



Case # _____

TOWN OF HARWICH
732 Main Street, Harwich, Massachusetts 02645

ZONING BOARD OF APPEALS

Notice of Appeal/Application and Petition for Public Hearing, ("APPLICATION")

This Application *does not* apply to Comprehensive Permits.

Please refer to the Rules and Regulations of the Town of Harwich Board of Appeals for documentation requirements.

This original completed and signed notice ("Application"), along with a certified abutters list and twelve (12) copies of all plans, sketches, statements, site plans or other supporting documents per the attached checklist must be presented to the Building Department prior to being filed with the Town Clerk. The required documentation, **ALL** of which must be submitted on the date of filing, is listed on this Application. **THE RULES AND REGULATIONS ("RULES") OF THE TOWN OF HARWICH BOARD OF APPEALS APPLY TO ALL APPEALS AND APPLICATIONS AND SHOULD BE CONSULTED BEFORE FILING AN APPEAL OR APPLICATION TO ENSURE COMPLIANCE WITH THEM.**

To the Zoning Board of Appeals, Harwich, MA:

(We, I) hereby petition your Board for a public hearing on the request for action checked below:

- (X) Appeal from decision of or refusal of permit application by the Building Inspector, Selectmen or Planning Board or other administrative officer or officers.
- (X) Application for a Variance from requirements of the Harwich Zoning By-Law.
- (X) Application for a Special Permit that is subject to Board of Appeals approval.

I/we am/are the owner[s]/agent of the property involved in this petition, which is located in Harwich, MA at the following address:

708 Main Street, Harwich, MA 02645. Said property is further described on

Assessor's Map #41 and Parcel # B5-0 located in the C-V Zoning District as shown on the attached plan.

Describe Petition/Appeal: See attached

Relief requested - Cite specific Bylaw Section(s): HZB Section 325-54 "Nonconforming Structures and Uses", HZB Section 325-Attachment 2, Table 2, Area Regulations.

Signature of Owner (or Agent) [Signature] Date 2/22/04
(Written authorization by the owner must accompany an Application signed by agent.)

Owner Name Katharina Zuellig Phone No. 508-432-1643

Mailing Address: 36 High Street, Concord, MA 01742

Agent Name: William D. Crowell, Esq. Phone No. 508-432-1643

Mailing Address: 466 Main Street, Harwich Port, MA 02646

Has a petition previously been submitted for this property (Y/N) N

If yes, the date of original hearing _____ Petition No. _____ Decision _____

For Appeal Only:
Reason for Denial: _____

Denial From: _____ Date of Denial: _____

Within 14 days following any Board decision, the Board will file its decision with the Town Clerk. A building permit will not be issued during the appeals period, until 21 days after the Board of Appeals decision has been filed with the Town Clerk or if an appeal to that decision has been filed during that time. It is the **applicant's responsibility** to have the decision recorded at the Barnstable County Registry of Deeds or Land Court, whichever may be applicable, and to present copies of that recording to the Town Clerk and to the Building Department with all Building Permit application requirements.

Please be advised that an incomplete Application may result in a delay in processing your Application and **may result in a denial by the Board** without consideration of the merits of the Application. **IT IS YOUR RESPONSIBILITY TO REVIEW THE RULES THAT APPLY TO YOUR APPEAL/APPLICATION AND TO MAKE SURE BEFORE FILING THAT YOUR APPLICATION/APPEAL COMPLIES WITH THOSE RULES.** The burden of proof is on the petitioner, not on the Town. If you do not understand the criteria, legal counsel should be sought. Either the petitioner or his/her agent is required to appear at the hearing to present the Application.

All applicants for hearing before the Board of Appeals must complete the Application and submit along with it the supporting documentation listed herein to the Building Department for review and subsequent filing with the Town Clerk. The Building Department accepts Applications during posted hours. You are strongly encouraged to submit your Application to the Building Department well in advance of the filing deadline to allow adequate time for staff review for completeness. **All information, including the applicable fee made payable to the Town of Harwich, must be submitted with the Application.**

Please submit the following, sorted and grouped into **twelve (12) packets along with one (1) Certified Abutters List** (Available from the Assessors Department. A separate application and fee is required):

- X** **The original Application (additional stamped copies can be provided at a nominal fee):**
- Signed by the owner or agent.
 - If signed by an agent, a letter of authorization signed by the owner must also be included.
- X** **A typewritten narrative to explain the project , the purpose for this Application and the relief requested, with citations to the applicable provisions of the MGL and the Harwich Zoning Bylaw.**
- X** **The original and eleven (11) copies of a Certified Plot Plan with topographical information plan (not septic plans) not more than five (5) years old (total of 12 copies):**
- 8½" x 11" or larger. *Larger plans must be folded.*
 - Scale no greater than 1" = 50'
 - Original stamped and signed by a Professional Engineer (as allowed by law), or a Professional Land Surveyor.
 - Certified Plot Plan must indicate:
 - the locus;
 - the parcel or parcels of land involved;
 - the existing building or buildings;
 - the proposed building or buildings and/or additions to, or alterations of existing buildings with all dimensions set forth;
 - the location of the septic;
 - the Town of Harwich zoning requirements applicable to the property, as well as existing and proposed dimensions for: frontage, front, sides, and rear setback distances, building height(s), building stories, building and site coverage and parking requirements (if any);
 - all perimeter dimensions (existing and proposed);
 - location and width of abutting and on-site street and drives, parking, existing topography;
 - a grading plan, areas of proposed and retained vegetation, distinction between upland and wetland.
 - Building Plans drawn to scale:
 - Floor layout (for existing structure and proposed additions and/or alterations)
 - Proposed front, side, and rear elevations
- X** **Certified Abutters List**
- X** **Check made payable to "Town of Harwich" for \$315.00.**

Name of Applicant: Katharine Zuellig

Address of Property: 708 Main Street, Harwich, MA 02645

Zoning District: C-V

Is the property Located in any Special District(s)/Overlay District(s) established by the Town of Harwich or the State of Massachusetts: Yes _____ No _____

If Yes, specify District(s): _____

Year Structure(s) Built: 1850

Name/Address of Engineer/Architect: unknown

Name/Address of Attorney: William D. Crowell, Esq., 466 Main Street, Harwich Port, MA 02646

	Required by Bylaw	Existing	Proposed
Lot Area	40,000	11,389	11,389
Frontage	150	58.18	58.18
Front Yard Setback	25	16.8	29.7
Side yard Setback	20	26.8	27.6
2 nd Side Yard Setback	20	5.8	5.8
Rear Yard Setback	20	102.9	101.5
Building Coverage	50%	(1201 S.F.) 10.5	(1,145 S.F.) 10.1
Site Coverage	80%	(2,026 S.F.) 17.8	(3,900 S.F.) 34.2
Building Height	<30'	26	26
If this is an Application for an Accessory Apartment, in addition to the above:			
A. Net Floor Area of the Principal Dwelling			
B. Net Floor Area of the proposed Accessory Apartment			

Form of Relief Requested: Special Permit

If the Applicant is requesting a Variance, state the hardship which the Applicant believes justifies this form of relief in accordance with MGL Chapter 40 and the Harwich Zoning Bylaw:

By signing and submitting this Application, you hereby authorize the members of the Board of Appeals, or its agent, to conduct a site visit of the exterior of your property for an inspection of the property involved in this petition, should they deem it appropriate.

The Board of Appeals is entitled to rely on the information contained in this Application. Therefore, the undersigned certifies that the information provided in this Application, and all submitted plans and other documentation, is true and accurate to the best of my knowledge and belief.

Agent's Signature:  Date: 2/16/24

Owner's Signature: _____ Date: _____

wcrowell.office1@comcast.net

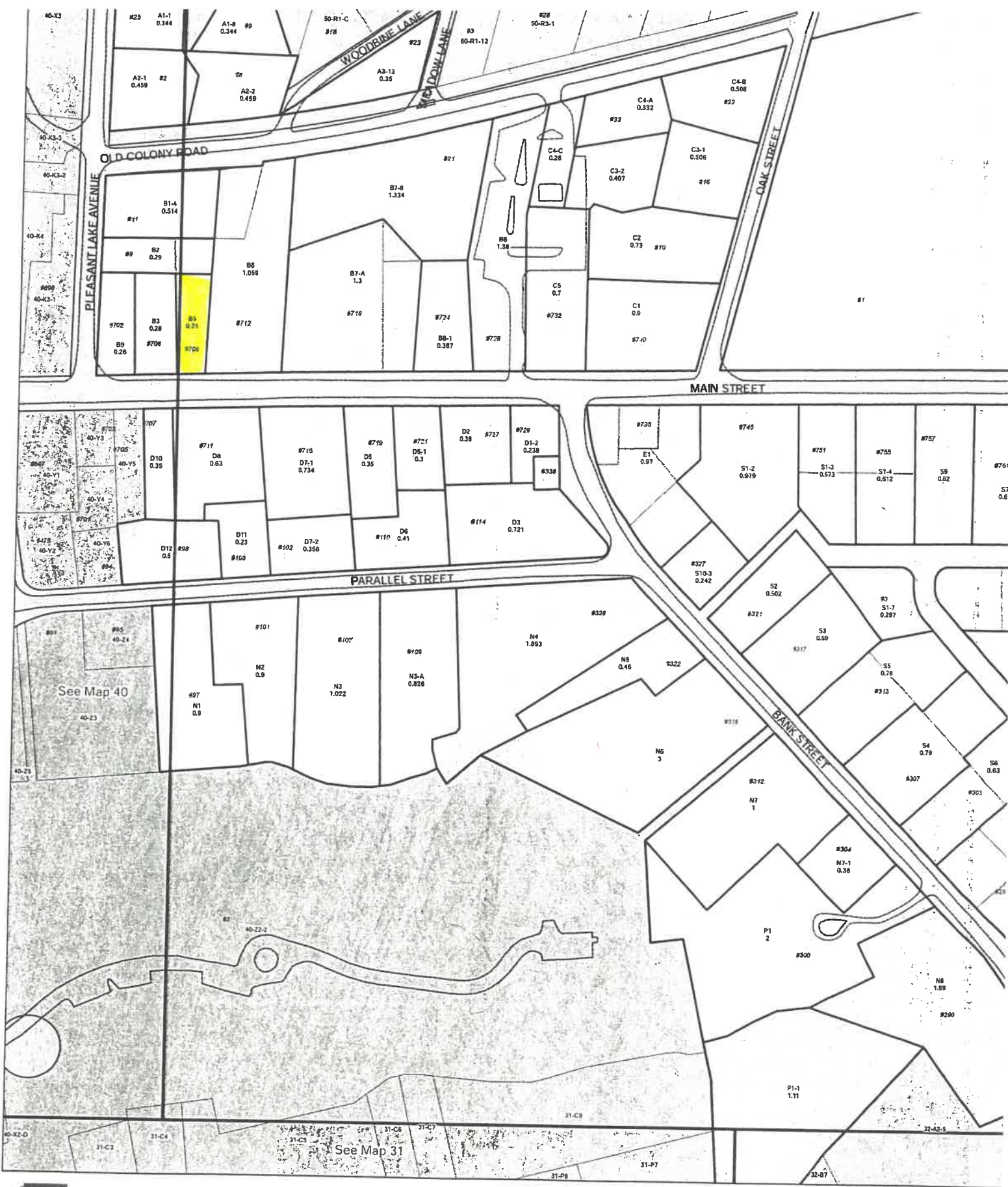
From: Katharina Zuellig <kathazu@yahoo.com>
Sent: Tuesday, February 13, 2024 9:57 AM
To: wcrowell.office1@comcast.net
Subject: Authorization

I, Katharina Zuellig, owner of 708 Main Street, hereby authorize Attorney William D. Crowell to represent me

before the Town of Harwich Zoning Board of Appeals regarding the same.

Thank you,

Katharina Zuellig



Note:
 These maps are not intended for use in conveyancing or for engineering design purposes. The Town of Harwich and its representatives shall not be held liable for any reuse of this information.

