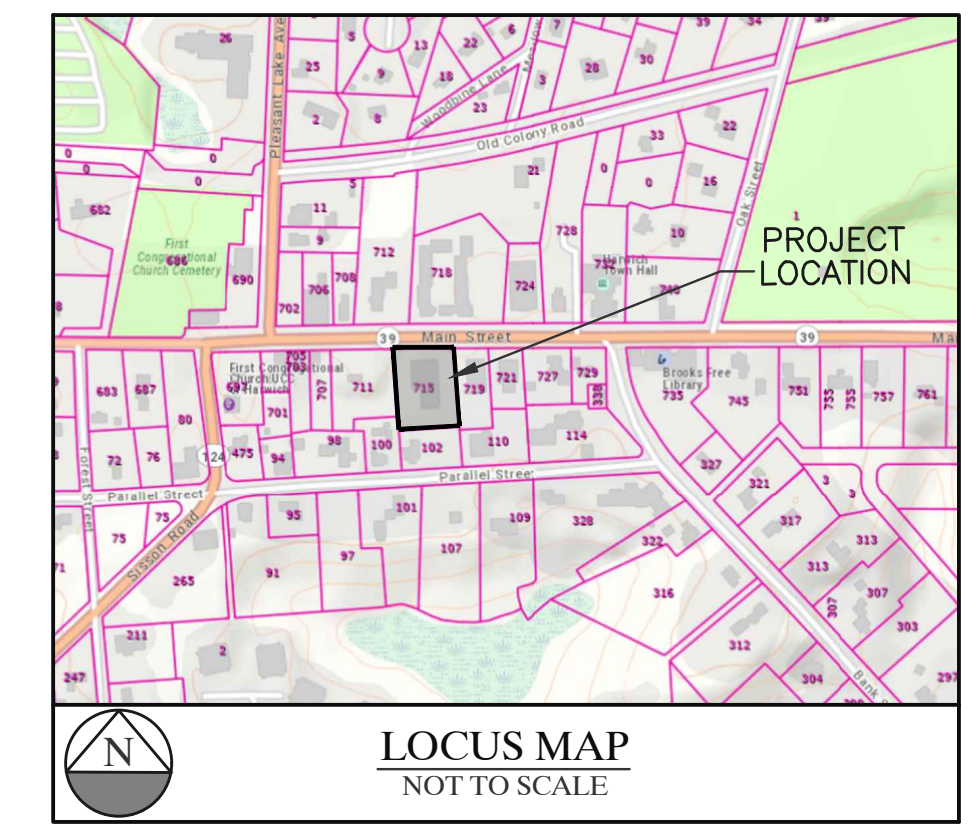


EXISTING CONDITIONS
1"=20' SCALE IN FEET



PROPOSED SITE LAYOUT
1"=20' SCALE IN FEET



LEGEND

SYMBOL	DESCRIPTION
---	EXIST. CONTOUR
---	SETBACK LINE
---	ROOF LINE
---	PROPERTY LINE
---	SOCK BALES
---	EDGE OF TREES/WOODED AREA
---	EXIST. SEWER LINE
---	PROP. SEWER LINE
---	EXIST. WATER LINE
---	PROP. WATER LINE
---	EXIST. TELEPHONE LINE
---	PROP. TELEPHONE LINE
---	EXIST. DRAINAGE LINE
---	PROP. DRAINAGE LINE
---	EXIST. OVERHEAD WIRE
---	PROP. OVERHEAD WIRE
---	EXIST. CATCH BASIN
---	EXIST. ELECTRIC MANHOLE
---	EXIST. SEWER MANHOLE
---	PROP. UTILITY POLE
---	EXIST. LIGHT POLE
---	PROP. LIGHT POLE
---	EXIST. EDGE OF PAVEMENT
---	PROP. EDGE OF PAVEMENT
---	EXIST. VERTICAL GRANITE CURB
---	PROP. VERTICAL CONCRETE CURB
---	PROP. PYLON SIGN
---	PROP. SIGN
---	EXIST. GATE
---	MA HIGHWAY BOUND
---	NUMBER OF PARKING SPACES
---	EXIST. LANDSCAPE AREAS
---	PROP. LANDSCAPE AREAS

INDEX OF DRAWINGS

SHEET	DESCRIPTION
1.	EXISTING & PROPOSED SITE LAYOUT
2.	SITE DETAILS
3.	EXISTING 1st FLOOR LAYOUT
4.	EXISTING 2nd FLOOR LAYOUT
5.	EXISTING FRONT & REAR BUILDING ELEVATIONS
6.	EXISTING RIGHT & LEFT SIDE BUILDING ELEVATIONS
7.	PROPOSED 2nd FLOOR LAYOUT
8.	PROPOSED FRONT & REAR BUILDING ELEVATIONS
9.	PROPOSED RIGHT & LEFT SIDE BUILDING ELEVATIONS
10.	ARCHITECTURAL RENDERINGS

PARKING DATA

RETAIL (MAIN STREET LIQUORS, LOVELY NAILS & VACANT RETAIL SPACE): ONE (1) SPACE PER ONE HUNDRED FIFTY (150) SQUARE FEET OF FLOOR AREA DEDICATED TO CUSTOMER USE OR DISPLAY, BUT NOT LESS THAN 70% OF THE TOTAL AREA.	
70% TOTAL AREA = 0.7 X 4,940 S.F./150 S.F. = 23 SPACES	
MULTI FAMILY OR MIXED USE DEVELOPMENT: 1.5 SPACES PER UNIT (2 UNITS) X (1.5 SPACES)	= 3 SPACES
TOTAL PARKING REQUIRED	= 26 SPACES
PROVIDED: TOTAL PARKING PROVIDED	= 27 SPACES



PROPOSED LEFT SIDE SITE PROFILE
NOT TO SCALE

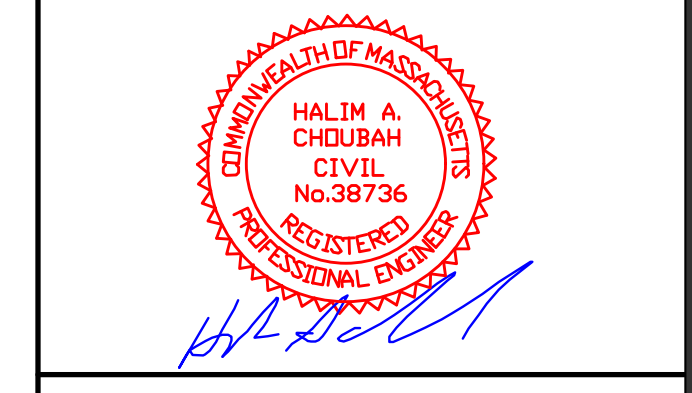
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PROPOSED SECOND FLOOR APARTMENTS AT 715 MAIN STREET, HARWICH, MA

Prepared For:
**PB HOLDINGS, LLC
715 MAIN STREET,
HARWICH, MA**

SITE DATA :
ADDRESS: 715 MAIN STREET,
HARWICH, MA 02645
OWNER: PB HOLDINGS, LLC
ASSESSORS MAP 41 LOT D7-1
ZONING DISTRICT: COMMERCIAL VILLAGE
AREA: 11,984 Sq.Ft. (0.28 Acre)
EXISTING USE: LIQUOR STORE
WITH TWO RETAIL SPACES
PROPOSED USE: LIQUOR STORE
WITH TWO RETAIL SPACES &
2 RESIDENTIAL APARTMENTS



