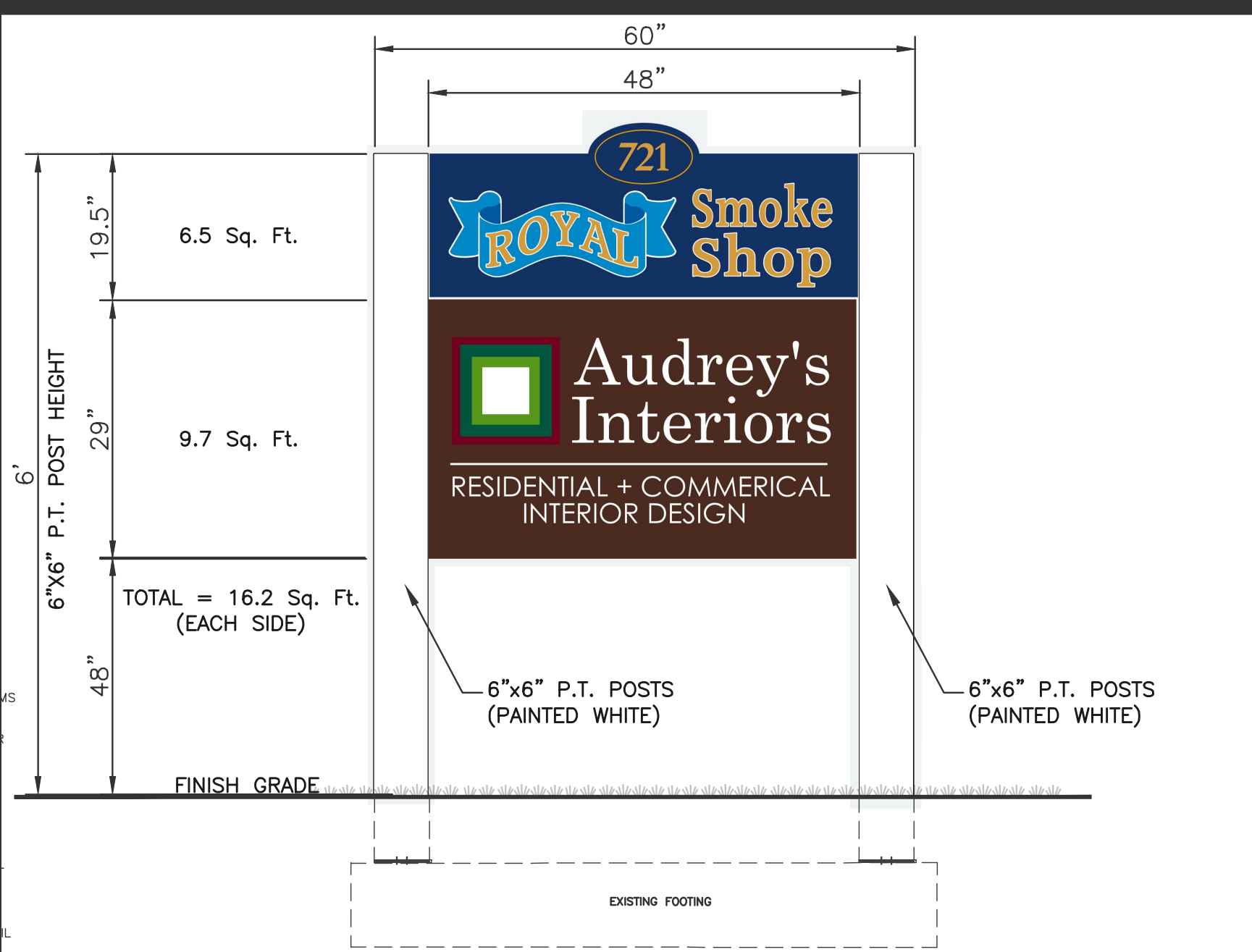
Sheet Title:  
**DRAINAGE, GRADING & UTILITY PLAN**



**LAWN SEED MIX:**  
RUGBY II LS HYBRID BY NORTHEAST NURSERY, INC.  
20% SPYDER LS TURF TYPE TALL FESCUE  
20% SCREAMER LS TURF TYPE TALL FESCUE  
20% FIRECRACKER LS TURF TYPE TALL FESCUE  
15% TITANIUM LS TURF TYPE TALL FESCUE  
20% LATERAL SPREAD BLEND PERENNIAL RYEGRASS BLENDS  
05% FAHRENHEIT 90 HYBRID BLUEGRASS  
REFER TO NURSERY'S REQUIRED SEED RATE

