

**TOWN OF HARWICH  
HISTORIC DISTRICT AND  
HISTORICAL COMMISSION**



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Please submit this application to: Town of Harwich Building Department  
732 Main Street, Harwich, MA 02645  
Telephone: (508) 430-7506 Fax: (508) 430-4703

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**Application fee: \$55**

*Harwich General By-Laws, Chapter 131, Article II, §131-8.A, Notice of Intent to Demolish. Before any building constructed prior to one hundred years before the present calendar year is demolished in whole or in part, a Notice of Intent to do so will be filed with the Commission.*

**Application for Notice of Intent**

I, JSLW LLC  
Whitcomb Building & Remodeling LLC, intend to demolish **in whole or in part** the structure located at  
(Print Owner/Applicant's Name) (circle one)

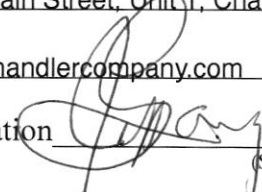
585 Route 28 Harwich Port 14 / Y3 R-M  
(Street Number) (Street Name) (Village), (Assessor's Map) (Parcel #) (Zoning District(s))

**Section 1 - Owner/Applicant Information** (Note: A non-owner may apply, however written authorization of the owner is required at the time of submittal of this Application)

Legal Owner(s) JSLW LLC Title N/A

Mailing Address 534 Main Street, Unit 1, Chatham, MA 02633

Email Address jeff@thehandlercompany.com Telephone (508) 364-2225

Legal Owner's Authorization   
(Signature)

Applicant(s) (if different) John Casale/Whitcomb Building and Remodeling LLC

Mailing Address (if different) P.O. Box 254, East Sandwich, MA 02537

Email Address jasale.whitcombbuilding@gmail.com Telephone (508) 714-9033

**Section 2 - Determination of Historical Significance**

Date Building was Constructed 1800 - 1850

Which records were used to establish this date? Town Hall - Assessing Records

Description of Structure(s) to be demolished (*in whole or in part*) No "structure" is being demolished. Siding will be removed and access made from existing building into new building.

Reason for Demolition New Addition being attached to the building.

Proposed Reuse N/A

Is the property on the Town's Inventory List: Yes

Is the building listed on the National or Massachusetts Register of Historic Places? Yes

If yes, which register? MACRIS HRW.191

Original Owner, if known Doc Fennell

Subsequent Owners, if known Heather B. Nickerson

What is known about the history of the property? Don't know

Further, has the property been associated with any noteworthy events or with the political, cultural, economic, or social history of the Town or Region? Please list: Not that we're aware of

Type of Architectural Style: Traditional

Method of Construction: Stick built

Type of Materials Used: 2x4's, plywood, other standard building, modern day materials

Name(s) of Architect, Designer or Builder if known: \_\_\_\_\_

**Section 3 - Project Plan and Condition of Existing Structures**

Full Demolition  or Partial Demolition

For Partial Demolition, describe portion(s) to be demolished \_\_\_\_\_

Siding is being removed on the side of the proposed addition. Front entry is being reconfigured.

Age(s) of portion(s) to be demolished \_\_\_\_\_

Describe how the remaining structure will be treated and renovated \_\_\_\_\_

Interior removal of remaining structure - Painting, interior trim, suspended ceiling. No structural changes.

List reports detailing condition of structure and results of inspections conducted by certified engineer or other design professional \_\_\_\_\_ N/A

Is there room on the site to relocate the structure or integrate it with the new project? Yes  No

Describe what alternatives to demolition have been investigated No alternatives are necessary

**Section 4 – Filing Requirements**

**One Certified Abutter List** – available from the Assessor’s Office for a fee.

**One (1) original and eight (8) copies of each of the following shall be submitted:**

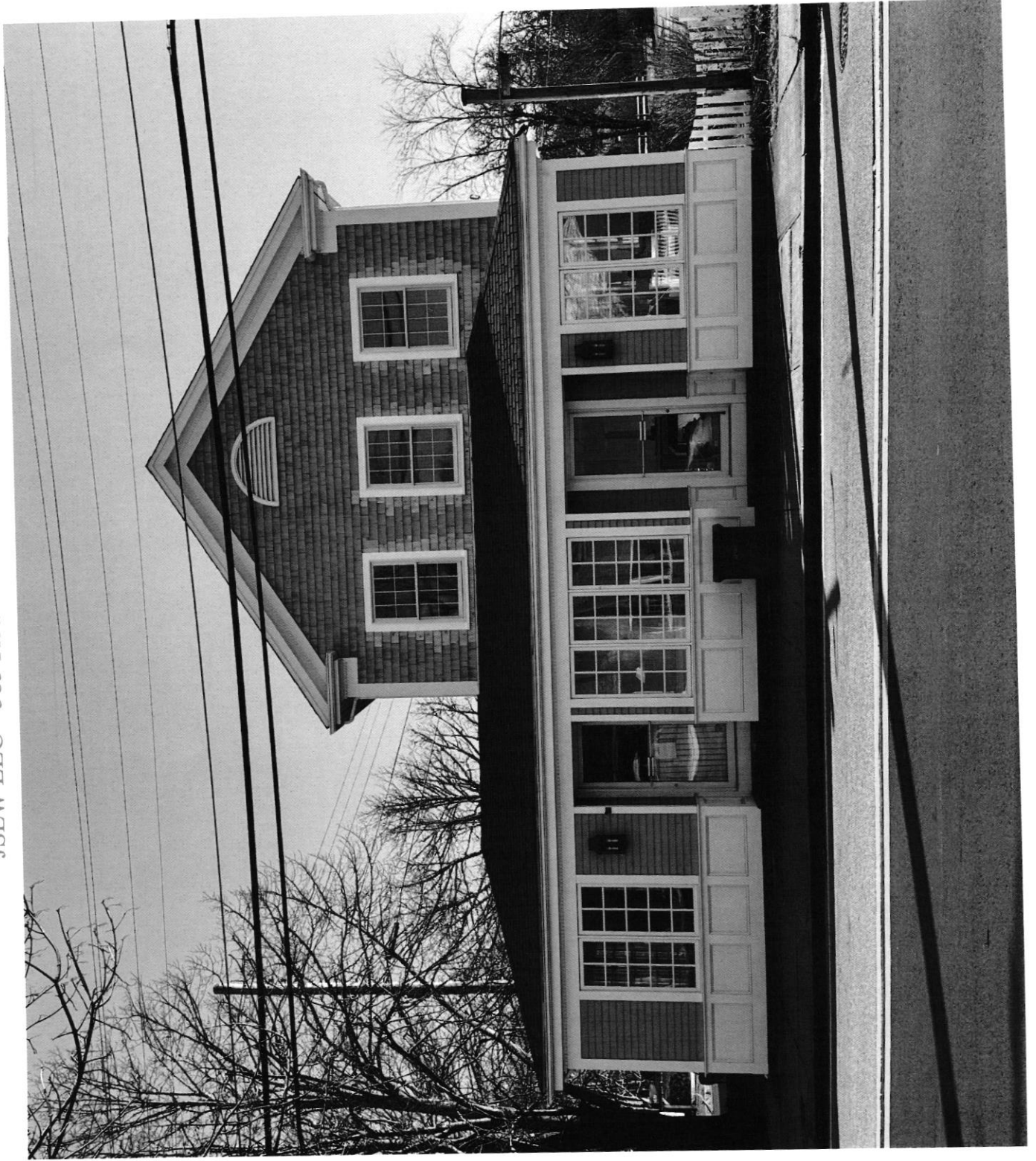
1. Completed Application Form with Owner authorization
2. Certified Site Plan and Locus Map
3. Registered Professional(s) Stamped Reports of Inspection
4. Complete set of Photographs (of sufficient quality and number) showing **all:** exterior elevations, significant architectural details, and /or detailing existing conditions supporting claim of conditions
5. List and copies of appropriate references and documents consulted to determine age and historical significance of structure.
6. **For Partial Demolitions:** Plans and Drawings of existing areas to be demolished and final elevations of completed project.

***The application shall not be considered complete until the all the above requirements and information are provided and submitted with this application. Attach Authorization to represent/apply.***

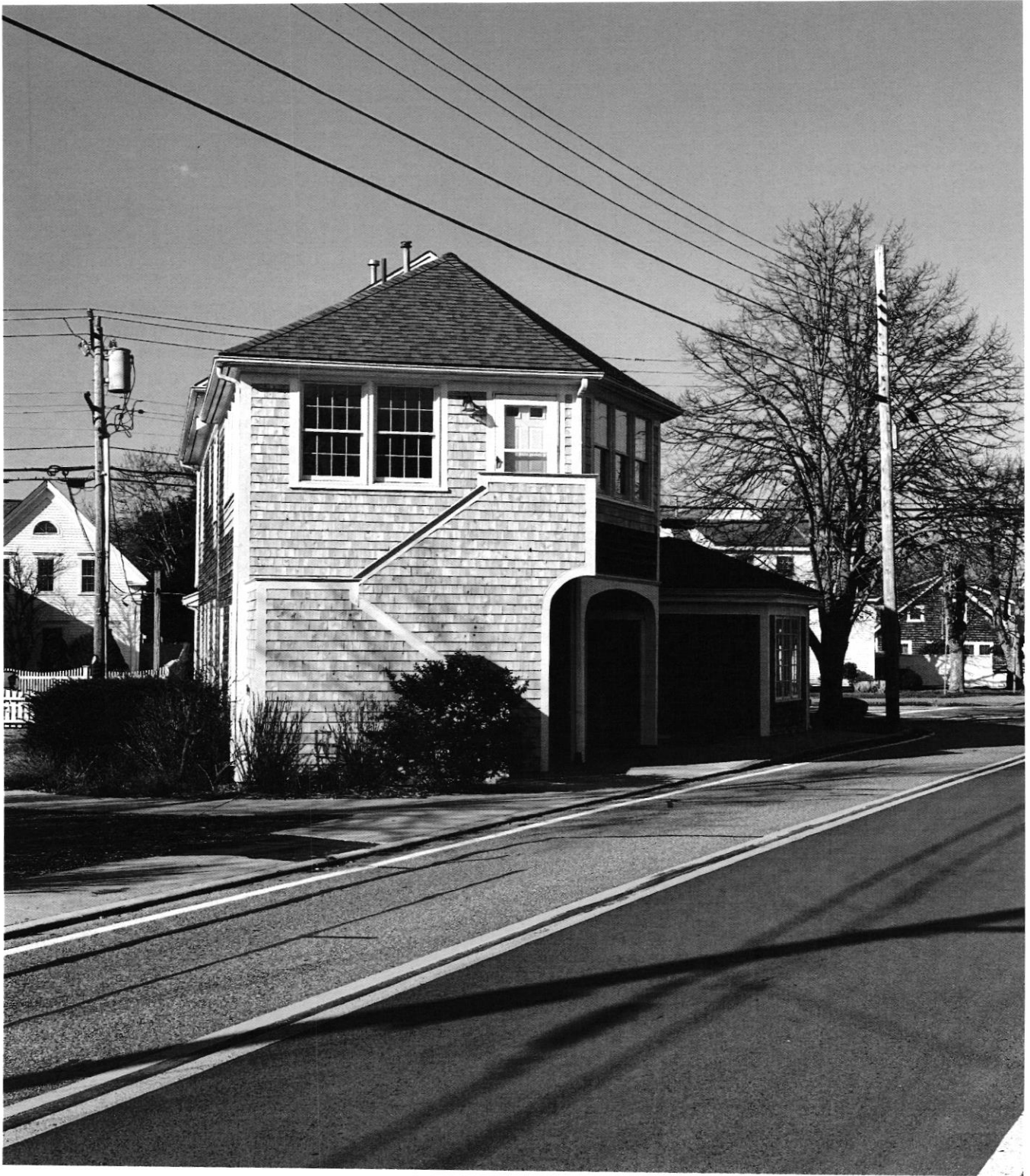
John Casale  
(Signature of Applicant/Representative)

3-14-2024  
(Date)

