

**TOWN OF HARWICH
HISTORIC DISTRICT AND
HISTORICAL COMMISSION**



Please submit this application to: Town of Harwich Building Department
732 Main Street, Harwich, MA 02645
Telephone: (508) 430-7506 Fax: (508) 430-4703

Application fee: \$55

Harwich General By-Laws, Chapter 131, Article II, §131-8.A, Notice of Intent to Demolish. Before any building constructed prior to one hundred years before the present calendar year is demolished in whole or in part, a Notice of Intent to do so will be filed with the Commission.

Application for Notice of Intent

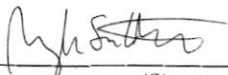
I, DANA GREENE, intend to demolish **in whole or in part** the structure located at
(Print Owner/Applicant's Name) (circle one)
1026 ORLEANS RD. EAST HARWICH, 107 / E8-1 RESIDENTIAL
(Street Number) (Street Name) (Village), (Assessor's Map) (Parcel #) (Zoning District(s))

Section 1 - Owner/Applicant Information (Note: A non-owner may apply, however written authorization of the owner is required at the time of submittal of this Application)

Legal Owner(s) MIGUEL ESTEVES Title DR.

Mailing Address 7 SHIPLEY CIRCLE WESTFORD MA 01886

Email Address miguel.esteves@umassmed.edu Telephone 781-929-2034

Legal Owner's Authorization 
(Signature)

Applicant(s) (if different) DANA GREENE OF RUSTIC ELEGANCE

Mailing Address (if different) 231 QUEEN ANNE RD, UNIT A HARWICH

Email Address admin@re-cc.net Telephone 774-237-0262 02645

Section 2 - Determination of Historical Significance

Date Building was Constructed 1880

Which records were used to establish this date? TOWN OF HARWICH
100 YEAR LIST

Description of Structure(s) to be demolished (in whole or in part) BUILT IN 1880 . RENOVATED
IN 1990 . THREE BEDROOM , THREE AND A HALF BATH SINGLE FAMILY HOME

Reason for Demolition UPDATE FOR ENERGY EFFICIENCY AND WEAR.

Proposed Reuse NA

Is the property on the Town's Inventory List: YES

Is the building listed on the National or Massachusetts Register of Historic Places? NO

If yes, which register? _____

Original Owner, if known NA

Subsequent Owners, if known NA

What is known about the history of the property? NA

Further, has the property been associated with any noteworthy events or with the political, cultural, economic, or social history of the Town or Region? Please list: NO

Type of Architectural Style: CLASSIC CAPE COD

Method of Construction: TIMBER , CONCRETE PERIMETER FOUNDATION , BRICK + MORT

Type of Materials Used: WOOD , BRICK , CEMENT

Name(s) of Architect, Designer or Builder if known: NA

Section 3 - Project Plan and Condition of Existing Structures

Full Demolition or Partial Demolition

For Partial Demolition, describe portion(s) to be demolished FOUR WINDOWS TOTAL TO BE REPLACED. AS WELL AS EXTERIOR POT AND REPAIR AS NEEDED AFTER CAREFUL INSPECTION.

Age(s) of portion(s) to be demolished UNKNOWN

Describe how the remaining structure will be treated and renovated WINDOWS WILL BE REPLACED IN CONCERT WITH INTERIOR RENOVATION THAT IS UNDERWAY TO REMEDIATE SIGNS OF AGE AND PREVIOUS ALTERATIONS.

List reports detailing condition of structure and results of inspections conducted by certified engineer or other design professional NA. PER THE GUIDANCE OF THE BUILDING AND CONSERVATION DEPARTMENT STAMPED ENGINEERING PLANS ARE NOT REQUIRED.

Is there room on the site to relocate the structure or integrate it with the new project? Yes No

Describe what alternatives to demolition have been investigated NA

Section 4 – Filing Requirements

One Certified Abutter List – available from the Assessor’s Office for a fee.

One (1) original and eight (8) copies of each of the following shall be submitted:

1. Completed Application Form with Owner authorization
2. Certified Site Plan and Locus Map
3. Registered Professional(s) Stamped Reports of Inspection
4. Complete set of Photographs (of sufficient quality and number) showing **all:** exterior elevations, significant architectural details, and /or detailing existing conditions supporting claim of conditions
5. List and copies of appropriate references and documents consulted to determine age and historical significance of structure.
6. **For Partial Demolitions:** Plans and Drawings of existing areas to be demolished and final elevations of completed project.

The application shall not be considered complete until the all the above requirements and information are provided and submitted with this application. Attach Authorization to represent/apply.

Dana F. Green
(Signature of Applicant/Representative)

2.15.24
(Date)

TOWN OF HARWICH

Building Department

732 Main Street
Harwich, MA 02645



Telephone: (508) 430-7506

Fax: (508) 430-4703

Owner Authorization

Type text

I, Miguel Esteves as owner of the property located at
1626 Orleans-Harwich Road, Harwich MA 02645
(Property address)

authorize Rustic Elegance, Inc. to act on my behalf
(Name of contractor/agent)

in all matters relative to work authorized by this building permit application.

Owner's Signature: _____

Date: 12-12-23



February 15, 2024

Town of Harwich Historic District and Historical Commission

732 Main St.

Harwich, MA 02645

Notice of Intent – Project Narrative

The Esteves family acquired the property located at 1626 Orleans Rd. back in 2020. They have recently engaged our firm to address both structural and cosmetic concerns within the residence. Alongside the ongoing interior renovations, they are looking to replace four windows. Furthermore, there is a plan to conduct a comprehensive examination of the exterior to address any rot issues. All necessary repairs will utilize materials that match the existing ones. Enclosed in this document, you will find detailed window specifications as well as proposed elevation designs.

231 Queen Anne Road, Unit A
Harwich MA 02645
admin@re-cc.net
774-237-0262

FRONT FACING (3)



SOLD BY:
Koopman Lumber Company, Inc. Sutton
665 Church St
Whitinsville, MA 01588-2116
Fax: 508-377-5199

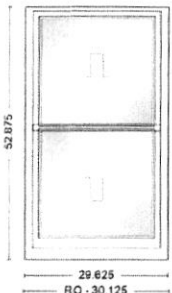
SOLD TO:

CREATED DATE
1/25/2024
LATEST UPDATE
1/25/2024
OWNER
Tom Letourneau

Abbreviated Quote Report - Customer Pricing

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
RUSTIC ELEGANCE	Unassigned Project	5230998		

ORDER NOTES: **DELIVERY NOTES:**



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
100	3	AA	None Assigned	\$546.19	\$1,638.57
RO Size = 30 1/8" x 52 7/8"		Unit Size = 29 5/8" x 52 7/8"			