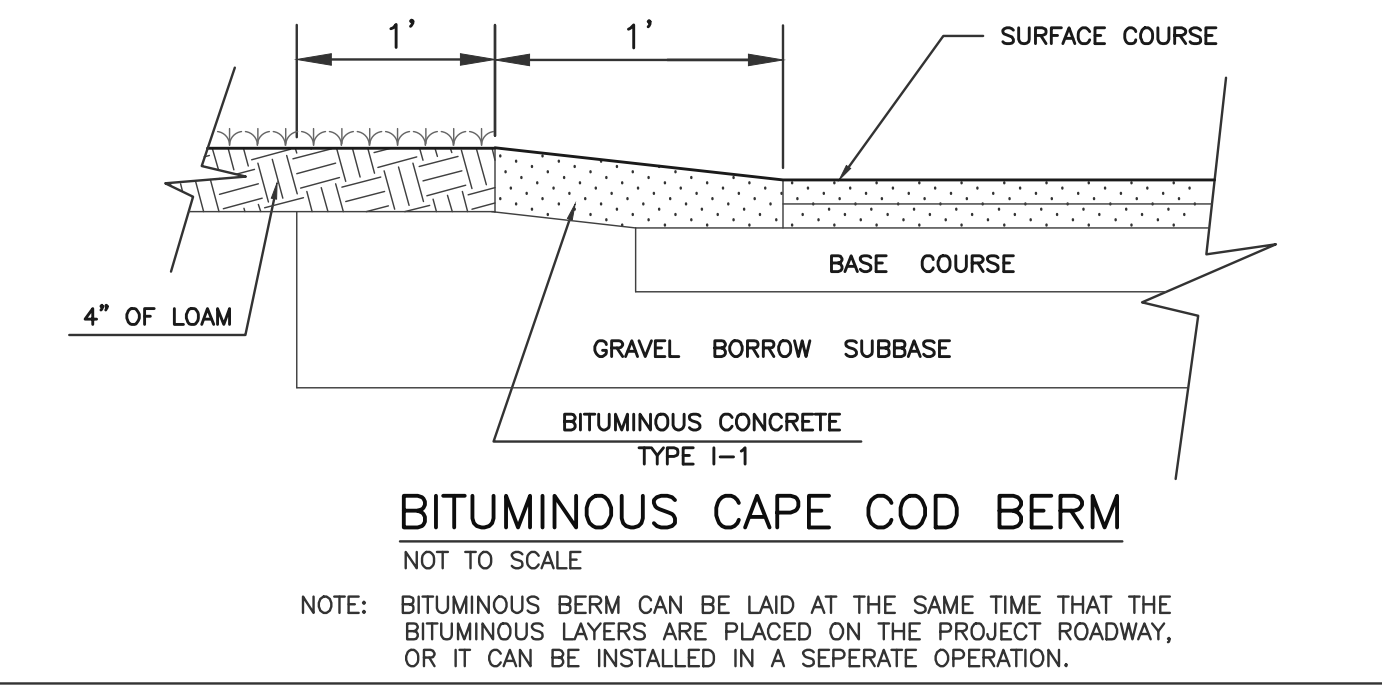
**PLANTING NOTES**

- DO NOT SCALE FROM DRAWINGS.
- CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS TO THE ENGINEER PRIOR TO PLANTING. QUANTITIES REPRESENTED ON THE DRAWING PLANT LABELS SHALL SUPERCEDE THOSE ON THE PLANT LIST.
- NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR APPROVAL BY THE ENGINEER AND/OR OWNER.
- ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN UNLESS OTHERWISE NOTED ON THE PLANT LIST.
- ALL PLANTS SHALL BE APPROVED BY THE ENGINEER AND/OR OWNER PRIOR TO THEIR INSTALLATION.
- ANY PLANTS LABELED "SPECIMEN" ON THE PLANT LIST SHALL BE TAGGED AT SOURCE BY THE ENGINEER AND/OR OWNER UNLESS DIRECTED OTHERWISE.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING ABOVE AND BELOW GRADE UTILITIES AND SERVICES AND SHALL PROVIDE APPROPRIATE PROTECTIONS DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE LOCAL UTILITY LOCATION SERVICE PROVIDER PRIOR TO COMMENCING WORK. ANY UTILITIES DAMAGED DURING SITE WORK SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL POSITION ALL PLANT MATERIAL IN LOCATIONS SHOWN ON THE PLAN FOR REVIEW BY ENGINEER AND/OR OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING THE PLANTS AS NEEDED TO ACCOMMODATE FOR LEDGE AND SHALL CONTACT THE ENGINEER IF PLANTING IS IMPEDED BY LEDGE.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY "THE AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, LATEST EDITION. THE CONTRACTOR SHALL INSTALL PLANTS USING THE METHODS OUTLINED IN THE "RECOMMENDATIONS FOR PLANTING TREES AND SHRUBS"—UMASS EXTENSION FACT SHEET SERIES, MAY 1996, AND COMMONLY ACCEPTED REGIONAL PRACTICE STANDARDS, UNLESS OTHERWISE DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL TILL ALL NEW PLANT PLANTING BEDS FOR SHRUBS AND PERENNIALS TO A DEPTH OF 12" FOR PERENNIALS AND 18" FOR SHRUBS BEFORE PLANTING. IN CONDITIONS WHERE THIS IS NOT ACHIEVABLE BECAUSE OF TREE ROOTS, UTILITIES OR OTHER OBSTACLES, THE PLANTING AREA SHALL BE TURNED OVER BY HAND. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER AND OWNER PRIOR TO BEGINNING SITE WORK TO DETERMINE THE PLANTING SOIL AMENDMENTS REQUIRED — SUCH AS THE ADDITION OF COMPOST AND/OR PEAT MOSS. UNLESS OTHERWISE DIRECTED, THE CONTRACTOR SHALL PROVIDE THE FOLLOWING GENERALLY ACCEPTED SOIL BACKFILL RATIO: 1/3 NATIVE SOIL, 1/3 IMPORTED LOAM, 1/3 COMPOST/ PEAT MOSS. INITIALLY, THE CONTRACTOR SHALL ASSUME THE INCORPORATION OF 1-2 CUBIC YARDS OF COMPOST/PEAT MOSS PER 1000 SQUARE FEET OF PLANT BED. IN ADDITION, THE CONTRACTOR SHALL INCORPORATE A PLANT STARTER FERTILIZER SUCH AS 10-10-10 IN THE PLANTING SOIL MIX.
- THE CONTRACTOR SHALL REVIEW ANY ADDITIONAL SITE DRAINAGE REQUIREMENTS WITH THE OWNER AND/OR ENGINEER AND COORDINATE POTENTIAL IMPROVEMENTS IN ORDER TO ATTAIN POSITIVE DRAINAGE IN ALL CONDITIONS.
- THE CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD BARK MULCH, SUCH AS PINE BARK MULCH THAT IS MEDIUM TO DARK BROWN IN COLOR AND FREE OF ANY DEBRIS OR LARGE PIECES OF WOOD. MULCHES WITH DYES WILL NOT BE ACCEPTED. MULCH ALL PLANT BEDS AFTER PLANTING TO THE FOLLOWING "LOOSE MEASURE" DEPTHS:  
- TREES AND SHRUBS - 3"  
- PERENNIAL, GROUND COVER AND ORNAMENTAL GRASS BEDS - 1.5"
- THE CONTRACTOR IS RESPONSIBLE FOR SEEDING ALL AREAS DISTURBED DURING CONSTRUCTION ACCORDING TO THE PLANTING PLAN OR AS DIRECTED BY THE ENGINEER AND/OR OWNER. GRASS SEED SHALL BE A CAPE COD FESCUE SEED BLEND: 60% TALL FESCUE, 10% BORNITO HARD FESCUE, 10% JAMESTOWN CHEWING FESCUE, 20% PERENNIAL RYE.
- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. THERE SHALL BE NO PARKING OR STOCKPILING OF CONSTRUCTION MATERIAL WITHIN THE DRIP LINE OF THE TREES TO REMAIN.
- THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL UNTIL PROVISIONAL ACCEPTANCE OF THE PROJECT IS ISSUED BY THE ENGINEER. ALL PLANTS SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF ONE (1) FULL YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE. FINAL ACCEPTANCE WILL BE MADE BY THE ENGINEER AND OWNER AT THE END OF THE GUARANTEE PERIOD. ANY PLANTS DEEMED UNACCEPTABLE PRIOR TO THE END OF THE GUARANTEE PERIOD SHALL BE PROMPTLY REPLACED AT THE CONTRACTOR'S EXPENSE. LANDSCAPE CONTRACTOR SHALL REMOVE INVASIVE PLANT MATERIAL PRIOR TO COMMENCEMENT OF PLANTING BED PREPARATION. THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE TOWN OF HARWICH TO VERIFY INVASIVE SPECIES AND METHOD OF REMOVAL.
- TYP. PLANTING SEASON IS BETWEEN MID-APRIL AND MID-NOVEMBER, BUT EACH YEAR IS DEPENDENT ON CURRENT WEATHER CONDITIONS AND PLANT MATERIAL AVAILABILITY.



