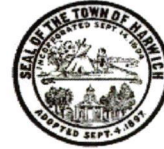


TOWN OF HARWICH
HISTORIC DISTRICT AND
HISTORICAL COMMISSION



Please submit this application to: Town of Harwich Building Department
732 Main Street, Harwich, MA 02645
Telephone: (508) 430-7506 Fax: (508) 430-4703

Application fee: \$55

Harwich General By-Laws, Chapter 131, Article II, §131-8.A, Notice of Intent to Demolish. Before any building constructed prior to one hundred years before the present calendar year is demolished in whole or in part, a Notice of Intent to do so will be filed with the Commission.

Kathleen Delaney Application for Notice of Intent

I, *Encore Construction* intend to demolish **in whole** or **in part** the structure located at
(Print Owner/Applicant's Name) (circle one)

15 *Hamilton Place*, *W. Harwich* *10-B23-0*
(Street Number) (Street Name) (Village), (Assessor's Map) (Parcel #) (Zoning District(s))

Section 1 - Owner/Applicant Information (Note: A non-owner may apply, however written authorization of the owner is required at the time of submittal of this Application)

Legal Owner(s) *Ralph + Joan Calvanese* Title _____

Mailing Address *901 Old Bridge Lane, Bellingham, MA 02019*

Email Address *calvanese@comcast.net* Telephone *508-954-2632*

Legal Owner's Authorization *Joan Calvanese*
(Signature)

Applicant(s) (if different) *Encore Construction*

Mailing Address (if different) *103 Main St, Dennis Port, MA 02639*

Email Address *Kathy@encoreco.com* Telephone *508-760-6900*

Section 2 - Determination of Historical Significance

Date Building was Constructed 1858

Which records were used to establish this date? Assessors card

Description of Structure(s) to be demolished (in whole or in part) Rear porch area
and not sure it was constructed with original bldg.

Reason for Demolition Put an addition on

Proposed Reuse NONE

Is the property on the Town's Inventory List: yes

Is the building listed on the National or Massachusetts Register of Historic Places? NO

If yes, which register? _____

Original Owner, if known _____

Subsequent Owners, if known _____

What is known about the history of the property? nothing

Further, has the property been associated with any noteworthy events or with the political, cultural, economic, or social history of the Town or Region? Please list: NO

Type of Architectural Style: cape

Method of Construction: wood frame

Type of Materials Used: wood

Name(s) of Architect, Designer or Builder if known: unknown

Section 3 - Project Plan and Condition of Existing Structures

Full Demolition or Partial Demolition

For Partial Demolition, describe portion(s) to be demolished _____

Rear porch

Age(s) of portion(s) to be demolished ?

Describe how the remaining structure will be treated and renovated new room

addition

List reports detailing condition of structure and results of inspections conducted by certified engineer or other design professional _____

Is there room on the site to relocate the structure or integrate it with the new project? Yes No

Describe what alternatives to demolition have been investigated not Feasible to

add on to existing porch - not enough head height

Section 4 – Filing Requirements

One Certified Abutter List – available from the Assessor’s Office for a fee.

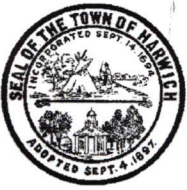
One (1) original and eight (8) copies of each of the following shall be submitted:

1. Completed Application Form with Owner authorization
2. Certified Site Plan and Locus Map
3. Registered Professional(s) Stamped Reports of Inspection
4. Complete set of Photographs (of sufficient quality and number) showing **all:** exterior elevations, significant architectural details, and /or detailing existing conditions supporting claim of conditions
5. List and copies of appropriate references and documents consulted to determine age and historical significance of structure.
6. **For Partial Demolitions:** Plans and Drawings of existing areas to be demolished and final elevations of completed project.

The application shall not be considered complete until the all the above requirements and information are provided and submitted with this application. Attach Authorization to represent/apply.

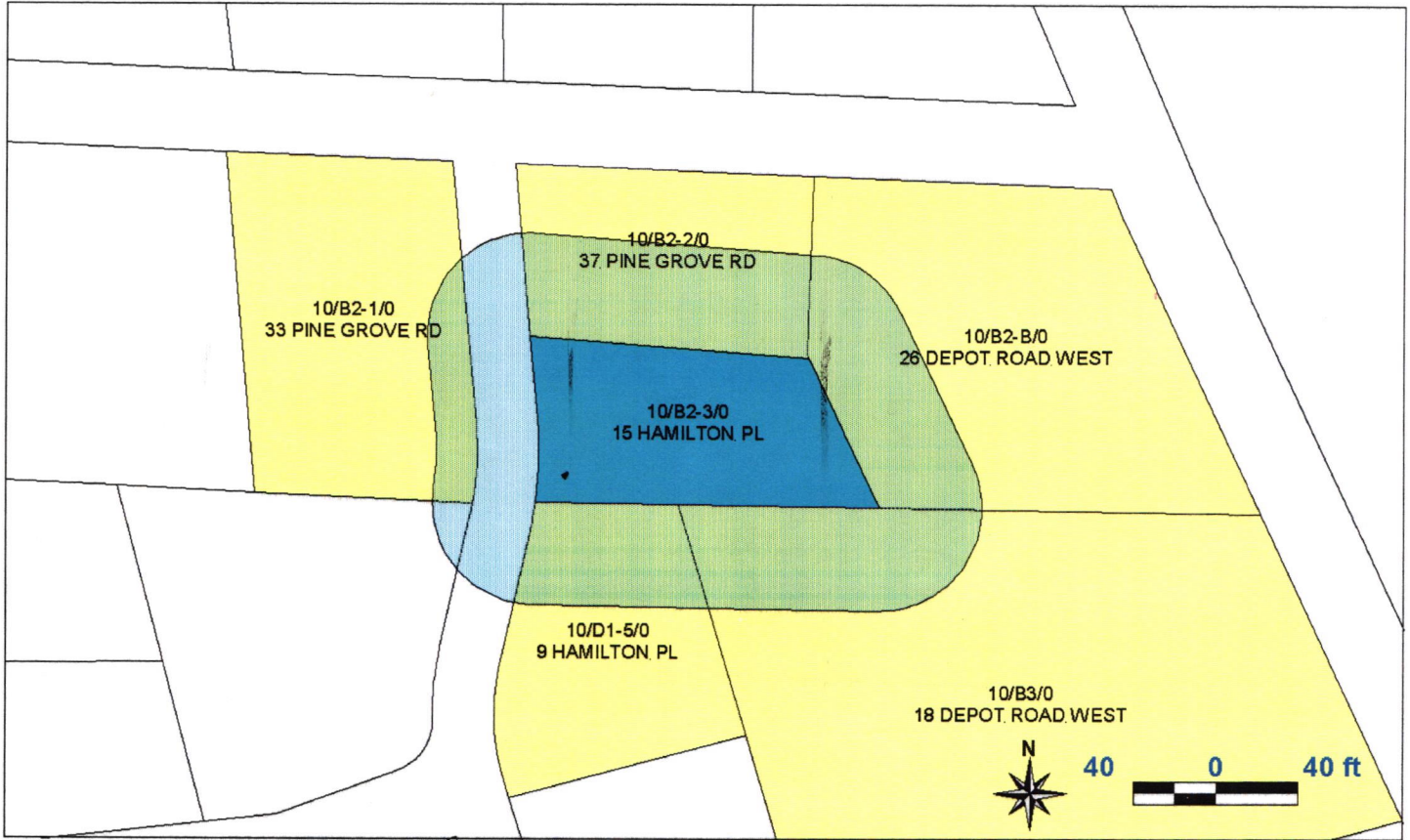

(Signature of Applicant/Representative)

6-15-23
(Date)