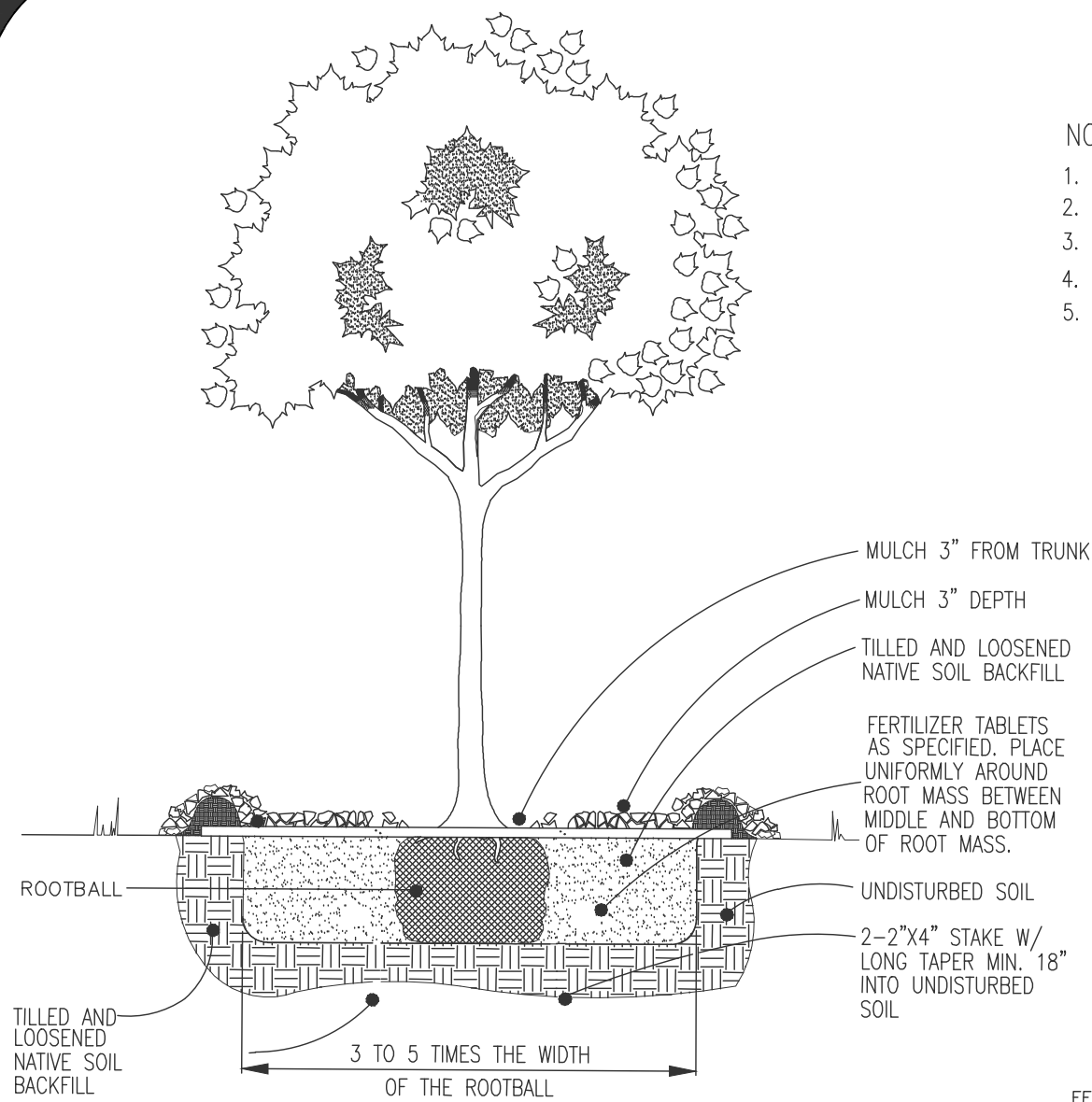
HISTORICAL COMMISSION SET

Issue Date: 03/07/2022
Revisions

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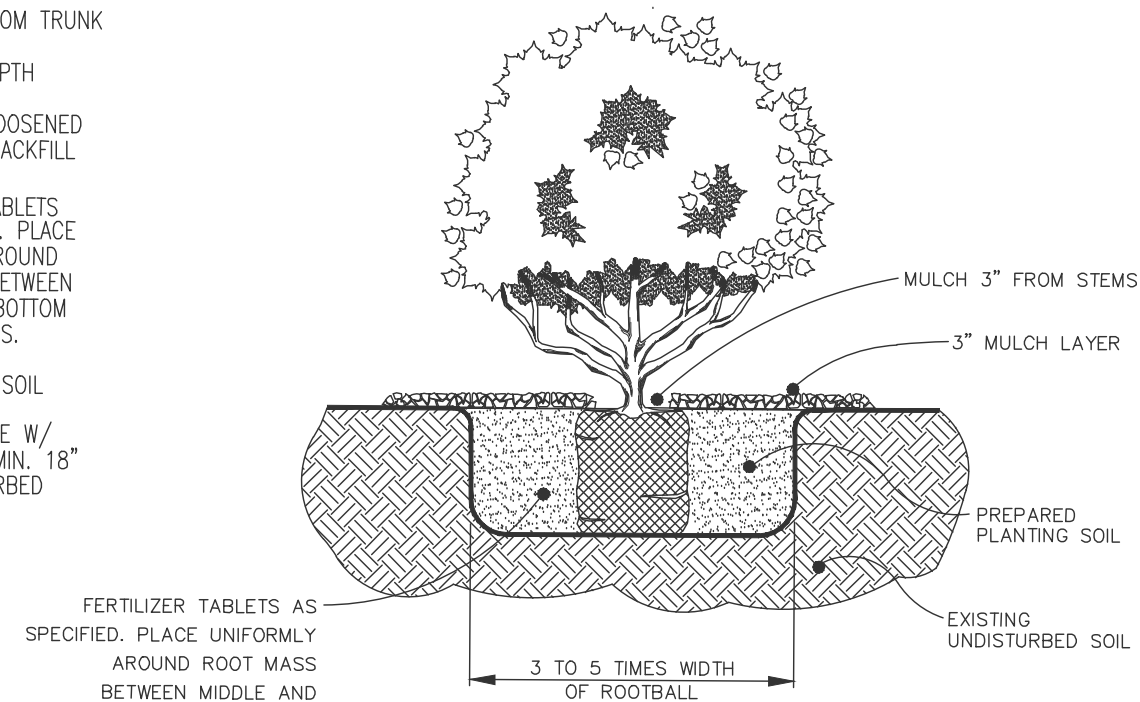
EXISTING CONDITIONS & PROPOSED SITE LAYOUT



TREE PLANTING DETAIL

N.T.S.

- NOTES:
1. REMOVE ALL STRING &/OR WIRE WRAPPED AROUND TRUNK.
 2. REMOVE ALL STRAPS, ROPES, WIRE, &/OR STRINGS USED TO LIFT THE ROOTBALL.
 3. REMOVE ALL BURLAP &/OR WIRE FROM THE TOP OF THE ROOT BALL.
 4. TOP OF ROOTBALL TO BE SET 2" ABOVE FINISH SURROUNDING FINISH GRADE.
 5. REVIEW STAKING OPTIONS WITH LANDSCAPE CONTRACTOR PER SITE CONDITIONS