TOWN OF HARWICH
Building Department
732 Main Street
Harwich, MA 02645



Telephone: (508) 430-7506

By First Class Mail

February 20, 2024

ZUELLIG KATHARINA
36 HIGH ST
CONCORD, MA 01742

Re: Zoning Relief Required – BP-23-1055
708 Main St, Harwich, MA (Parcel ID 41 B5)
Zoning District CV, Harwich Center Overlay, Historic District

Dear Property Owner,

Please be advised that as a condition to issuance of the above-referenced building permit as submitted, shown on a plan prepared by TS Land Surveying, Inc., dated February 13, 2024, we cannot issue without relief listed below.

Harwich Zoning Bylaw §325-54 "Nonconforming Structures and Uses."
Harwich Zoning Bylaw §325 – Attachment 2, Table 2, Area regulations

Should you desire to proceed with the project, you must first apply for the foregoing relief; this letter shall serve as a referral to the Board for the same. Copies of the necessary zoning forms and applications are available in the offices of the Town's Building and Planning Departments.

In the meantime, your building permit application shall be deemed 'incomplete' and the period to review and issue such permit suspended until such time as you apply for and obtain the special permit; the special permit decision issues and is filed with the Town Clerk; the applicable appeal period elapses; and you provide the Building Department a copy of the special permit decision as recorded with the Barnstable Registry of Deeds or, as applicable, the Barnstable Registry District.

The Town reserve the right, should you not expeditiously and continuously proceed with obtaining the required zoning relief or otherwise withdraw the building permit application, to deny the building permit application for incompleteness, or inconsistency with zoning, or both.

TOWN OF HARWICH

Building Department
732 Main Street
Harwich, MA 02645



Telephone: (508) 430-7506

Further, be advised that, subject to obtaining the required permits and after construction, you will be required to submit a final as-built plan to the Building Department certifying that the project complies with the approved plans and all applicable dimensional requirements under town zoning.

This correspondence also serves as a zoning determination under Section 7 of Massachusetts General Laws Chapter 40A, which may be appealed by a 'person aggrieved' under Sections 8 & 15 of Massachusetts General Laws Chapter 40A.

Please feel free to contact the Building Department to discuss this further, as necessary.

Respectfully,

Jack Mee
Harwich Building Commissioner

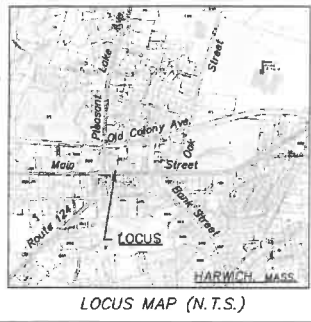
Zuellig, Katharina – 708 Main Street

The Petitioner requests a Special Permit to relocate the pre-existing, non-conforming, single-family residence, construct an addition to the rear of the same with an attached deck, and detach the existing shed from the rear of the dwelling and relocate a portion of the shed further north on the subject lot all as per the Site Plan by TS Land Surveying, Inc. dated February 13, 2024 showing Existing Conditions and Proposed Conditions. Said renovations and addition are shown on the Building and Elevation Plans by Inkstone dated 7-12-2022, Sheets T1, Ex1, Ex2, A0, A1, A2, A3, and S.

The Petitioner has previously obtained approval by the Harwich Historical Commission to move the existing dwelling back to a distance of 30 feet from the southerly lot line on Main Street. Such will conform to the 25-foot setback requirement from a road. The existing conforming westerly setback is 26.6 feet and will remain conforming at 27.6 feet. The existing non-conforming easterly setback is 5.8 feet and will not change. The northerly setback is conforming and will remain so at 101.5 feet. Building coverage is presently conforming at 10.5% (50% max) and will remain conforming at 10.1%. Existing site coverage is conforming at 17.8% (80% max) and will remain conforming at 34.2%. The shed will be less than 100 square feet and will be 6.1 feet from the easterly lot line which will conform to the minimum required setback of 5 feet for structures with less than 100 square feet in accordance with Section 325-18(G.) of the By-Law. The proposed addition and deck will conform to the westerly setback and will be no closer on the easterly side than the existing dwelling at 5.8 feet.

Since the relocation of the dwelling in the northerly direction and the proposed addition will create new habitable space within the 20-foot setback, such will constitute intensifications of existing non-conformities. However, as per the findings of the Gale Case this Board has the authority to grant a Special Permit for the same upon a finding that the new location and proposed addition will not constitute a substantial detriment to the entire neighborhood.

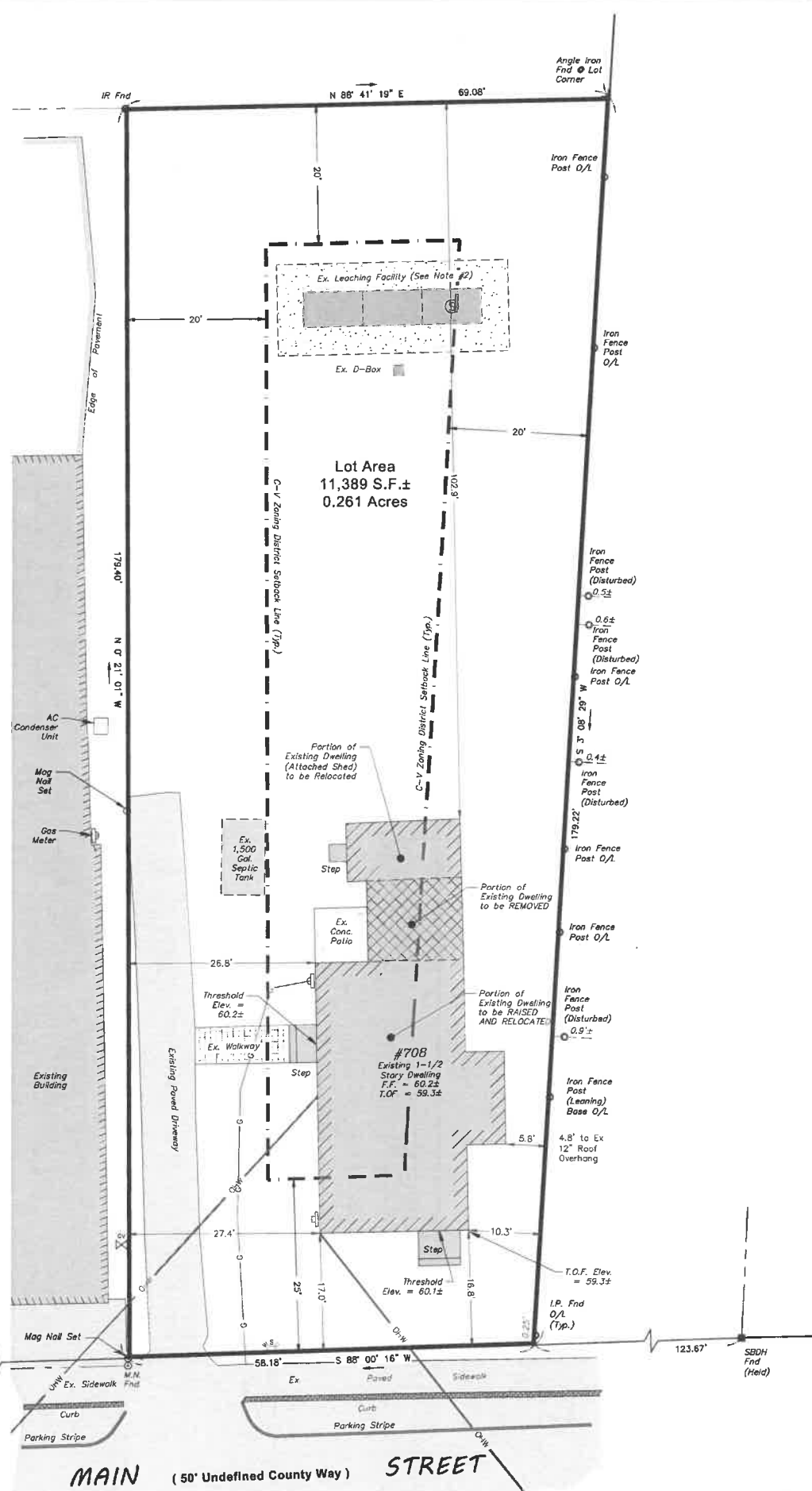
In the alternative, the Petitioner requests a Variance for the above relocation and addition.



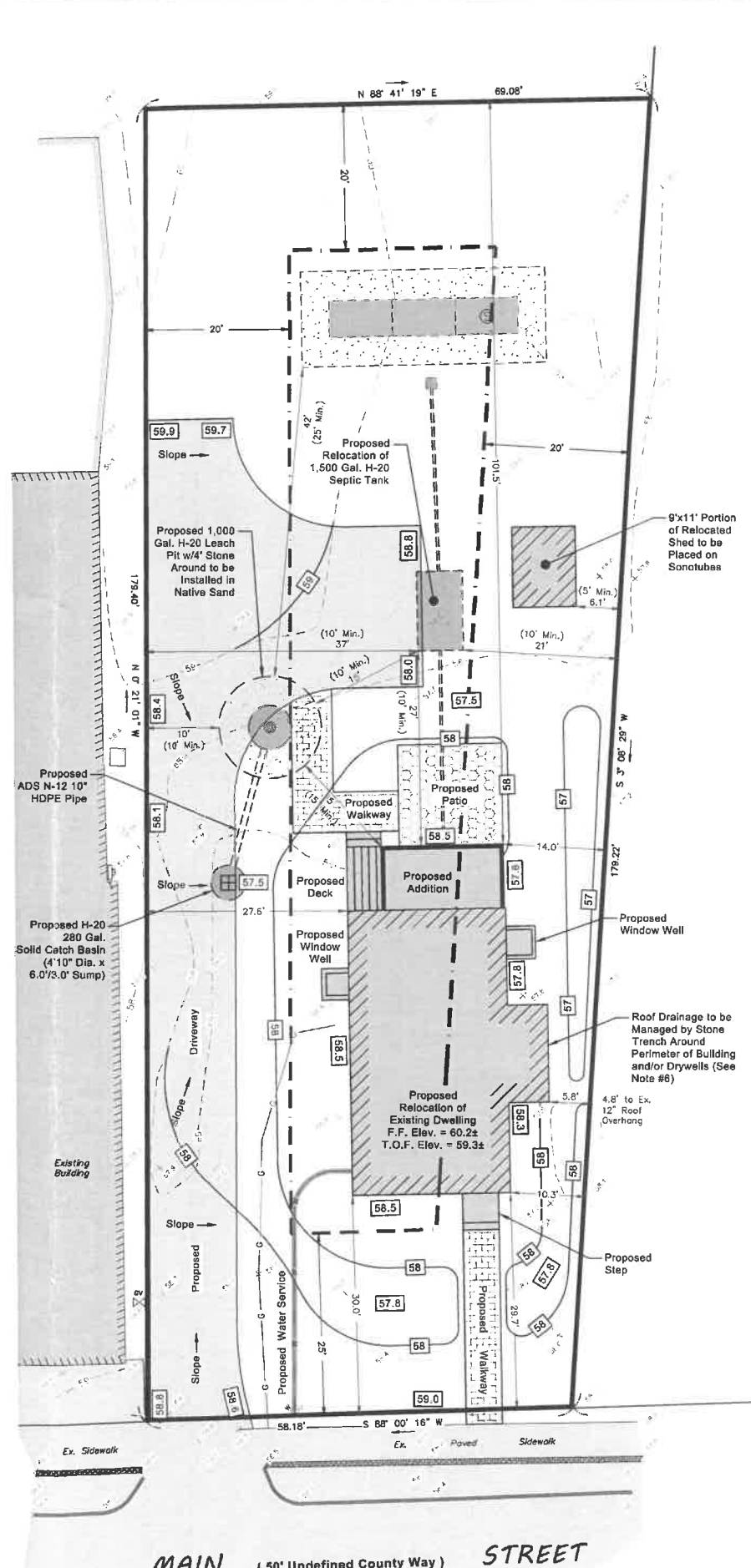
ZONING DISTRICTS

C-V (Commercial Village)
Harwich Center Overlay District
Harwich Center Historic District

C-V Zoning District
Minimum Area 40,000 S.F.
Minimum Frontage 150 Ft.
Front Setback 25 Ft.
Side Setback 20 Ft.
Rear Setback 20 Ft.
Max. Bldg. Coverage 50 %
Max. Site Coverage 80 %
Building Height 30 Ft.