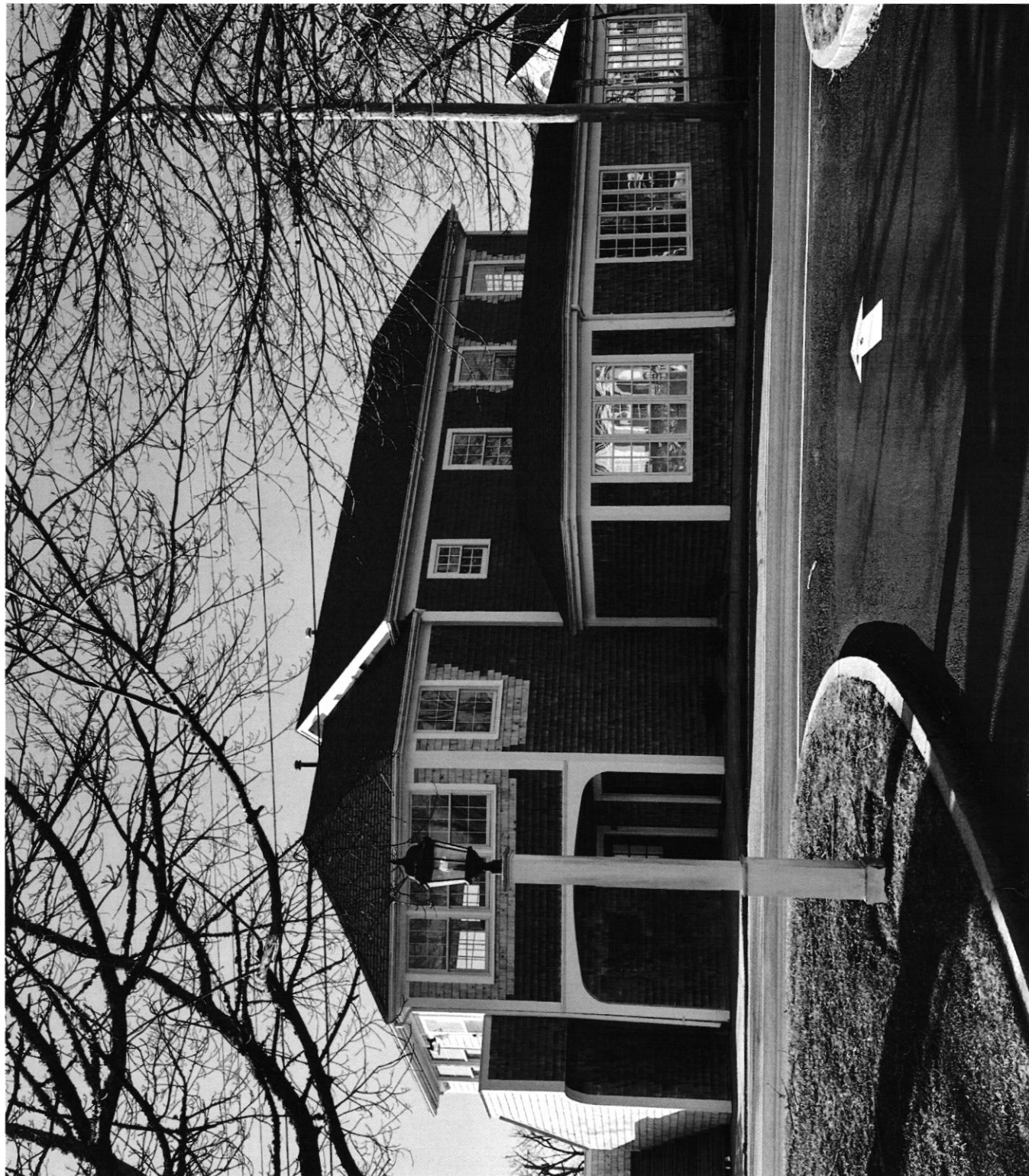
JSLW LLC - 585 Route 28 - North Elevation



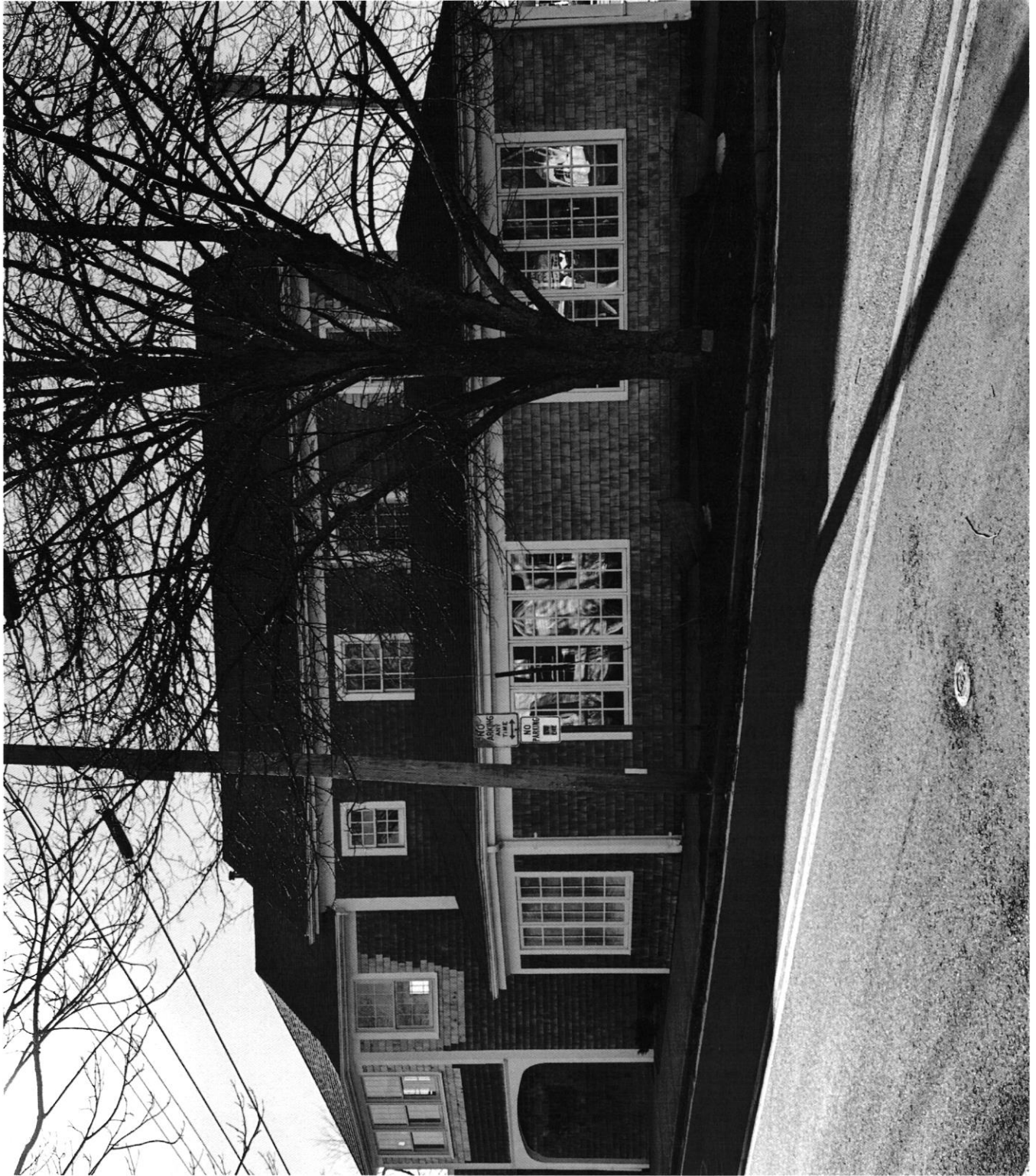
JSLW - 585 Route 28 - South Elevation



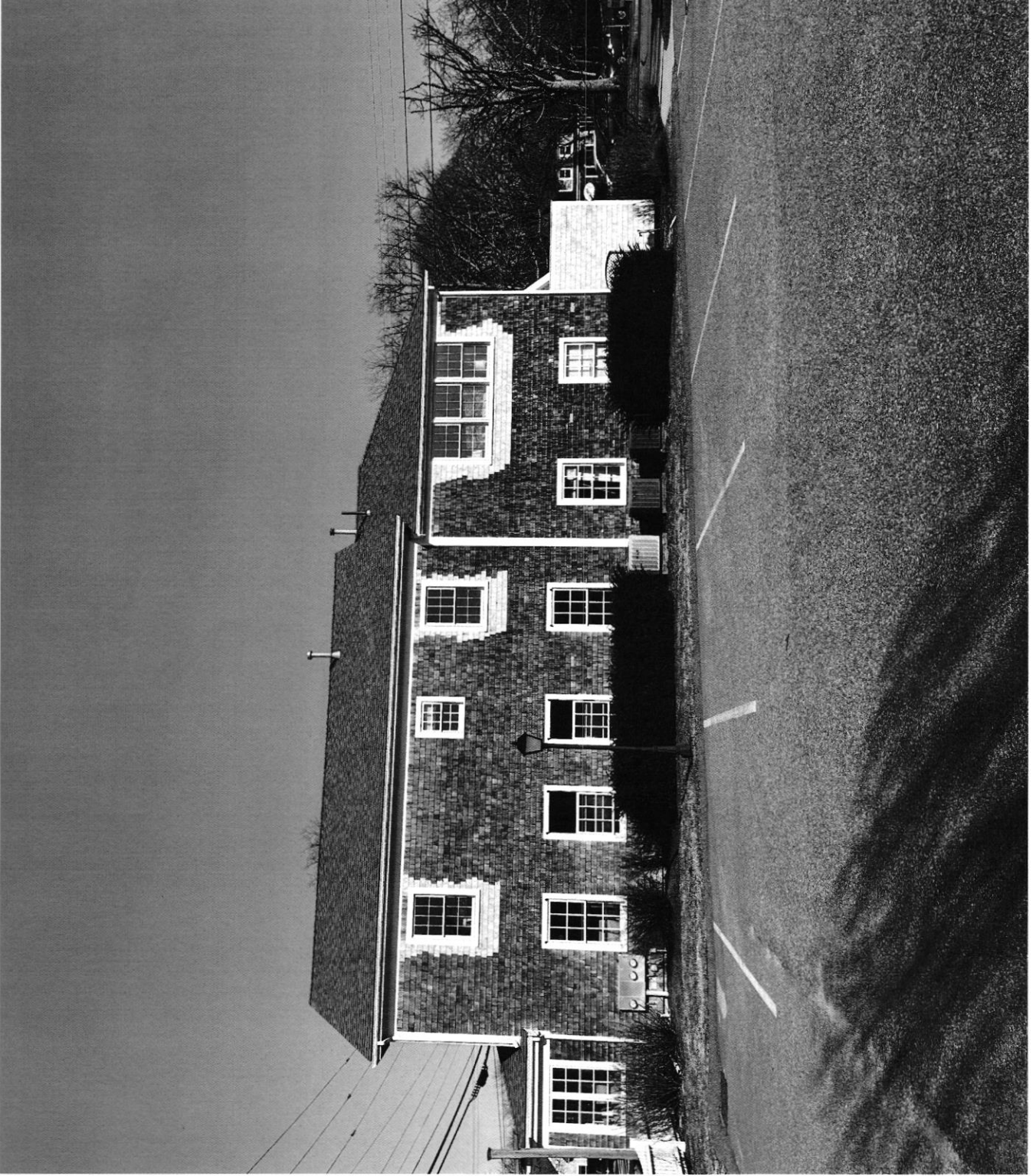
JSLW LLC - 585 Route 28 - East Elevation