TW2442, Unit, 400 Series Double-Hung, Equal Sash, Installation Flange, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White (Factory Applied), WhiteJamb Liner, White, Full Screen, Aluminum

Insect Screen 1: 400 Series Double-Hung, TW2442 Full Screen Aluminum White PN:1610122

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.3	0.31	NO	A1	25.8750	21.7500	3.92000

PEAR FACING (1)



SOLD BY:

Koopman Lumber Company, Inc. Sutton
 665 Church St
 Whitinsville, MA 01588-2116
 Fax: 508-377-5199

SOLD TO:

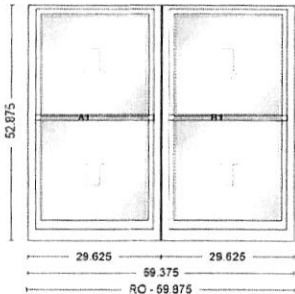
CREATED DATE
2/5/2024
LATEST UPDATE
2/5/2024
OWNER
Tom Letourneau

Abbreviated Quote Report - Customer Pricing

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
RUSTIC ELEGANCE	Unassigned Project	5276444		

ORDER NOTES:

DELIVERY NOTES:



Item	Qty	Operation	Location	Unit Price	Ext. Price
100	1	AA-AA	None Assigned	\$1,215.71	\$1,215.71

RO Size = 59 7/8" x 52 7/8"

Unit Size = 59 3/8" x 52 7/8"

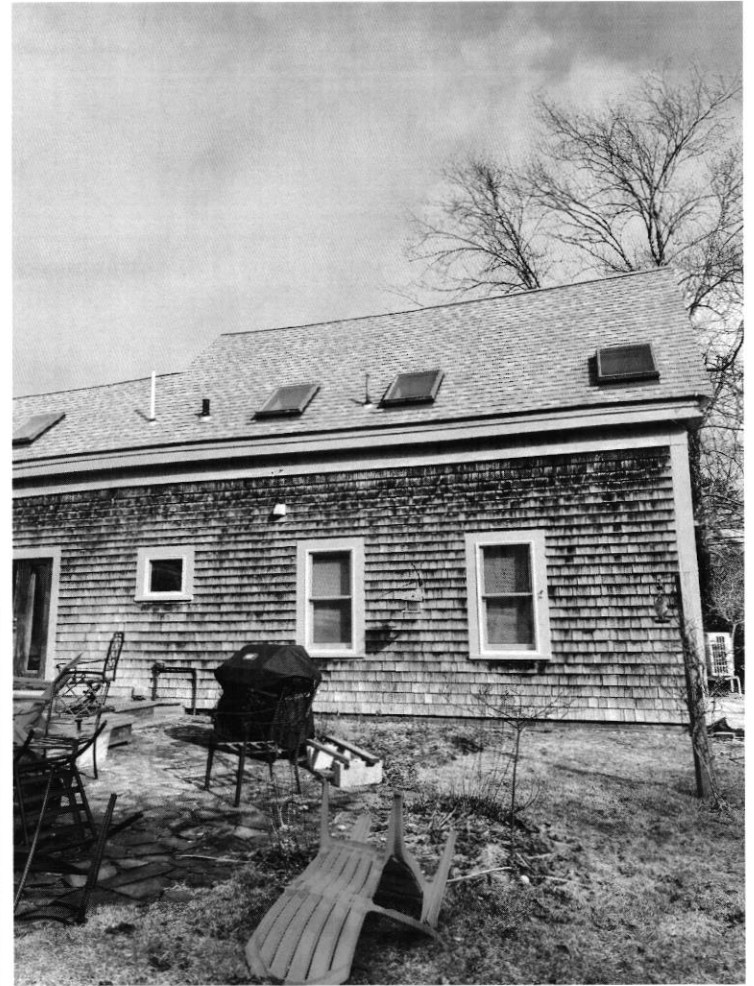
Mull: Factory Mull, Andersen Ribbon Mull, 1/8 Non Reinforced Material
 TW2442-2, Unit, 400 Series Double-Hung, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White (Factory Applied), WhiteJamb Liner, White, Full Screen, Aluminum