**LEGEND**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EXIST. CONTOUR		EXIST. GAS LINE
	PROP. CONTOUR		PROP. GAS LINE
	EXISTING SPOT GRADE		EXIST. TELEPHONE LINE
	PROPOSED SPOT GRADE		PROP. TELEPHONE LINE
	EASEMENT LINE		EXIST. DRAINAGE LINE
	PROPERTY LINE		PROP. DRAINAGE LINE
	PROP. UTILITY POLE		EXIST. OVERHEAD WIRE
	EXIST. LIGHT POLE		PROP. OVERHEAD WIRE
	SINGLE PROP. LIGHT POLE		EXIST. EDGE OF PAVEMENT
	GROUND CLEANOUT		PROP. EDGE OF PAVEMENT
	EXIST. CATCH BASIN		EXIST. VERTICAL GRANITE CURB
	PROP. CATCH BASIN		PROP. VERTICAL GRANITE CURB
	EXIST. ELECTRIC MANHOLE		PROP. 1' CAPE COD BERM
	PROP. ELECTRIC MANHOLE		PROP. FENCE
	EXIST. SEWER MANHOLE		PROP. PYLON SIGN
	PROP. SEWER MANHOLE		EXIST. GATE
	EXIST. SEWER MANHOLE		MA HIGHWAY BOUND
	PROP. ELECTRIC MANHOLE		EXIST. LANDSCAPE AREAS
	EXIST. SEWER LINE		PROP. LANDSCAPE AREAS
	PROP. SEWER LINE		NUMBER OF PARKING SPACES
	EXIST. WATER LINE		TEST PIT
	PROP. WATER LINE		DIRECTION OF RUN-OFF
	EXIST. ELECTRIC LINE		T.O.W. TOP OF WALL
	PROP. ELECTRIC LINE		B.O.W. BOTTOM OF WALL



**LANDSCAPE SCHEDULE**

TYPE	QTY	SIZE	COMMON NAME	BOTANICAL NAME	PLANTING HT	MATURE HT	MATURE SPREAD	REMARKS
<b>EVERGREEN TREES</b>								
JV	35	3" CAL.	RED CEDAR	<i>JUNIPERUS VIRGINIANA</i>	6'-8'	40'-50'	8'-20'	
<b>DECIDUOUS TREES</b>								
KD	1	3" CAL.	CORNUS KOUSA	<i>KOUSA DOGWOOD</i>	10'-12'	15'-25'	15'-25'	
<b>SHRUBS</b>								
RI	5	36"	DWARF RHODODENDRON	<i>RHODODENDRON IMPEDITUM</i>	36"	36"	24"-36"	SPACING 2' O.C

1. All Landscaping shown on plans shall conform to the Town of Harwich zoning regulations.  
2. Mulch planting beds after shrubs, to a 3 inch depth, dark brown mulch.  
3. Location of Perennial plantings to be approved by the Town of Harwich Planning Staff.

**WARRANTY**

A. Special Warranty: Warrant the following exterior plants, for the warranty period of one year against defects including death and unsatisfactory growth, except for defects resulting from lack of adequate maintenance, neglect, or abuse by owner, or incidents that are beyond contractor's control.

B. Warranty period for trees and shrubs: one year from the date of substantial completion.

C. Remove dead exterior plants immediately. Replace immediately unless required to plant in the succeeding planting season.

D. Replace exterior plants that are more than 25 percent dead or in an unhealthy condition at the end of the warranty period.

E. A limit of one replacement of each exterior plant will be required, except for losses or replacements due to failure to comply with requirements.

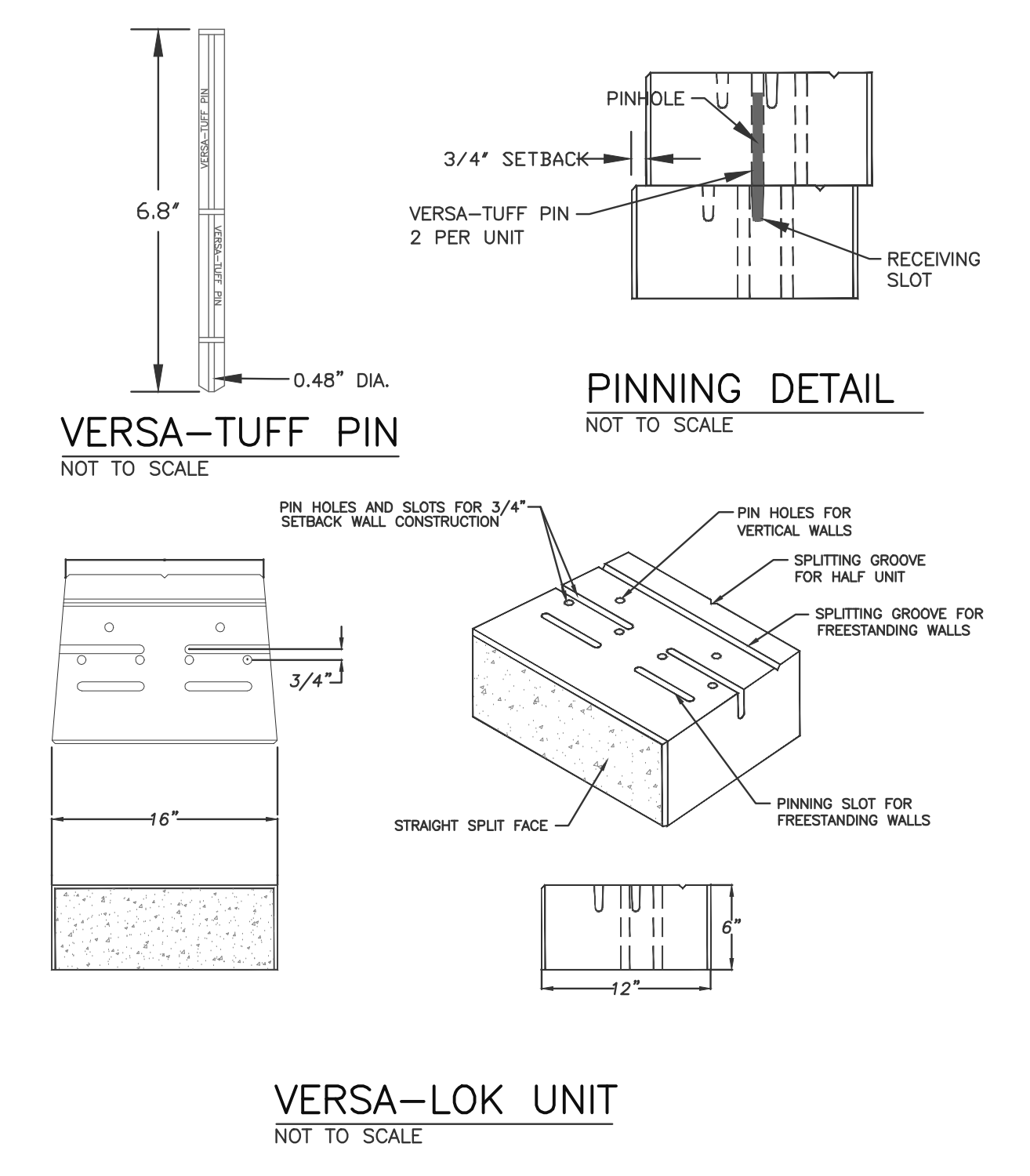
**MAINTENANCE**

A. Trees and Shrubs: Maintain for the following maintenance period by pruning, cultivating, watering, weeding, fertilizing, restoring planting saucers, tightening and repairing stakes and guy supports, and resetting to proper grades or vertical position, as required to establish healthy, viable plantings. Spray as required to keep trees and shrubs free of insects and disease. Restore or replace damaged tree wrappings

Maintenance Period: 1 year from date of substantial completion.

B. Ground Cover and Plants: Maintain for the following maintenance period by watering, weeding, fertilizing, and other operations as required to establish healthy, viable plantings:

Maintenance Period: 1 year from date of substantial completion.