JSLW LLC - 585 Route 28 - East Elevation #2



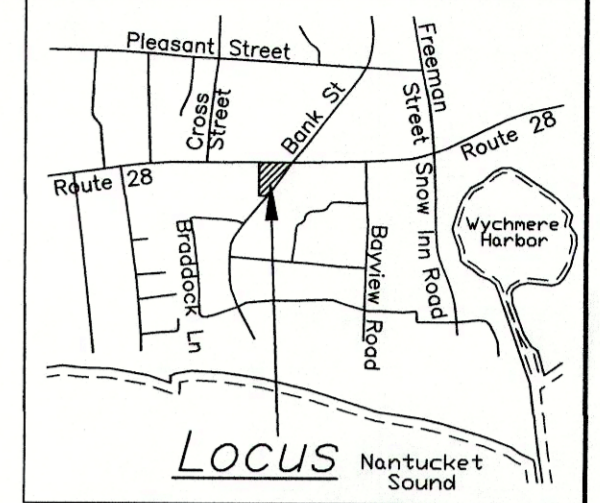
JSLW - 585 Route 28 - West Elevation





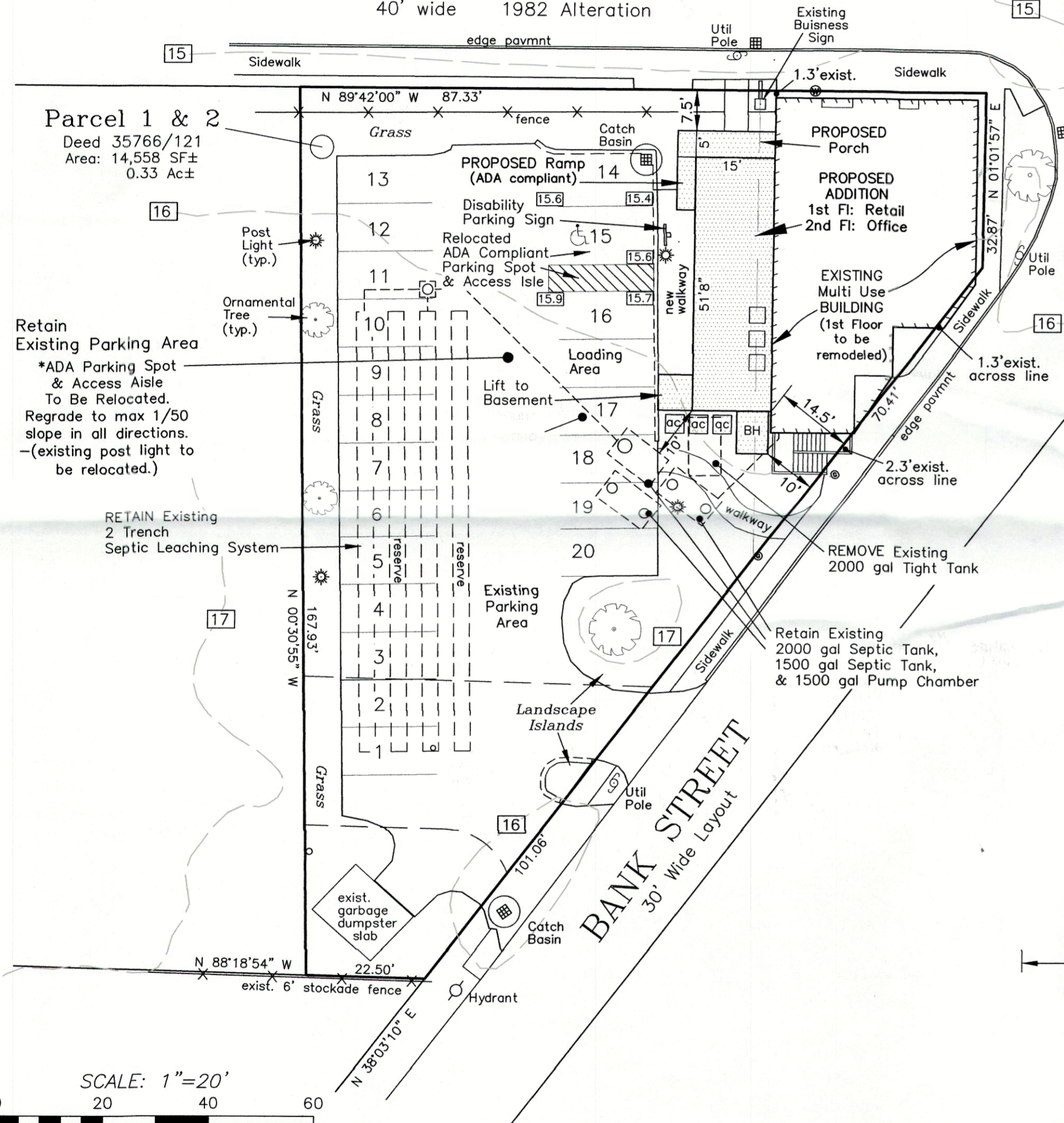
**LEGEND**

- Existing Trees
- Utility Pole
- Existing Post Light
- Existing Catch Basin
- Accessible Parking Space
- Existing Contour
- Proposed Spot Elevation 15.6
- Proposed Addition
- Existing Septic System
- Existing Fence



**LOCATION MAP**  
 Assessors' ID: 14-Y3 & Y2  
 Deed: Bk 35766, Pg 121  
 Ref. Plans: Bk 640, Pg 62  
 Bk 91, Pg 21  
 Bk 361, Pg 67  
 LC Pl. 23643-F

**STATE HIGHWAY ROUTE 28**  
 40' wide 1982 Alteration



**NOTE:**  
 \* This property is not located within a Special Flood Hazard Area.  
 \*\* This property is not located within a Zone II, Drinking Water Protection District

**Zoning Compliance**

Zone: C-V	Zone C-V	Village Commercial Overlay District*	Existing	Proposed Addition
Rte 28 Setback	25'min	per Review	1.3'	7.5'
Bank St Setback	25'min	per Review	-2.3'	14.5'
Side Setback	20'min	10'min	89.0'	67.4'
Rear Setback	20'min	20'min	116.3'	116.5'
Total Building Coverage	(7,279 sf) 50% max	N/A	(2,050 sf) 14.1%	(2,932 sf) 20.2%
Total Site Coverage	(11,646 sf) 80% max	(11,646 sf) 80% max	(9,720 sf) 66.8%	(11,040 sf) 75.8%

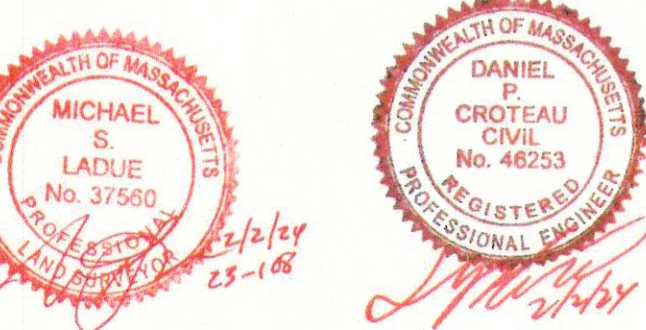
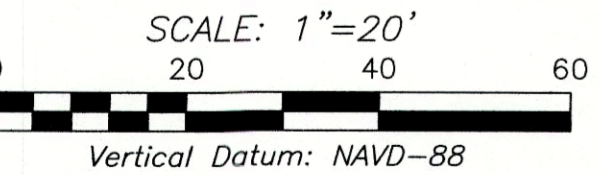
\* Planning Board may waive or modify VCOD dimensional requirements.

**Off-Street Parking Schedule**  
 Sect.:1X.325-39 & Sect.:208-2

REQUIRED	Min Req.	Calc.	Required
Retail Sales	1 per 150sf of customer use area or 1 per 150sf of 70% of total retail area	1772sf/150 0.7 x 2600sf/150	12 spaces 13 spaces *controls
Office Space	1 per employee + 1 per 250sf	2 employees + 332sf/250	2 spaces 2 spaces
Apartment	1.5 per unit	1 unit x 1.5	2 spaces
<b>Total Required</b>			<b>19 spaces</b>
Accessible Space	1 per 25 spaces	min 1 space to be Accessible Compliant	
<b>PROPOSED = EXISTING PARKING AREA</b>			
Existing & Proposed Parking On-Site: 20 spaces Accessible Parking Proposed On-Site: 1 accessible space Loading Area Provided: 1			

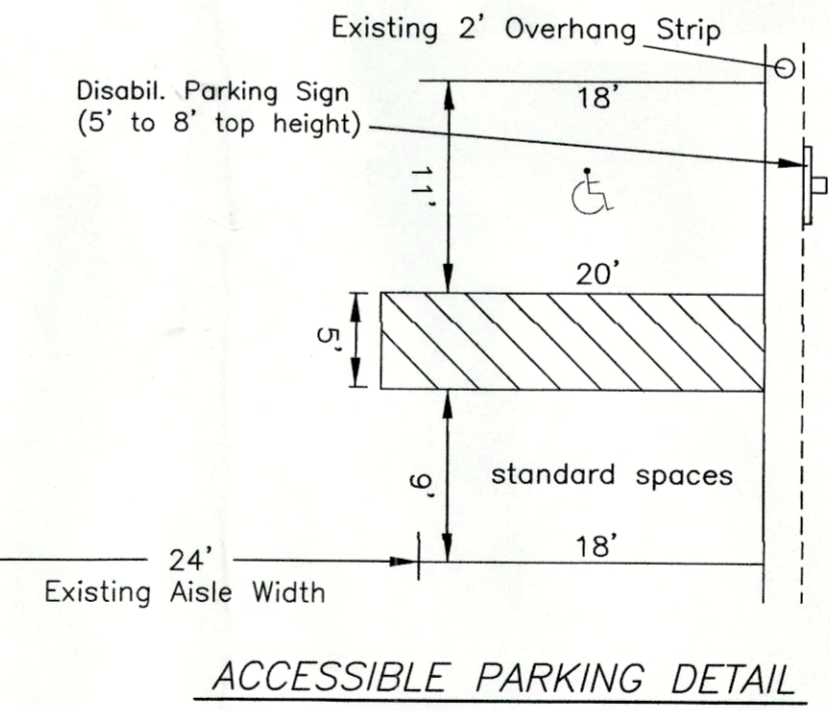
Retain Existing Parking Area  
 \*ADA Parking Spot & Access Aisle To Be Relocated.  
 Regrade to max 1/50 slope in all directions.  
 -(existing post light to be relocated.)

RETAIN Existing 2 Trench Septic Leaching System



**SEPTIC SYSTEM DESIGN**

**Retail Area:** 2650sf x 50 gpd/1000sf = 133 gpd, 200 gpd min  
**Office Area:** 332sf x 75 gpd/1000sf = 25 gpd, 200 gpd min  
**2 Bedrm Apartment:** 2 x 110 gpd/bedrm = 220 gpd, 330 gpd min  
**TOTAL Title-5 Design Flow:** = 730 gpd  
**Septic Tanks:** 730 gpd x 200% = 1460 gal  
 Use: Existing 2000 gal & 1500 gal septic tanks  
**Pump Chamber:** Use: Existing 1500 gal pump chamber  
**Leaching Facility:** Use: Existing 1084 gpd capacity SAS (consists of 2 Cultec chamber trenches)  
 \*Existing leaching system installed per Harwich Sewage Permit: S12-38



**STORMWATER MANAGEMENT**

- The existing parking area stormwater system consists of catch basins and subsurface leaching pits. This system is to be retained. This system requires catch basin inspection and cleaning on an annual basis to remove sediment and/or trash debris.
  - New addition roof area stormwater flow is to be collected by gutters and drain thru downspouts to subsurface infiltration drywells.
- \*NOTE: This Development is less than 43,560 SF and therefore is not subject to The Town of Harwich Comprehensive Stormwater and Illicit Discharge Regulation.

**DISABILITY/ACCESSIBILITY NOTES**

- Project Facilities Are To Be Constructed In Conformance With Mass 521 CMR: Architectural Access Board Regulations. Including:
- An accessible route shall be provided to establish a continuous unobstructed pathway between the accessible parking spaces and the facility's accessible areas and elements. (521 CMR 20.1)
  - Accessible Walkways shall be not less than 48 inches wide, excluding curb stones. (521 CMR 22.2)
  - Walkway running slopes shall be a maximum of one-in-20, 5%. (521 CMR 22.3)
  - Walkway cross slopes shall be a maximum of one-in-50, 2%. (521 CMR 22.3.1)
  - Accessible Parking space & access isle shall be Level in both directions. (CMR 23.4.3) Areas required to be Level shall not have a slope in any direction exceeding 1:50, 2%. (521 CMR 3.0)
  - Accessible parking spaces shall be marked with a sign showing the international symbol of accessibility and be installed at 5'min, 8'max top height. (CMR 23.6.2 & 23.6.4)
  - Any section of an accessible route with a slope greater than one-in-20 shall be considered a ramp and shall comply with 521 CMR 24.
  - Ground and floor surfaces of accessible routes, accessible walkways, and other accessible areas shall be stable, firm, slip resistant, and maintained with materials that ensure continued slip resistance. (521 CMR 29.1)

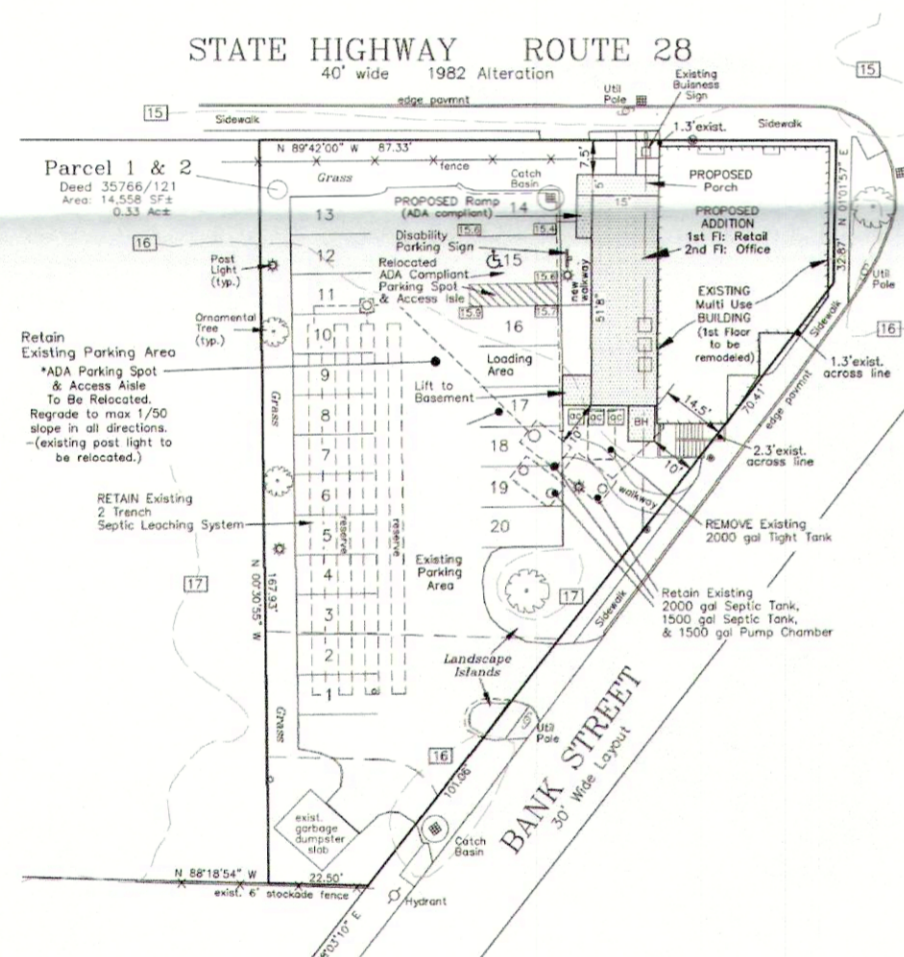
**MORAN ENGINEERING ASSOC.**  
 508-432-2878 941 MAIN STREET (RTE 28), HARWICH, MA