TOWN OF HARWICH, MA
 BOARD OF ASSESSORS
 732 Main Street, Harwich, MA 02645

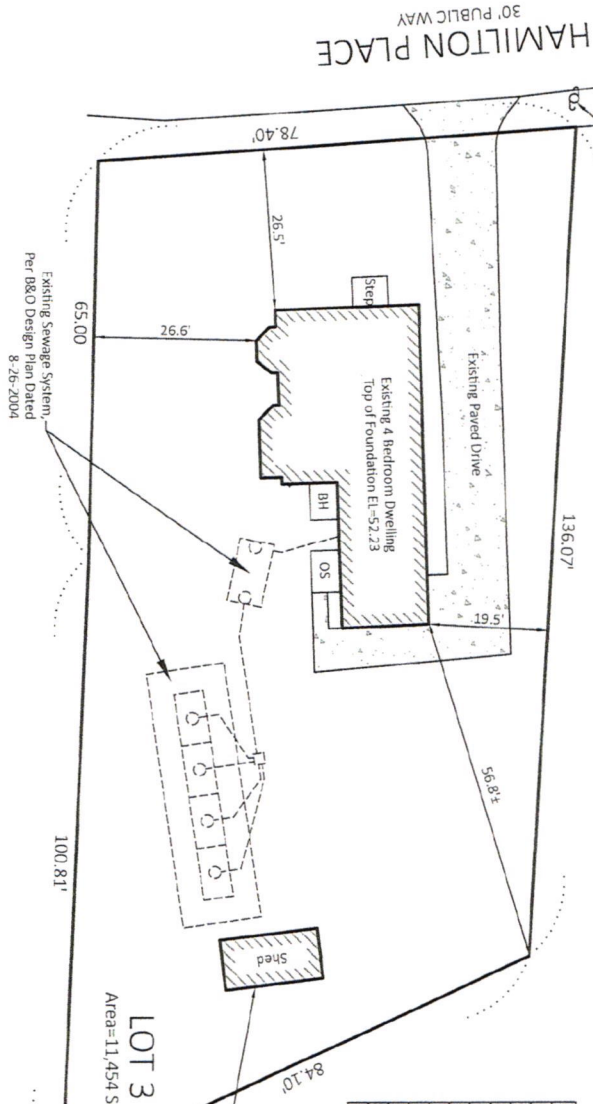
Abutters List Within 50 feet of Parcel 10/B2-3/0



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
1180	10-B2-1-0-R	MORESI JOHN L JR	33 PINE GROVE RD	303 DANIELS RD	N ADAMS	MA	01247
1181	10-B2-2-0-R	LABELLA VITO & JALET KIM M	37 PINE GROVE RD	7711 RIDGE BLVD	BROOKLYN	NY	11209
1183	10-B2-3-0-R	CALVANESE RALPH & CALVANESE JOAN	15 HAMILTON PL	901 OLD BRIDGE LN	BELLINGHAM	MA	02019
8210	10-B2-B-0-R	MARSDEN CHASE A	26 DEPOT ROAD WEST	26 DEPOT ROAD WEST	W HARWICH	MA	02671
1184	10-B3-0-R	ORMOND WILLIAM D & ORMOND LAURIEANN	18 DEPOT ROAD WEST	PO BOX 115	DENNIS PORT	MA	02639
1245	10-D1-5-0-R	BURNS ROBERT	9 HAMILTON PL	16 VINE ST	MELROSE	MA	02176

COPY

OWNER OF RECORD:
RALPH & JOAN CALVANESE
PLAN BOOK 115, PAGE 121
DEED BOOK 19018, PAGE 333
ASSESSORS' MAP 10 PARCEL 28-3

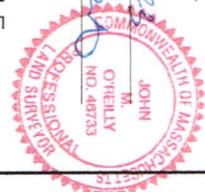


ZONING COMPLIANCE TABLE

ZONING DISTRICT(S) :		R-M		
SUBJECT	EXISTING	REQUIRED	PROPOSED	
LOT AREA (SQUARE FEET)	11,454	40,000		
FRONTAGE (LINEAR FEET)	78.40	150		
YARD SETBACK- FRONT (FEET)	26.5	25		
YARD SETBACK- SIDE (FEET)	19.5	20		
YARD SETBACK- REAR (FEET)	56.8	20		
BUILDING COVERAGE (%)	11.2%	20% MAX		
SITE COVERAGE (%)	20.5%	35% MAX		
BUILDING HEIGHT	-	30' MAX		

I CERTIFY THAT THE EXISTING DWELLING SHOWN HEREON IS LOCATED AS IT EXISTS ON THE GROUND.

DATE: 6-12-2023
P.L.S. [Signature]



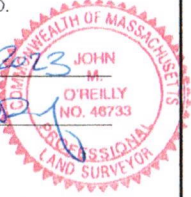
CERTIFIED PLOT PLAN SHOWING EXISTING DWELLING ON
15 HAMILTON PLACE, WEST HARWICH MA, 02671
PREPARED FOR
CALVANESE RESIDENCE



OWNER OF RECORD:
 RALPH & JOAN CALVANESE
 PLAN BOOK 115, PAGE 121
 DEED BOOK 19018, PAGE 333
 ASSESSORS' MAP 10 PARCEL 2B-3

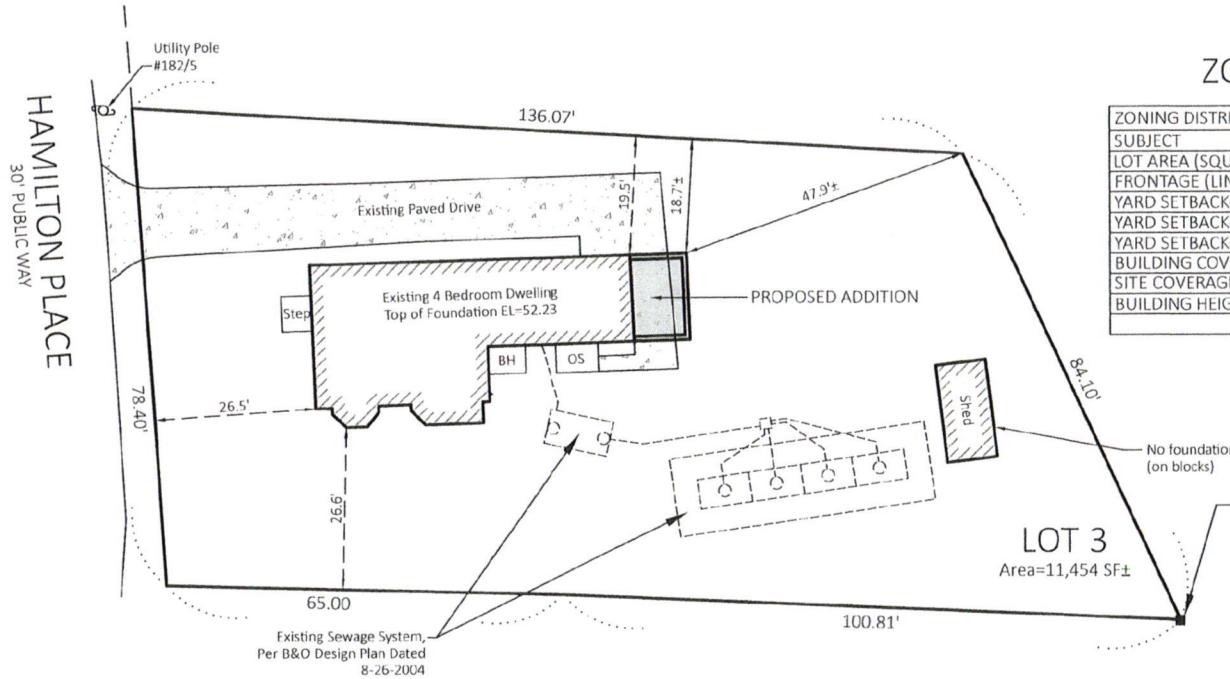
I CERTIFY THAT THE EXISTING DWELLING
 SHOWN HEREON IS LOCATED AS IT EXISTS
 ON THE GROUND.

DATE 6-12-2023
 P.L.S. John M. O'Reilly
 JOHN M. O'REILLY
 NO. 48733
 PROFESSIONAL
 LAND SURVEYOR



ZONING COMPLIANCE TABLE

ZONING DISTRICT(S) :	R-M		
SUBJECT	EXISTING	REQUIRED	PROPOSED
LOT AREA (SQUARE FEET)	11,454	40,000	11,454
FRONTAGE (LINEAR FEET)	78.40	150	78.4
YARD SETBACK- FRONT (FEET)	26.5	25	26.5
YARD SETBACK- SIDE (FEET)	19.5	20	18.7
YARD SETBACK- REAR (FEET)	56.8	20	47.9
BUILDING COVERAGE (%)	11.2%	20% MAX	12.3%
SITE COVERAGE (%)	20.5%	35% MAX	21.6%
BUILDING HEIGHT	-	30' MAX	-



BENCHMARK:
 Top of Concrete Bound
 EL=49.78 (Assumed datum)