SHRUB & GROUND COVER PLANTING DETAIL

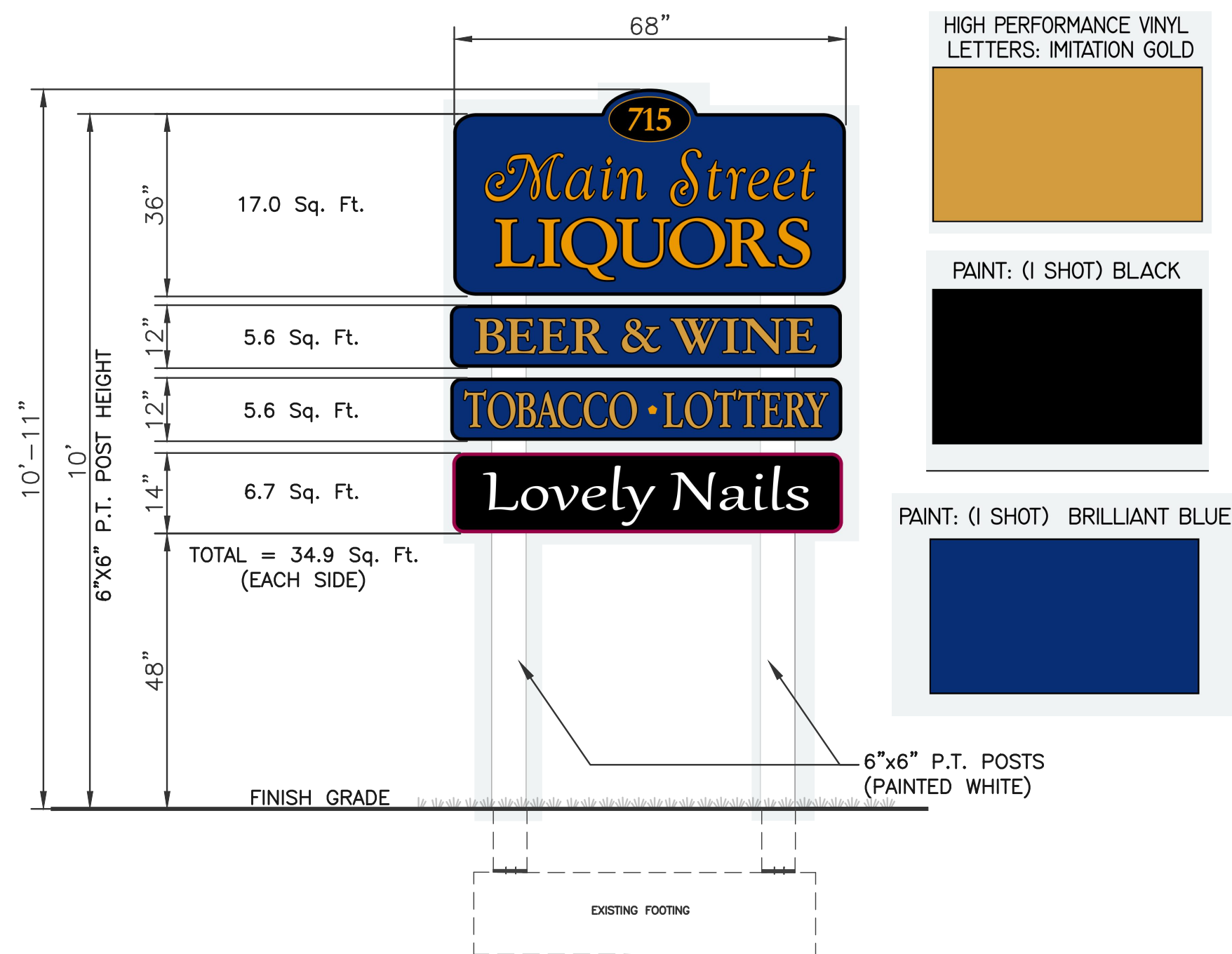
N.T.S.

LAWN SEED MIX:

- RUGBY II LS HYBRID BY NORTHEAST NURSERY, INC.
20% SPYDER LS TURF TYPE TALL FESCUE
20% SCREAMER LS TURF TYPE TALL FESCUE
20% FIRECRACKER LS TURF TYPE TALL FESCUE
15% TITANIUM LS TURF TYPE TALL FESCUE
20% LATERAL SPREAD BLEND PERENNIAL RYEGRASS BLENDS
05% FAHRENHEIT 90 HYBRID BLUEGRASS
REFER TO NURSERY'S REQUIRED SEED RATE

PLANTING NOTES

1. DO NOT SCALE FROM DRAWINGS.
2. CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS TO THE ENGINEER PRIOR TO PLANTING. QUANTITIES REPRESENTED ON THE DRAWING PLANT LABELS SHALL SUPERCEDE THOSE ON THE PLANT LIST.
3. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR APPROVAL BY THE ENGINEER AND/OR OWNER.
4. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN UNLESS OTHERWISE NOTED ON THE PLANT LIST.
5. ALL PLANTS SHALL BE APPROVED BY THE ENGINEER AND/OR OWNER PRIOR TO THEIR INSTALLATION.
6. ANY PLANTS LABELED "SPECIMEN" ON THE PLANT LIST SHALL BE TAGGED AT SOURCE BY THE ENGINEER AND/OR OWNER UNLESS DIRECTED OTHERWISE.
7. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING ABOVE AND BELOW GRADE UTILITIES AND SERVICES AND SHALL PROVIDE APPROPRIATE PROTECTIONS DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE LOCAL UTILITY LOCATION SERVICE PROVIDER PRIOR TO COMMENCING WORK. ANY UTILITIES DAMAGED DURING SITE WORK SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
8. THE CONTRACTOR SHALL POSITION ALL PLANT MATERIAL IN LOCATIONS SHOWN ON THE PLAN FOR REVIEW BY ENGINEER AND/OR OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING THE PLANTS AS NEEDED TO ACCOMMODATE FOR LEDGE AND SHALL CONTACT THE ENGINEER IF PLANTING IS IMPEDED BY LEDGE.
9. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY "THE AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, LATEST EDITION. THE CONTRACTOR SHALL INSTALL PLANTS USING THE METHODS OUTLINED IN THE "RECOMMENDATIONS FOR PLANTING TREES AND SHRUBS"—UMASS EXTENSION FACT SHEET SERIES, MAY 1996, AND COMMONLY ACCEPTED REGIONAL PRACTICE STANDARDS, UNLESS OTHERWISE DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL TILL ALL NEW PLANT PLANTING BEDS FOR SHRUBS AND PERENNIALS TO A DEPTH OF 12" FOR PERENNIALS AND 18" FOR SHRUBS BEFORE PLANTING. IN CONDITIONS WHERE THIS IS NOT ACHIEVABLE BECAUSE OF TREE ROOTS, UTILITIES OR OTHER OBSTACLES, THE PLANTING AREA SHALL BE TURNED OVER BY HAND. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER AND OWNER PRIOR TO BEGINNING SITE WORK TO DETERMINE THE PLANTING SOIL AMENDMENTS REQUIRED — SUCH AS THE ADDITION OF COMPOST AND/OR PEAT MOSS. UNLESS OTHERWISE DIRECTED, THE CONTRACTOR SHALL PROVIDE THE FOLLOWING GENERALLY ACCEPTED SOIL BACKFILL RATIO: 1/3 NATIVE SOIL, 1/3 IMPORTED LOAM, 1/3 COMPOST/ PEAT MOSS. INITIALLY, THE CONTRACTOR SHALL ASSUME THE INCORPORATION OF 1-2 CUBIC YARDS OF COMPOST/PEAT MOSS PER 1000 SQUARE FEET OF PLANT BED. IN ADDITION, THE CONTRACTOR SHALL INCORPORATE A PLANT STARTER FERTILIZER SUCH AS 10-10-10 IN THE PLANTING SOIL MIX.
10. THE CONTRACTOR SHALL REVIEW ANY ADDITIONAL SITE DRAINAGE REQUIREMENTS WITH THE OWNER AND/OR ENGINEER AND COORDINATE POTENTIAL IMPROVEMENTS IN ORDER TO ATTAIN POSITIVE DRAINAGE IN ALL CONDITIONS.
11. THE CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD BARK MULCH, SUCH AS PINE BARK MULCH THAT IS MEDIUM TO DARK BROWN IN COLOR AND FREE OF ANY DEBRIS OR LARGE PIECES OF WOOD. MULCHES WITH DYES WILL NOT BE ACCEPTED. MULCH ALL PLANT BEDS AFTER PLANTING TO THE FOLLOWING "LOOSE MEASURE" DEPTHS:
 - TREES AND SHRUBS — 3"
 - PERENNIAL, GROUND COVER AND ORNAMENTAL GRASS BEDS — 1.5"
12. THE CONTRACTOR IS RESPONSIBLE FOR SEEDING ALL AREAS DISTURBED DURING CONSTRUCTION ACCORDING TO THE PLANTING PLAN OR AS DIRECTED BY THE ENGINEER AND/OR OWNER. GRASS SEED SHALL BE A CAPE COD FESCUE SEED BLEND: 60% TALL FESCUE, 10% BORNITO HARD FESCUE, 10% JAMESTOWN CHEWING FESCUE, 20% PERENNIAL RYE.
13. EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. THERE SHALL BE NO PARKING OR STOCKPILING OF CONSTRUCTION MATERIAL WITHIN THE DRIP LINE OF THE TREES TO REMAIN.
14. THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL UNTIL PROVISIONAL ACCEPTANCE OF THE PROJECT IS ISSUED BY THE ENGINEER. ALL PLANTS SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF ONE (1) FULL YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE. FINAL ACCEPTANCE WILL BE MADE BY THE ENGINEER AND OWNER AT THE END OF THE GUARANTEE PERIOD. ANY PLANTS DEEMED UNACCEPTABLE PRIOR TO THE END OF THE GUARANTEE PERIOD SHALL BE PROMPTLY REPLACED AT THE CONTRACTOR'S EXPENSE. LANDSCAPE CONTRACTOR SHALL REMOVE INVASIVE PLANT MATERIAL PRIOR TO COMMENCEMENT OF PLANTING BED PREPARATION. THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE TOWN OF HARWICH TO VERIFY INVASIVE SPECIES AND METHOD OF REMOVAL.
15. TYP. PLANTING SEASON IS BETWEEN MID-APRIL AND MID-NOVEMBER, BUT EACH YEAR IS DEPENDENT ON CURRENT WEATHER CONDITIONS AND PLANT MATERIAL AVAILABILITY.