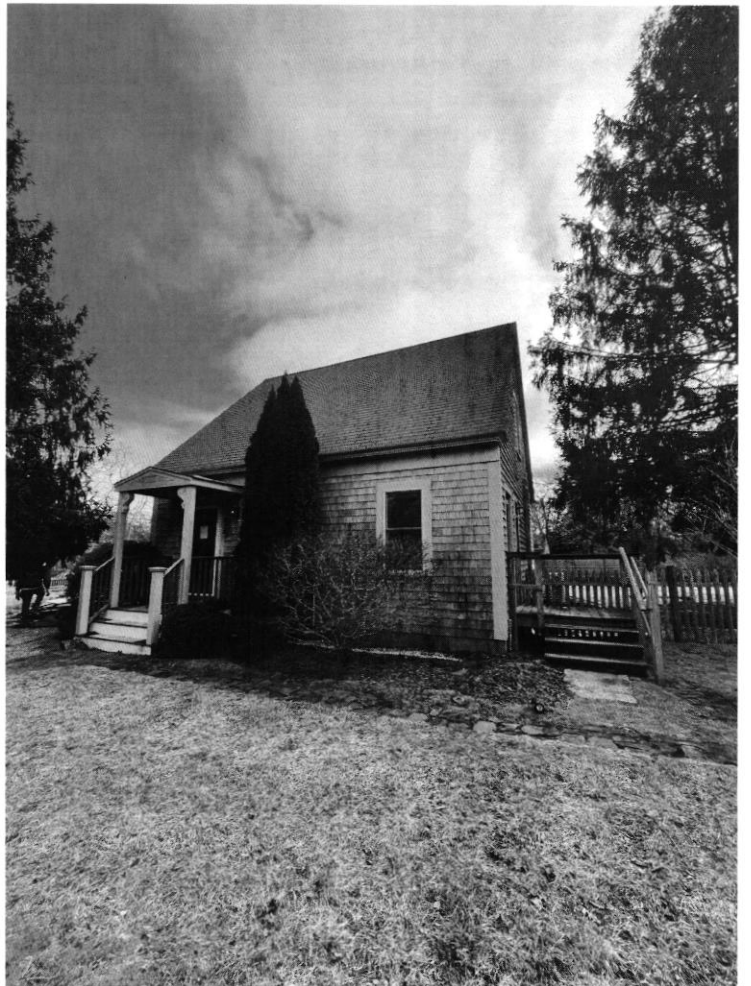
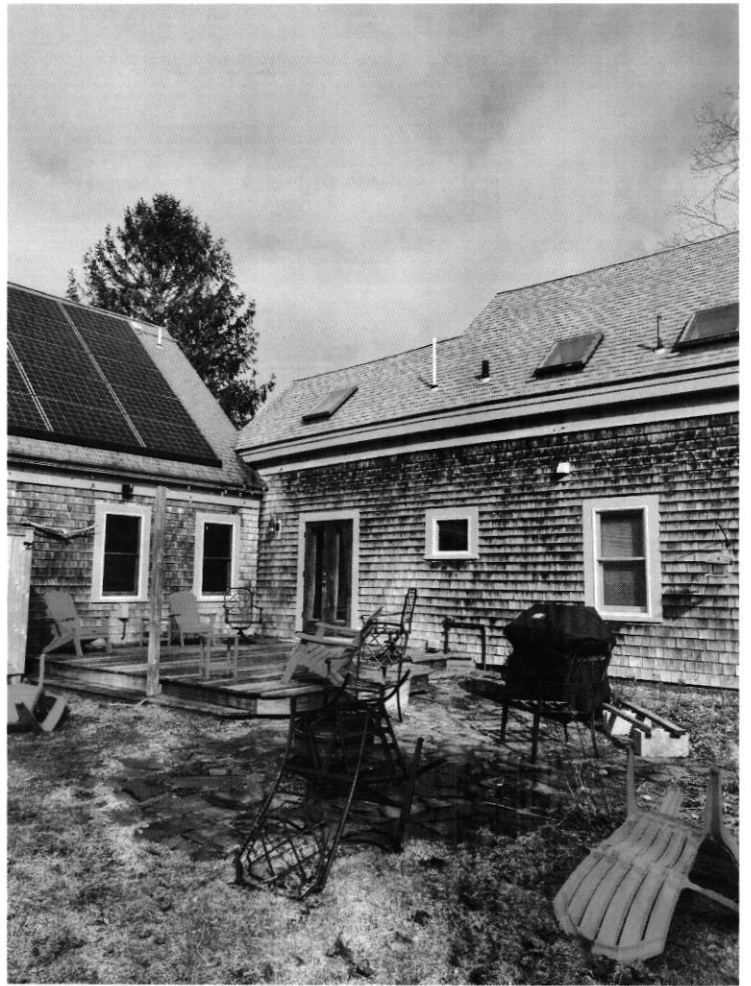
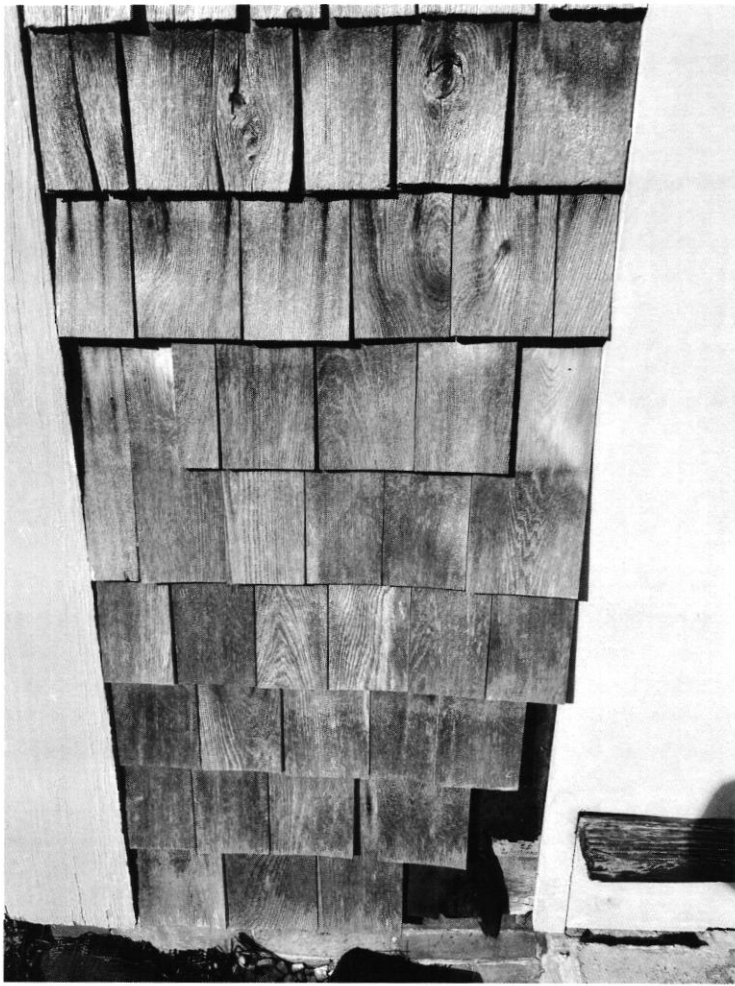
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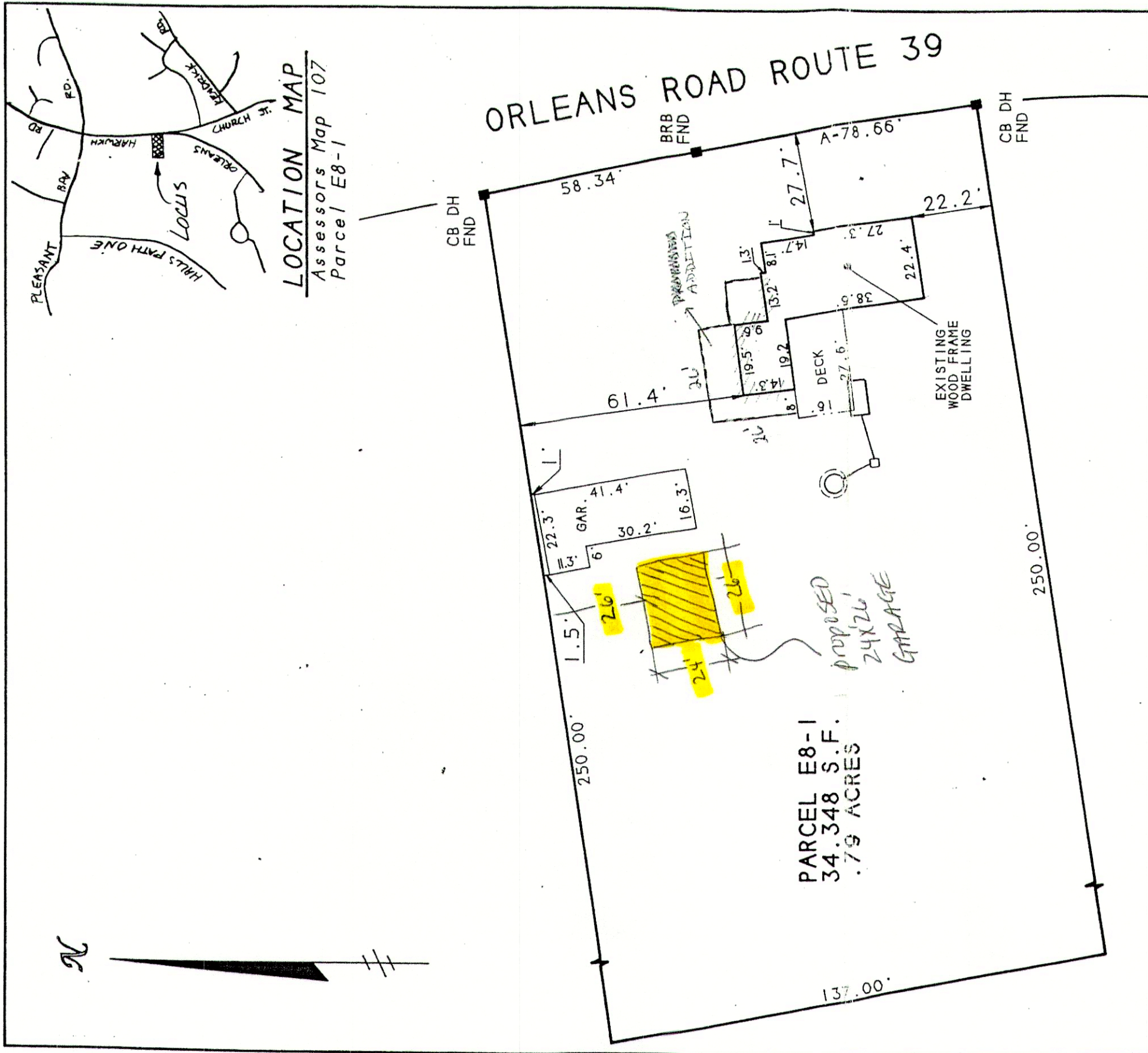
Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.3	0.31	NO	A1	25.8750	21.7500	3.92000
B1	0.3	0.31		B1	25.8750	21.7500	3.92000