**EXISTING AND PROPOSED CONDITIONS SITE PLAN**  
 Prepared For Owner: JSLW, LLC  
 585 ROUTE 28, HARWICH, MA  
 PROJECT: 23-108 DATE: 2/2/24

# 585 MAIN ST. RENOVATION + ADDITION

585 MAIN STREET, HARWICH, MA 02646

OWNER: JSLW LLC    STRUCTURAL ENGINEER: COASTAL ENGINEERING    BUILDER: WHITCOMB BUILDING    ARCHITECT: ANTONIA BUTWELL  
 AB DESIGN COLLABORATIVE LLC



SITE PLAN : NTS  
 SEE CIVIL ENGINEER'S PLAN

## DRAWING LIST

- G-000.00 - WINDOW / DOOR SCHEDULE + CONSTRUCTION DETAILS
- DM-100.00 - BASEMENT DEMOLITION PLAN
- DM-101.00 - FIRST FLOOR DEMOLITION PLAN
- DM-102.00 - BASEMENT DEMOLITION PLAN
- A-100.00 - BASEMENT CONSTRUCTION PLAN
- A-101.00 - FIRST FLOOR CONSTRUCTION PLAN
- A-102.00 - SECOND FLOOR CONSTRUCTION PLAN
- A-200.00 - EXISTING + PROPOSED NORTH EXTERIOR ELEVATIONS
- A-201.00 - EXISTING + PROPOSED WEST EXTERIOR ELEVATIONS
- A-202.00 - EXISTING + PROPOSED SOUTH EXTERIOR ELEVATIONS
- A-203.00 - EXISTING + PROPOSED EAST EXTERIOR ELEVATIONS
- A-300.00 - SECTION 01

SEE STRUCTURAL ENGINEER'S DRAWINGS  
 FOR ALL STRUCTURAL INFO.

## GENERAL INFORMATION:

LOCATION: 585 MAIN ST. HARWICH, MA  
 TYPE: RENOVATION + ADDITION  
 HEIGHT: 2 STORIES (+ BASEMENT)

SCOPE OF WORK:  
 - RENOVATE EXISTING GROUND FLOOR RETAIL SPACE.  
 - NO WORK AT 2ND FLOOR APARTMENT.  
 - ADDITION AT BASEMENT, GROUND FLOOR, AND SECOND FLOOR FOR ADDITIONAL STORAGE, RETAIL SPACE, AND OFFICES.

## GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE MASSACHUSETTS BUILDING CODE, FIRE DEPARTMENT RULES AND REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
2. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED INSURANCE CERTIFICATES WITH THE BUILDING DEPARTMENT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE GOVERNING MASSACHUSETTS AND LOCAL AGENCIES.
3. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT REQUIRED FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
4. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE STIPULATIONS OF LOCAL AUTHORITIES, BUILDING MANAGEMENT OR BOARD OF DIRECTORS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
6. THE CONTRACTOR SHALL LAYOUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES: PLUMBING, ELECTRICALS, ETC.
7. PLUMBING WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE BUILDING DEPARTMENT ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRED SIGN OFFS.
8. ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE BUREAU OF ELECTRICAL CONTROL ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRED SIGN OFFS.
9. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
10. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.

## STRUCTURAL DESIGN

THE PROVISIONS OF MASSACHUSETTS BUILDING CODE SHALL GOVERN THE STRUCTURAL DESIGN OF BUILDINGS, STRUCTURES AND PORTIONS THEREOF REGULATED BY THE MASSACHUSETTS BUILDING CODE.

THE BUILDING, STRUCTURES AND PARTS THEREOF ARE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH STRENGTH DESIGN, LOAD AND RESISTANCE FACTOR DESIGN, ALLOWABLE STRESS DESIGN, EMPIRICAL DESIGN OR CONVENTIONAL CONSTRUCTION METHODS, AS REQUIRED BY MASSACHUSETTS BUILDING CODE. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL INFORMATION.

## STRUCTURAL TESTS AND INSPECTIONS

THE PROVISIONS OF MASSACHUSETTS BUILDING CODE SHALL GOVERN THE INSPECTION OF QUALITY, WORKMANSHIP AND REQUIREMENTS FOR CONSTRUCTION. MATERIALS, INSPECTION AND TESTING SHALL CONFORM TO THE APPLICABLE STANDARDS LISTED IN MASSACHUSETTS BUILDING CODE OR IN THE RULES OF THE DEPARTMENT. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL INFORMATION.

## ELECTRICAL

THE PROVISIONS OF MASSACHUSETTS BUILDING CODE SHALL GOVERN THE ELECTRICAL COMPONENTS, EQUIPMENT AND SYSTEMS USED IN BUILDINGS AND STRUCTURES COVERED BY THE MASSACHUSETTS BUILDING CODE. ELECTRICAL COMPONENTS, EQUIPMENT AND SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF MASSACHUSETTS ELECTRICAL CODE.

## MECHANICAL SYSTEMS

MECHANICAL APPLIANCES, EQUIPMENT AND SYSTEMS SHALL BE CONSTRUCTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MASSACHUSETTS MECHANICAL CODE AND FUEL GAS CODE. MASONRY CHIMNEYS, FIREPLACES AND BARBECUES SHALL COMPLY WITH THE MASSACHUSETTS MECHANICAL CODE.

## PLUMBING SYSTEMS

MASSACHUSETTS PLUMBING CODE SHALL GOVERN THE CONSTRUCTION, ERECTION, INSTALLATION, ALTERATION, REPAIRS, RELOCATION, REPLACEMENTS, ADDITION TO, USE OR MAINTENANCE OF PLUMBING EQUIPMENT AND SYSTEMS.

## FIRE RESISTANCE

MASSACHUSETTS CODES AND REGULATIONS REGARDING FIRE RESISTANT CONSTRUCTION SHOULD GOVERN ALL WORK RELATED TO CONSTRUCTION TYPE, FIRE AND SMOKE PROTECTION, INTERIOR FINISHES, FIRE AND LIFE SAFETY PROTECTION SYSTEMS, AND MEANS OF EGRESS.

WINDOW + EXTERIOR DOOR SCHEDULE

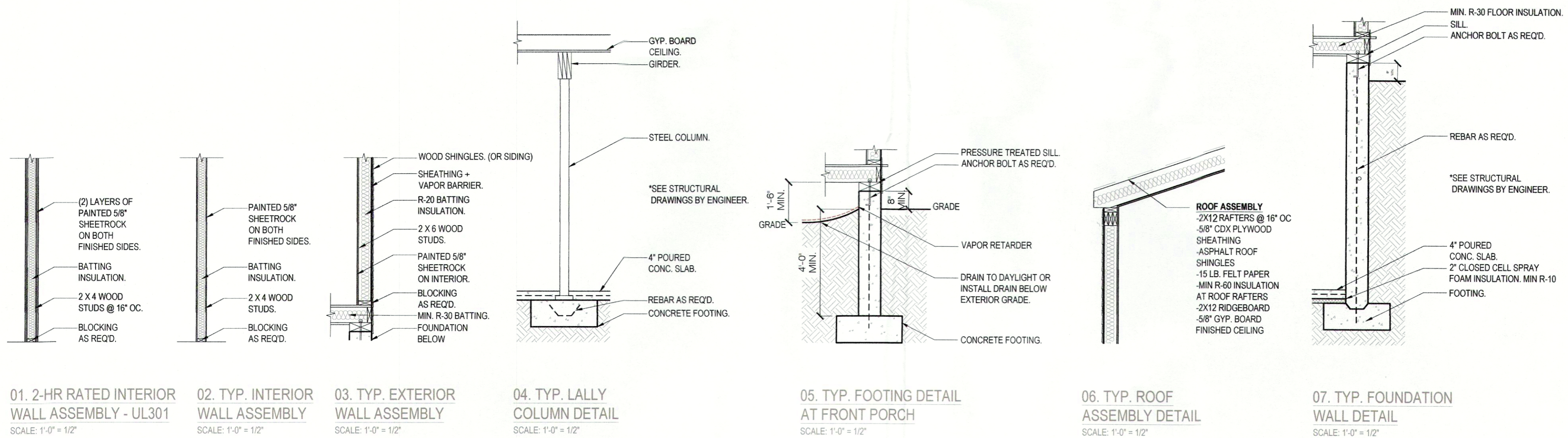
LABEL	LOCATION	HEIGHT	WIDTH	MANUF.	SERIES	NOTES
A	VARIABLES	56-7/8"	37-5/8"	ANDERSEN	400	MATCH EXISTING
B	RETAIL AREA	VARIABLES	VARIABLES	ANDERSEN	400	CUSTOM SIZES TO MATCH EXISTING ANDERSEN STYLE
01	RETAIL AREA	6'-8"	3'-0"	ANDERSEN	400	GLASS, SWING
02	RECEIVING AREA	6'-8"	4'-0"	ANDERSEN	400	SOLID, SWING
03	OFFICES	6'-8"	6'-0"	ANDERSEN	400	GLASS, SLIDERS

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. ALL NEW CONSTRUCTION TO MATCH EXISTING IN MATERIAL, DETAIL, AND FINISH.
3. CONTRACTOR TO PROTECT EXISTING AS REQUIRED DURING CONSTRUCTION.
4. ALL WORK TO CONFORM WITH MASSACHUSETTS STATE AND LOCAL BUILDING CODES.
5. ANY ERRORS OR OMISSIONS IN THE NOTES, DETAILS, DIMENSIONS, AND DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PROCEEDING WITH CONSTRUCTION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF THESE DOCUMENTS.
6. STRUCTURAL ENGINEER TO ADVISE ON ALL STRUCTURAL WORK.
7. CIVIL ENGINEER TO ADVISE ON ALL SITE WORK.

Antonia Butwell | Architect  
AB Design Collaborative LLC

MAY NOT BE REPRODUCED WITHOUT PERMISSION



01. 2-HR RATED INTERIOR WALL ASSEMBLY - UL301  
SCALE: 1'-0" = 1/2"

02. TYP. INTERIOR WALL ASSEMBLY  
SCALE: 1'-0" = 1/2"

03. TYP. EXTERIOR WALL ASSEMBLY  
SCALE: 1'-0" = 1/2"

04. TYP. LALLY COLUMN DETAIL  
SCALE: 1'-0" = 1/2"

05. TYP. FOOTING DETAIL AT FRONT PORCH  
SCALE: 1'-0" = 1/2"

06. TYP. ROOF ASSEMBLY DETAIL  
SCALE: 1'-0" = 1/2"

07. TYP. FOUNDATION WALL DETAIL  
SCALE: 1'-0" = 1/2"

PERMITTING SET 02.02.2024  
PROJECT:

585 MAIN ST.  
RENOVATION + ADDITION  
585 MAIN ST.  
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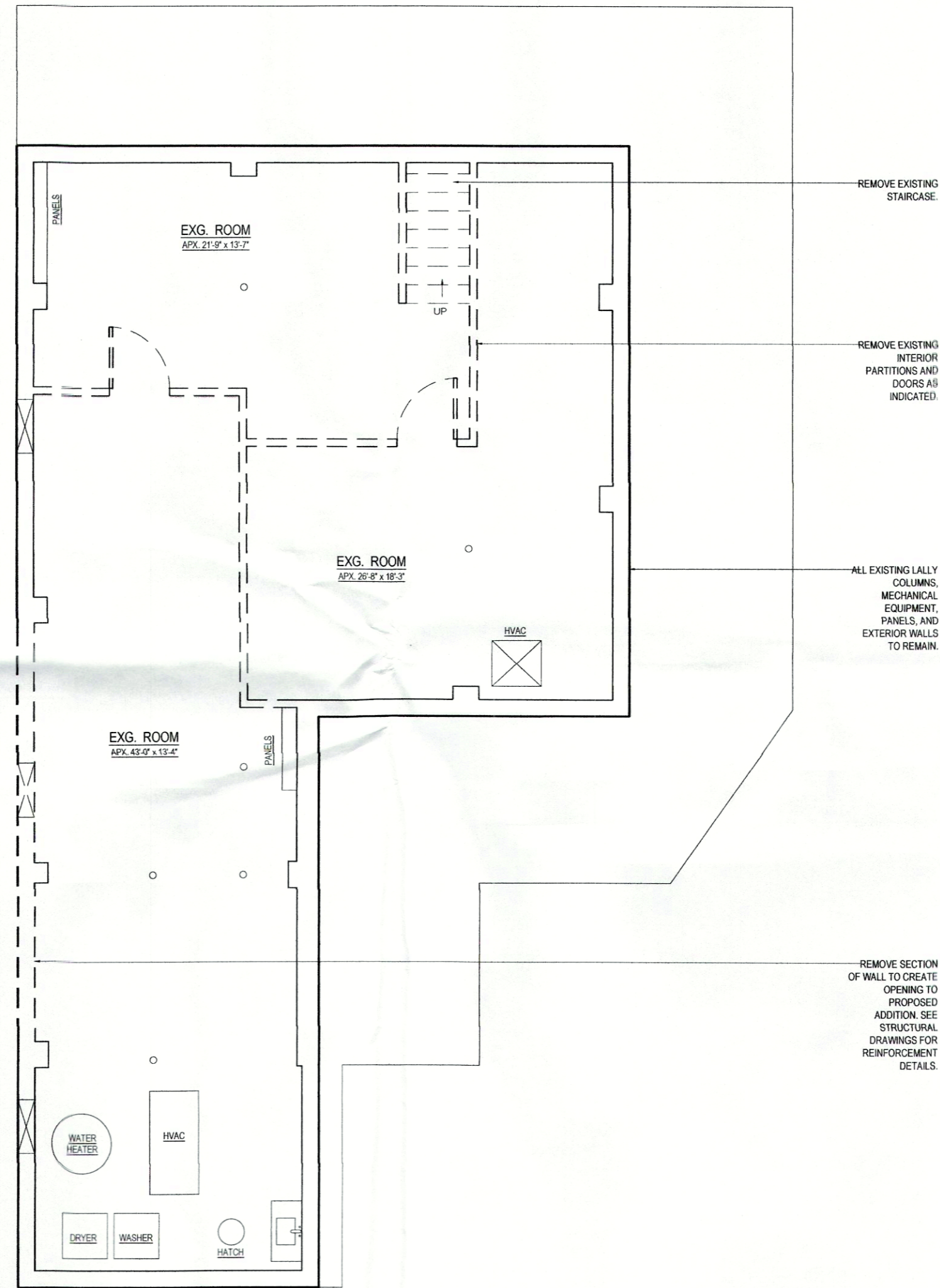
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WINDOW SCHEDULE  
CONSTRUCTION DETAILS

PROJECT No: 22019  
DRAWN BY: AB  
SCALE: AS NOTED



**G-000.00**  
1 OF 1

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LEGEND

-  REMOVE FLOORING
-  DEMOLISHED WALL

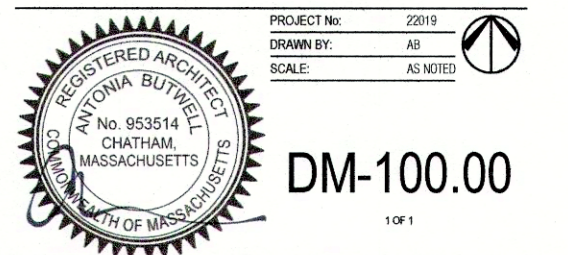
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PROJECT:

585 MAIN ST.  
RENOVATION + ADDITION  
585 MAIN ST.  
HARVICH, MA  
02646

TITLE:  
BASEMENT DEMOLITION PLAN

PROJECT No: 22019  
DRAWN BY: AB  
SCALE: AS NOTED



DM-100.00

01. BASEMENT DEMOLITION PLAN  
SCALE: 1'-0" = 1/4"

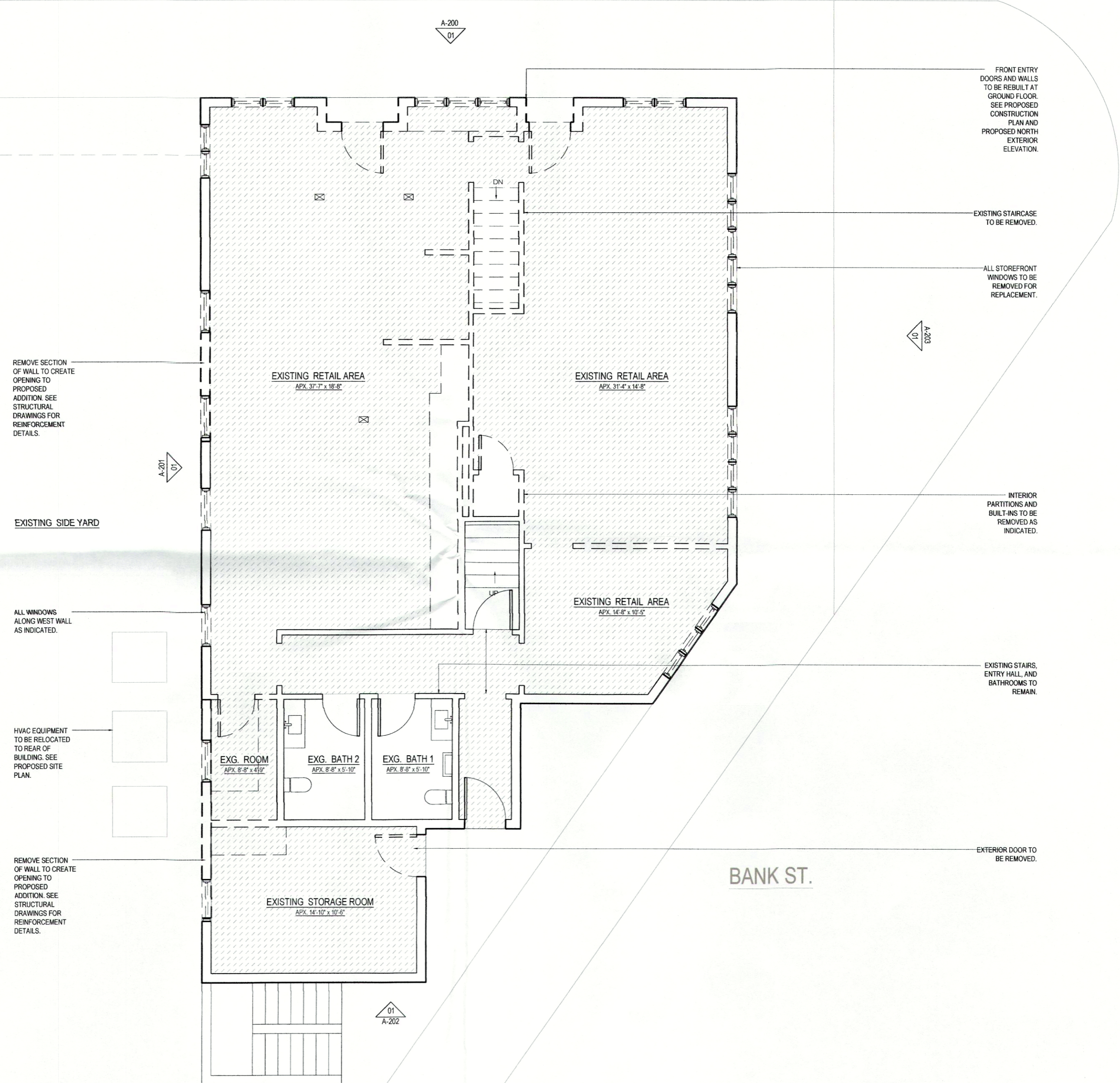
MAIN ST.

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Antonia Butwell | Architect  
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MAY NOT BE REPRODUCED WITHOUT PERMISSION



EXISTING PARKING

EXISTING SIDE YARD

ALL WINDOWS ALONG WEST WALL AS INDICATED.

HVAC EQUIPMENT TO BE RELOCATED TO REAR OF BUILDING. SEE PROPOSED SITE PLAN.

REMOVE SECTION OF WALL TO CREATE OPENING TO PROPOSED ADDITION. SEE STRUCTURAL DRAWINGS FOR REINFORCEMENT DETAILS.

FRONT ENTRY DOORS AND WALLS TO BE REBUILT AT GROUND FLOOR. SEE PROPOSED CONSTRUCTION PLAN AND PROPOSED NORTH EXTERIOR ELEVATION.

EXISTING STAIRCASE TO BE REMOVED.

ALL STOREFRONT WINDOWS TO BE REMOVED FOR REPLACEMENT.

INTERIOR PARTITIONS AND BUILT-INS TO BE REMOVED AS INDICATED.

EXISTING STAIRS, ENTRY HALL, AND BATHROOMS TO REMAIN.

EXTERIOR DOOR TO BE REMOVED.

LEGEND

- REMOVE FLOORING
- DEMOLISHED WALL

PERMITTING SET 02.02.2024

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HARVICH, MA  
02648

TITLE:  
FIRST FLOOR DEMOLITION PLAN

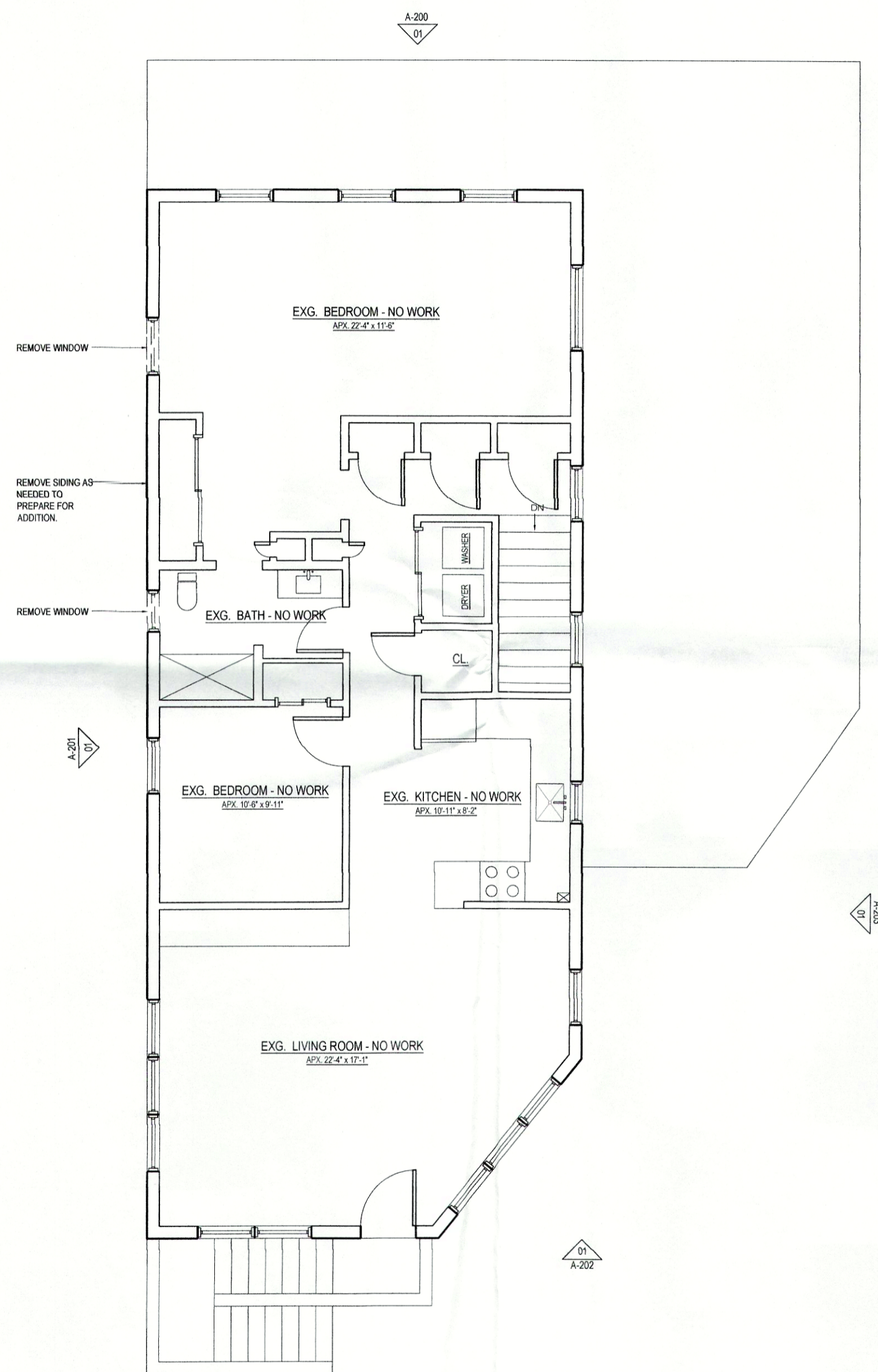
PROJECT No: 22019  
DRAWN BY: AB  
SCALE: AS NOTED

DM-101.00  
1 OF 1



01. FIRST FLOOR DEMOLITION PLAN  
SCALE: 1'-0" = 1/4"

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6. STRUCTURAL ENGINEER TO ADVISE ON ALL STRUCTURAL WORK.
7. CIVIL ENGINEER TO ADVISE ON ALL SITE WORK.