EXISTING CONDITIONS
(Scale: 1" = 10')



PROPOSED CONDITIONS
(Scale: 1" = 10')

LEGEND

- wood fence
- chainlink fence
- guardrail
- drain line
- gas line
- underground utilities
- overhead wires
- underground electric
- sewer line
- water line
- tree / brush line
- major contour
- minor contour
- gas gate
- gas manhole
- gas meter
- water gate
- water shutoff
- well
- water manhole/pit
- irrigation control valve handle
- sewer manhole
- sewer valve
- cleanout
- drain manhole
- catch basin
- telephone manhole
- utility pole
- guy wire
- flood light
- light post
- electric meter
- handle
- transformer
- electric manhole
- sign
- mail box
- 11.7 x spot elevation



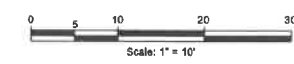
Mass. State Plane (NAD83)

ZONING COMPLIANCE TABLE

ZONING DISTRICT C-V			
DIMENSIONAL REQUIREMENTS	MIN.	EXISTING	PROPOSED
LOT AREA (S.F.)	40,000	11,389	11,389
FRONTAGE (FT.)	150	58.18	58.18
FRONT SETBACK (FT.)	25	16.8	29.7
SIDE SETBACK (FT.)	20	25.8/5.8	27.5/5.8
REAR SETBACK (FT.)	20	102.9	101.5
BUILDING COVERAGE (%)	MAX.	50 (1,201 S.F.)	10.5 (1,145 S.F.)
SITE COVERAGE (%)	80	(2,025 S.F.)	17.8 (3,900 S.F.)
HEIGHT (FT.)	30 FT.	25	NO CHANGE

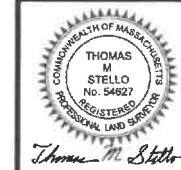
NOTES:

- Horizontal Datum: NAD83
- Vertical Datum: Approximate NAVD88
- Septic system location is approximate and is based on information on file with the Health Department.
- The subject lot is located in FEMA Other Areas Zone X, "areas determined to be outside the 0.2% annual chance floodplain" as shown on FIRI No. 25001C06124, effective date July 16, 2014.
- Existing utility locations are based on visible, above ground components located during the field survey and are considered to be approximate. Contractor shall notify DigSafe (call 811 or 888-DIG-SAFE) at least 72 hours prior to any construction to have all existing utilities located and clearly marked.
- The existing conditions shown herein are based on an on-the-ground survey performed between October 11th, 2021 and November 5th, 2021.
- Proposed dwelling roof runoff to be directed to subsurface drywells, stone trenches installed along building drip line, or other best management practice.
- Site grading to contain stormwater run-off & prevent against stormwater flowing onto adjacent properties.



SITE PLAN

Prepared For
Katharina Zuellig
708 Main Street
HARWICH, MASS.



Scale: 1" = 10' Project No.: H-327.0
Sheet Size: 24"x36" Site Plan: 708 Main Street, Harwich, MA

TS Land Surveying, Inc.
P.O. Box 303
Harwich Port, MA 02646
508.737.8635
office@tslandsurveying.com

Date: February 13, 2024 Sheet No. 1 of 1



Zuellig Residence

708 Main Street, Harwich, MA 02645

OWNER: Katharina Zuellig
36 High Street
Concord, MA 01742

ARCHITECT: InkStone Architects, LLC
18 Main Street, 3b
Concord, MA 01742
Brigitte Steines
650.814.8542
brigitte@inkstonearchitects.com

Permit Application

Issued 6/14/2022

SHEET INDEX

- T1 Title Sheet
- EX1 Existing / Demo First and Second Floor Plans 1/4"=1'-0"
- EX2 Existing / Demo Exterior Elevations 1/4"=1'-0"
- A0 Site Plan 1/8"=1'-0"
- A1 Proposed Basement, First and Second Floor Plans 1/4"=1'-0"
- A2 Proposed Exterior Elevations 1/4"=1'-0"
- A3 Proposed Building Section 1/4"=1'-0" and Proposed Details 1/2"=1'-0"
- E1 Proposed Basement, First and Second Floor Plan Electrical 1/4"=1'-0"
- S Foundation and Framing Plans 1/4"=1'-0"

DEFINITIONS

- SUPPLY** - item is acquired and brought to the site
- INSTALL** - item is set up for use or service
- PROVIDE** - item shall be supplied and installed to the manufacturer specifications.

GENERAL REQUIREMENTS

A. GENERAL

- THE DOCUMENTS ARE COMPLEMENTARY What is called for on any sheet will be binding as if called for on all sheets. In the case of duplicate requirements, the more stringent requirement governs.
- ADDITIONAL DRAWINGS The character and scope of work are illustrated by the drawings listed in the sheet index. Any additional detail drawings required to interpret and explain the drawings and other information deemed necessary will be furnished by the Architect to the Contractor upon request and with approval of the Owner.
- REGULATORY COMPLIANCE Work shall comply with the Zoning Bylaws of the Town, the Massachusetts State Building Codes and local fire codes, and the International Residential Code.
- PERMITS All building permits and filing fees connected with this work shall be secured by the General Contractor.
- DIMENSIONS Unless otherwise notes all dimensions for partitions are from finish to finish.

B. CONTRACTOR'S RESPONSIBILITY

- GENERAL Unless otherwise noted, the Contractor will provide all new work including blocking or preparatory work required.
- SUBCONTRACTORS AND EMPLOYEES Work is to be completed by workers competent in the task at hand and possessing licenses where required by law.
- PRODUCTS products supplied by owner or Contractor and to notify supplier of damage.
- TRANSPORTATION AND HANDLING Per product manufacturer's recommendations. Deliver all material to jobsite in new, factory sealed, unopened containers.
- STORAGE AND PROTECTION Per product manufacturer's or industry standards. Protect all installed materials until the Work is turned over to the Owner at the project closeout.
- PRODUCT SUBSTITUTIONS Not permitted unless approved by the Owner and (in the case of structural, thermal and moisture control materials) the Local Building Inspector.

C. EXISTING CONDITIONS

- FIELD CONDITION CLARIFICATIONS The Contractor shall notify the Architect of any discrepancies between the drawing, general notes, and field conditions before commencing any work and shall request clarification from the Architect. The proposed work shown is based on observed conditions, accessible at the time existing conditions were documented. Actual conditions, particularly concealed conditions, may vary from those depicted or assumed.
- VERIFY DIMENSIONS The Contractor and each sub-contractor shall check and verify all dimensions and conditions including but not limited to plumbness, squareness and levelness of existing structure and grades at the job site before commencing work.
- RELIANCE ON SUBSTRATE Commencement of work constitutes full and unconditional acceptance of any pre-existing condition upon which current work may rely. Before commencing work, thoroughly investigate and promptly notify the Owner if any pre-existing conditions or construction is not suitable for proper installation of any current work.

(GENERAL REQUIREMENTS CONTINUED)

D CONSTRUCTION INSTALLATION

- ALIGNMENT Install all work straight, plumb, true, square, level, smooth and free of defects.
- CUTTING Do not reduce the architectural integrity or required structural capacity of any pre-existing construction.
- PATCHING Patch to match and blend with existing adjacent conditions. The materials and workmanship employed in the alterations, unless otherwise required, shall conform to that of the original work.

E JOBSITE CLEAN UP

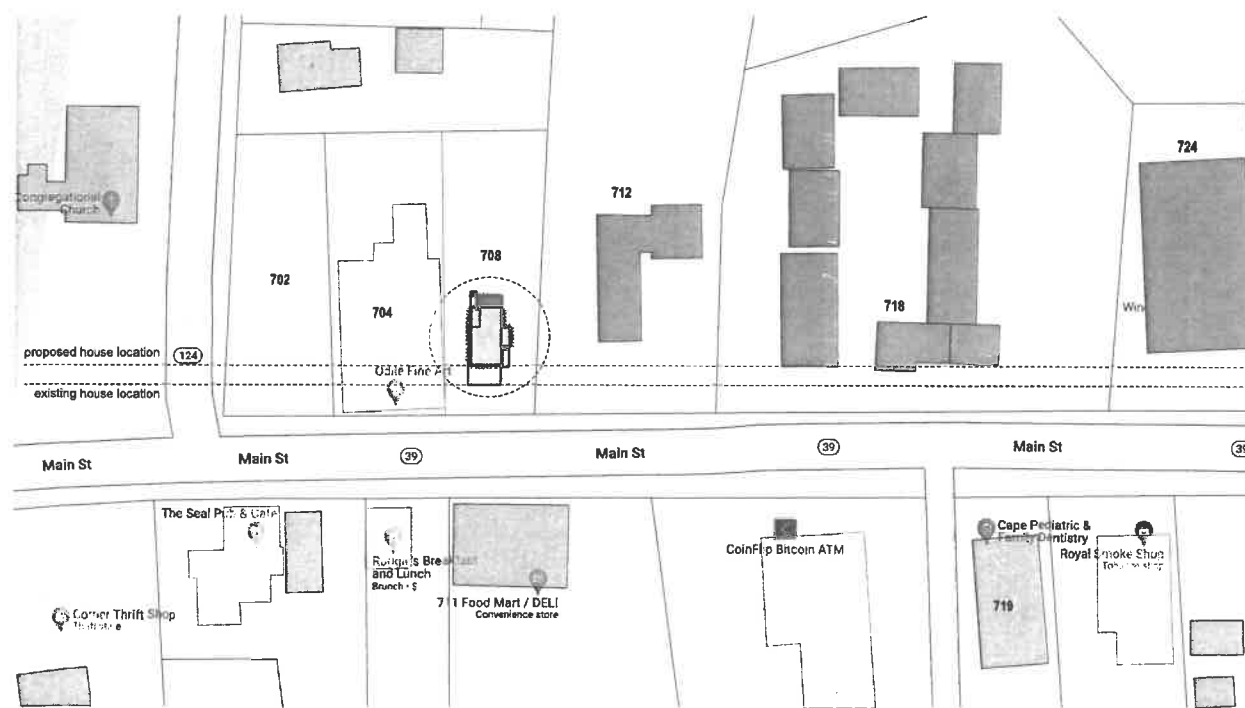
- REMOVAL The Contractor shall remove all waste material both from his own employees and his sub-contractors. Regularly remove from jobsite and legally dispose of all construction debris.
- DUMPSTERS Construction debris and dumpsters are to be stored in on-site location acceptable by Owner.
- PROTECTION OF ADJACENT SITE Contractor to supply temporary construction barriers and protection of non-jobsite spaces.
- SECURITY Keep jobsite secure at all times

F PROJECT CLOSEOUT

- COMMISSIONING Thoroughly test all Work and repair or replace as required.

G CONTRACTOR RESPONSIBILITY Contractor is responsible for design work pertaining to flashing, vapor barriers, waterproofing, insulation, ventilation, HVAC selection and sizing, engineering electric circuit plan and supplying power as required.