CERTIFIED PLOT PLAN SHOWING
 EXISTING DWELLING WITH PROPOSED ADDITION
 ON
 15 HAMILTON PLACE, WEST HARWICH MA, 02671

PREPARED FOR
CALVANESE RESIDENCE



Drawn by: JO JMO-4091A

G:\A\Jobs\ENCORE\4091A\DWG\4091A.PROPOSED.CPP.DWG

J.M. O'REILLY & ASSOCIATES, INC.
 Professional Engineering & Surveying Services

1573 Main Street, P.O. Box 1773
 Brewster, MA 02631 (508)896-6601

DRAWING INDEX

- A0.0 TITLE PAGE
- A0.1 EXISTING & PROPOSED PLOT PLAN
- A1.1 EXISTING FOUNDATION & FIRST FLOOR PLAN
- A1.2 EXISTING SECOND FLOOR & ROOF PLAN
- A1.3 PROPOSED FOUNDATION & FIRST FLOOR PLAN
- A1.4 PROPOSED SECOND FLOOR & ROOF PLAN
- A2.1 EXISTING & PROPOSED FRONT ELEVATION
- A2.2 EXISTING & PROPOSED LEFT ELEVATION
- A2.3 EXISTING & PROPOSED REAR ELEVATION
- A2.4 EXISTING & PROPOSED RIGHT ELEVATION
- A3.1 SECTION A-C
- A4.1 PROPOSED WINDOW & DOOR SCHEDULE
- AS.1 FIRST FLOOR FINISH PLAN
- S1 FRAMING PLANS

SCOPE OF WORK

• DEMO EXISTING SUNROOM & REPLACE W/ NEW FAMILY ROOM ADDITION

APPLICABLE CODES

BUILDING CODE: 2015 IRC WITH 780 CMR NINTH EDITION MASSACHUSETTS AMENDMENTS

ENERGY CODE: BBRIS STRETCH CODE WITH 2021 IECC AMENDMENTS

ZONING INFO

ZONING DISTRICT
TOWN OF HARWICH
RR - RESIDENTIAL RURAL ESTATE

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE AND FEDERAL CODES AND ORDINANCES.
2. GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES.
3. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES AND NOTIFY ARCHITECT/TOWNER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. ALL EXISTING DIMENSIONS ARE TO THE FACE OF FINISHED SURFACE UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS.
4. GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS.
5. FOR THE PURPOSE OF THE DOCUMENTS, TO "INSTALL" SHALL MEAN TO PROVIDE ALL FASTENERS, MISCELLANEOUS HARDWARE, BLOCKING, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS, AND OTHER ITEMS REQUIRED FOR A COMPLETE AN OPERATION INSTALLATION, UNLESS OTHERWISE NOTED.

ARCHITECTURE FIRM:



LIVING AREA					
	EXISTING	ADDITION	%	REMODEL %	TOTAL
TOTAL	1,899 SF	719 SF	37.89%	0 SF	2,618 SF

DISCLAIMER

CONSULT HERE RATOR ON AN AS NEEDED BASIS IN ORDER TO COMPLY WITH 2021 IECC CODES

STRUCTURAL ENGINEER:



Todd Riley, PE

Digitally signed by Todd Riley, PE
Date: 2023.06.05 16:35:13 -04'00'



- I. BUILDING DESIGN CODE REFERENCE**
- A. 9TH EDITION MASSACHUSETTS BUILDING CODE (IRC 2015 + AMENDMENTS)
- II. BUILDING DESIGN LOADS USED**
- A. DEAD LOADS
- A. ROOF FRAMING: 15 PSF
- B. ATTIC DEAD LOADS: 10 PSF
- C. EXTERIOR WALL SELF WEIGHT LOAD: 20 PSF
- D. INTERIOR/PARTITION SELF WEIGHT LOAD: 10 PSF
- B. LIVE LOADS
- A. UNINHABITABLE ATTIC WITH LIMITED STORAGE: 20 PSF
- B. UNINHABITABLE ATTIC WITHOUT STORAGE: 10 PSF
- C. TYPICAL FLOOR LIVE LOAD: 40 PSF
- D. SLEEPING QUARTERS FLOOR LIVE LOAD: 30 PSF (TYPICALLY NOT USED)
- C. SNOW LOADS
- A. GROUND SNOW LOAD: 25 PSF
- B. MINIMUM FLAT ROOF SNOW LOAD: 25 PSF
- D. WIND LOADS
- A. BASIC WIND SPEED, V = 140 MPH
- B. EXPOSURE "C"
- C. RISK CATEGORY II
- D. VELOCITY PRESSURE COEFFICIENT (KZ) = 0.85
- E. TOPOGRAPHIC FACTOR (KT) = 1.0
- F. WIND DIRECTIONALITY FACTOR (KD) = 0.85
- III. SPECIFIED MATERIALS**
- A. SAWY LUMBER: SPRUCE-PINE- FIR #2 OR BETTER
- B. ENGINEERED LUMBER (BEAMS), BOISE CASCADE VERSA-LAM LVL 2.1E 3100 FB
- C. ENGINEERED LUMBER (POSTS), WEYERHAEUSER PARALLAM PSL 1.9E-2500 FB
- D. STEEL FLITCH PLATES & PEAK GUSSET CONNECTIONS: ASTM A36 (F Y=36 KSI) OR BETTER

CONTRACTOR:



THE RENDERINGS ARE FOR VISUALIZATION PURPOSES ONLY - MAY DIFFER SLIGHTLY FROM ACTUAL



EXISTING REAR RENDERING



PROPOSED REAR RENDERING

**PROPOSED SITE: 15 HAMILTON PLACE,
W. HARWICH, MA 02671**

ENCORE DESIGN
103 MAIN ST.
DENNISPORT, MA
02825
(508) 750-0800
enc@encore.com



CONTRACTOR
GMT HOME DESIGNS, INC.
200 Pleasant Street
Suite 19 C
Harwich, MA 02645
(508) 862-7802
gmat@home-designs.com



TITLE PAGE

SHEET TITLE:

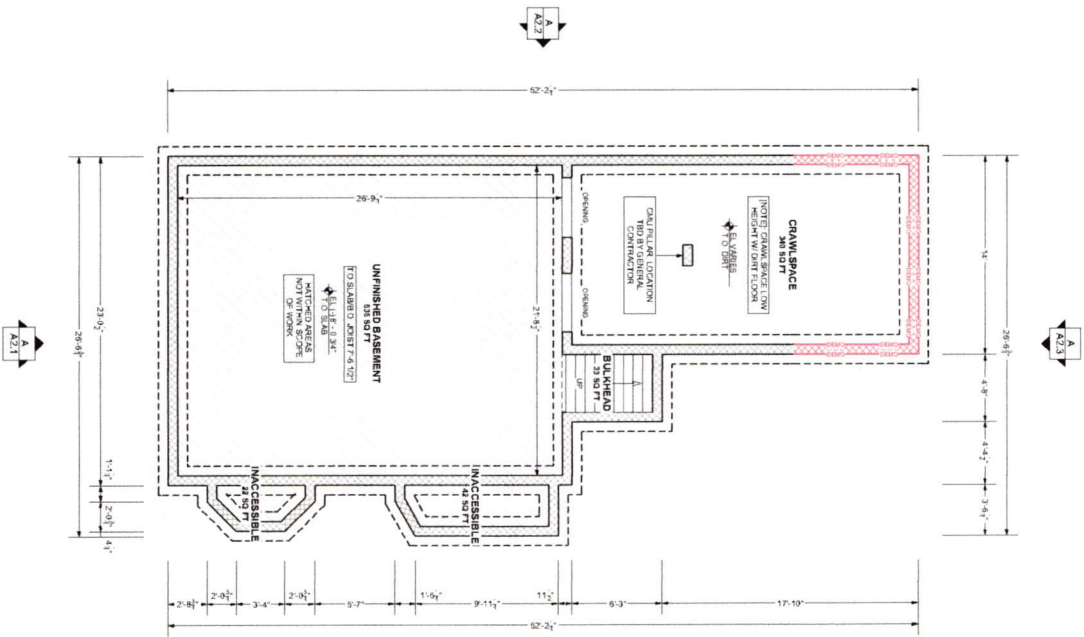
PROJECT ADDRESS:
RALPH & JOAN CALVANESE
15 HAMILTON PLACE
W. HARWICH, MA 02671

REV. DATE:
6/6/2023

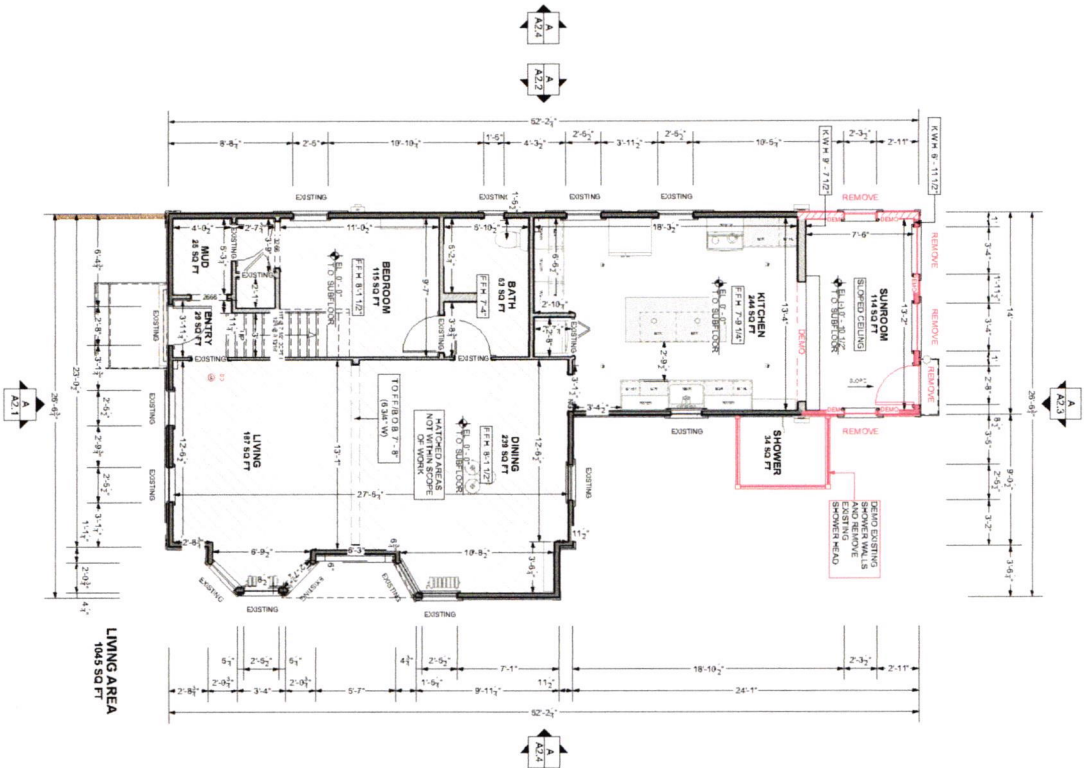
SHEET:

A0.0

A1.1 EXISTING FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



A1.1 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



WALL LEGEND:

	6" GOLF BLOCK FOUNDATION WALL, EXISTING
	2x6 EXTERIOR WALL, CEILING SHINGLE, EXISTING
	2x4 EXTERIOR WALL, CEILING SHINGLE, EXISTING
	6" GOLF BLOCK FOUNDATION WALL, EXISTING, 2'
	2x6 INTERIOR WALL, EXISTING
	2x8 3/4" INTERIOR WALL, EXISTING
	2x4 INTERIOR WALL, EXISTING
	2x3 INTERIOR WALL, EXISTING
	6" GOLF BLOCK FOUNDATION WALL, CEILING
	2x6 EXTERIOR WALL, CEILING SHINGLE, EXISTING
	2x4 EXTERIOR WALL, CEILING SHINGLE, EXISTING

DIMENSIONS:

• ALL EXISTING INTERIOR DIMENSIONS ARE FROM FINISHED SURFACE TO SURFACE
 • ALL EXISTING EXTERIOR DIMENSIONS ARE TO EXTERIOR WALL SURFACES
 • WHERE DOORS AND WINDOWS ARE NOT DIMENSIONED, CENTER IN WALL OR PLACE FINISH AT ADJACENT PERPENDICULAR WALL, UNLESS OTHERWISE NOTED.

SPECIAL NOTE:

ALL EXISTING FRAMING MEMBERS SIZE AND DIRECTION OF JOISTS TO BE CONFIRMED IN FIELD.

EXISTING LIVING AREA	0 SF
LOWER LEVEL - 1ST FLOOR	1,046 SF
2ND FLOOR	864 SF
TOTAL	1,899 SF

PROJECT ADDRESS:
RALPH & JOAN CALVANESE
 15 HAMILTON PLACE,
 W. HARWICH, MA 02671

REV DATE:
 6/2023

SHEET:
A1.1

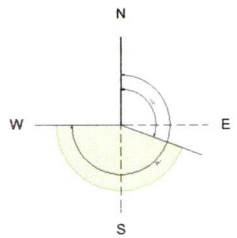
EXISTING FOUNDATION & FIRST FLOOR PLAN



ARCHITECTURE FIRM
GMT HOME DESIGNS
 Architecture & Design

CONTRACTOR
ENCORE DESIGN/REMODEL
 115 MAIN ST.
 DENNISPORT, MA 02539
 (508) 730-0500
 encoreco.com

ZND CMR ALL 103 SOLAR READY PROVISIONS



WALL LEGEND:

	2ND EXTERIOR WALL, GEAR SINGLE, EXISTING
	2ND INT. WALL, EXISTING
	2ND INTERIOR WALL, EXISTING

DIMENSIONS:

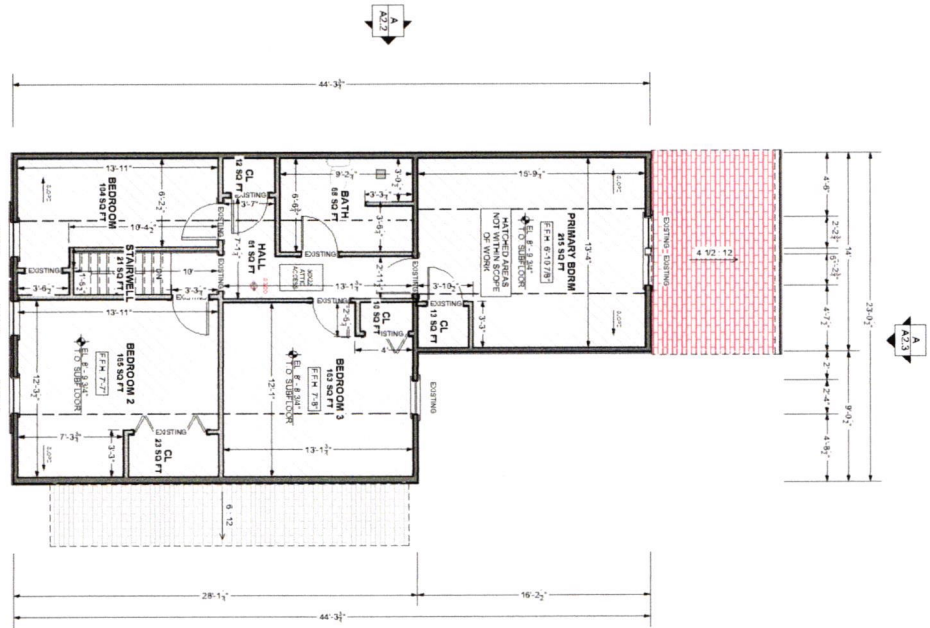
- ALL EXISTING INTERIOR DIMENSIONS ARE FROM UNFINISHED SURFACE TO SURFACE
- ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR WALL SURFACES
- ALL FLOOR DIMENSIONS ARE TO FINISH FLOOR SURFACES
- ALL WINDOW AND WINDOW ASSEMBLY DIMENSIONS ARE TO THE FACE OF FRAME TO THE FACE OF FINISH ADJACENT PERPENDICULAR WALL, UNLESS OTHERWISE NOTED.

SPECIAL NOTE:

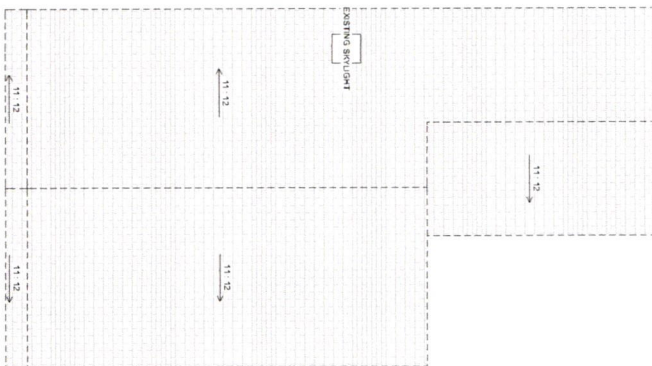
ALL EXISTING FRAMING MEMBERS SIZES AND DIRECTION OF JOISTS TO BE CONTAINED IN FIELD.