LEGEND

-  REMOVE FLOORING
-  DEMOLISHED WALL

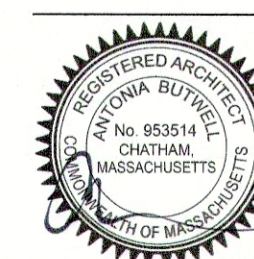
PERMITTING SET 02.02.2024

PROJECT

585 MAIN ST.  
 RENOVATION + ADDITION  
 585 MAIN ST.  
 HARWICH, MA  
 02646

TITLE  
 SECOND FLOOR DEMOLITION PLAN

PROJECT No: 22019  
 DRAWN BY: AB  
 SCALE: AS NOTED

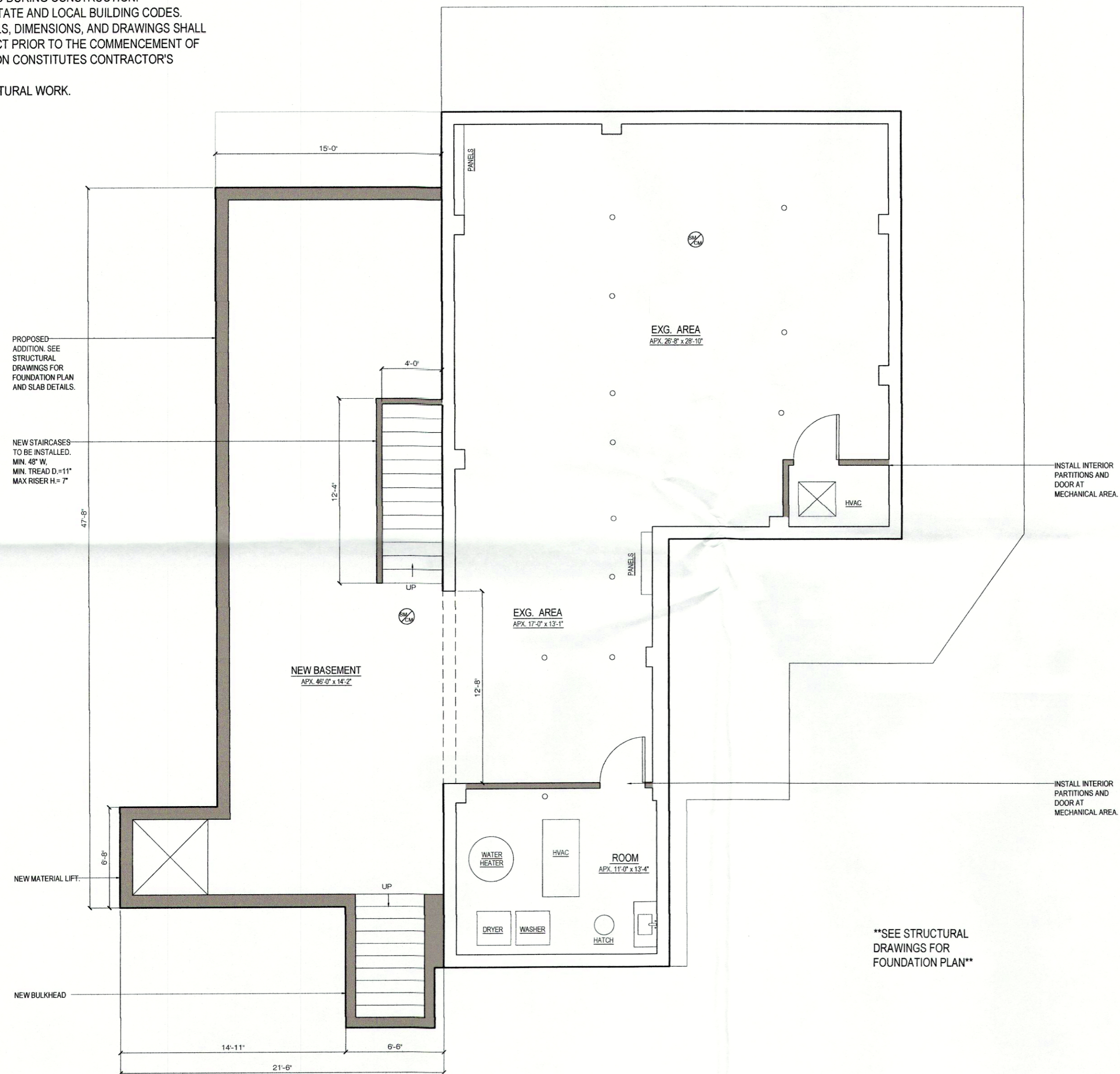


DM-102.00

01. SECOND FLOOR DEMOLITION PLAN  
 SCALE: 1'-0" = 1/4"

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. ALL NEW CONSTRUCTION TO MATCH EXISTING IN MATERIAL, DETAIL, AND FINISH.
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6. STRUCTURAL ENGINEER TO ADVISE ON ALL STRUCTURAL WORK.
7. CIVIL ENGINEER TO ADVISE ON ALL SITE WORK.



LEGEND

- BATHROOM EXHAUST FAN
- NEW WALL
- SMOKE / CARBON MONOXIDE DETECTOR
- MILLWORK

PERMITTING SET 02.02.2024

PROJECT:

585 MAIN ST.  
 RENOVATION + ADDITION  
 585 MAIN ST.  
 HARWICH, MA  
 02646

TITLE:  
 BASEMENT CONSTRUCTION PLAN

PROJECT No: 22019  
 DRAWN BY: AB  
 SCALE: AS NOTED

REGISTERED ARCHITECT  
 ANTONIA BUTWELL  
 No. 953514  
 CHATHAM,  
 MASSACHUSETTS  
 STATE OF MASSACHUSETTS

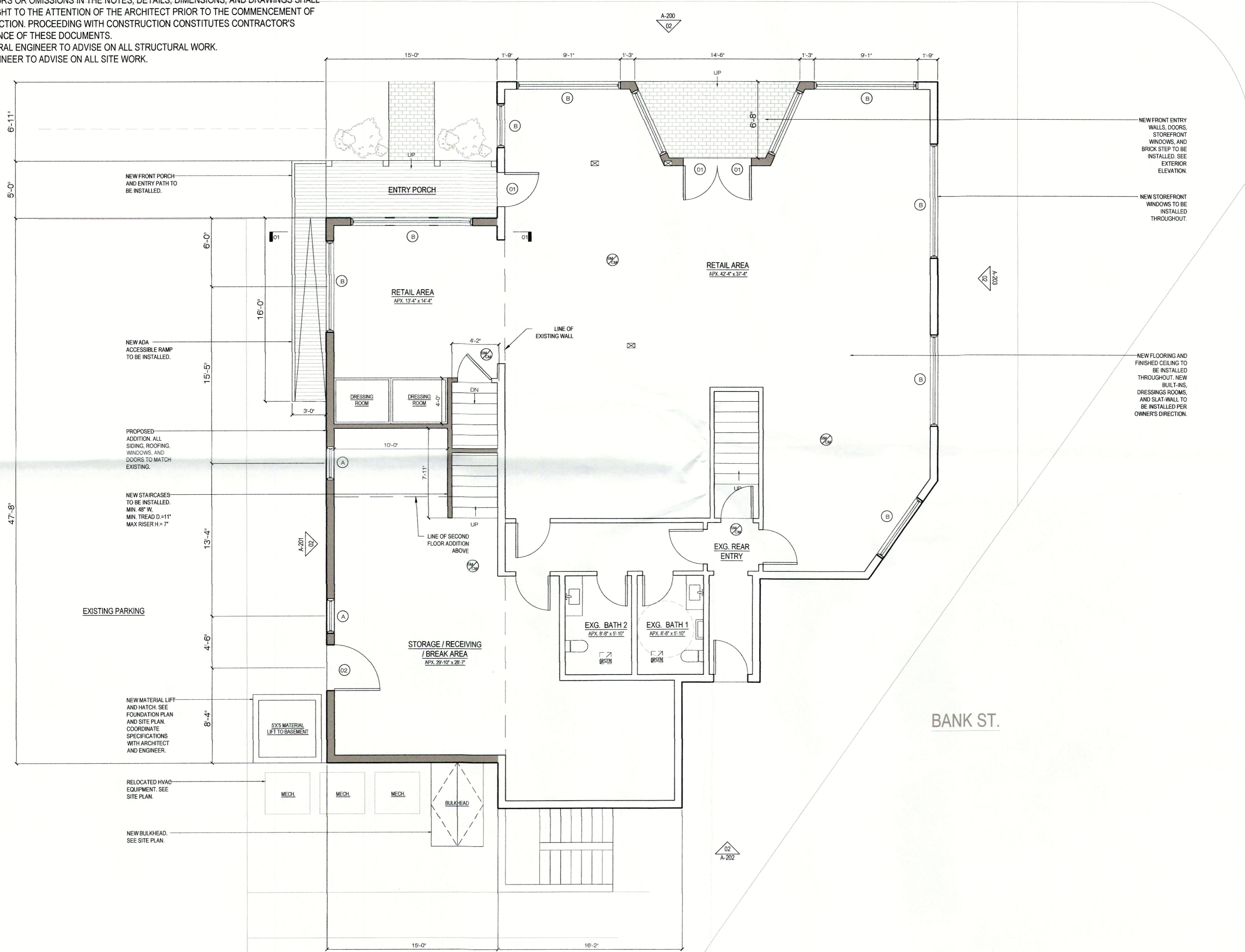
A-100.00  
 1 OF 1

01. BASEMENT CONSTRUCTION PLAN  
 SCALE: 1'-0" = 1/4"

**GENERAL NOTES:**

1. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. ALL NEW CONSTRUCTION TO MATCH EXISTING IN MATERIAL, DETAIL, AND FINISH.
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MAIN ST.



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AB Design Collaborative LLC

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NEW FRONT ENTRY WALLS, DOORS, STOREFRONT WINDOWS, AND BRICK STEP TO BE INSTALLED. SEE EXTERIOR ELEVATION.

NEW STOREFRONT WINDOWS TO BE INSTALLED THROUGHOUT.

NEW FLOORING AND FINISHED CEILING TO BE INSTALLED THROUGHOUT. NEW BUILT-INS, DRESSINGS ROOMS, AND SLAT-WALL TO BE INSTALLED PER OWNER'S DIRECTION.

**LEGEND**

- BATHROOM EXHAUST FAN
- NEW WALL
- SMOKE / CARBON MONOXIDE DETECTOR
- MILLWORK

PERMITTING SET 02.02.2024

PROJECT:

585 MAIN ST.  
RENOVATION + ADDITION  
585 MAIN ST.  
HARWICH, MA  
02646

TITLE:  
FIRST FLOOR CONSTRUCTION PLAN

PROJECT No: 22019  
DRAWN BY: AB  
SCALE: AS NOTED

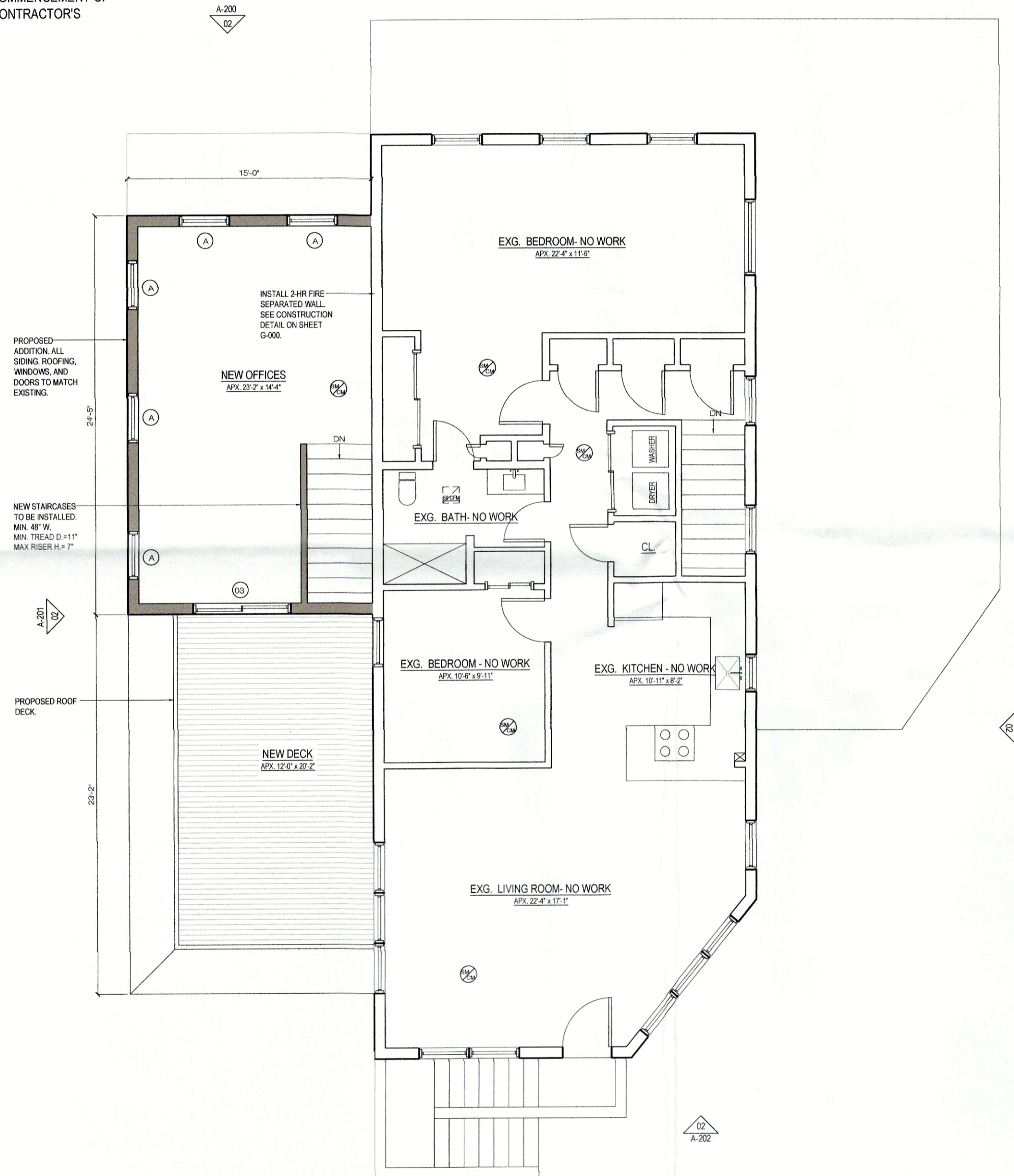
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1 OF 1

01. FIRST FLOOR CONSTRUCTION PLAN  
SCALE: 1'-0" = 1/4"



**GENERAL NOTES:**

1. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
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**01. SECOND FLOOR CONSTRUCTION PLAN**  
SCALE: 1/4" = 1/4"

**LEGEND**

- BATHROOM EXHAUST FAN
- NEW WALL
- SMOKE / CARBON MONOXIDE DETECTOR
- MILLWORK

PERMITTING SET 02.02.2024

PROJECT:

**585 MAIN ST.  
RENOVATION + ADDITION**  
585 MAIN ST.  
HARWICH, MA  
02646

TITLE:  
SECOND FLOOR CONSTRUCTION PLAN

PROJECT No. 22019  
DRAWN BY: AB  
SCALE: AS NOTED

**REGISTERED ARCHITECT**  
**ANTONIA BUTWELL**  
No. 953514  
CHATHAM,  
MASSACHUSETTS  
COMMONWEALTH OF MASSACHUSETTS

**A-102.00**  
1 OF 1

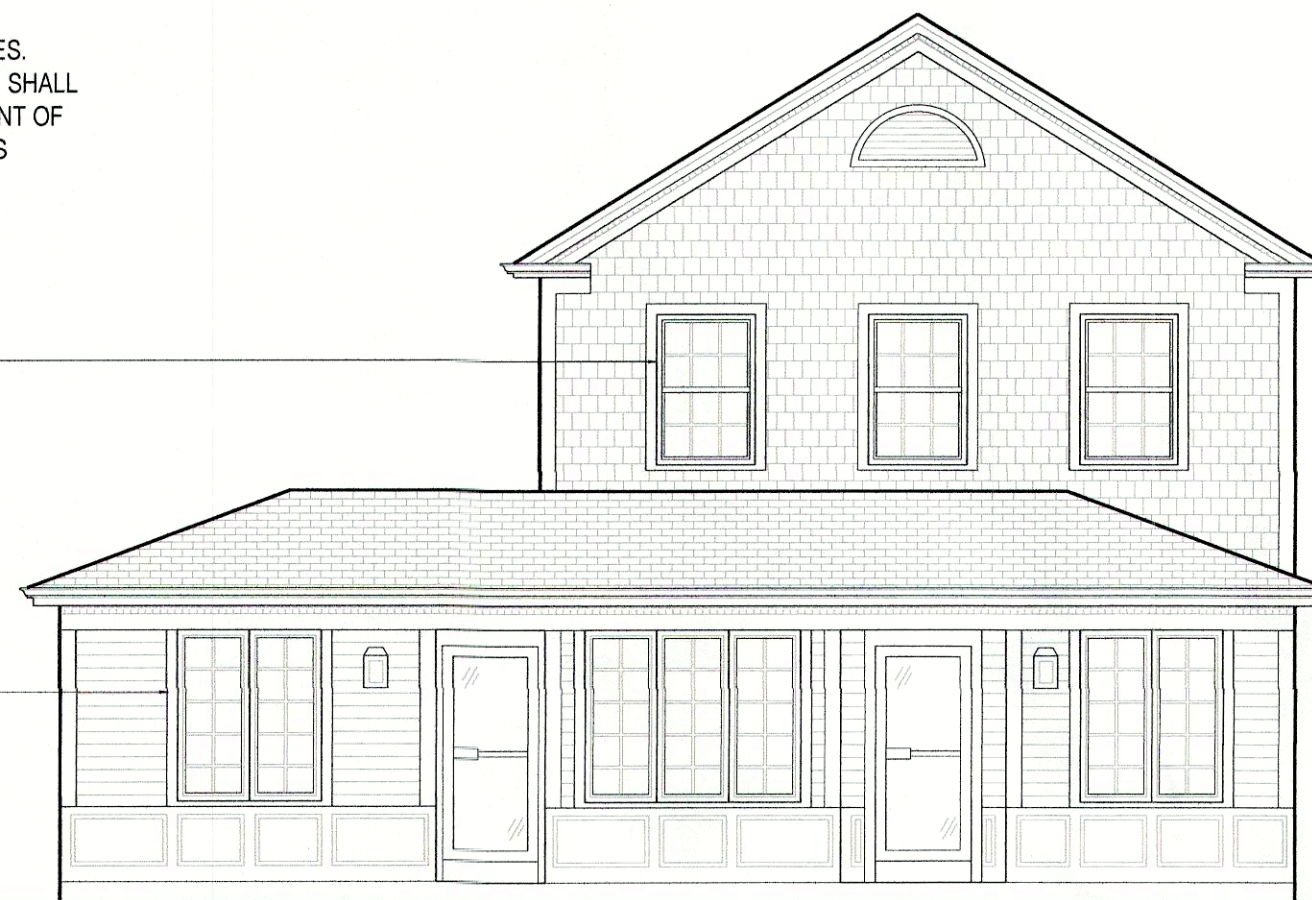
GENERAL NOTES:

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EXISTING SECOND FLOOR WINDOWS TO REMAIN.

ALL EXTERIOR WALLS AND ROOFS TO REMAIN, EXCEPT WHERE NOTED IN THE PLANS.

GROUND FLOOR WINDOWS AND DOORS TO BE REMOVED FOR REPLACEMENT.



APX 27'-8" VERIFY IN FIELD

APX 19'-6" VERIFY IN FIELD

APX 12'-10" VERIFY IN FIELD

APX 9'-3" VERIFY IN FIELD

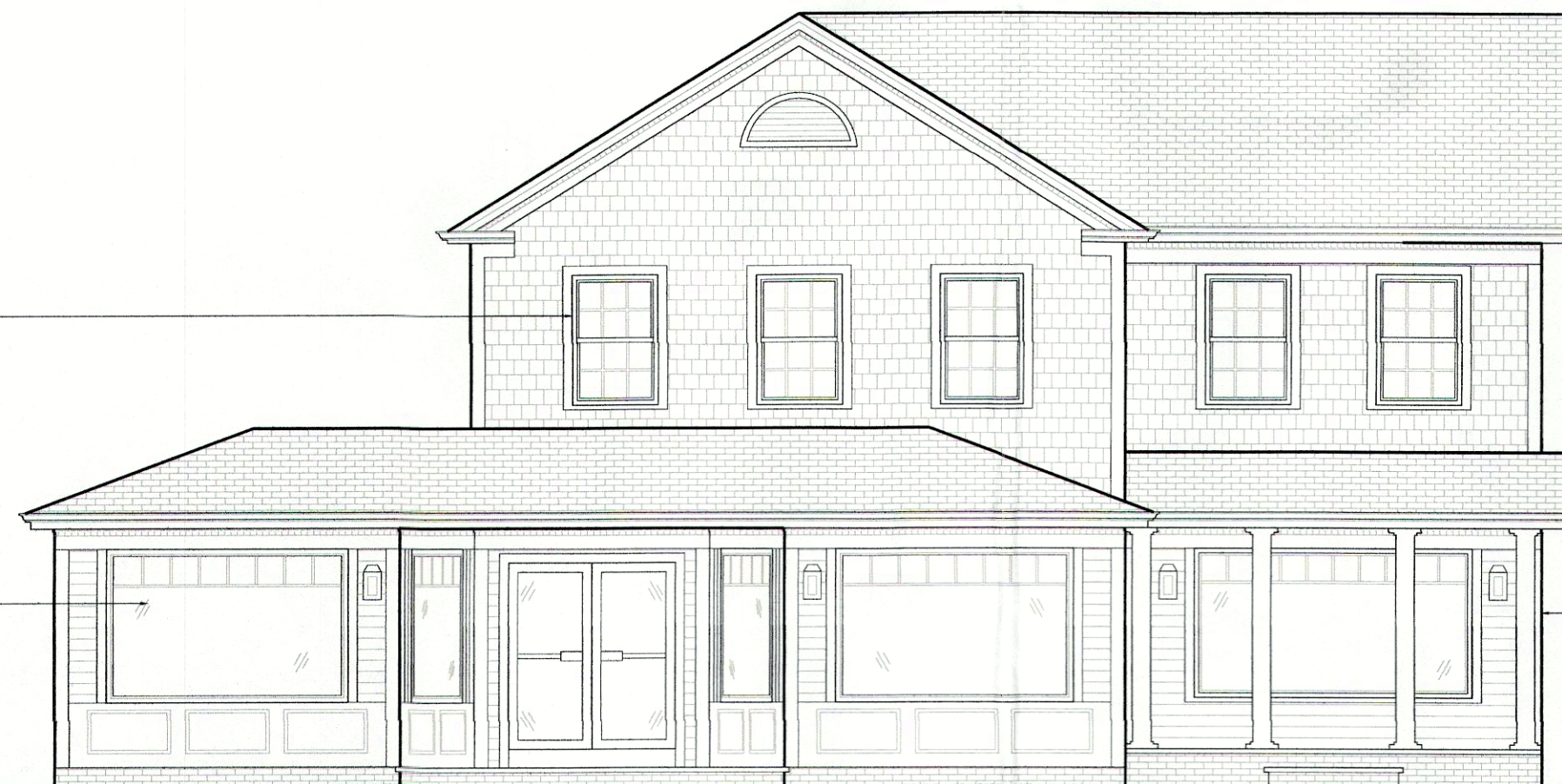
01. EXISTING NORTH EXTERIOR ELEVATION

SCALE: 1'-0" = 1/4"

EXISTING SECOND FLOOR WINDOWS TO REMAIN.

MATCH EXISTING ROOFING, TRIM, AND SIDING.

GROUND FLOOR WINDOWS TO BE REPLACED.



APX 27'-8" MATCH EXISTING

APX 19'-6" MATCH EXISTING

12'-0"

APX 9'-3" MATCH EXISTING

NEW FRONT PORCH. MATCH ALL EXISTING MATERIALS.