FILE COPY



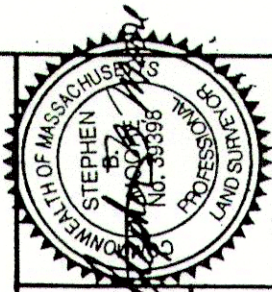
PROPERTY ADDRESS: 1626 ORLEANS ROAD

MORAN ENGINEERING, INC.

941 MAIN STREET, SO. HARWICH, MA 02661
432-2878

CERTIFIED PLOT PLAN IN HARICH, MA

I certify that the building on this lot is located as shown above and is not located within a high flood hazard area.



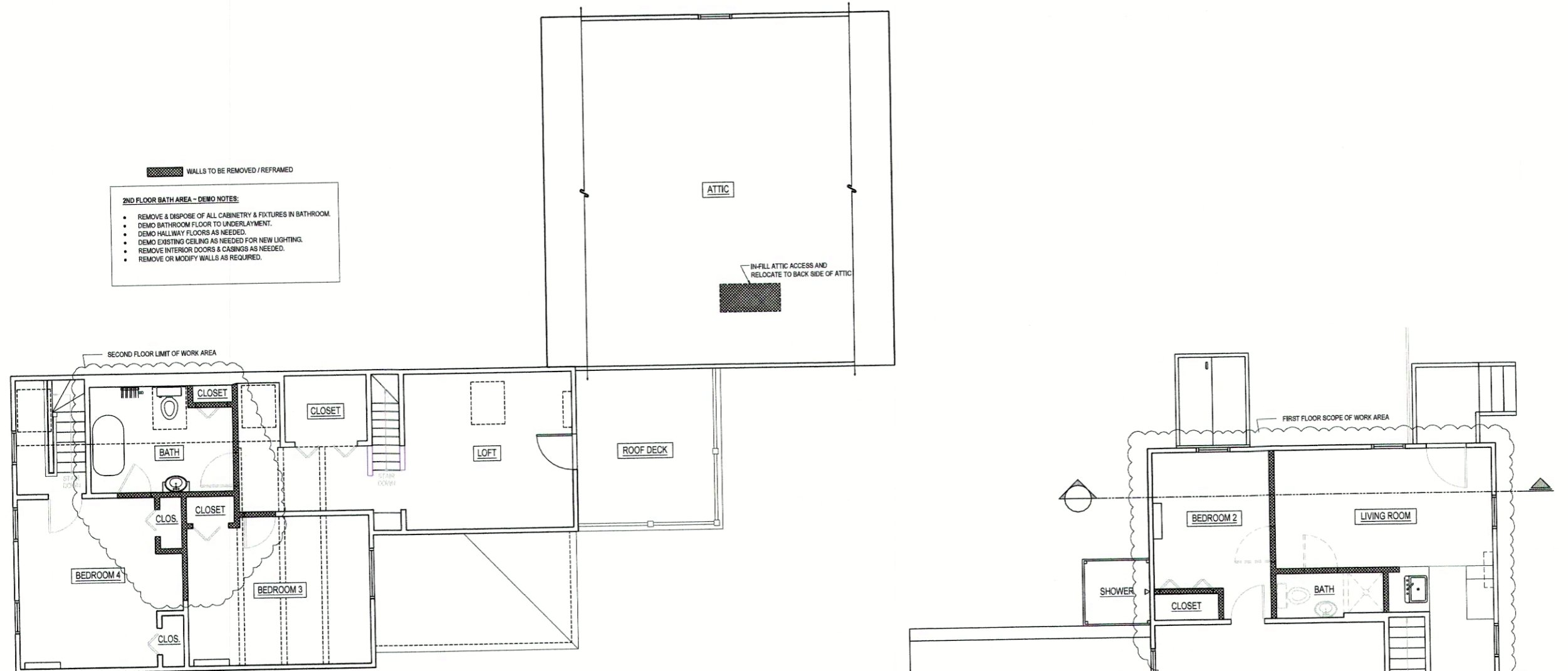
PROJECT: 02-292 SCALE: 1" = 30' DATE: 11/20/02

LIST OF DRAWINGS

- D-1.1 FIRST & SECOND FLOOR SELECTIVE DEMOLITION PLAN
- A-1.1 FIRST & SECOND FLOOR PROPOSED PLANS
- A-2.1 SECTIONS AND EXTERIOR ELEVATIONS
- A-7.1 INTERIOR ELEVATIONS AND ENLARGED PLANS

2ND FLOOR BATH AREA - DEMO NOTES:

- REMOVE & DISPOSE OF ALL CABINETRY & FIXTURES IN BATHROOM.
- DEMO BATHROOM FLOOR TO UNDERLAYMENT.
- DEMO HALLWAY FLOORS AS NEEDED.
- DEMO EXISTING CEILING AS NEEDED FOR NEW LIGHTING.
- REMOVE INTERIOR DOORS & CASINGS AS NEEDED.
- REMOVE OR MODIFY WALLS AS REQUIRED.