KEY	
	existing 2x4 framed wall
	demolished wall
	new 2x4 framed wall
	new 2x6 framed wall
	element above
	element below
	foundation wall
	foundation footing



IECC 2018 TABLE 402.1.2 INSULATION AND FENESTRATION REQUIREMENT BY COMPONENT								
Climate Zone	Fenestration U-Factor	Glazed Fenestration SHGC	Ceiling R-Value	Wood Frame R-Value	Floor R-Value	Basement Wall R-Value	Slab R-Value & depth	Crawlspace Wall R-Value
5	0.3	NR	R49	20 or 13+5	30	15 19	10, 2ft.	15 19

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InkStone Architects, LLC
Brigitte Steines, principal
18 Main Street, Ste. 3b
Concord, MA 01742
ph: 650.814.8542
brigitte@inkstonearchitects.com



Zuellig Residence
708 Main Street
Harwich, MA 02645

Permit Set

06/14/2022 Permit Set
07/01/2022 Permit Set rev

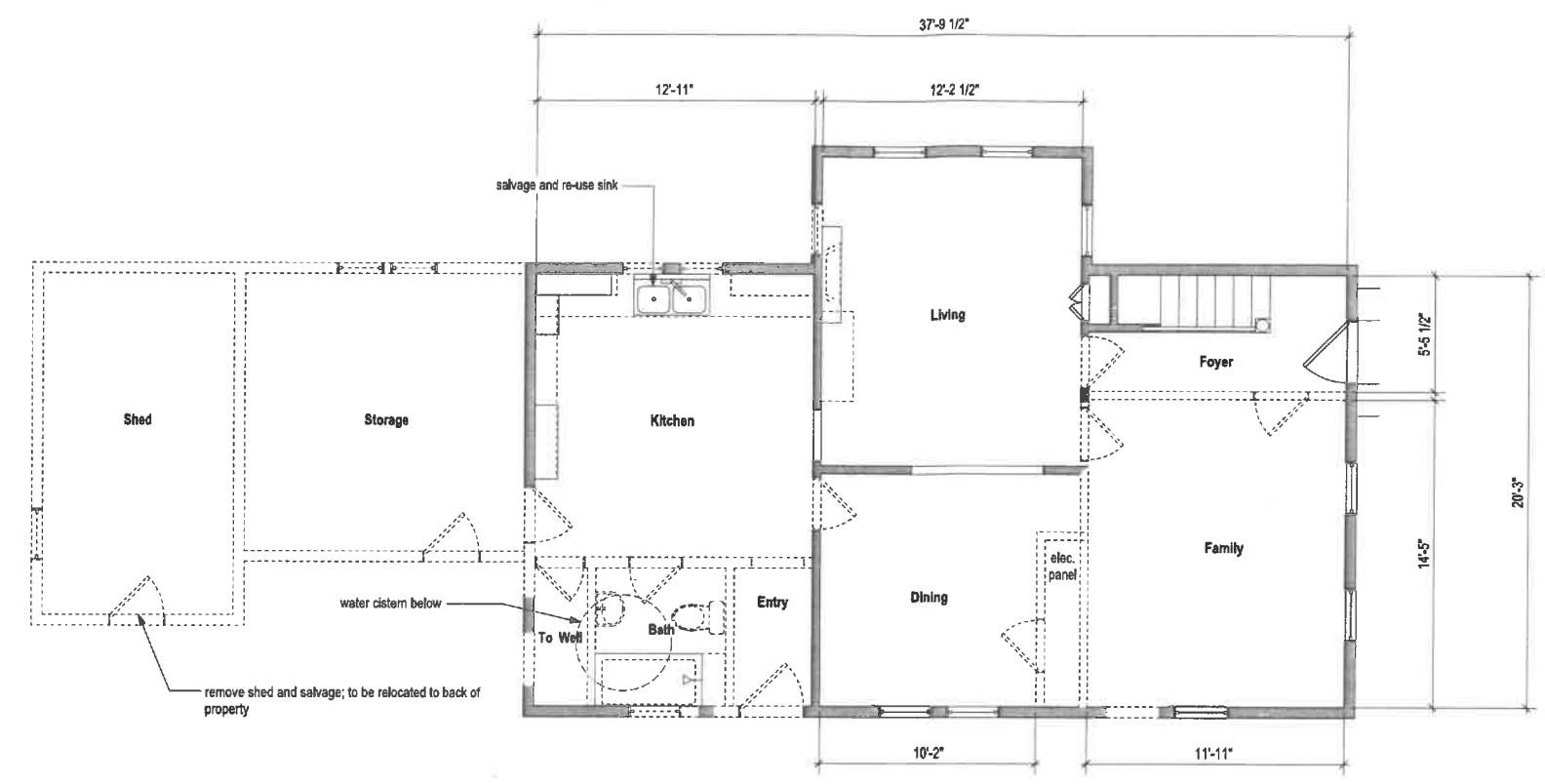
T1
Title Sheet



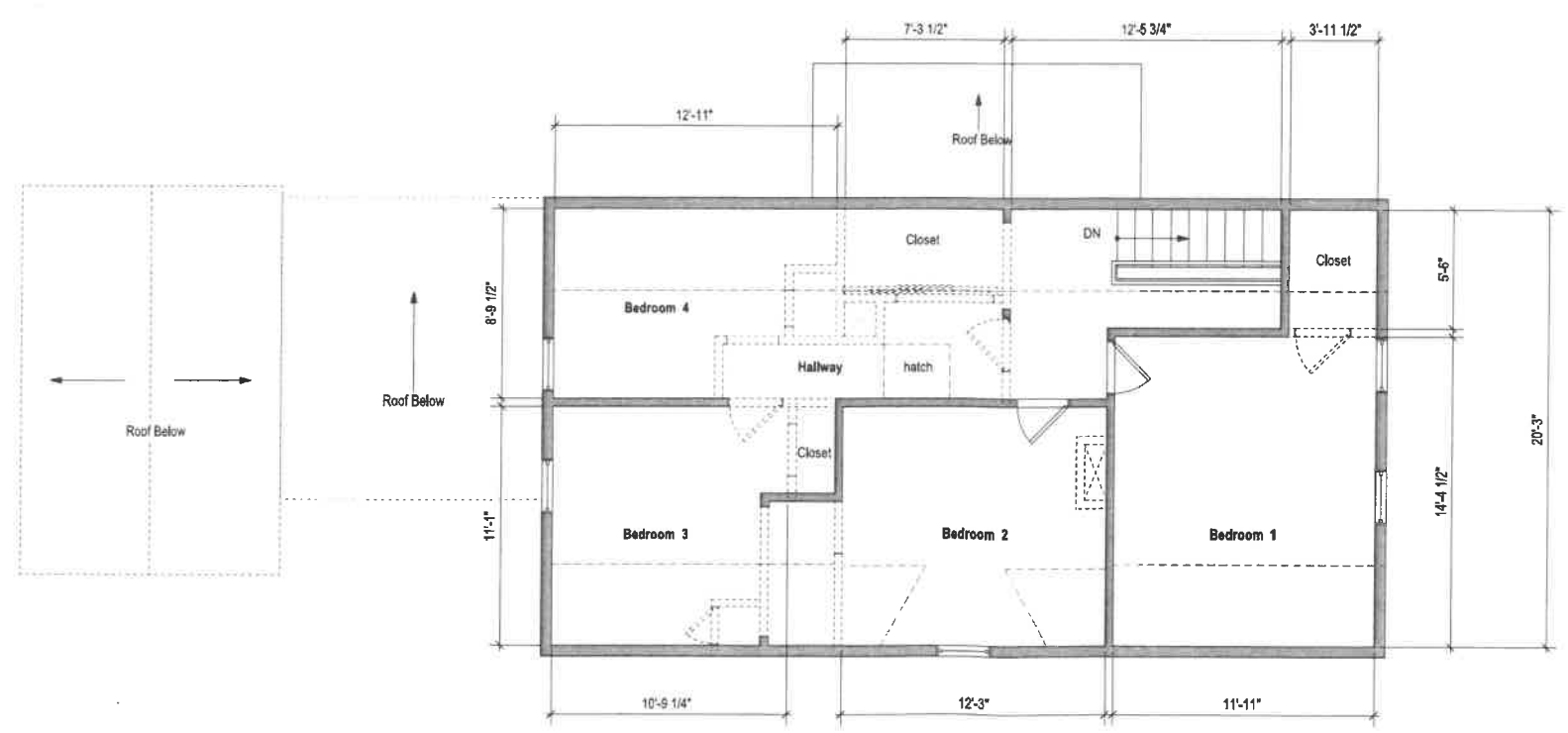
Permit Set

06/14/2022 Permit Set
 07/01/2022 Permit Set rev

Note:
 1. All Existing Windows are replaced in place
 2. Windows shown in dashed blue are removed and changed



1 Existing/Demo First Floor Plan
 Scale: 1/4" = 1'-0"



2 Existing/Demo Second Floor Plan
 Scale: 1/4" = 1'-0"



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Brigitte Steves, principal
18 Main Street, Ste. 3b
Concord, MA 01742
ph: 650.814.8542
brigitte@inkstonearchitects.com