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www.choubahgroup.com

Project:  
**PROPOSED MODIFICATIONS AT 721 MAIN STREET, HARWICH, MA**

Prepared For:  
**721 HARWICH, LLC  
721 MAIN STREET,  
HARWICH, MA**

COMMONWEALTH OF MASSACHUSETTS  
HALIM A. CHOUBAH  
CIVIL  
No. 38736  
REGISTERED  
PROFESSIONAL ENGINEER

**SPECIAL PERMIT/  
SITE PLAN REVIEW SET**

Issue Date: 08/10/2022

Revisions		
No.	Date	Description

Project Number: 22-611  
Scale: AS SHOWN  
Designed By: CMS  
Drawn By: CMS      Checked By: HC  
Sheet Title:

**SITE DETAILS**

Project:  
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 AT 721 MAIN STREET,  
 HARWICH, MA**

Prepared For:  
**721 HARWICH, LLC  
 721 MAIN STREET,  
 HARWICH, MA**



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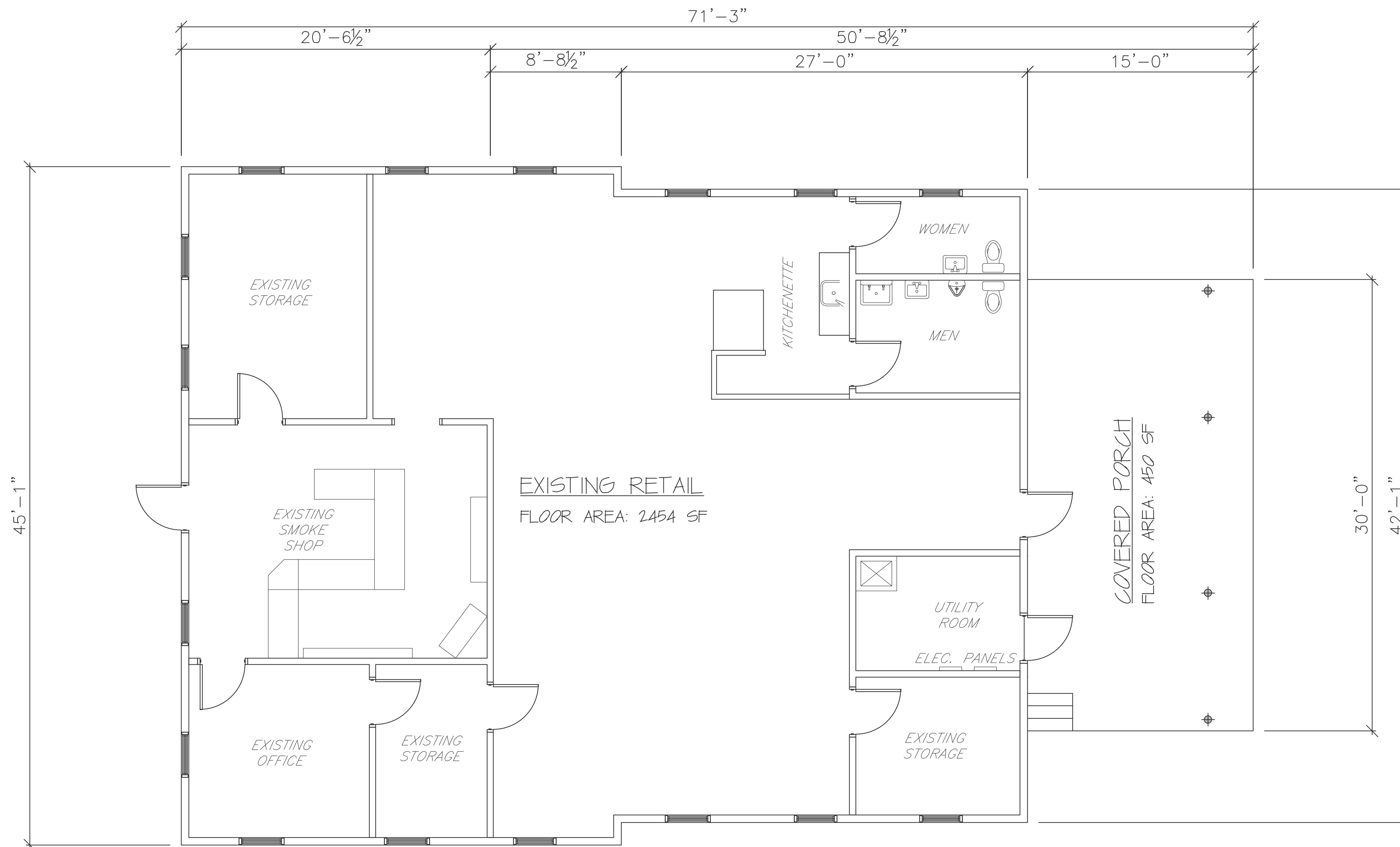
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Designed By: CMS