SECOND FLOOR PLAN ~ EXISTING / DEMO
Scale: 1/4"=1'-0"

FIRST FLOOR PLAN ~ EXISTING / DEMO
Scale: 1/4"=1'-0"

1ST FLOOR BATH / LIVING ROOM AREA - DEMO NOTES:

- REMOVE & DISPOSE OF ALL CABINETRY & FIXTURES IN BATHROOM AND LIVING ROOM AREAS.
- DEMO BATHROOM FLOOR TO UNDERLAYMENT.
- DEMO HALLWAY FLOORS AS NEEDED.
- DEMO EXISTING CEILING AS NEEDED FOR NEW LIGHTING.
- REMOVE INTERIOR DOORS & CASINGS (4) LOCATIONS.
- REMOVE OR MODIFY WALLS AS REQUIRED.
- REMOVE EXISTING ATTIC HATCH, REINSTALL NEW HATCH IN NEW LOCATION
- X
- X



PERMIT SET
12/28/2023

NOTE:
ALL DIMENSIONS SUBJECT TO FIELD VERIFICATION

1ST & 2ND FLOOR DEMO PLAN

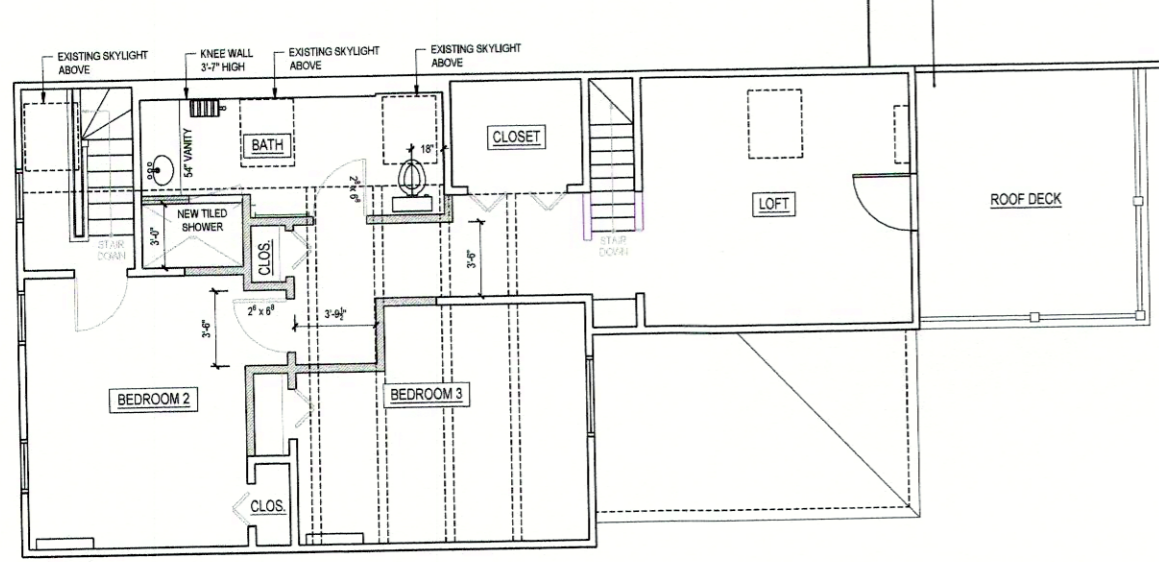
REVISIONS	
NO.	DESCRIPTION / DATE

FILE: 1626OrleansRd-REC-PermSet.dwg

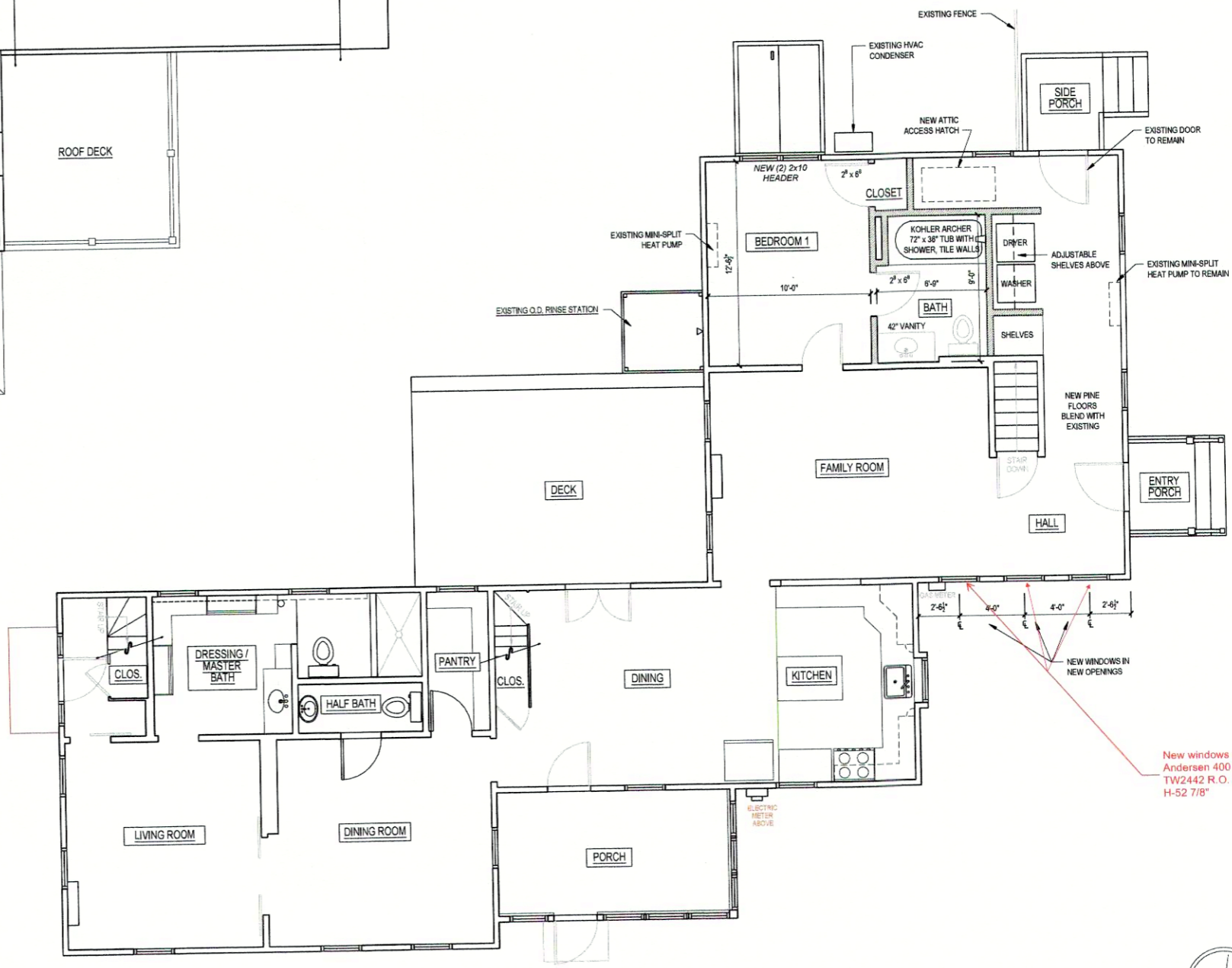
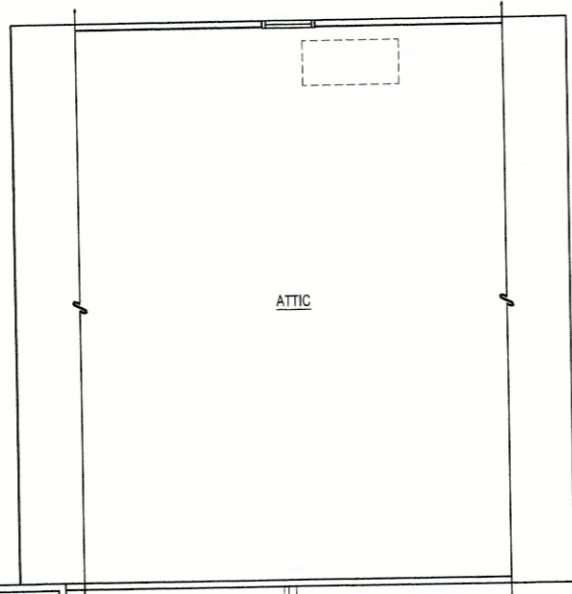
DRAWN BY: J. GALLANT	D 1.1
DWG. BY: J. ESTEVEZ	
SCALE: AS NOTED	
DATE: 12/27/23	