PROPOSED PYLON SIGN (TWO SIDED)

NOT TO SCALE



PROPOSED SINGLE SIDED PAINTED WALL MOUNTED SIGN

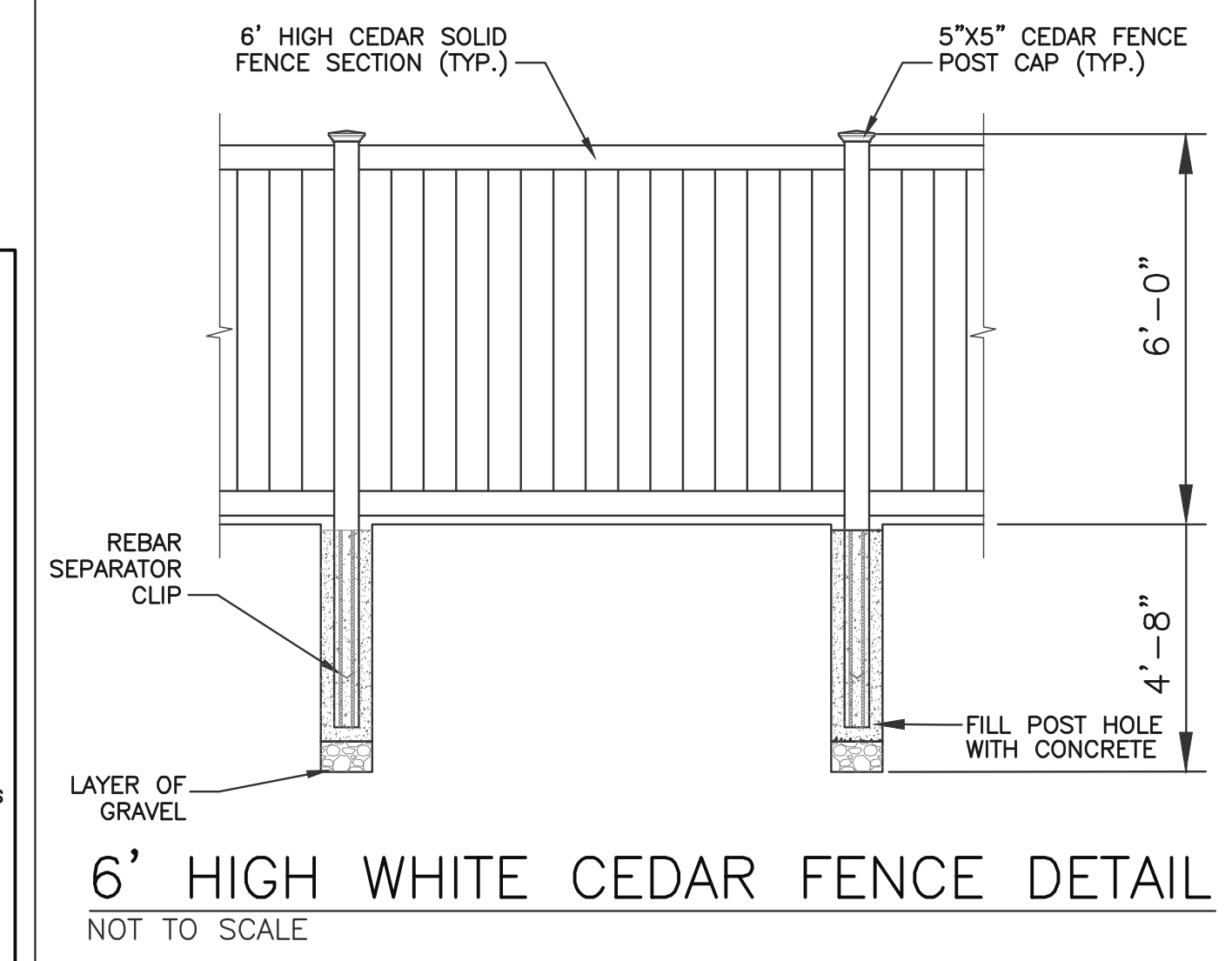
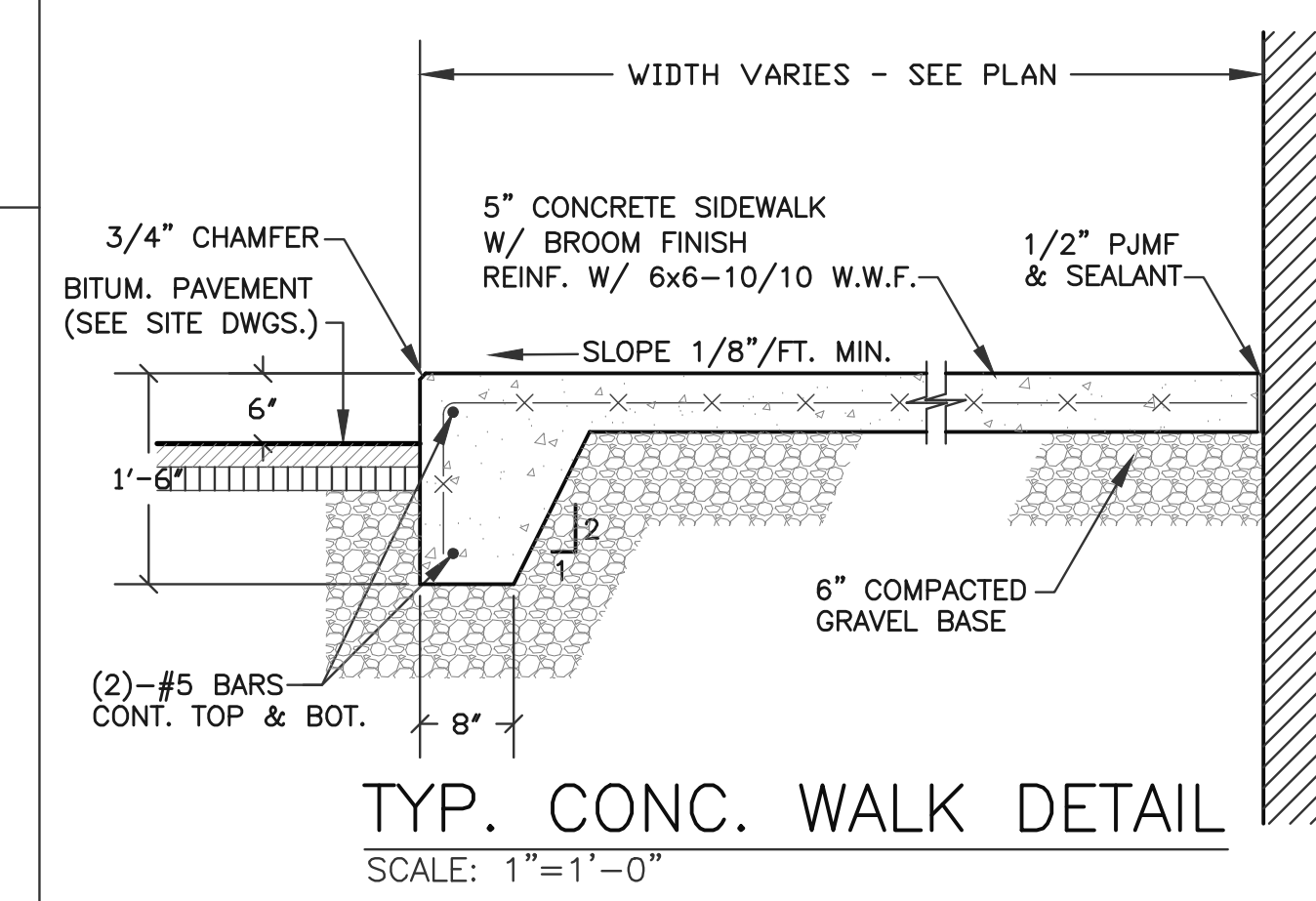
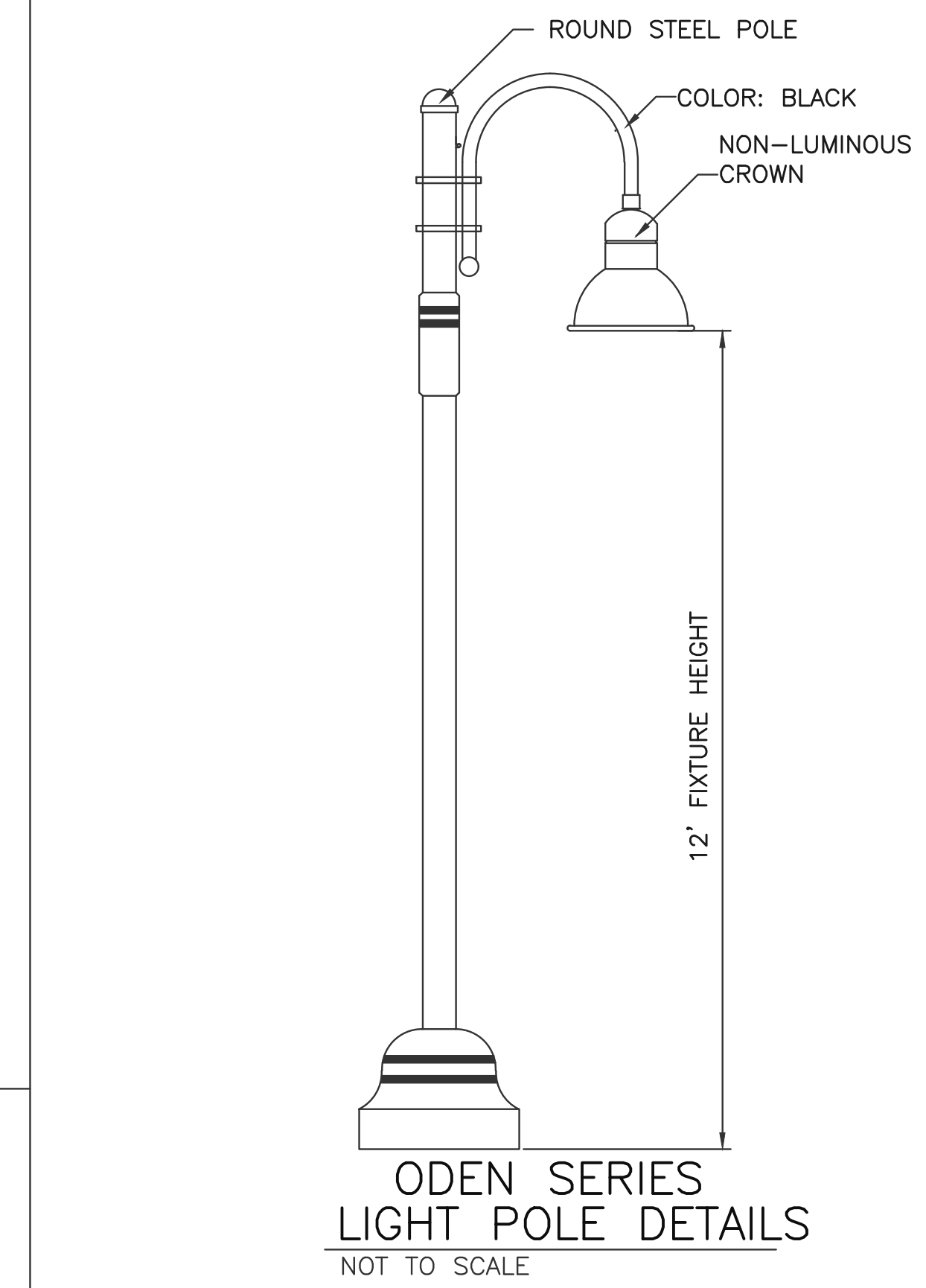
NOT TO SCALE

LANDSCAPE SCHEDULE

TYPE	QTY	SIZE	COMMON NAME	BOTANICAL NAME	PLANTING HT	MATURE HT	MATURE SPREAD	REMARKS
DECIDUOUS TREES								
KD	5	3" CAL.	CORNUS KOUSA	<i>KOUSA DOGWOOD</i>	10'-12'	15'-25'	15'-25'	
SHRUBS								
RV	6	24"	VIRGINIA ROSE	<i>ROSA VIRGINIANA</i>	36"	36"	24"-36"	SPACING 3' O.C.
RI	17	36"	DWARF RHODODENDRON	<i>RHODODENDRON IMPEDITUM</i>	36"	36"	24"-36"	SPACING 2' O.C.
BSS	37	24"	DWARF ENGLISH BOXWOOD	<i>BUXUS SEMPERVIRENS SUFFRUTICOSA</i>	24"	24"-36"	24"-48"	SPACING 2' O.C.
ORNAMENTAL GRASSES								
PV	6	#2	SWITCHGRASS	<i>PINNICUM VIRGATUM</i>	#2	-	-	SPACING 2' O.C.