Drawn By: CMS | Checked By: HC

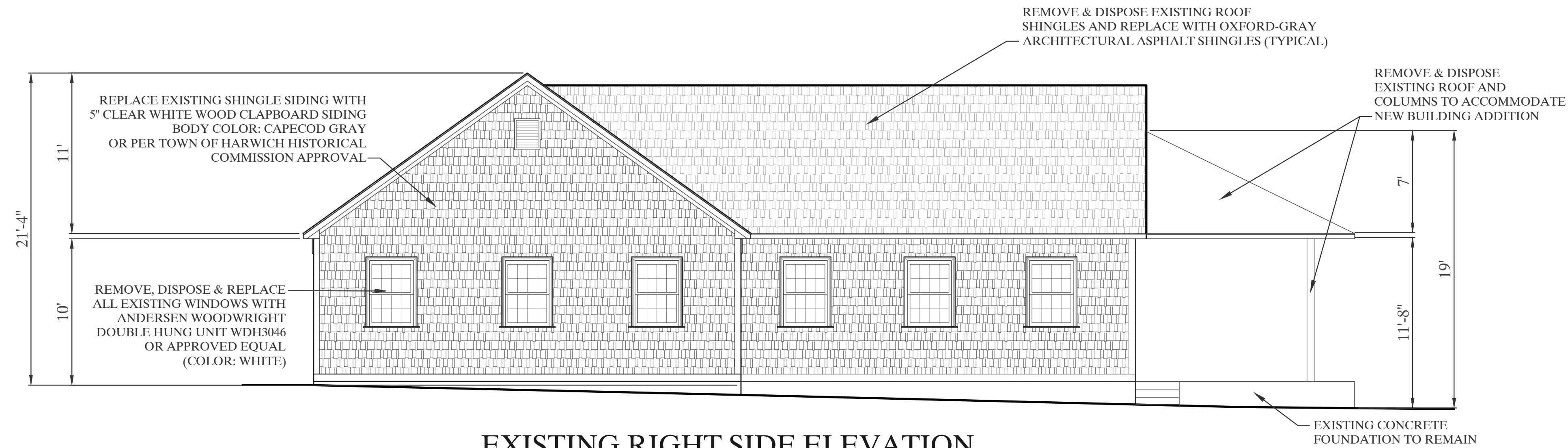
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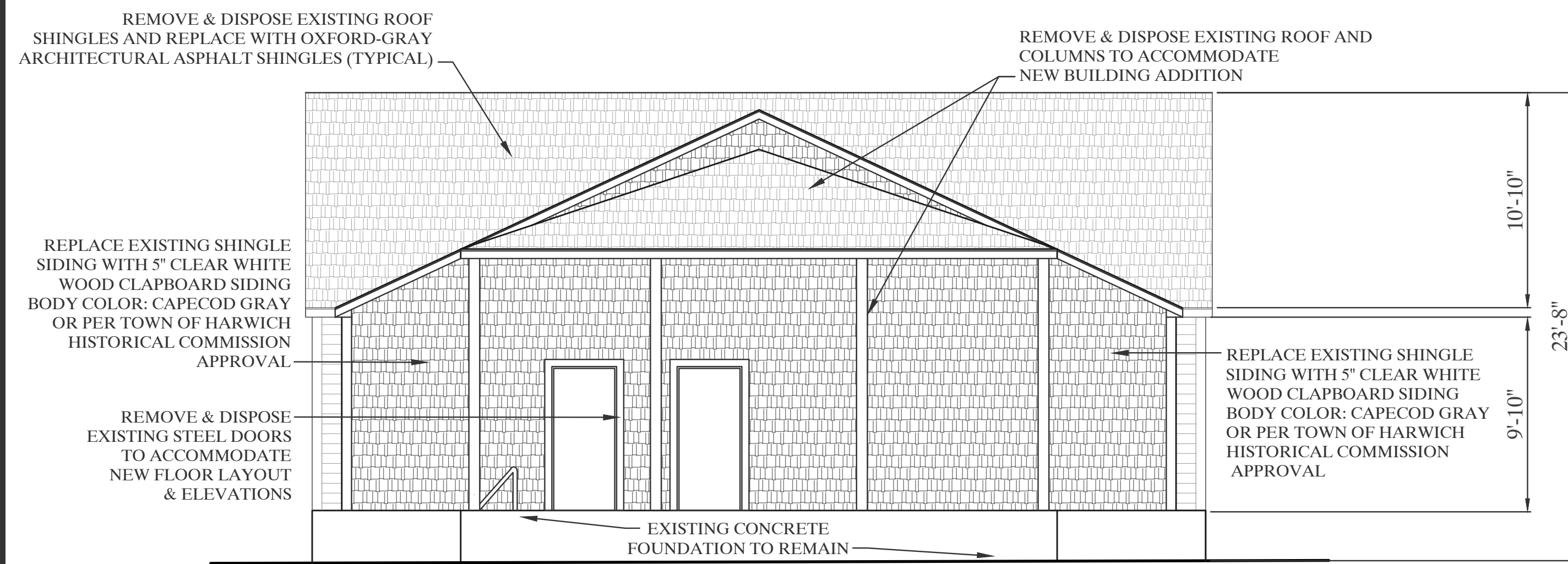


**EXISTING FLOOR LAYOUT**

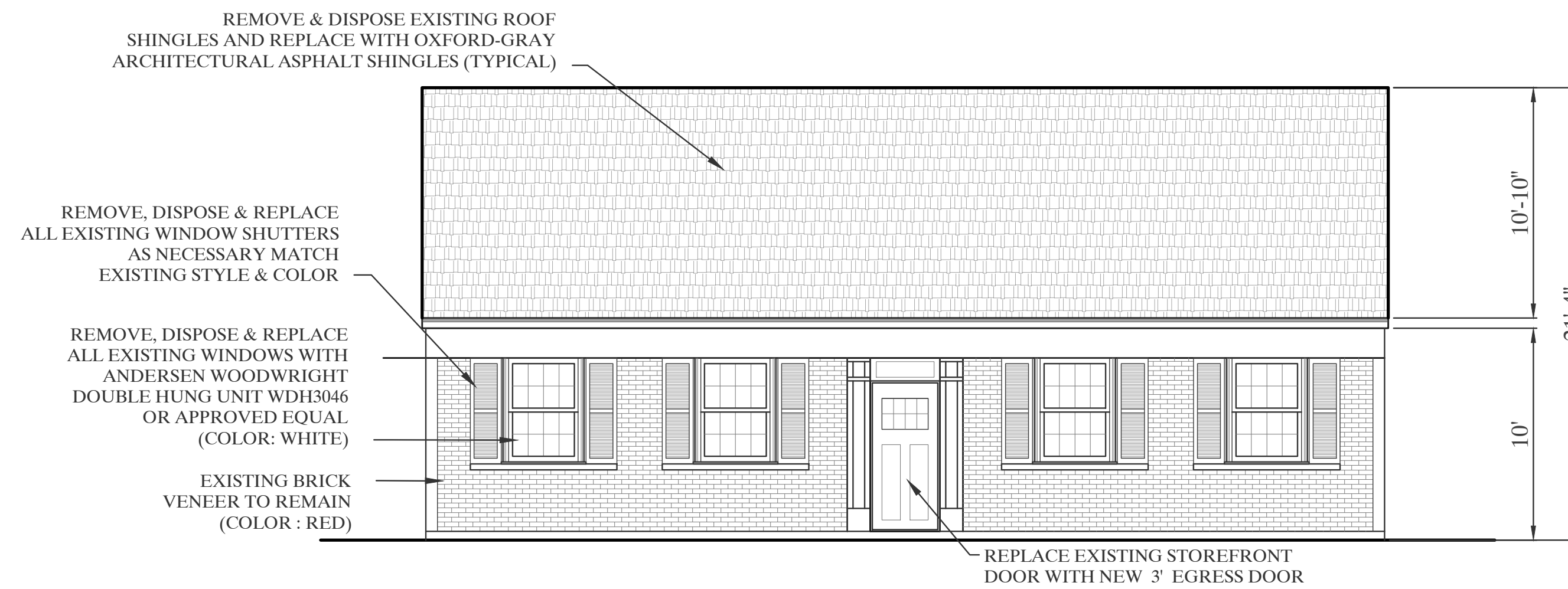
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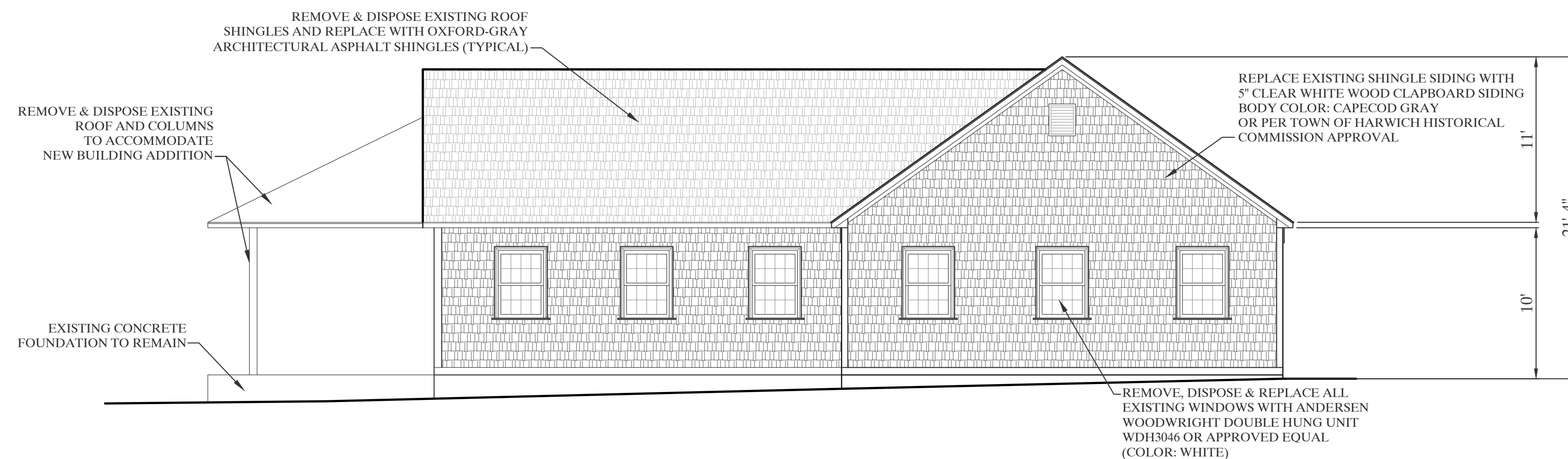
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**EXISTING REAR ELEVATION**  
SCALE: 3/16"=1'-0"