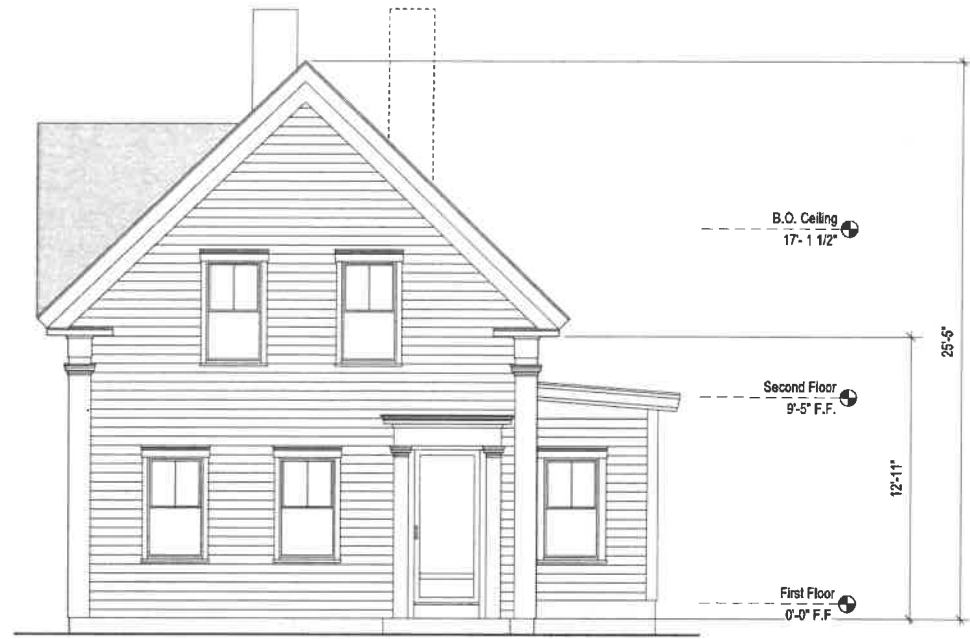
INKSTONE
RESIDENCE

Zuellig Residence
708 Main Street
Harwich, MA 02645

Permit Set

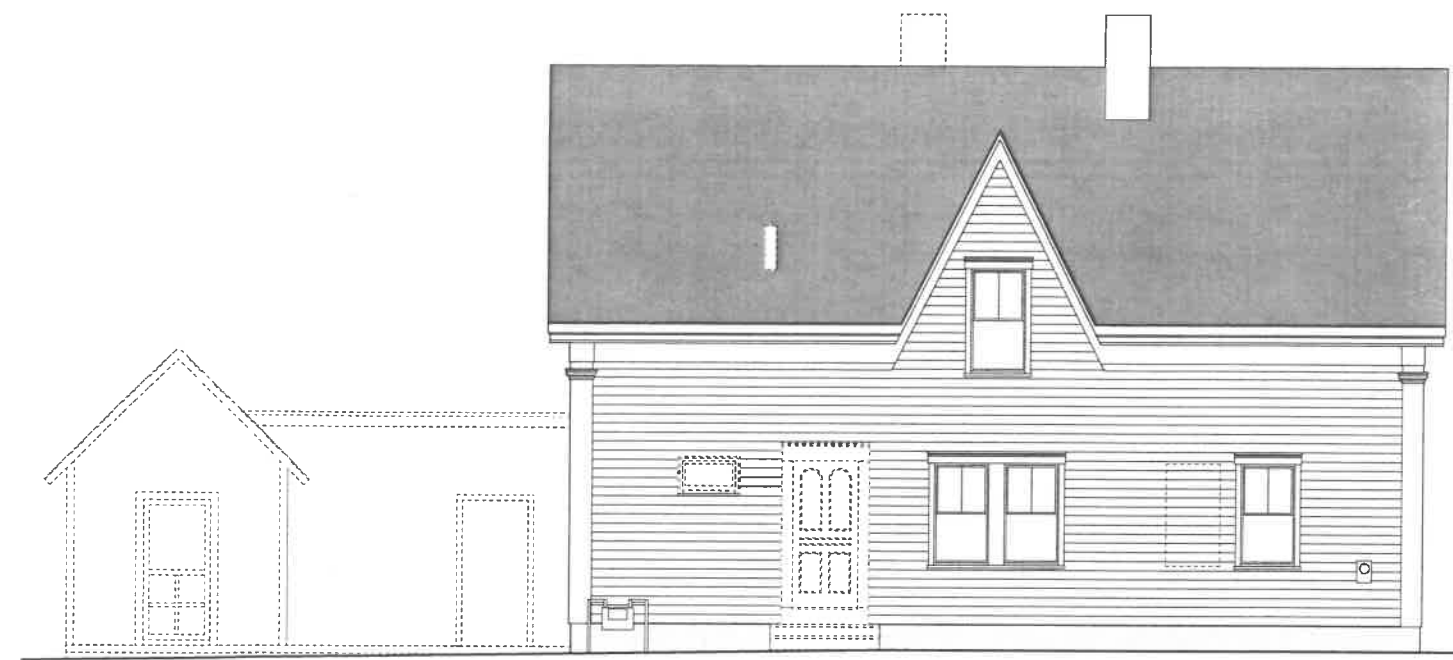
06/14/2022 Permit Set
07/01/2022 Permit Set rev

EX2
Existing Exterior
Elevations



Note:
1. Remove flower box holders

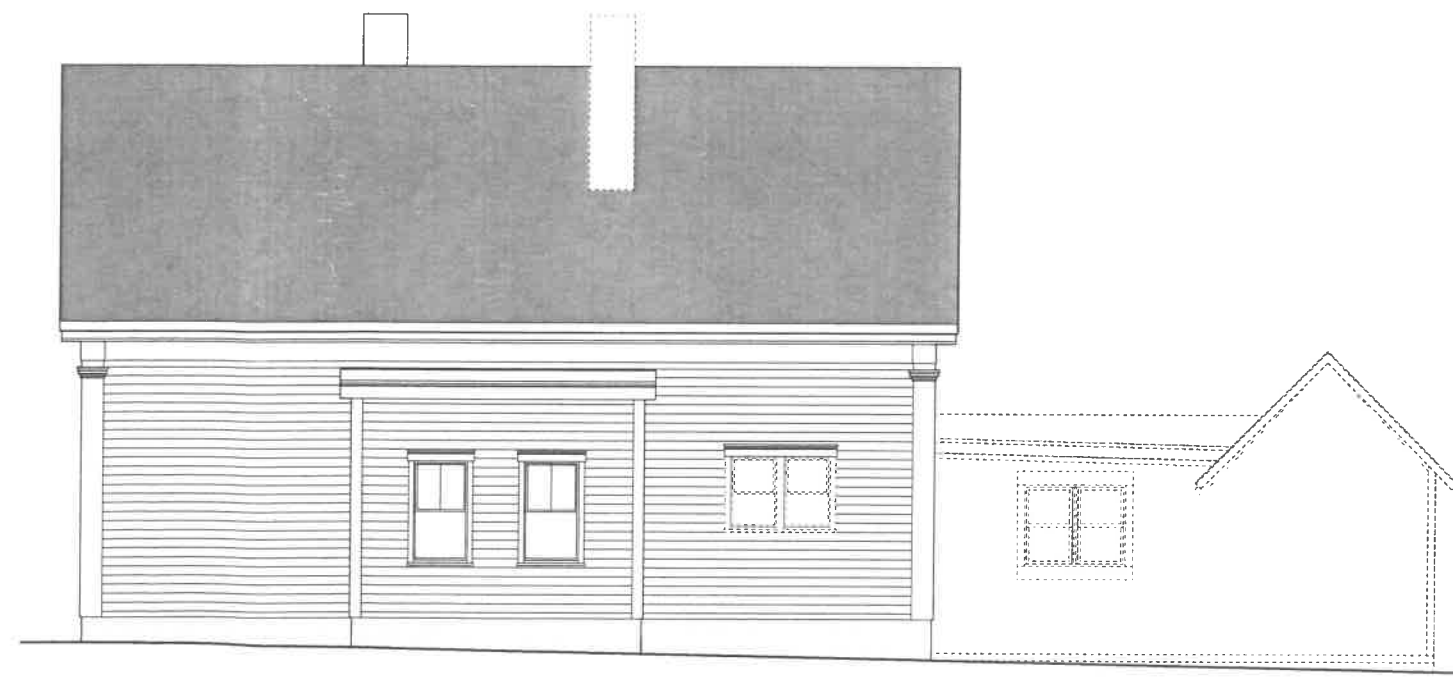
1 Existing South Elevation
Scale: 1/4" = 1'-0"



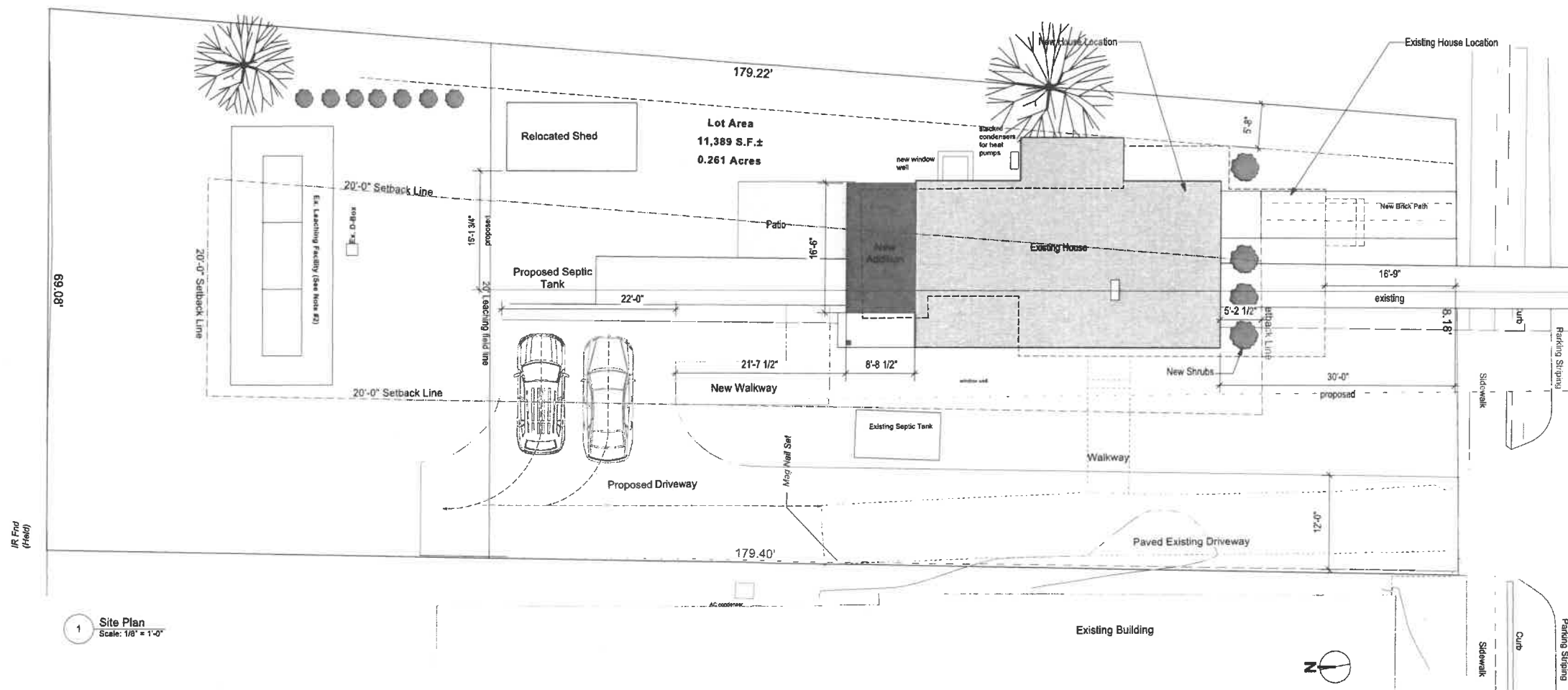
2 Existing West Elevation
Scale: 1/4" = 1'-0"