APX 1'-2" MATCH EXISTING

02. PROPOSED NORTH EXTERIOR ELEVATION

SCALE: 1'-0" = 1/4"

585 MAIN ST.  
RENOVATION + ADDITION  
585 MAIN ST.  
HARWICH, MA  
02646

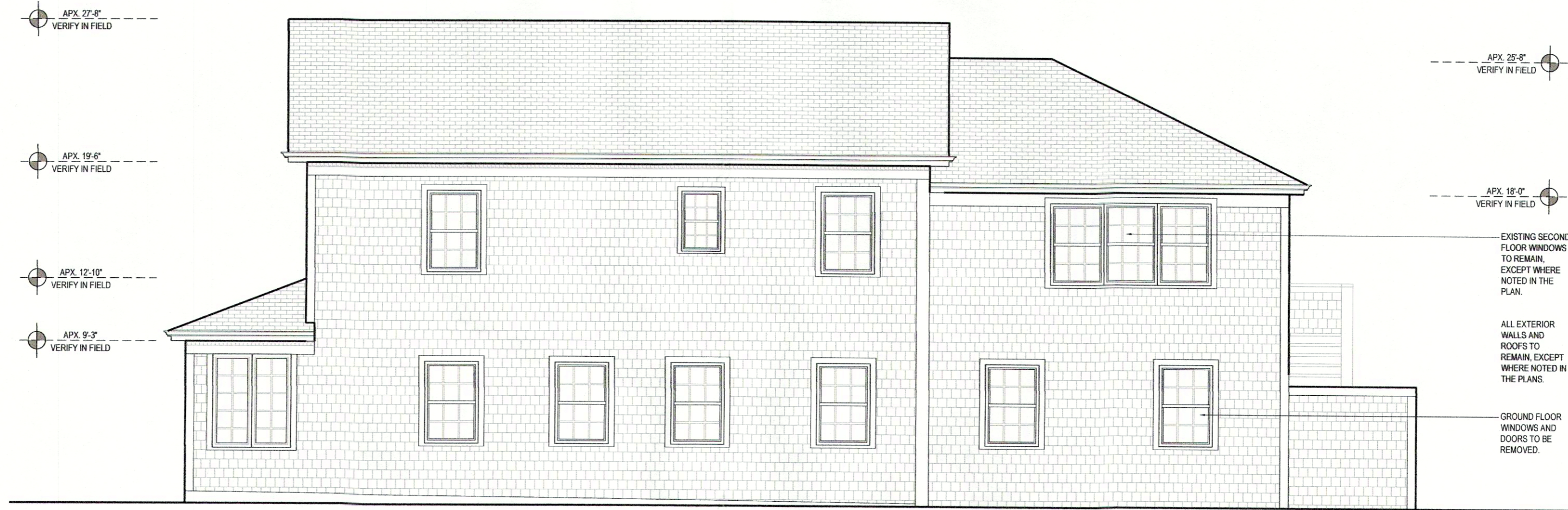
EXISTING NORTH ELEVATION  
PROPOSED NORTH ELEVATION

PROJECT No: 22019  
DRAWN BY: AB  
SCALE: AS NOTED

**A-200.00**  
1 OF 1

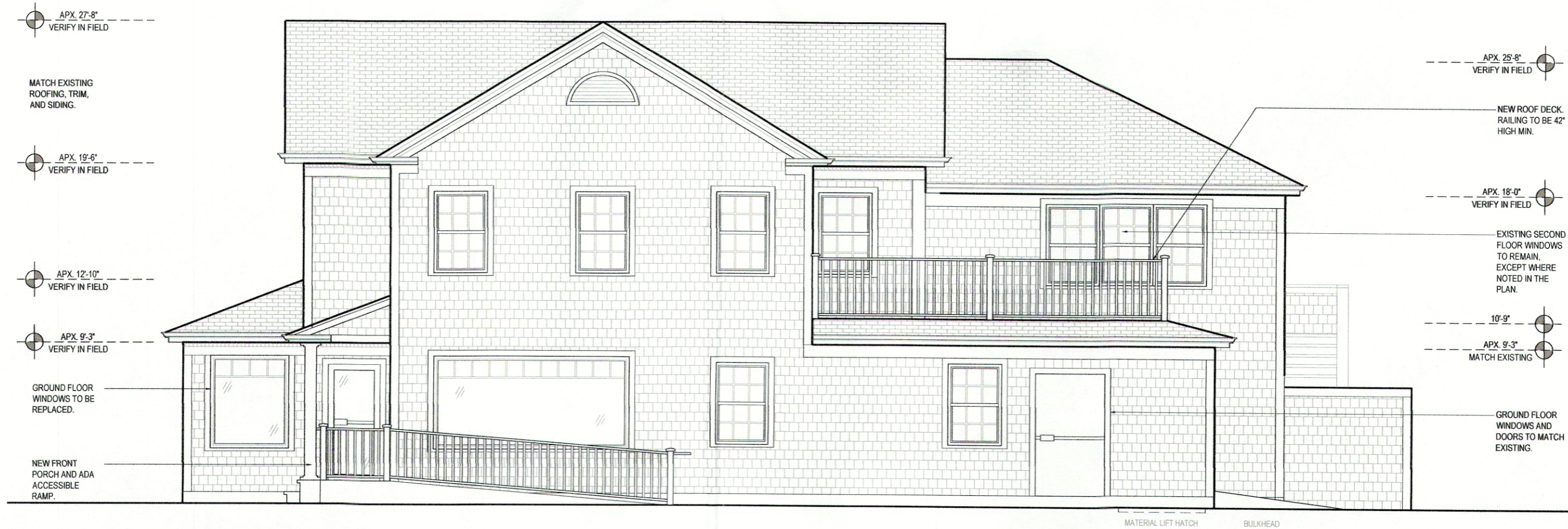
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01. EXISTING WEST EXTERIOR ELEVATION

SCALE: 1'-0" = 1/4"

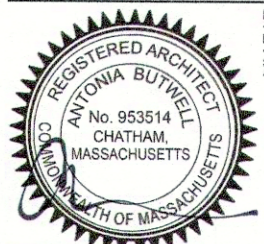


02. PROPOSED WEST EXTERIOR ELEVATION

SCALE: 1'-0" = 1/4"

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EXISTING WEST ELEVATION  
PROPOSED WEST ELEVATION



A-201.00

GENERAL NOTES:

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01. EXISTING SOUTH EXTERIOR ELEVATION

SCALE: 1'-0" = 1/4"



02. PROPOSED SOUTH EXTERIOR ELEVATION

SCALE: 1'-0" = 1/4"



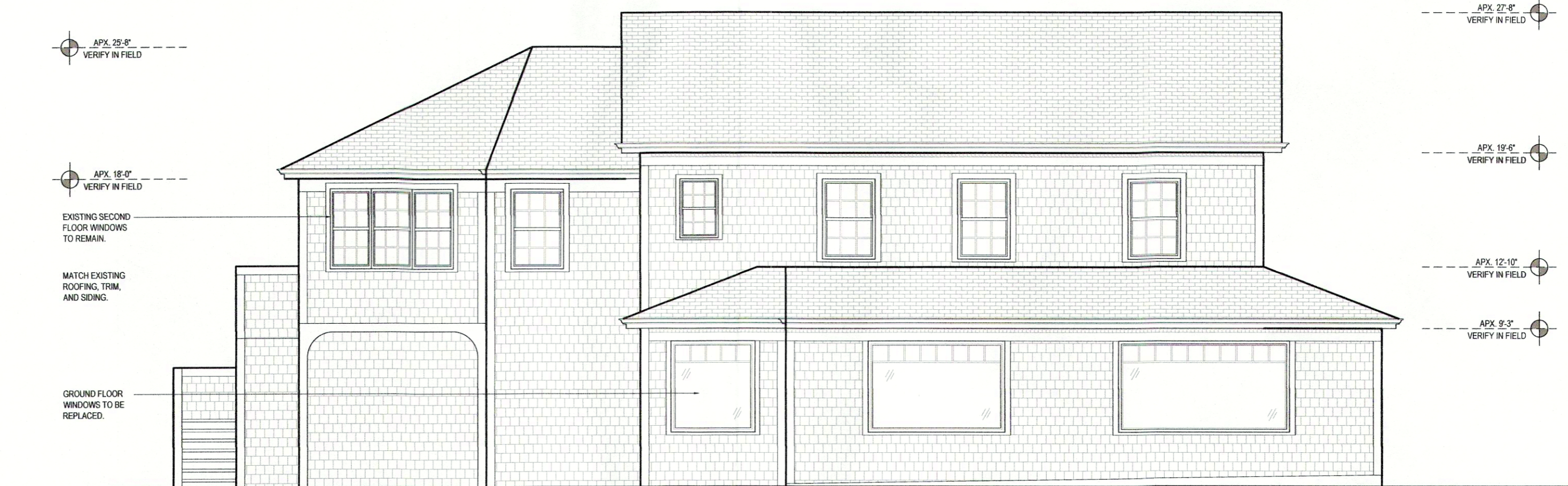
GENERAL NOTES:

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01. EXISTING EAST EXTERIOR ELEVATION

SCALE: 1'-0" = 1/4"



02. PROPOSED EAST EXTERIOR ELEVATION

SCALE: 1'-0" = 1/4"

585 MAIN ST.  
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585 MAIN ST.  
WARWICH, MA  
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TITLE:  
EXISTING EAST ELEVATION  
PROPOSED EAST ELEVATION



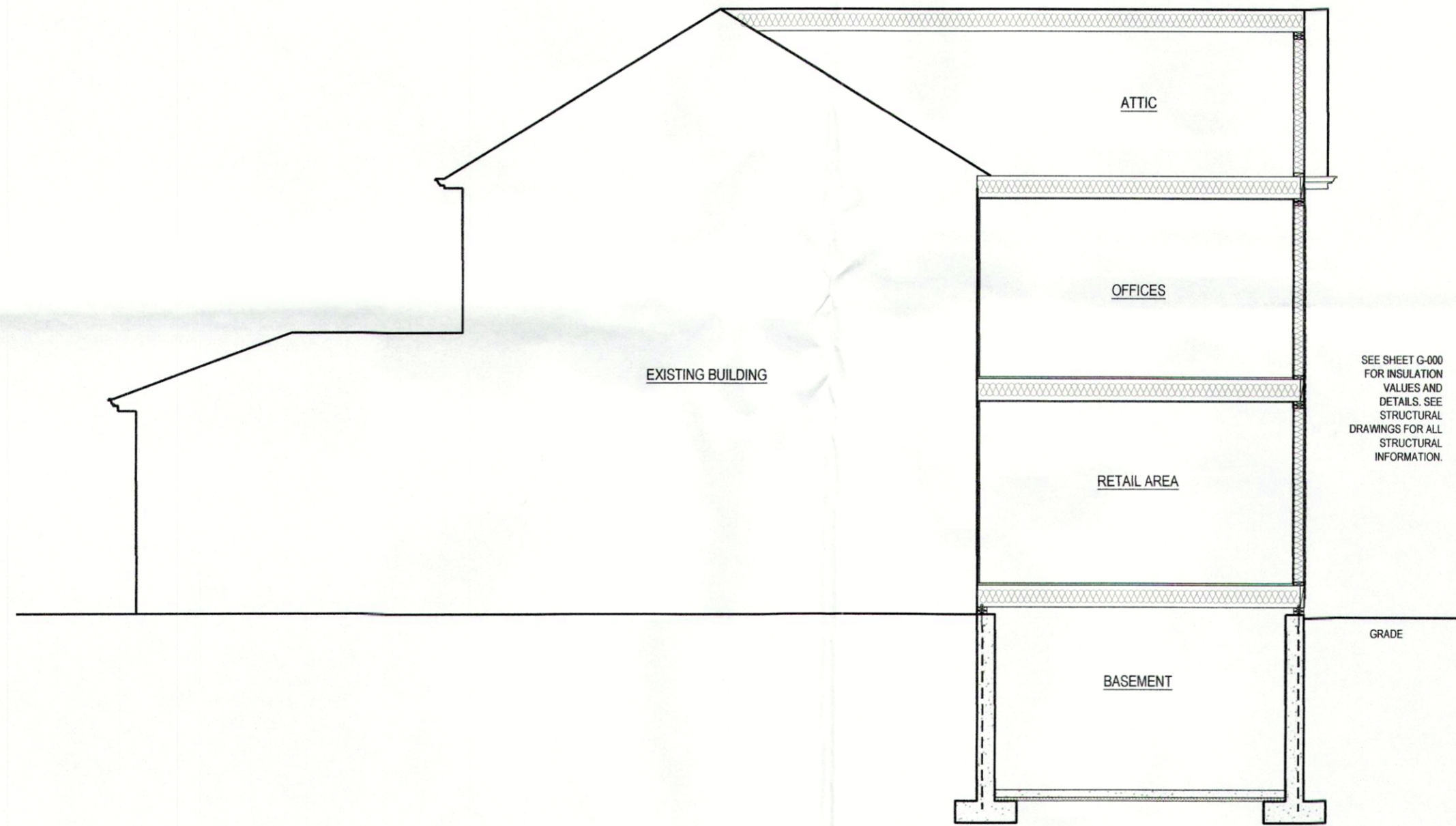
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GENERAL NOTES:

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AB Design Collaborative LLC

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01. SECTION 01  
SCALE: 1'-0" = 1/4"

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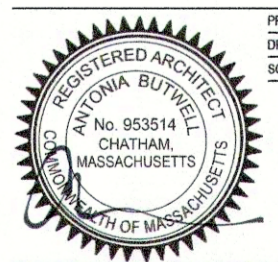
PROJECT:

585 MAIN ST.  
RENOVATION + ADDITION  
585 MAIN ST.  
CHATHAM,  
HARWICH, MA  
02646

TITLE:

SECTION 01

PROJECT No: 22019  
DRAWN BY: AB  
SCALE: AS NOTED



A-300.00

1 OF 1