WARRANTY

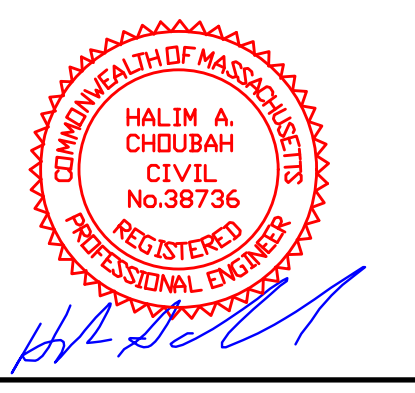
- A. Special Warranty: Warrant the following exterior plants, for the warranty period of one year against defects including death and unsatisfactory growth, except for defects resulting from lack of adequate maintenance, neglect, or abuse by owner, or incidents that are beyond contractor's control.
- B. Warranty period for trees and shrubs: one year from the date of substantial completion.
- C. Remove dead exterior plants immediately. Replace immediately unless required to plant in the succeeding planting season.
- D. Replace exterior plants that are more than 25 percent dead or in an unhealthy condition at the end of the warranty period.
- E. A limit of one replacement of each exterior plant will be required, except for losses or replacements due to failure to comply with requirements.
- MAINTENANCE**
- A. "Trees and Shrubs" Maintain for the following maintenance period by pruning, cultivating, watering, weeding, fertilizing, restoring planting saucers, tightening and repairing stakes and guy supports, and resetting to proper grades or vertical position, as required to establish healthy, viable plantings. Spray as required to keep trees and shrubs free of insects and disease. Restore or replace damaged tree wrappings
- Maintenance Period: 1 year from date of substantial completion.
- B. Ground Cover and Plants: Maintain for the following maintenance period by watering, weeding, fertilizing, and other operations as required to establish healthy, viable planting: Maintenance Period: 1 year from date of substantial completion.



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Project:
PROPOSED SECOND FLOOR APARTMENTS AT 715 MAIN STREET, HARWICH, MA

Prepared For:
PB HOLDINGS, LLC
715 MAIN STREET, HARWICH, MA



HISTORICAL COMMISSION SET

Issue Date: 03/07/2022

Revisions		
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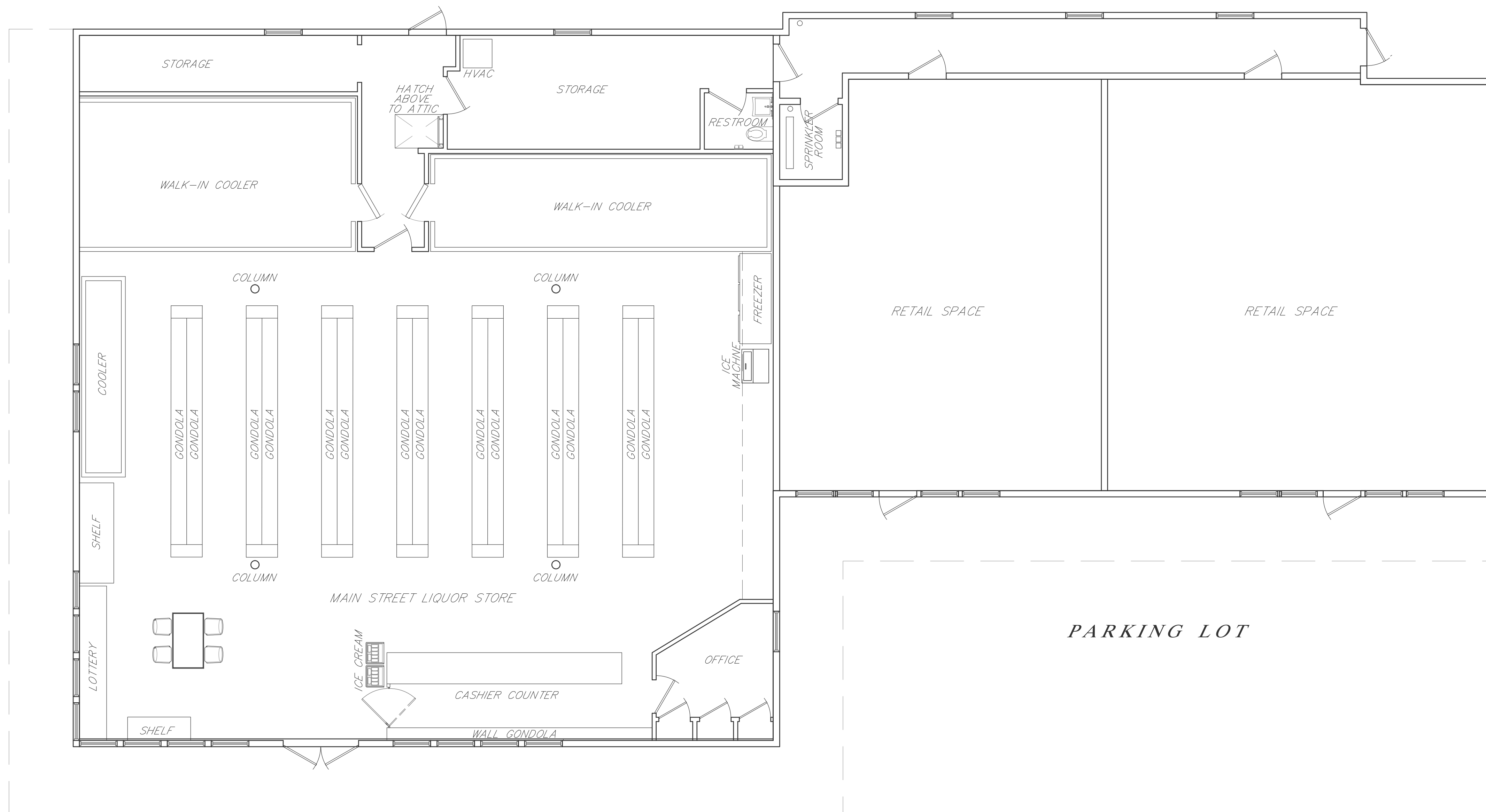
Designed By: CMS

Drawn By: CMS Checked By: HC

Sheet Title:

SITE DETAILS

MAIN STREET



PARKING LOT

ALLEY

PARKING LOT

EXISTING 1st FLOOR LAYOUT
 SCALE: 3/16"=1'-0"