3 Existing North Elevation
Scale: 1/4" = 1'-0"

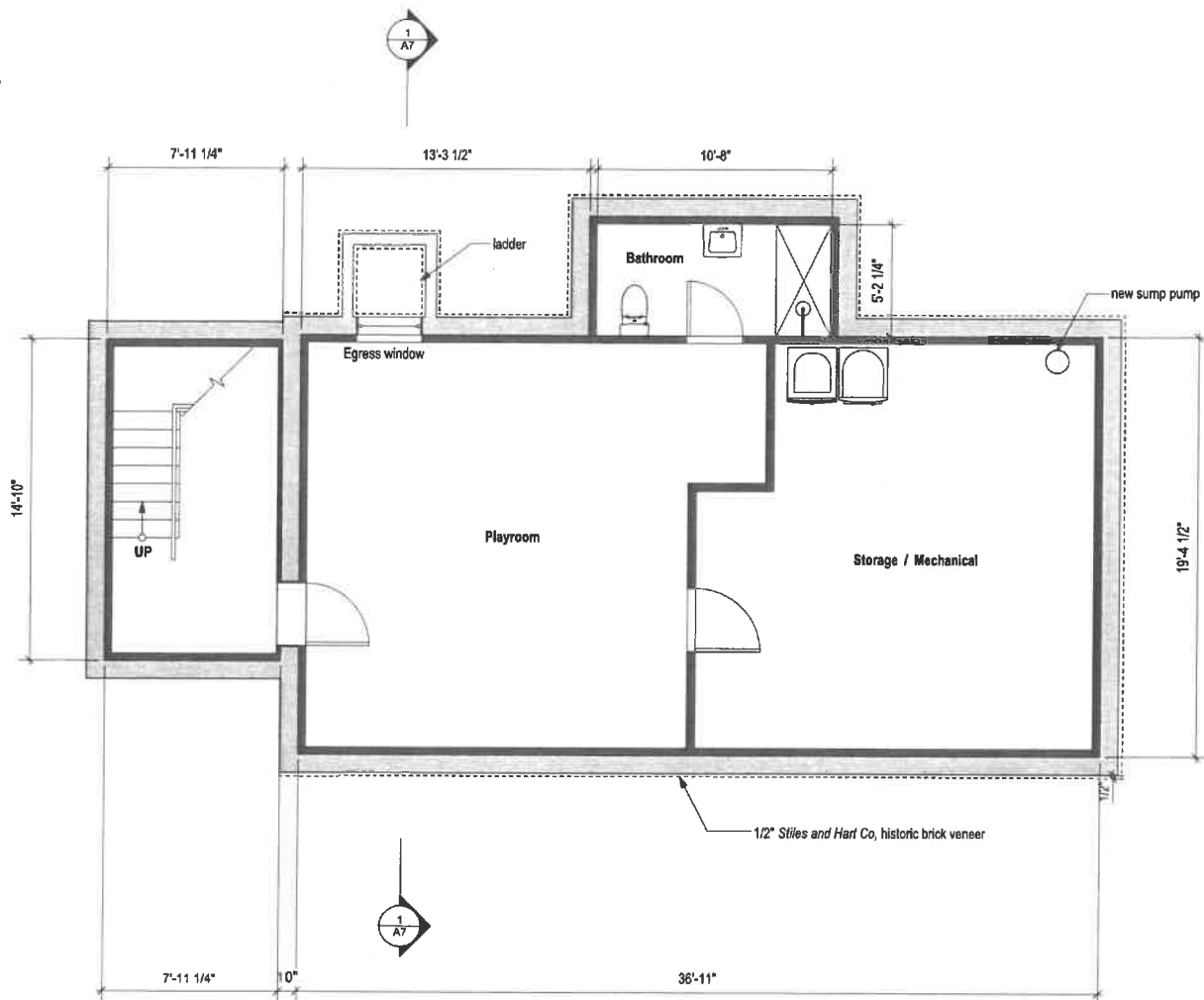


4 Existing East Elevation
Scale: 1/4" = 1'-0"



1 Site Plan
 Scale: 1/8" = 1'-0"

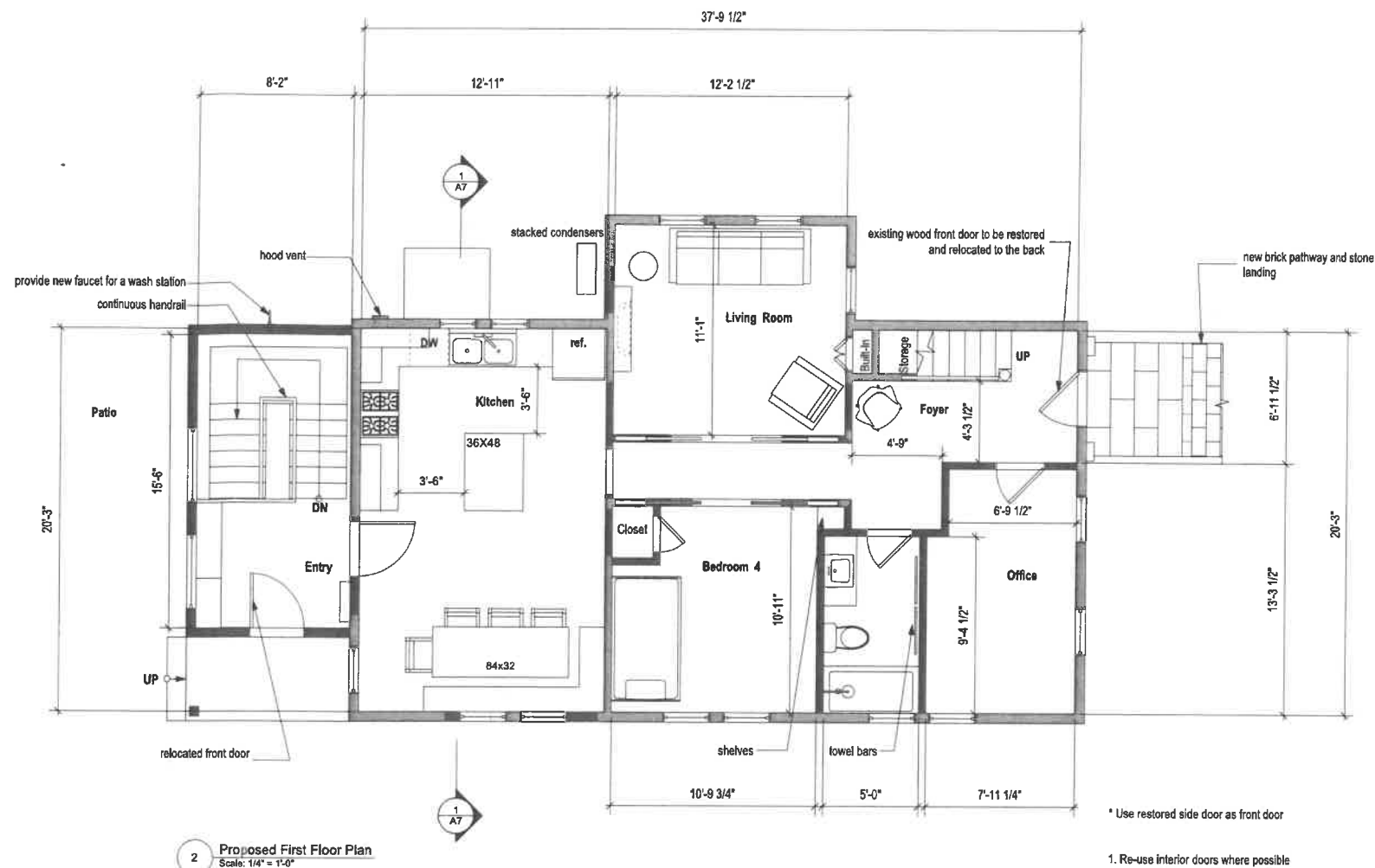
IR Fnd
 (Held)



1 Proposed Basement Floor Plan
Scale: 1/4" = 1'-0"

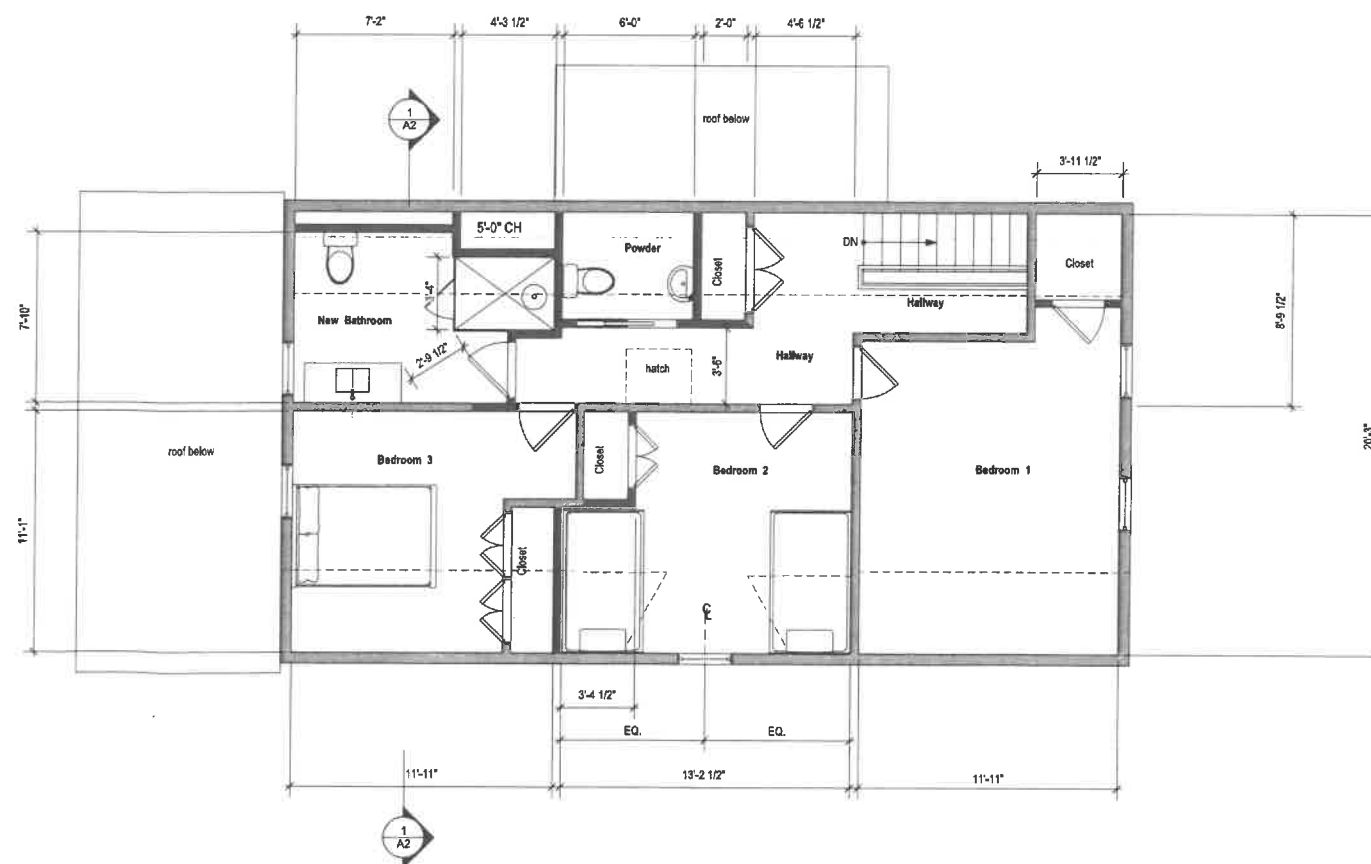
Note:
Foundation dimensions need to be adjusted in field to reflect the exact existing house footprint

1. Egress window: Clear opening min. 20" wide by 24" high, net clear opening of 5.7 sf.



2 Proposed First Floor Plan
Scale: 1/4" = 1'-0"

* Use restored side door as front door
1. Re-use interior doors where possible



3 Proposed Second Floor Plan
Scale: 1/4" = 1'-0"

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ph: 650.814.8542
brigitte@inkstonearchitects.com

INKSTONE
ARCHITECTS, LLC

Zuellig Residence
708 Main Street
Harwich, MA 02645

Permit Set

06/14/2022 Permit Set
07/01/2022 Permit Set rev

A1
Proposed
Basement, First and
Second Floor Plans



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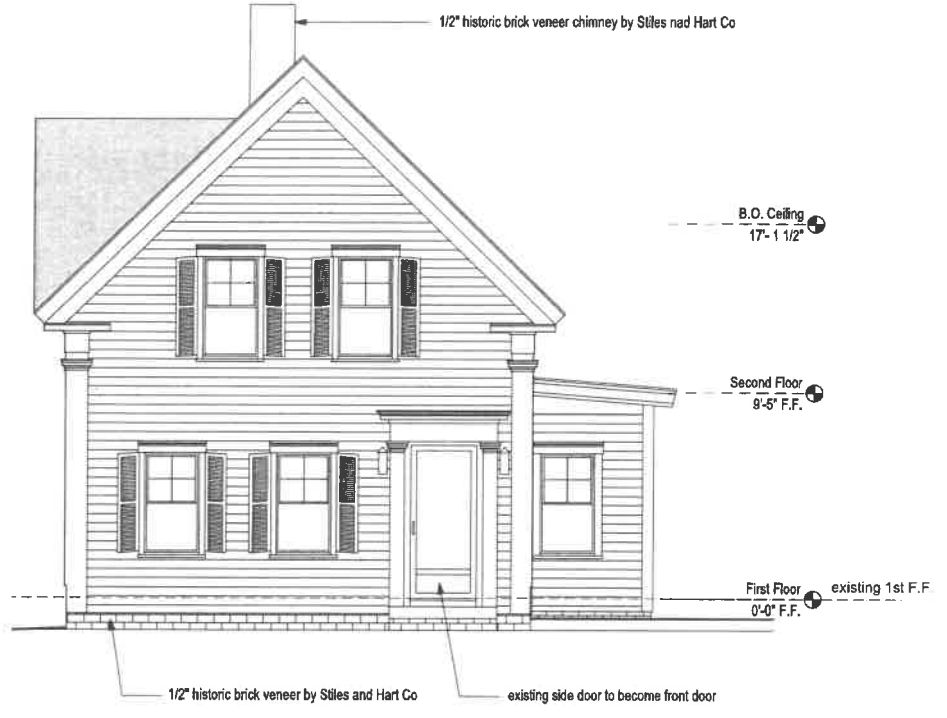
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Zuellig Residence
 708 Main Street
 Harwich, MA 02645