**EXISTING FRONT ELEVATION (MAIN STREET)**  
SCALE: 3/16"=1'-0"



**EXISTING LEFT SIDE ELEVATION**  
SCALE: 3/16"=1'-0"

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721 MAIN STREET,  
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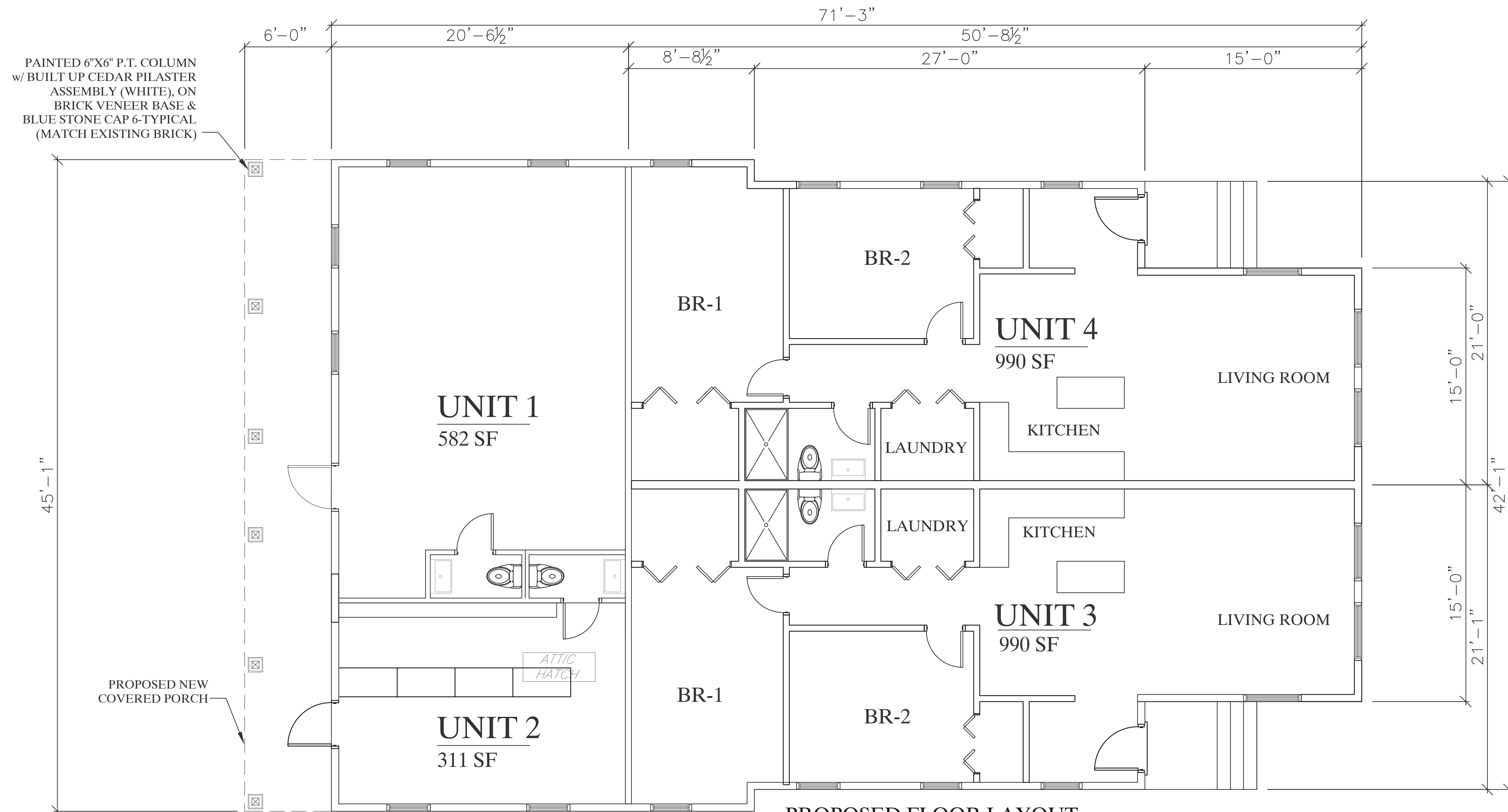
Drawn By: CMS

Checked By: HC

Sheet Title:

EXISTING BUILDING ELEVATIONS

PAINTED 6"X6" P.T. COLUMN  
w/ BUILT UP CEDAR PILASTER  
ASSEMBLY (WHITE), ON  
BRICK VENEER BASE &  
BLUE STONE CAP 6-TYPICAL  
(MATCH EXISTING BRICK)