LIST OF DRAWINGS

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SECOND FLOOR PLAN ~ NEW PROPOSED
Scale: 1/4"=1'-0"



FIRST FLOOR PLAN ~ NEW PROPOSED
Scale: 1/4"=1'-0"

New windows to be Andersen 400 series TW2442 R.O. W-30 1/8" H-52 7/8"



PERMIT SET
12/28/2023

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1ST & 2ND FLOOR PROPOSED PLANS

REVISIONS	
NO.	DESCRIPTION

FILE: 1626OrleansRd-REC-PermitSet.dwg

DRAWN BY: J. GALLANT	A 1.1
DRAWN BY: J. STEINACH	
SCALE: AS NOTED	
DATE: 12/27/23	



GALLANT ARCHITECTURE

Jay Gallant, AIA, LEED AP

ESTEVEZ RESIDENCE
INTERIOR RENOVATIONS
1626 ORLEANS ROAD
HARWICH, MA

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PERMIT SET
12/28/2023

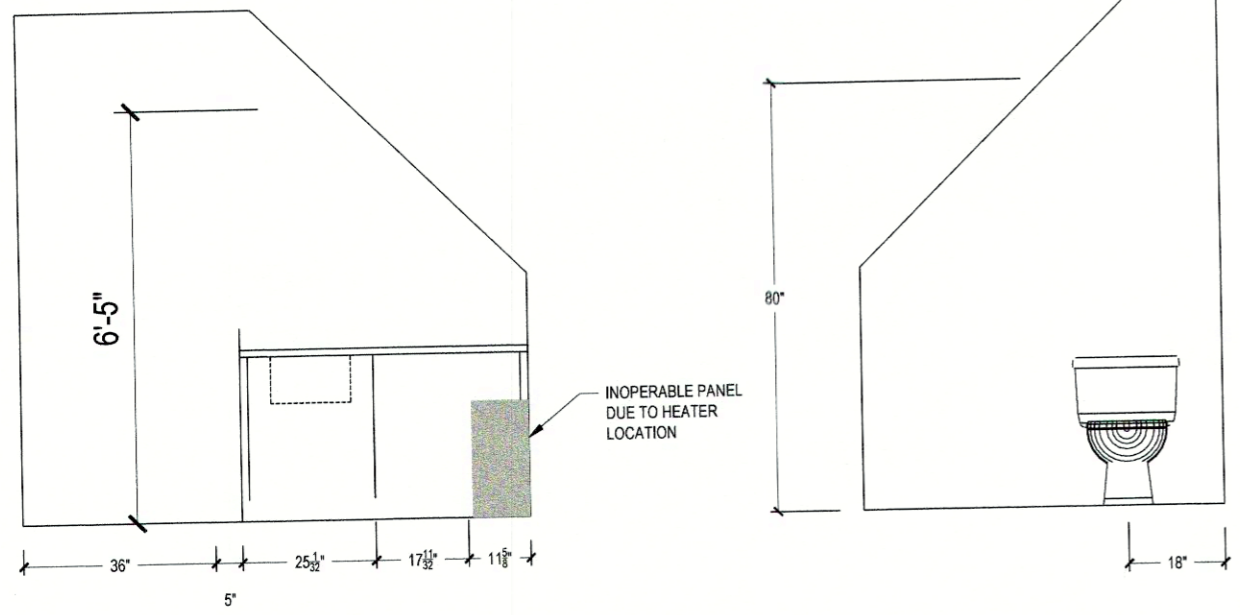
NOTE:
ALL DIMENSIONS SUBJECT TO FIELD VERIFICATION

INTERIOR ELEVATIONS AND DETAILS

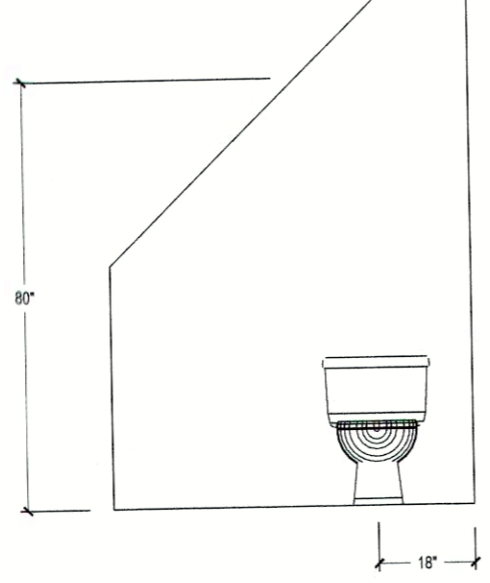
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NO.	DESCRIPTION