ROOF MATERIALS LEGEND:

	3 TAB ASPHALT, EXISTING
	3 TAB ASPHALT, NEW
	DEMOD ROOF PLANE



A1.2 EXISTING 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



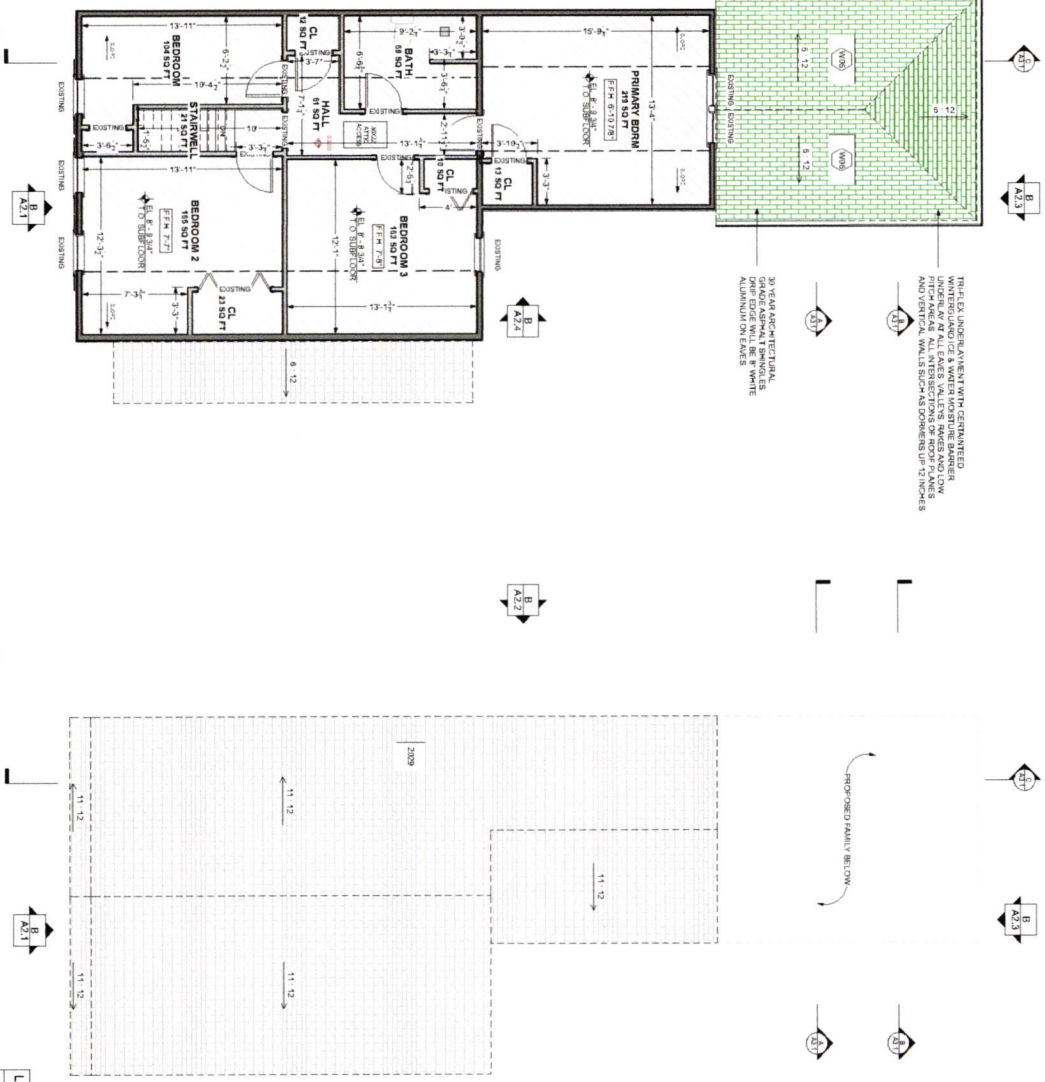
A1.2 EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"

EXISTING LIVING AREA	0 SF
LOWER LEVEL - 1ST FLOOR - 2ND FLOOR -	1,045 SF
TOTAL -	854 SF
	1,899 SF

<p>PROJECT ADDRESS: RALPH & JOAN CALVANESE 15 HAMILTON PLACE, W. HARWICH, MA 02671</p>	<p>SHEET TITLE: EXISTING SECOND FLOOR & ROOF PLAN</p>		<p>CONTRACTOR: ENCORE DESIGN/REMODEL 153 MAIN ST., DENNISPORT, MA 02539 (508) 253-8900 encoreco.com</p>
<p>REV. DATE: 6/6/2023</p>	<p>SHEET: A1.2</p>	<p>GMT Home Designs Inc. 60 Pleasant Street Suite 19 C Dennisport, MA 02539 (978) 881-7902 gmthomedesigns.com</p>	<p>ENCORE DESIGN/REMODEL</p>

A1.4 PROPOSED 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

A1.4 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



LIVING AREA	CONDITIONED AREAS		REMODEL	TOTAL
	EXISTING	ADDITION		
LOWER LEVEL -	1,048 SF	0 SF	0 SF	1,048 SF
2ND FLOOR -	854 SF	0 SF	0 SF	854 SF
TOTAL -	1,902 SF	0 SF	0 SF	1,902 SF

WALL LEGEND:

	2ND EXTERIOR WALL: CEDAR SHINGLE EXISTING
	2ND INTERIOR WALL: EXISTING
	2ND 3/4" INTERIOR WALL: EXISTING
	2ND INTERIOR WALL: EXISTING
	2ND INTERIOR WALL: EXISTING

DIMENSIONS:

- ALL EXTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE OF STUD TO OUTSIDE OF STUD
- ALL INTERIOR DIMENSIONS ARE TAKEN FROM STUD TO STUD UNLESS OTHERWISE NOTED
- DIMENSIONS ARE NOT DIMENSIONED CENTER IN WALL OR FACE 4 INCHES NOMINAL FROM THE FACE OF FRAME TO THE FACE OF FINISH AT ADJACENT PERPENDICULAR WALL UNLESS OTHERWISE NOTED.

ROOF MATERIALS LEGEND:

- SHINGLE EXISTING
- SHINGLE NEW

PROPOSED NOTES: LOWER ROOF

ROOFING MATERIAL: 30 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES OVER GRADE ICE & WATER MOISTURE BARRIER UNDERLAY AT ALL EAVES, BOWLS AND LOW PITCH AREAS. OVER EDGE MOISTURE BARRIER UNDERLAY AT SHINGLES ON EAVES. CONTINUOUS MATCHING RIDGE/PEAK CAP.

<p>A1.4</p>	<p>REV DATE: 6/6/2023</p>	<p>PROJECT ADDRESS: RALPH & JOAN CALVANESE 15 HAMILTON PLACE, W. HARWICH, MA 02671</p>	<p>SHEET TITLE: PROPOSED SECOND FLOOR & ROOF PLAN</p>		<p>CRITERION ENGINEERS 230 N Main St, Ste 4 Riverside, MA 01721 (508) 881-7892 (802) 747-4535</p>	<p>GMT HOME DESIGNS INC. 60 Pleasant Street Suite 10 C Andover, MA 01721 (508) 881-7892 gmt@homedesigns.com</p>	<p>CONTRACTOR: ENCORE DESIGN/REMODEL 193 MAIN ST. DENNISPORT, MA 02529 (508) 780-8900 encorecd.com</p>
	<p>6/6/2023</p>	<p>SHEET: A1.4</p>	<p>ENCORE DESIGN/REMODEL 193 MAIN ST. DENNISPORT, MA 02529 (508) 780-8900 encorecd.com</p>				

EXISTING EXTERIOR NOTES:

- REMOVAL OF CERAMIC TILE (WEATHERED) ROOF - 3/4" ASPHALT SHINGLES (GHE-1) CORNER BOARD, VAILS, 1" @ FRONT CORNERS, 3/4" @ SIDE WALLS, 3/4" @ SIMONCO WINDOW, VAIL WITH ACESBENT

CONSTRUCTION NOTES, ELEVATIONS

- GENERAL NOTES:**
- REMOVE EXISTING SIMONCO ROOF IN ITS ENTIRETY AND ALL ASSOCIATED ELEMENTS
 - REMOVE INDICATED EXISTING WINDOWS AND DOORS
 - REMOVE ALL EXISTING EXTERIOR FINISHES
 - REMOVE ALL DEMOLITION AND CONSTRUCTION DEBRIS FROM SITE
 - LIFT UP DUST FLOOR AND SURFACE PROTECTION WHERE NEEDED

ROOFING:
 REMOVE ARCHITECTURAL GRADE ASPHALT SHINGLE COVER GRADE ICE & WATER MOISTURE BARRIER UNDERLAY AT ALL EAVES, VALLES, PAGES AND LOW PITCH AREAS. DRIP EDGE WILL BE 8" WHITE ALUMINUM WITH STAFFER SHINGLES ON EAVES. CONTINUOUS BATT CHANG PROOFING CAP.