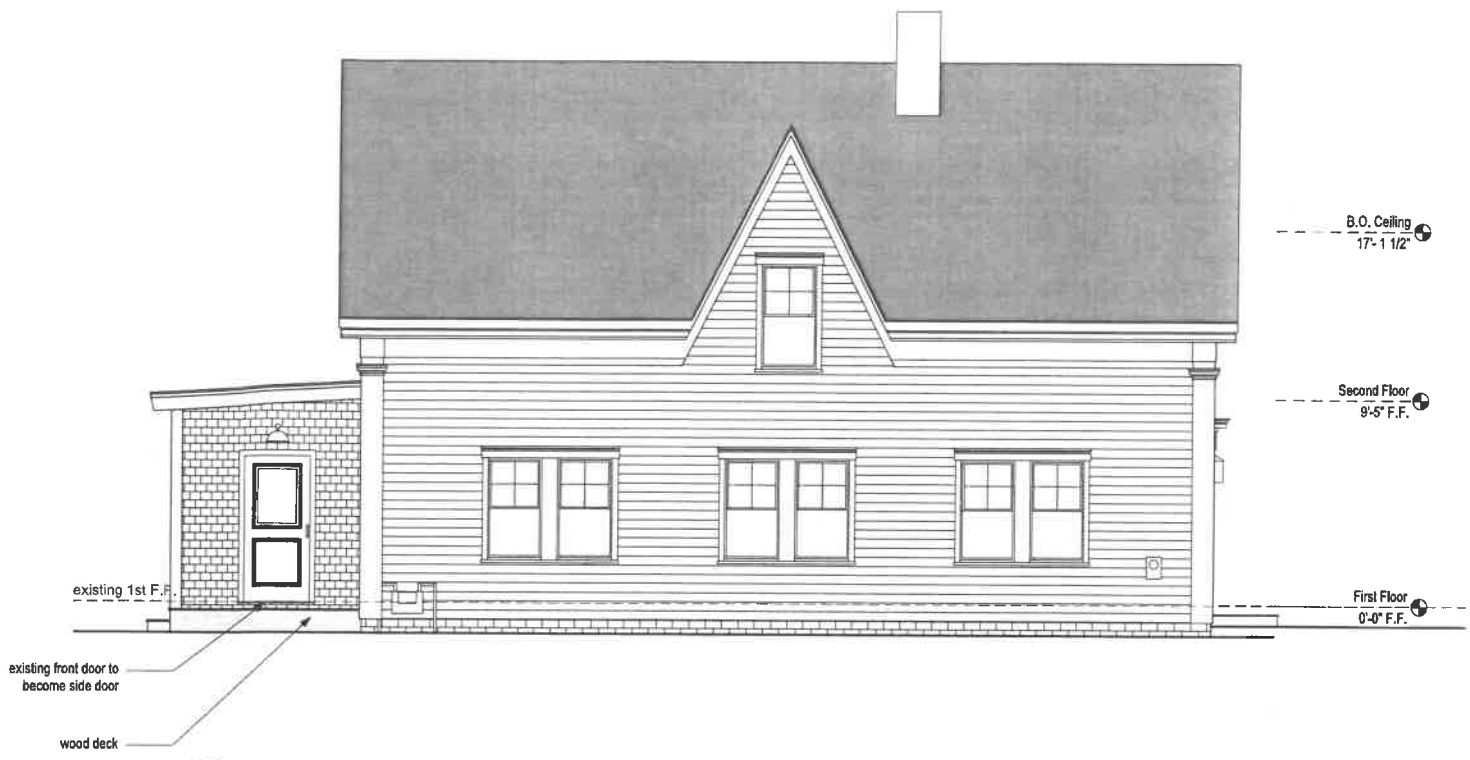
Permit Set

06/14/2022 Permit Set
 07/01/2022 Permit Set rev

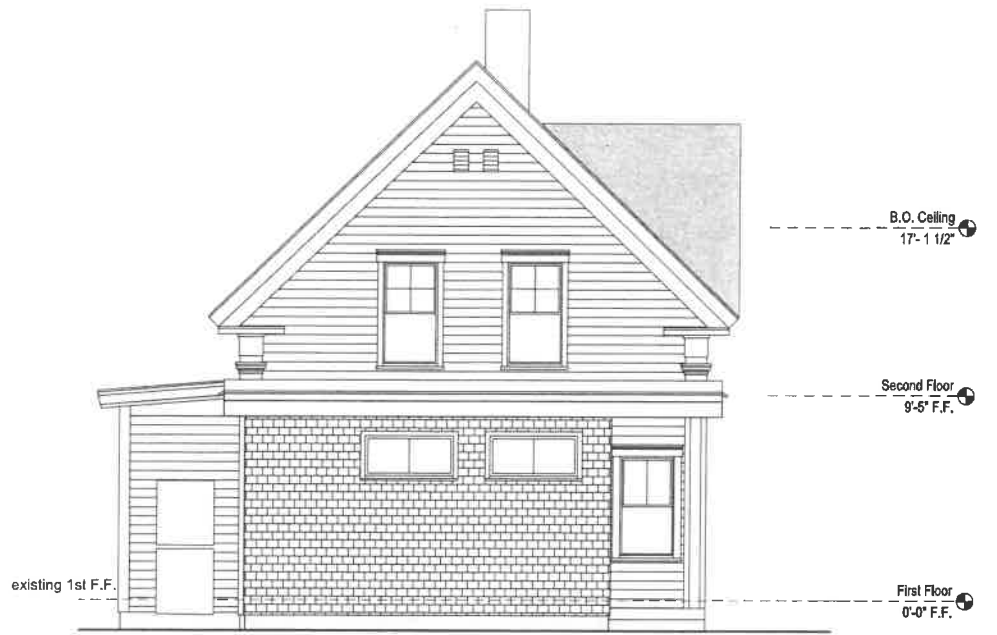
A2
 Proposed Exterior Elevations



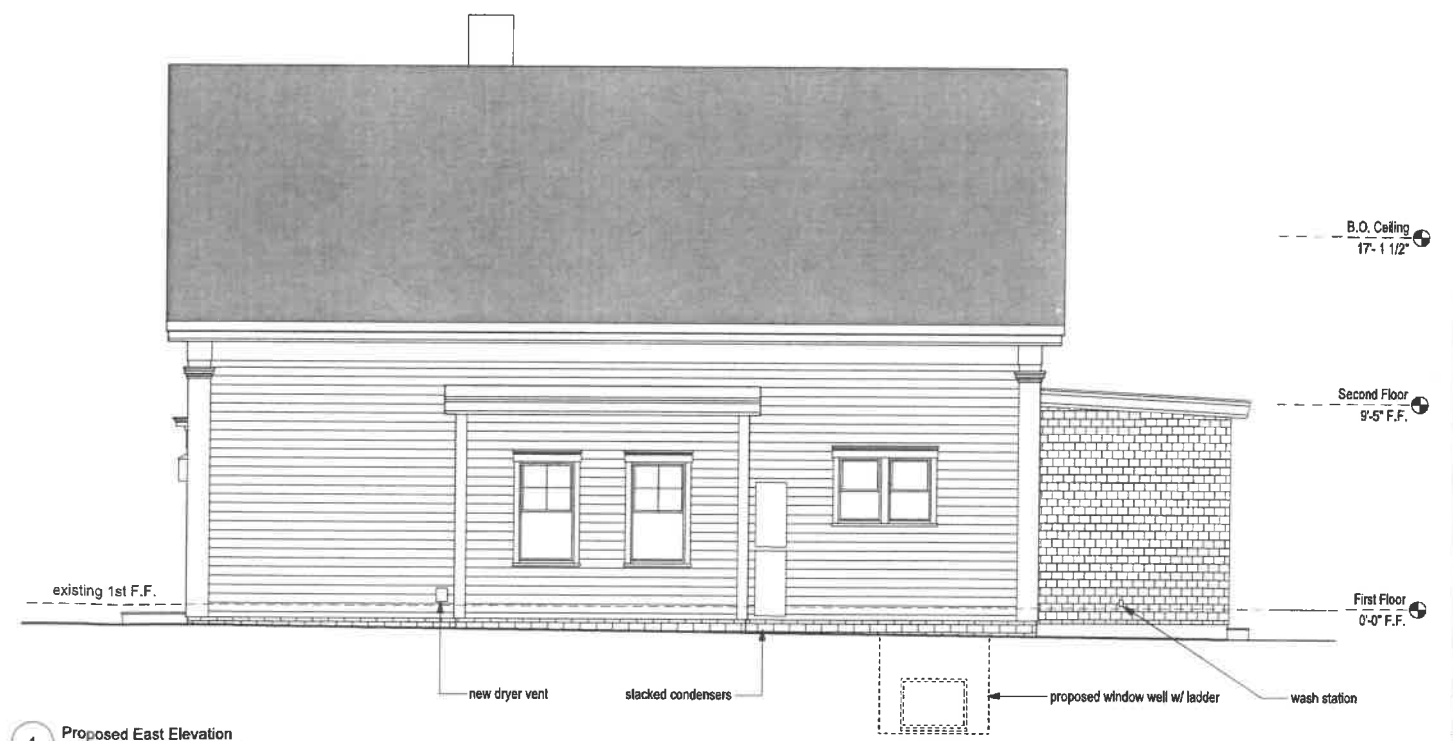
1 Proposed South Elevation
 Scale: 1/4" = 1'-0"