**PROPOSED FLOOR LAYOUT**  
SCALE: 1/4"=1'-0"



**PROPOSED RIGHT SIDE SITE PROFILE**  
NOT TO SCALE

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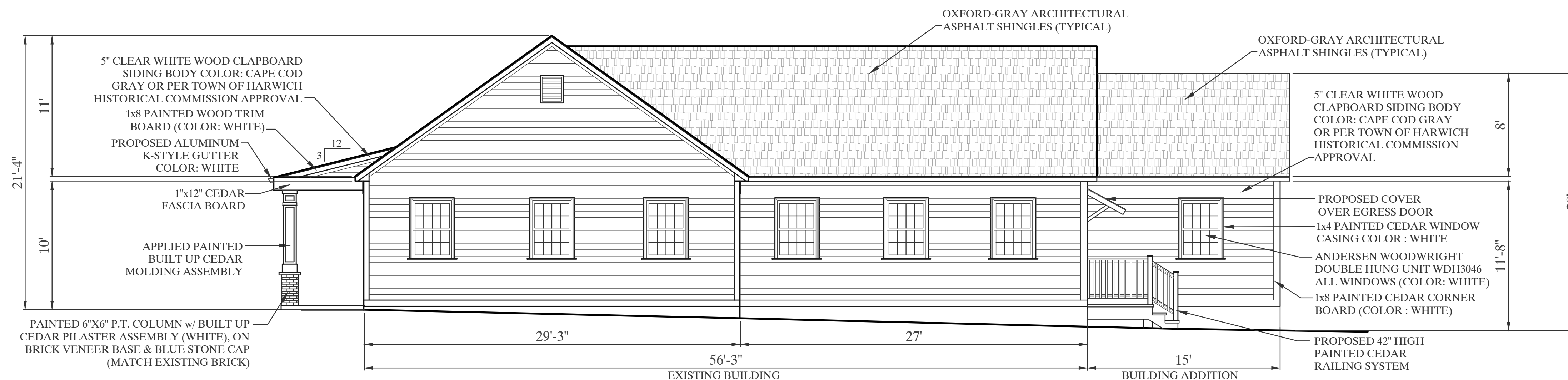
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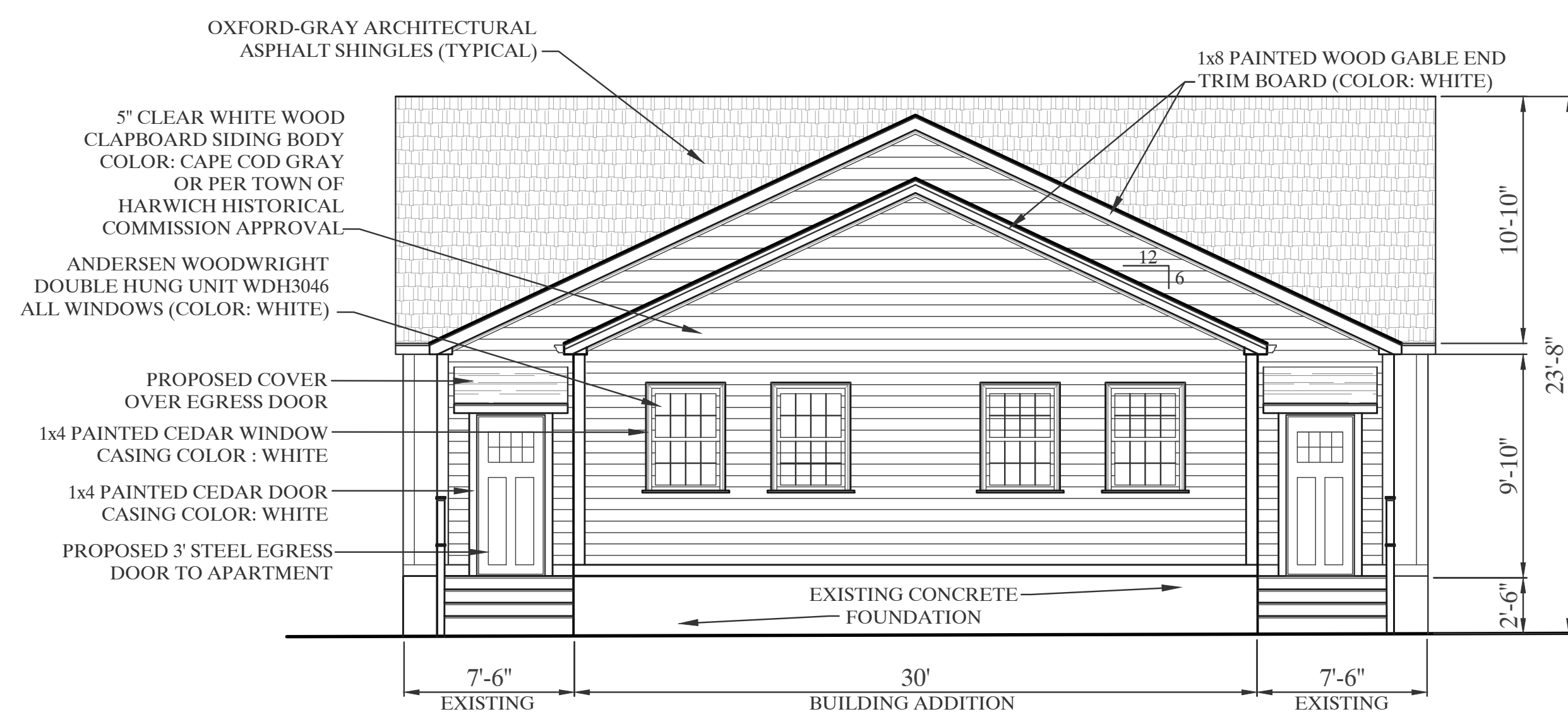
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**PROPOSED FLOOR LAYOUT  
& RIGHT SIDE SITE PROFILE**

Project:  
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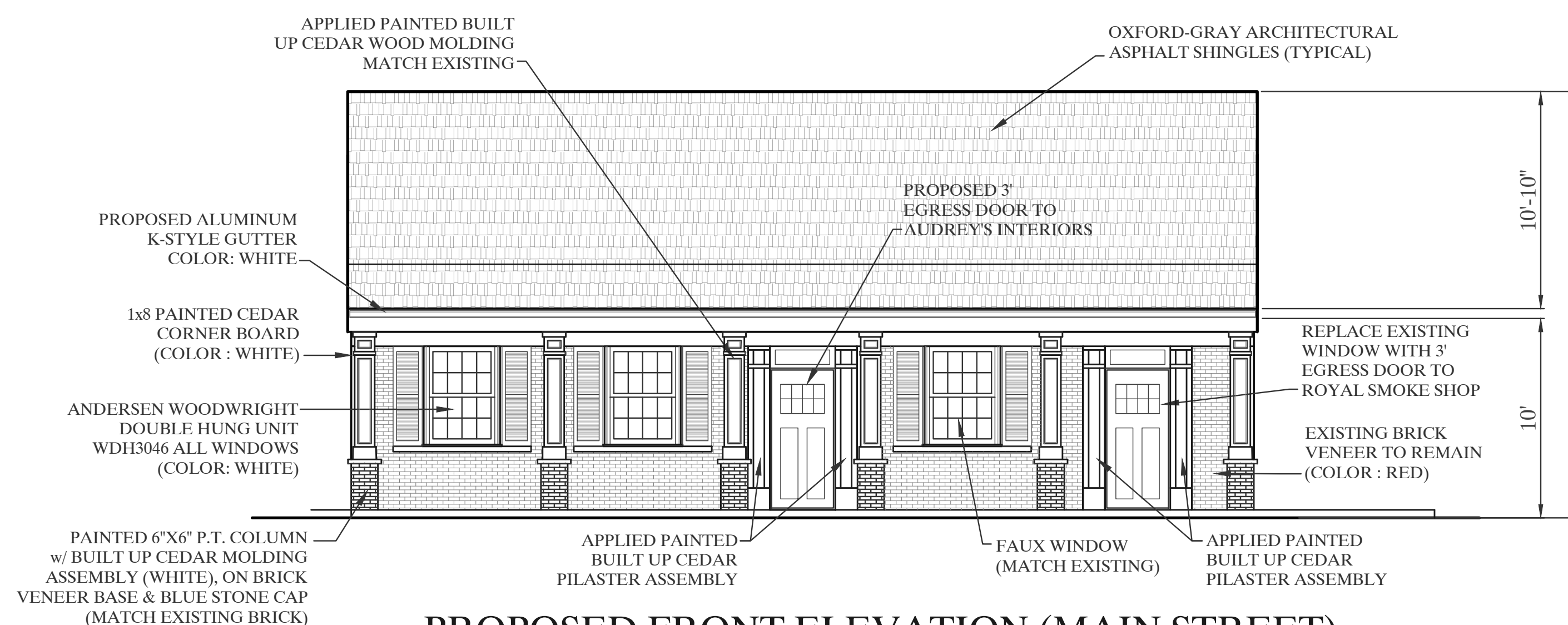
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**PROPOSED RIGHT SIDE ELEVATION**  
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**PROPOSED REAR ELEVATION**  
 SCALE: 3/16"=1'-0"