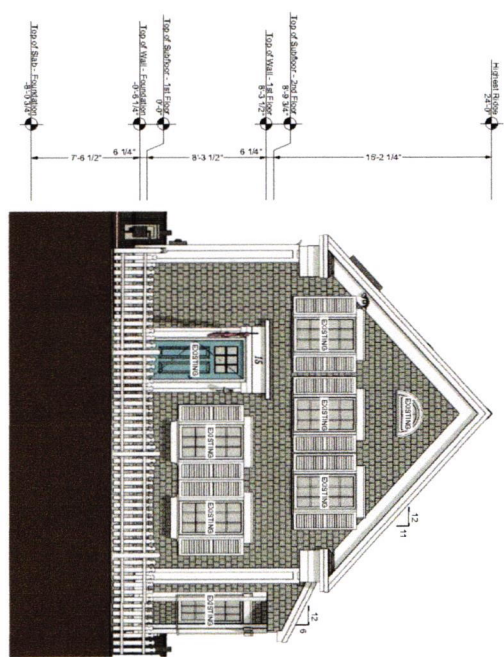
SIDEWALL:
 REMOVE WEATHERED ROSEWAMP UNDERLAY WITH WHITE ALUMINUM DRIP CAPS ON WINDOW AND DOOR HEAD CASINGS. SIDEWALL IS LIMITED TO THE ADDITION, TYPING IN TO EXISTING AND REMOVE THE EXISTING GABLE ABOVE ADDITION FOOT TIE-IN.

WINDOWS:
 ANDERSON 400 SERIES WINDOWS WITH GALV WHITE EXTERIOR GRILLS BETWEEN THE GLASS, WHITE SCREENS AND HARDWARE

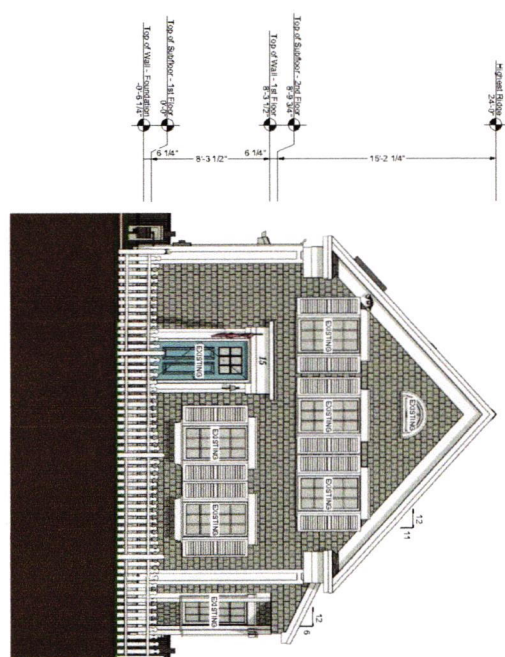
FINISH:
 EXTERIOR TRIM WILL BE AZEK AS FOLLOWS:
 • RALES: 1X8
 • FASCIA ASSEMBLY: 1X3 FASCIA, 1X3 FRIEZE
 • DOORS: 1X12 RICKS UNDER DOORS
 • CASINGS: 1X4 RABBITED CASINGS ON WINDOWS AND DOORS
 • SILL: 8/4 HISTORIC STYLE EXTERIOR SILLS

WATER TABLE:
 TOP: AZEK-9825 2 3/4" X 2"
 BOTTOM: AZEK-FLAT STICK 5/8" X 1 1/4"

FINISH GRADE:
 AT PERMETER OF BUILDING TO SLOPE AT RATE OF 1/4" PER FOOT TO THE EXISTING DRIVEWAY. FINISH GRADE ELEVATIONS SHALL BE NO HIGHER BE ASSUMED AS THE ACTUAL GRADE. THE TOP OF FOUNDATION AND EXISTING CONDITIONS AROUND THE BUILDING, VERIFY WITH SITE VISUAL SURVEY AND EXISTING RECORD DRAWINGS OR MINIMALLY DISTANCES PER REC 2015 BUILDING CODE

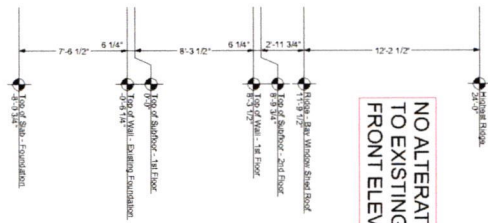


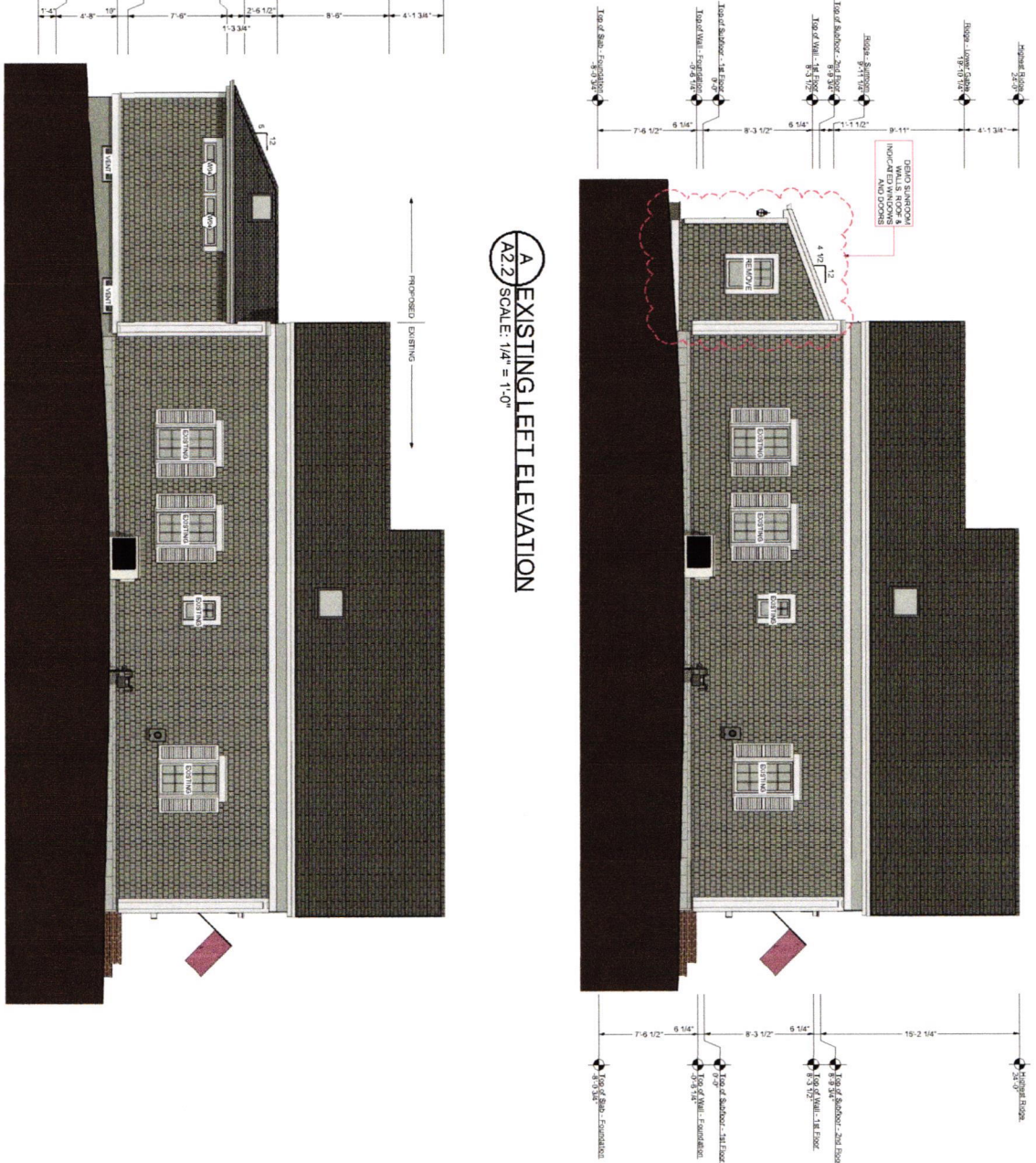
A EXISTING FRONT ELEVATION
 A2.1 SCALE: 1/4" = 1'-0"



B PROPOSED FRONT ELEVATION
 A2.1 SCALE: 1/4" = 1'-0"

NO ALTERATIONS TO EXISTING FRONT ELEVATION





A EXISTING LEFT ELEVATION
A2.2 SCALE: 1/4" = 1'-0"