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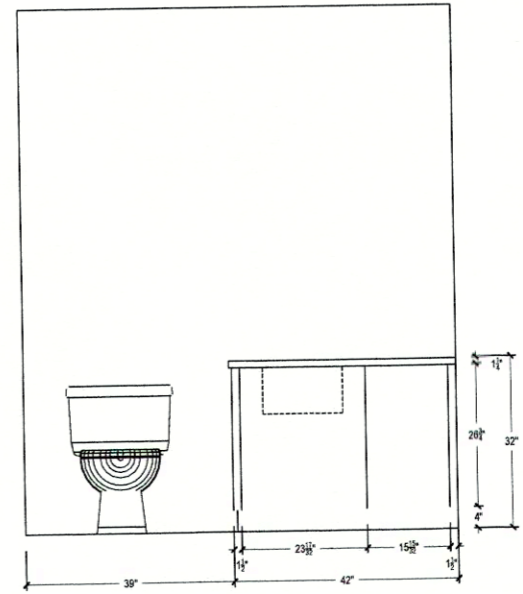
DRAWN BY: J. GALLANT	A 7.1
DRAWN BY: J. BEECHER	
SCALE: AS NOTED	
DATE: 12/27/23	



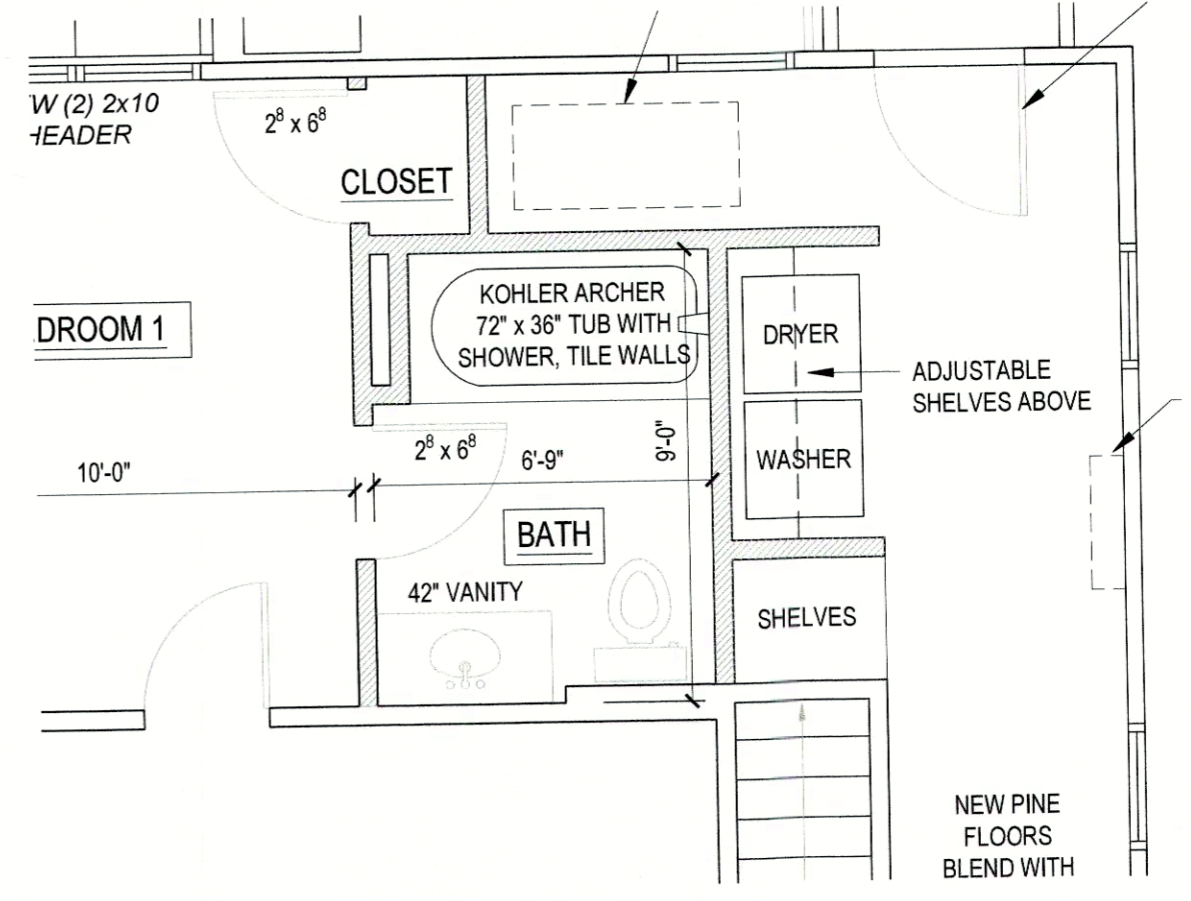
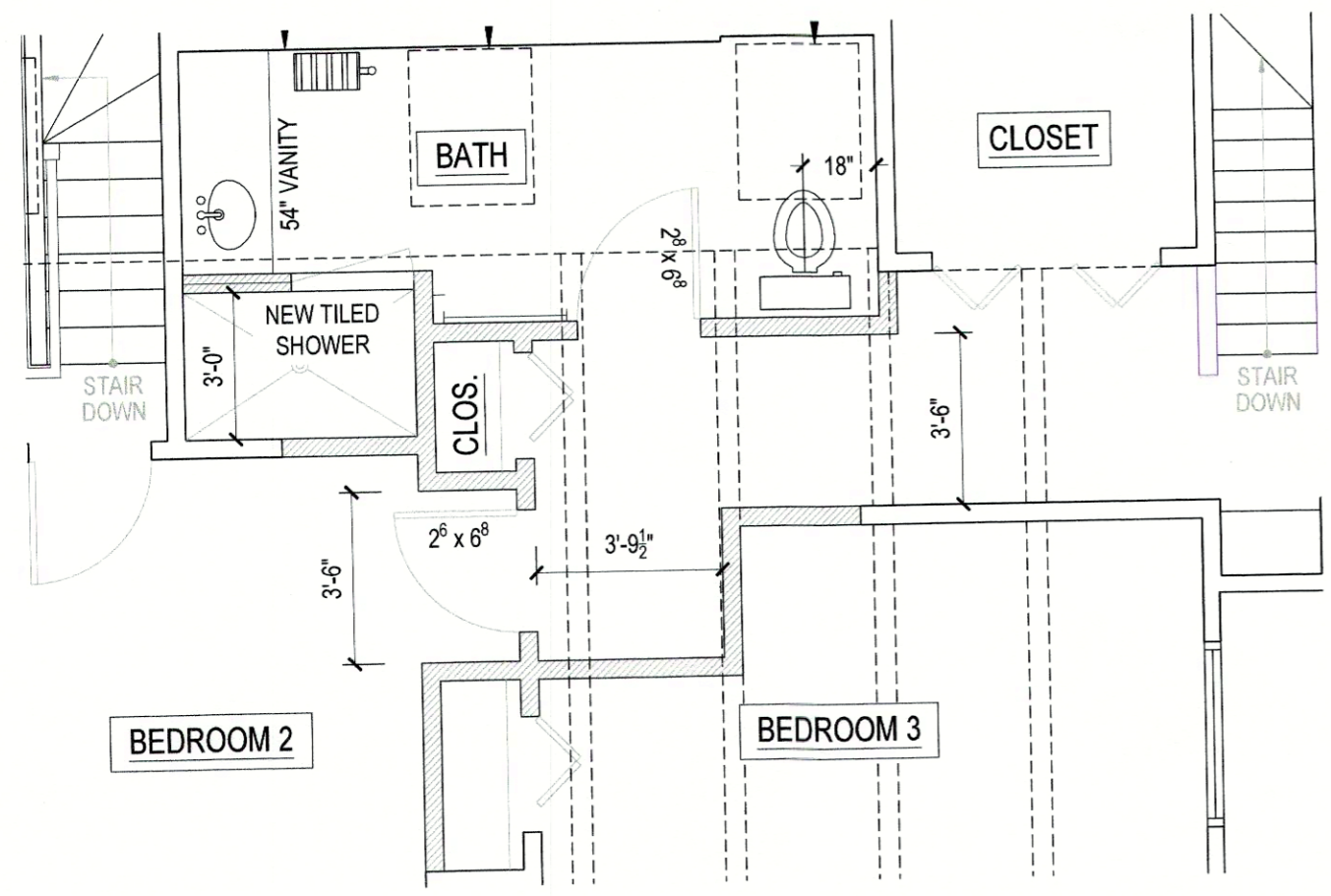
2nd FLOOR SHARED BATH
Scale: 3/4"=1'-0" VANITY ELEVATION