**PROPOSED FRONT ELEVATION (MAIN STREET)**  
 SCALE: 3/16"=1'-0"



**PROPOSED LEFT SIDE ELEVATION**  
 SCALE: 3/16"=1'-0"



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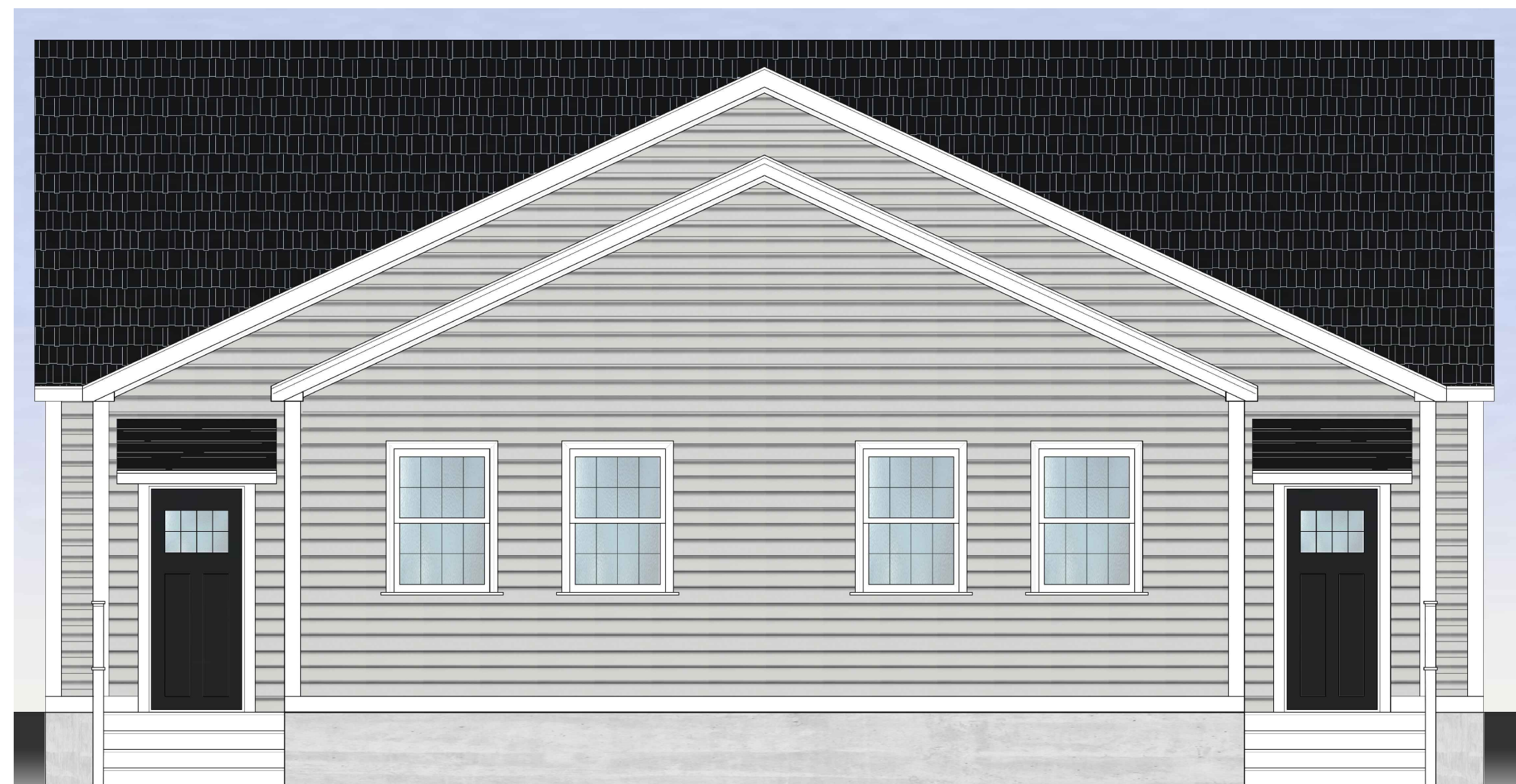
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PROPOSED BUILDING ELEVATIONS





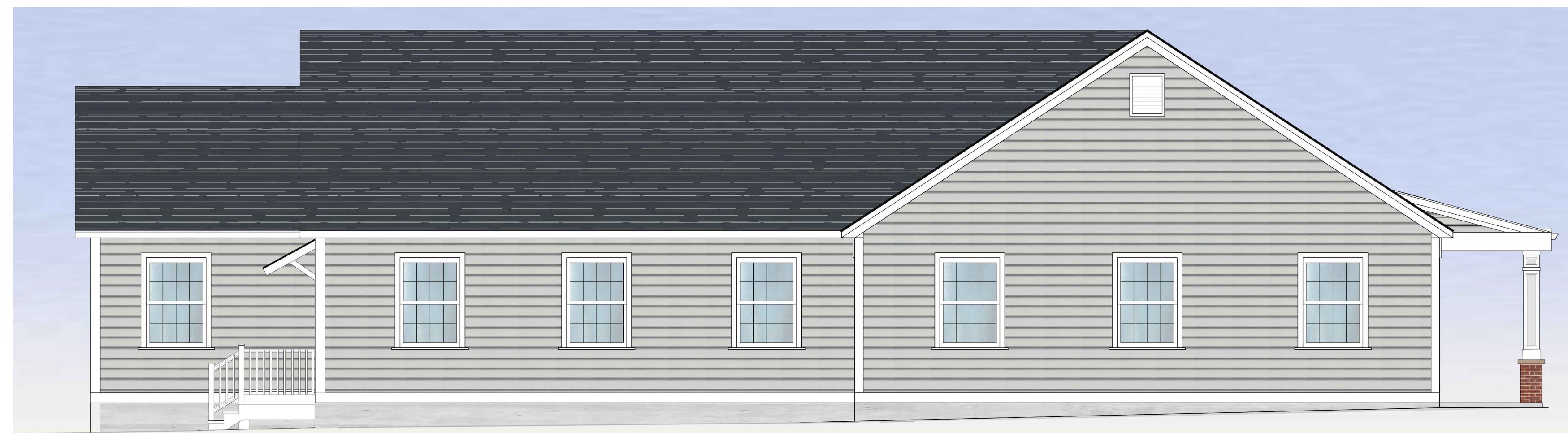
**PROPOSED RIGHT SIDE ELEVATION**  
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**PROPOSED REAR ELEVATION**  
NOT TO SCALE



**PROPOSED FRONT ELEVATION (MAIN STREET)**  
NOT TO SCALE



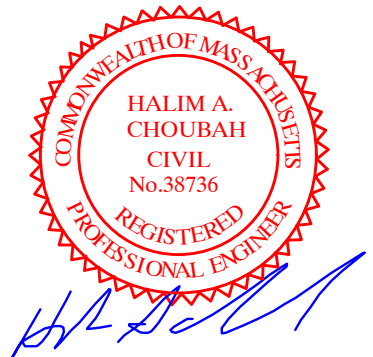
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ARCHITECTURAL RENDERINGS