B PROPOSED LEFT ELEVATION
A2.2 SCALE: 1/4" = 1'-0"

EXISTING EXTERIOR NOTES:

SHINGLES 5" CEDAR SHINGLE (WEATHERED)
 ROOFING: 30 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES OVER
 VALLEY'S PAGES AND LOW PITCH AREAS, Drip Edge Will Be 8"
 @ SILE WALLS 3 1/2" @ SHANKS 3 1/2"
 WINDOW: VINYL REPLACEMENT

CONSTRUCTION NOTES, ELEVATIONS

DEMOLITION NOTES:
 ALL EXISTING ARCHITECTURAL ELEMENTS
 • REMOVE INDICATED EXISTING WINDOWS AND DOORS
 • REMOVE EXISTING SIDING AND SHINGLES AND SUNSCREENS
 • REMOVE ALL DEMOLITION AND CONSTRUCTION DEBRIS FROM
 • SET UP DUST FLOOR AND SURFACE PROTECTION WHERE
 NEEDED

ROOFING:
 30 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES OVER
 VALLEY'S PAGES AND LOW PITCH AREAS, Drip Edge Will Be 8"
 @ SILE WALLS 3 1/2" @ SHANKS 3 1/2"
 WINDOW: VINYL REPLACEMENT

SIDEWALL:
 WHITE CEDAR NATURAL HART SHINGLES W/ 5" NOMINAL EXPOSURE
 ALUMINUM Drip CAPS ON WINDOW AND DOOR HEAD CASINGS.
 SIDE WALL IS LIMITED TO THE ADDITION, TYPING INTO EXISTING AND
 REWORKING THE EXISTING GABLE ABOVE ADDITION ROOF LINE.

WINDOWS:
 ANDERSEN 400 SERIES WINDOWS WITH GLAD WHITE EXTERIOR,
 PRINCIPLED WHITE INTERIOR, LOWE GLASS, TINTED LOWE
 GRILL SCREENS (VENTHUR-GREEN) WHITE SCREENS AND PERSHDWARRE
 TINT.

FINISH GRADE:
 FINISH GRADE AT PERMETER OF BUILDING TO BE CURE AT RATE OF
 1/2" PER 10' HORIZONTAL DISTANCE. ALL GRADING SHOWN ON
 THIS DRAWING IS FOR INFORMATION ONLY. THE ENGINEER HAS
 ENGINEER THE TOP OF FOUNDATION AND EXACT LOCATIONS FOR
 MINIMUM DISTANCES PER 2015 BUILDING CODE

WATER TABLE:
 TOP: AZEK-RODS 2 3/4" X 2"
 BOTTOM: AZEK-FLAT STOCK 5/8" X 3 1/4"

<p>PROJECT ADDRESS: RALPH & JOAN CALVANESE 15 HAMILTON PLACE, W. HARWICH, MA 02671</p>	<p>SHEET TITLE: EXISTING & PROPOSED LEFT ELEVATION</p>			<p>ARCHITECTURE FIRM: GMT HOME DESIGNS Associates & Design</p>	<p>CONTRACTOR: encore</p>	<p>ENCORE DESIGN/REMODELING 113 MAIN ST. DENNISPORT, MA 02639 (978) 750-6900 encoreca.com</p>

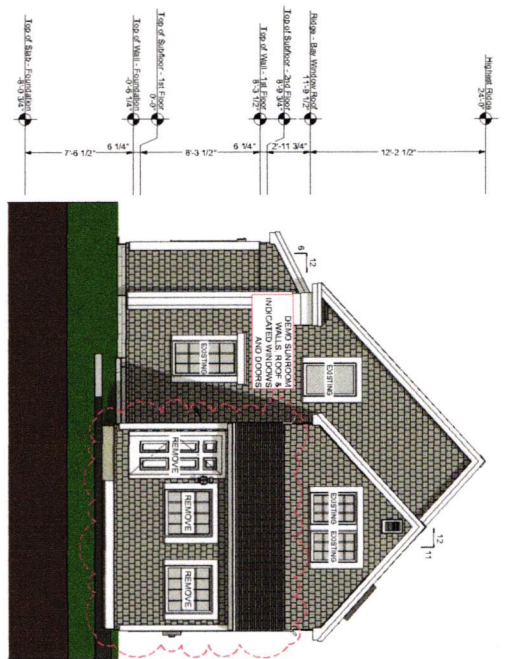
EXISTING EXTERIOR NOTES:

- SIDING: 5" CEDAR SHINGLE (WEATHERED)
- CORNER BOARD: VARIUS, 1" @ FRONT CORNERS, 1 1/2" @ SIDE WALLS, 3 1/2" @ SLURICOM WINDOW; WHITE REINACEMENT

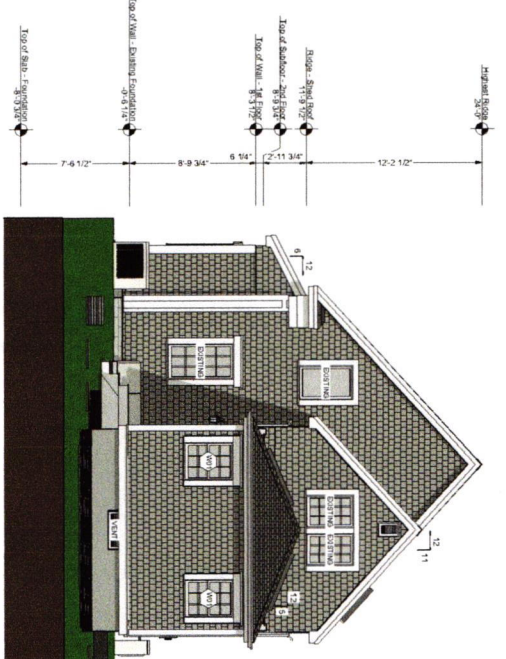
CONSTRUCTION NOTES, ELEVATIONS

- DEMOLITION NOTES:**
- REMOVE ALL SLURICOM ROOF IN ITS ENTIRETY AND ALL ASSOCIATED ELEMENTS
 - REMOVE INDICATED EXISTING WINDOWS AND DOORS
 - REMOVE EXISTING SIDING, CORNER BOARD, AND TRIM FROM SITE
 - SET UP DUST FLOOR AND SURFACE PROTECTION WHERE NEEDED
- ROOFING:**
- 30 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES OVER 1/2" OSB SHEATHING
 - WHITE ALUMINUM WITH STARTER SHINGLES ON EAVES, VALLES, RAKES AND LOW PITCH AREAS; Drip Edge Will Be 8" CONTINUOUS MATCHING ROOFEDGE™
- SIDEWALL:**
- WHITE CEDAR NATURAL BARK SHINGLES W/ 5" NOMINAL EXPOSURE
 - ALUMINUM CHIP CAPS ON WINDOW AND DOOR HEAD CASINGS. SIDEWALL IS LIMITED TO THE ADDITION, TYING INTO EXISTING AND REMOVING THE EXISTING GABLE ABOVE ADDITION ROOF TIE-IN.
- WINDOWS:**
- ANDERSEN 400 SERIES WINDOWS WITH GLAD WHITE EXTERIOR GRILLS SET BETWEEN THE GLASS, WHITE SCREENS AND HARDWARE
- TRIM:**
- EXTERIOR TRIM WILL BE AZEK AS FOLLOWS:
 - RADES: 1X6
 - PASQUA ASSEMBLY, 1X6 FASCIA, 1X8 FRIEZE
 - CORNER BOARD, 1X10
 - CASINGS: 1X4 RABBETED CASINGS ON WINDOWS AND DOORS
 - SILL: 6X4 HISTORIC STYLE EXTERIOR SILLS
- WATER TABLE:**
- TOP: AZEK-9898 2 3/4" X 2"
 - BOTTOM: AZEK FLAT STOCK 5/8" X 3 1/4"

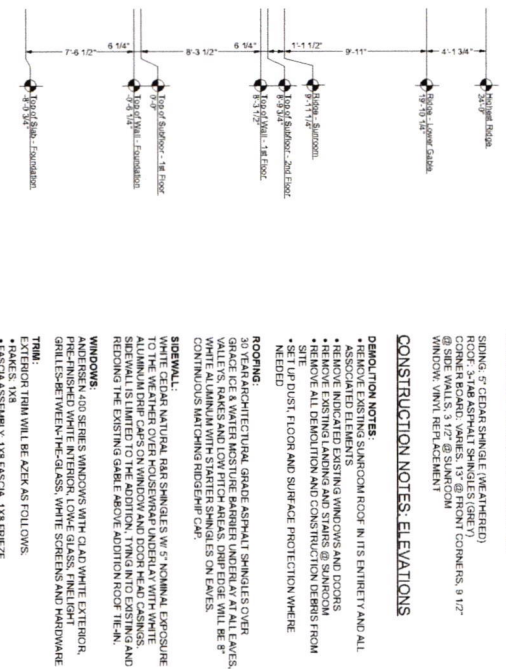
FINISH GRADE:
 FINISH GRADE AT PERMETER OF BUILDING TO BE ONE AT RATE OF ELEVATION FOR TOPOGRAPHY AND ALL GRADING SHOWN ON ELEVATIONS AND GRADING PLANS. VERIFY FINISH GRADE WITH ENGINEER THE TOP OF FOUNDATION AND EXACT LOCATIONS FOR MINIMUM DISTANCES PER IRC 2015 BUILDING CODE



A EXISTING REAR ELEVATION
 A2.3 SCALE: 1/4" = 1'-0"



B PROPOSED REAR ELEVATION
 A2.3 SCALE: 1/4" = 1'-0"



A EXISTING REAR ELEVATION
 A2.3 SCALE: 1/4" = 1'-0"



B PROPOSED REAR ELEVATION
 A2.3 SCALE: 1/4" = 1'-0"

EXISTING EXTERIOR NOTES.