2nd FLOOR SHARED BATH
Scale: 3/4"=1'-0" TOILET AREA ELEVATION



1ST FLOOR GUEST BATH
Scale: 3/4"=1'-0" VANITY ELEVATION

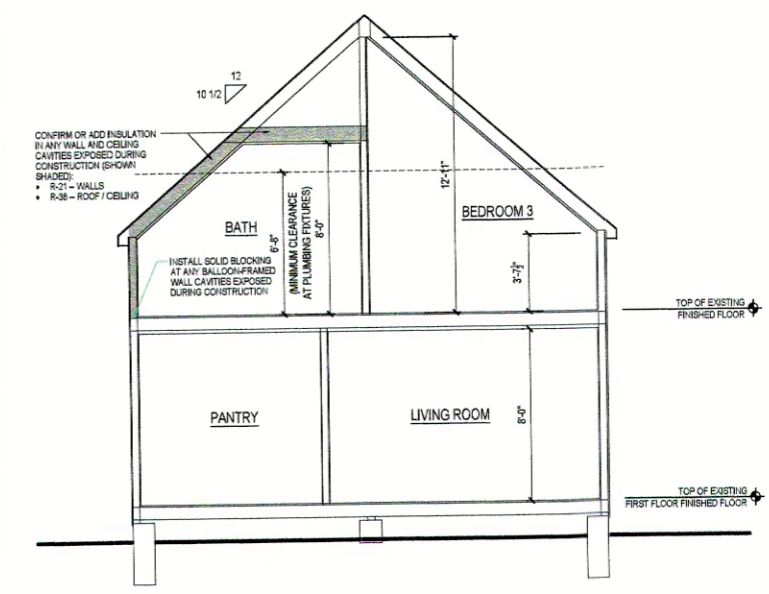


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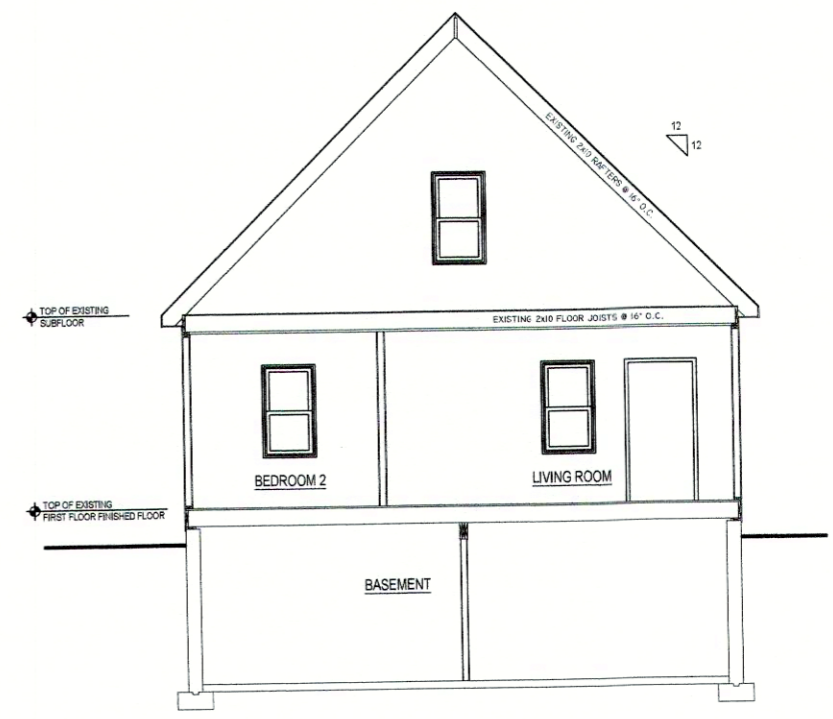
1 EAST ELEVATION
 Scale: 1/4"=1'-0"



A BUILDING SECTION
 Scale: 1/4"=1'-0"



2 NORTH ELEVATION
 Scale: 1/4"=1'-0"

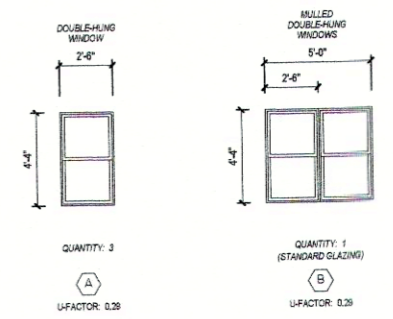


B BUILDING SECTION
 Scale: 1/4"=1'-0"



3 WEST ELEVATION
 Scale: 1/4"=1'-0"

Windows will be Andersen 400 series
 Double hung units - TW2442 R.O. W-30 1/8" H-52 7/8"
 Mullied double hung unit - (2) TW2442 mullied R.O. W-59 7/8" H-52 7/8"



PERMIT SET
 12/28/2023

NOTE:
 ALL DIMENSIONS SUBJECT TO FIELD VERIFICATION

SECTIONS & EXTERIOR ELEVATIONS

REVISIONS		
NO.	DESCRIPTION	DATE

FILE: 160804estevres-REC-PermitSet.dwg

DRAWN BY: J. GALLANT	A 2.1
DRAWN BY: J. PELLACCHI	
DATE: 12/27/23	