2 Proposed West Elevation
 Scale: 1/4" = 1'-0"

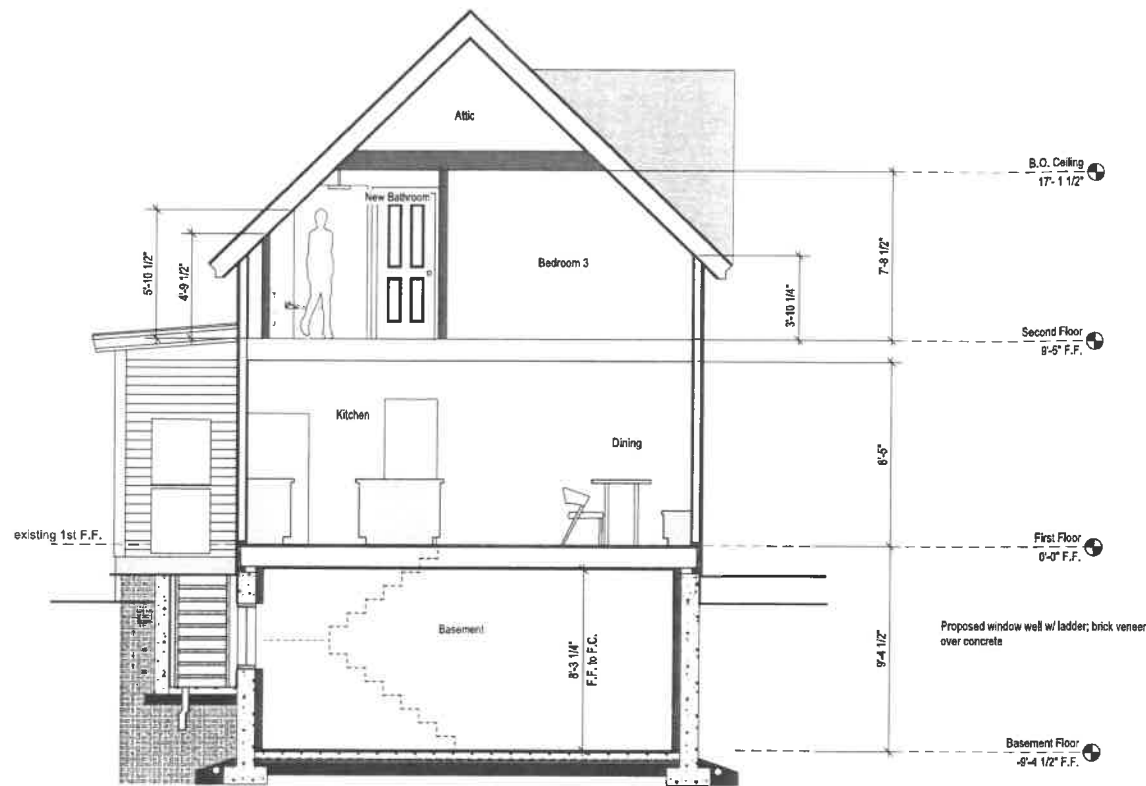


3 Proposed North Elevation
 Scale: 1/4" = 1'-0"

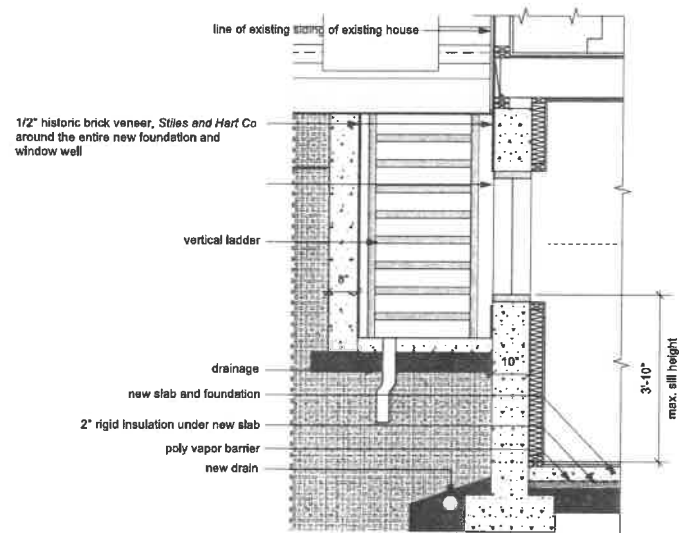


4 Proposed East Elevation
 Scale: 1/4" = 1'-0"

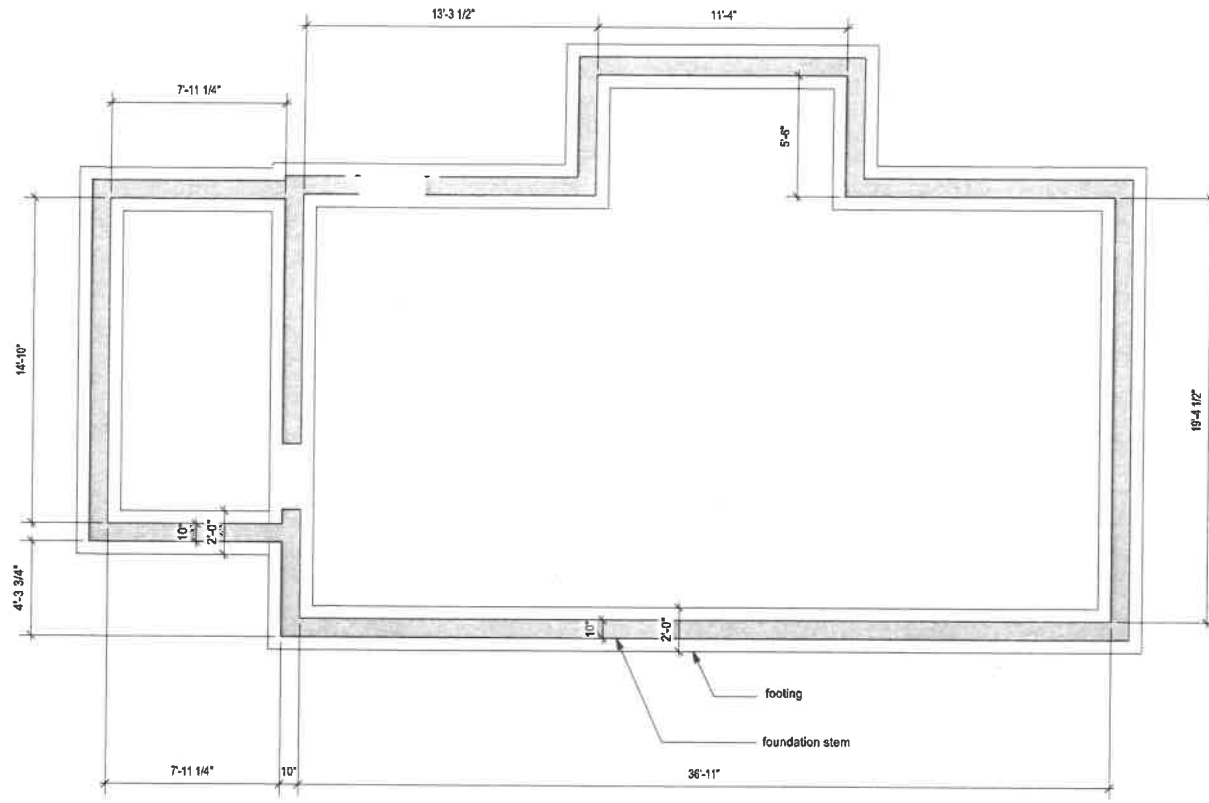
- Note:**
1. Add exist., salvaged shutters to front facade.
 2. Replace all windows
 3. Re-use existing front and side doors if feasible.
 4. Wood siding, trim, pilasters and roof to remain.
 5. Paint the back addition white to match existing house.
 6. Patch Roof shingles to match existing asphalt shingles.
 7. Veneer over the concrete foundation w/ existing brick.



4 Proposed Building Section
 Scale: 1/4" = 1'-0"

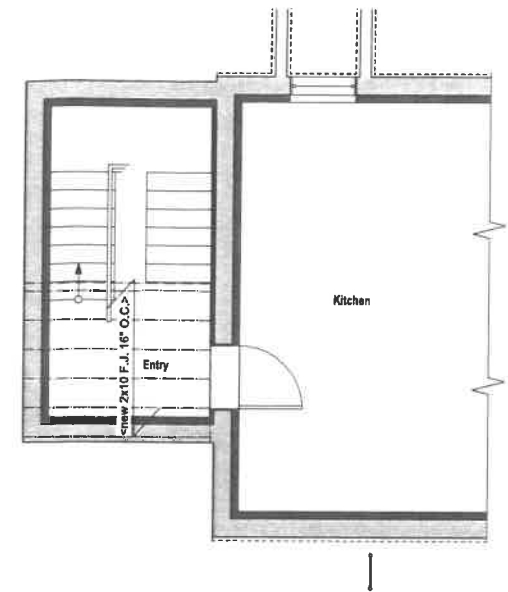


5 Proposed Building Section Detail @ Foundation and Window Well
 Scale: 1/2" = 1'-0"

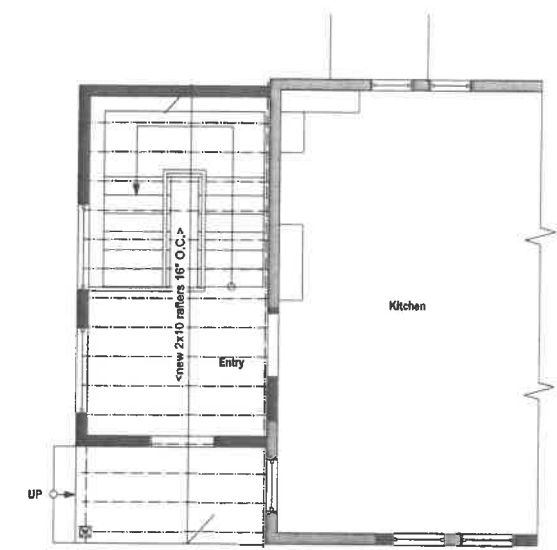


1 Proposed Foundation Plan
Scale: 1/4" = 1'-0"

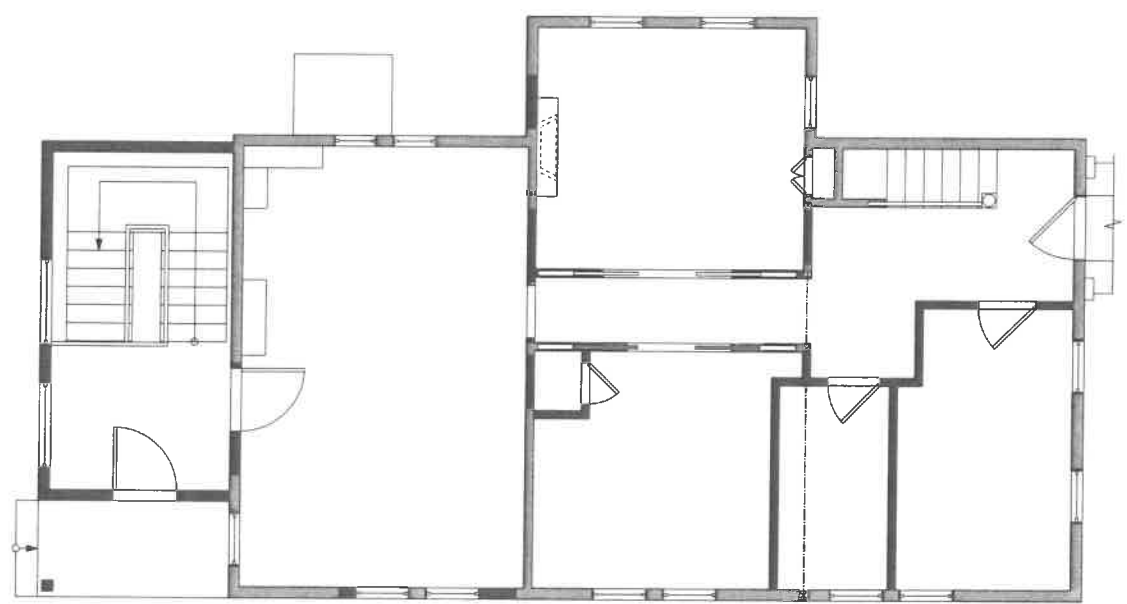
Note:
Foundation dimensions need to be adjusted in field to reflect the exact existing house footprint



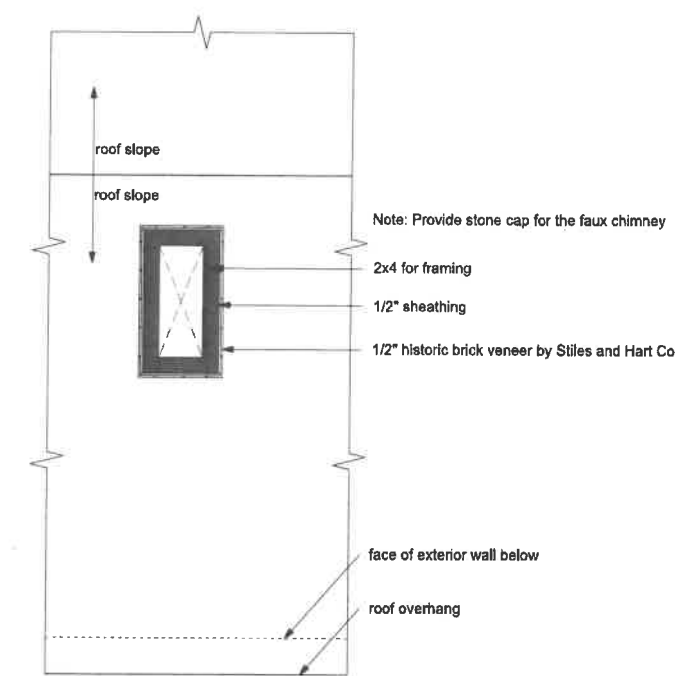
2 Proposed Back Entrance Addition Framing Floor Plan
Scale: 1/4" = 1'-0"



3 Proposed Back Entrance Addition Roof Framing Plan
Scale: 1/4" = 1'-0"



5 Proposed Structural First Floor Plan
Scale: 1/4" = 1'-0"



6 Proposed "Faux" Chimney
Scale: 1/2" = 1'-0"

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S
Proposed
Foundation and
Framing Plans