SIDING: 5" CEDAR SHINGLE (WEATHERED)
CORNER BOARD: WARE: 1 1/2" @ FRONT CORNERS, 1 1/2"
@ SIDE WALLS, 3 1/2" @ SHARPCOR
WINDOW: VINYL REPLACEMENT

CONSTRUCTION NOTES, ELEVATIONS

GENERAL NOTES

- SHARPCOR ROOF IN ITS ENTIRETY AND ALL ASSOCIATED ELEMENTS
- REMOVE INDICATED EXISTING WINDOWS AND DOORS
- REMOVE EXISTING PAINT AND STAINS @ SHARPCOR
- REMOVE ALL BERKSHIRE AND CORN PROTECTION FROM SITE
- SET UP DUST FLOOR AND SURFACE PROTECTION WHERE NEEDED

ROOFING

30 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES OVER 1/2" GYP. VALET'S, RAFTERS AND LOW PITCH AREAS. DRAIN EDGE WILL BE 8" WHITE ALUMINUM WITH STARTER SHINGLES ON EAVES. CONTINUOUS MATCHING RIDGEPINE CAP.

SIDEWALL:

WHITE CEDAR NATURAL GRAY SHINGLES W/ 5" NOMINAL EXPOSURE TYPE 1 SHARPCOR. ALL SIDING TO BE MATCHED TO EXISTING. SIDEWALL IS LIMITED TO THE ADDITION, TYPING INTO EXISTING AND REWORKING THE EXISTING GABLE ABOVE ADDITION ROOF LINE.

WINDOWS:

ANDERSEN 400 SERIES WINDOWS WITH GLAZ WHITE EXTERIOR FINISH. FINISH TO MATCH EXISTING. WHITE STUBBLE AND SHADOWLINE GRILLS. SCREENS TO BE MATCHED TO EXISTING.

DOORS:

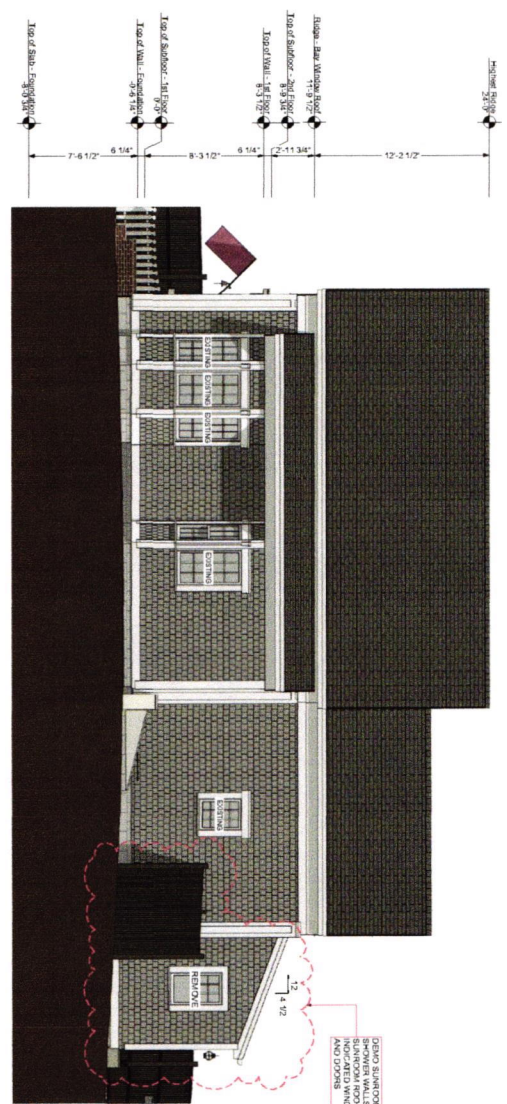
1. EXTERIOR TRIM WILL BE AZEK AS FOLLOWS:
• PAGES: 1X8
• CORNER TRIM: 1X2
• DOOR CASINGS: 1X2
• CASINGS: 1X4 PARABELED CASINGS ON WINDOWS AND DOORS
• SILL: 6/4 HISTORIC STYLE EXTERIOR SILLS

WATER TABLE:

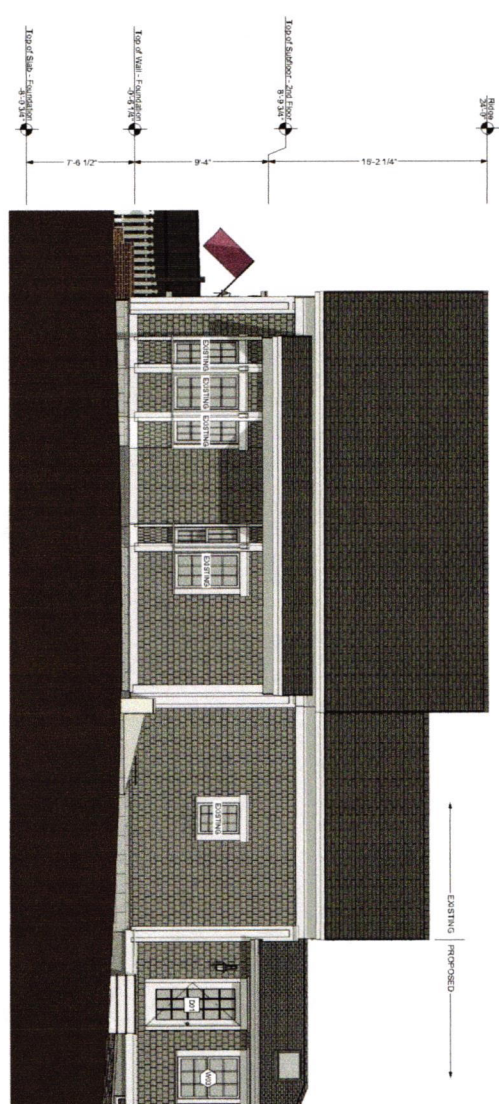
TOP: AZEK-9898 2 3/4" X 7"
BOTTOM: AZEK-FLAT STOCK 9/8" X 1 1/4"

FINISH GRADE:

FINISH GRADE AT PERMETER OF BUILDING TO SLOPE AT RATE OF 1/2" PER FOOT TO PERMANENT DRAINAGE. ALL FINISH GRADE TO BE MATCHED TO EXISTING. VERIFY WITH SITE ENGINEER THE TOP OF FOUNDATION AND EXACT LOCATIONS FOR MINIMUM DISTANCES PER REC 2015 BUILDING CODE.



A EXISTING RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



B PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

<p>A2.4</p>	<p>SHEET:</p>	<p>PROJECT ADDRESS:</p> <p>RALPH & JOAN CALVANESE 15 HAMILTON PLACE, W. HARWICH, MA 02671</p>	<p>SHEET TITLE:</p> <p>EXISTING & PROPOSED RIGHT ELEVATION</p>			<p>ARCHITECTURE FIRM:</p> <p>GMT HOME DESIGNS INC. 60 Pleasant Street Suite 10 C Warwick, RI 02881 (808) 881-7892 gmrhomedesigns.com</p>	<p>CONTRACTOR:</p> <p>ENCORE DESIGN/REMODEL 103 MAIN ST. DENNISPORT, MA 02529 (508) 780-8900 encoreco.com</p>
		<p>REV. DATE:</p> <p>6/6/2023</p>	<p>REVISIONS:</p>				