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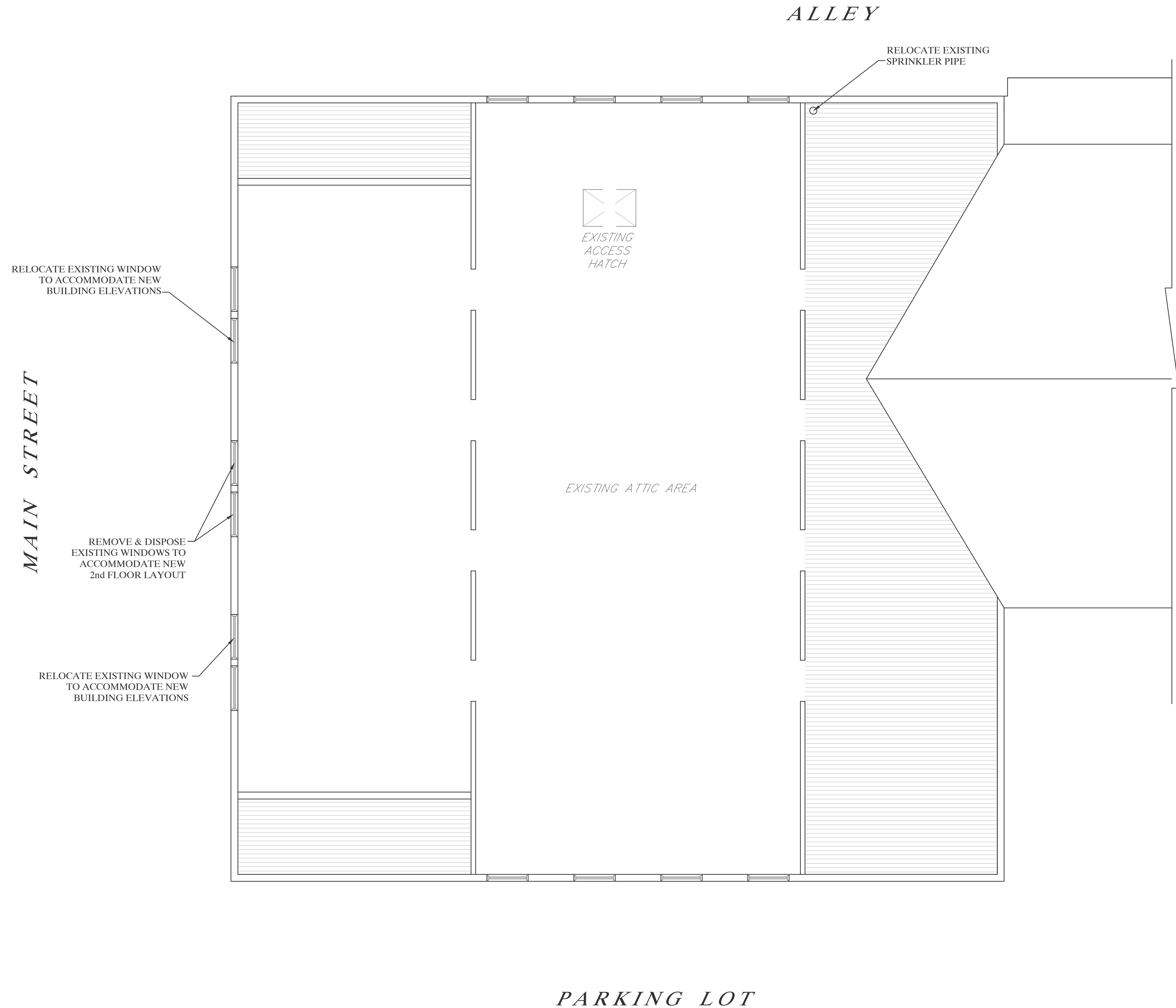
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Sheet Title:

EXISTING 1st FLOOR LAYOUT



EXISTING 2nd FLOOR LAYOUT

SCALE: 3/16"=1'-0"



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EXISTING 2nd FLOOR LAYOUT

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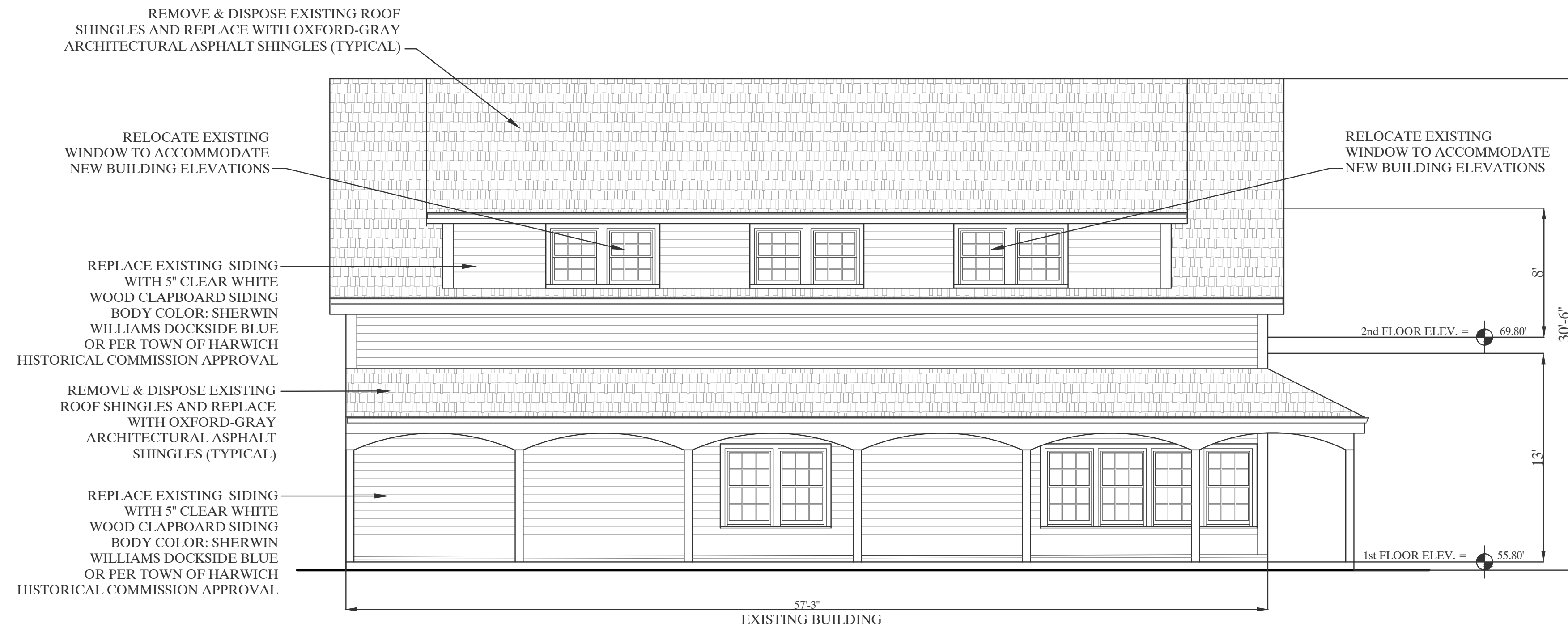
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Sheet Title:

EXISTING FRONT & REAR
 BUILDING ELEVATIONS



EXISTING FRONT ELEVATION (MAIN STREET)
 SCALE: 3/16"=1'-0"



EXISTING REAR ELEVATION
 SCALE: 3/16"=1'-0"

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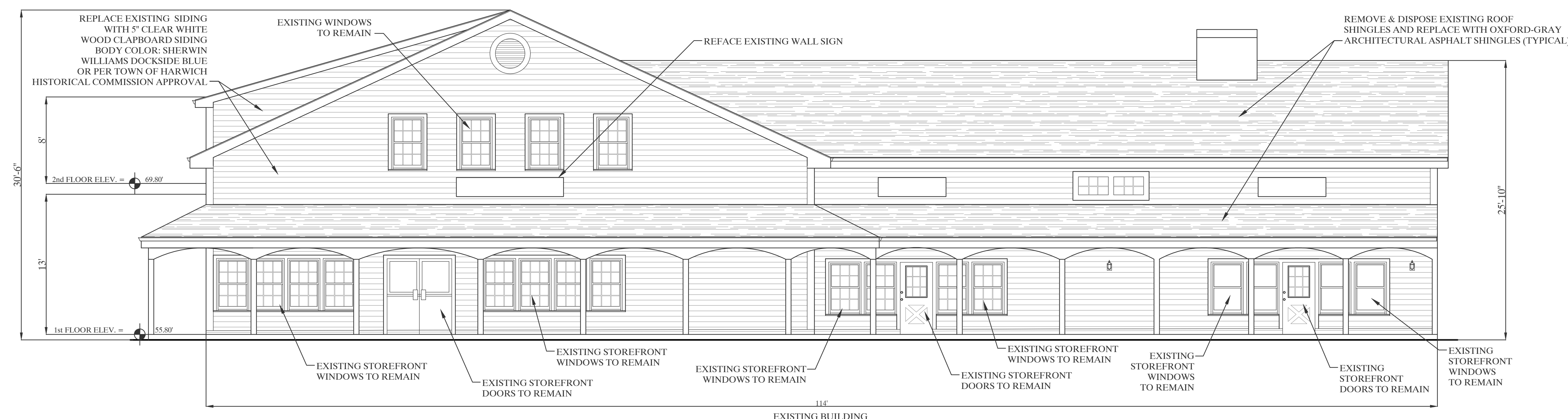
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Sheet Title:

EXISTING RIGHT & LEFT SIDE
 BUILDING ELEVATIONS



EXISTING RIGHT SIDE BUILDING ELEVATION (PARKING LOT)

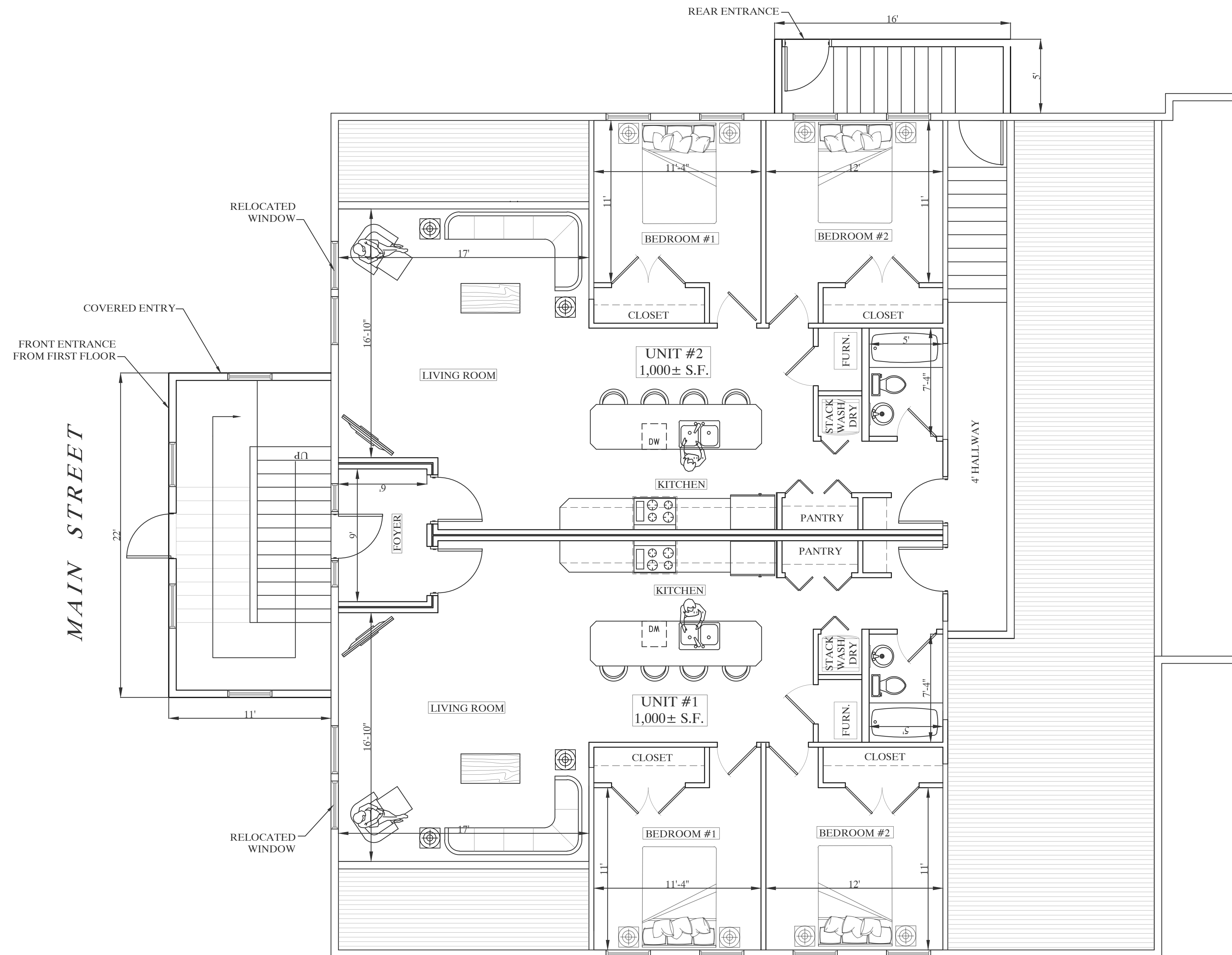
SCALE: 3/16"=1'-0"



EXISTING LEFT SIDE BUILDING ELEVATION (ALLEY)

SCALE: 3/16"=1'-0"

ALLEY



PARKING LOT

PRELIMINARY FLOOR LAYOUT

SCALE: 1/4" = 1'-0"



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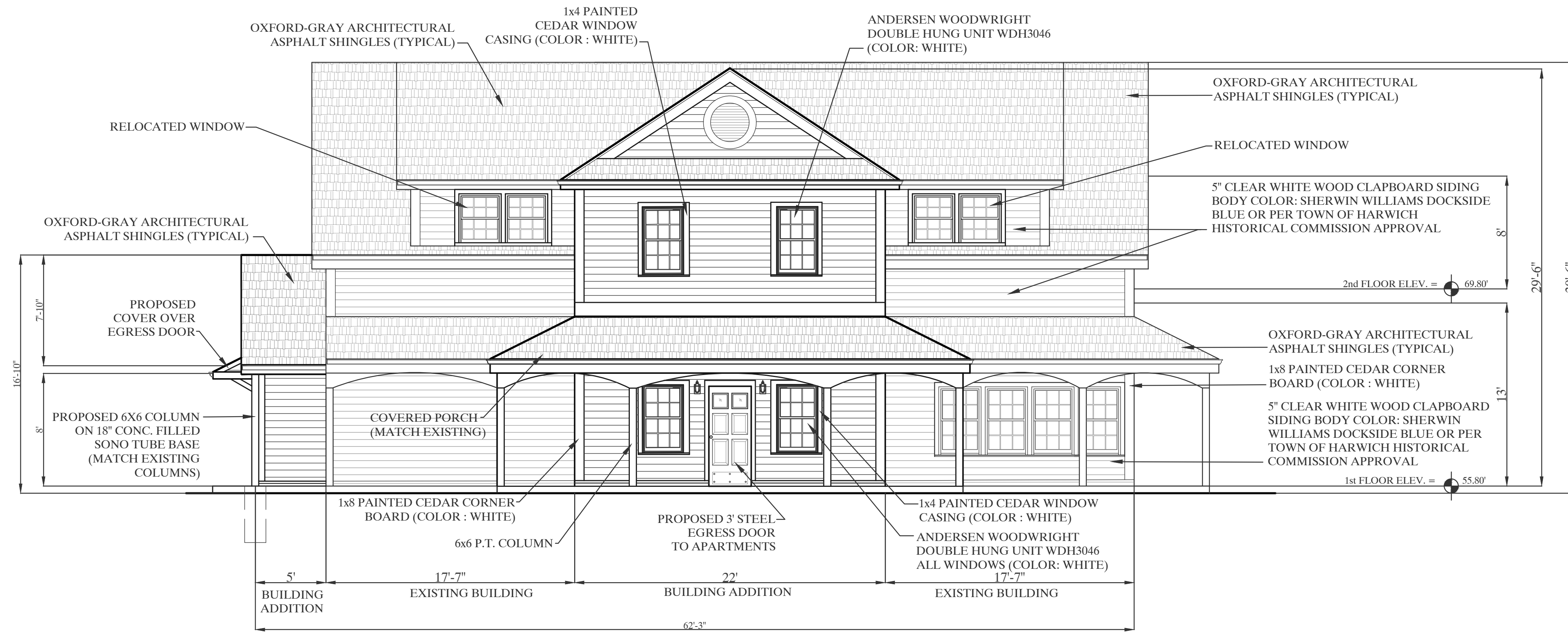
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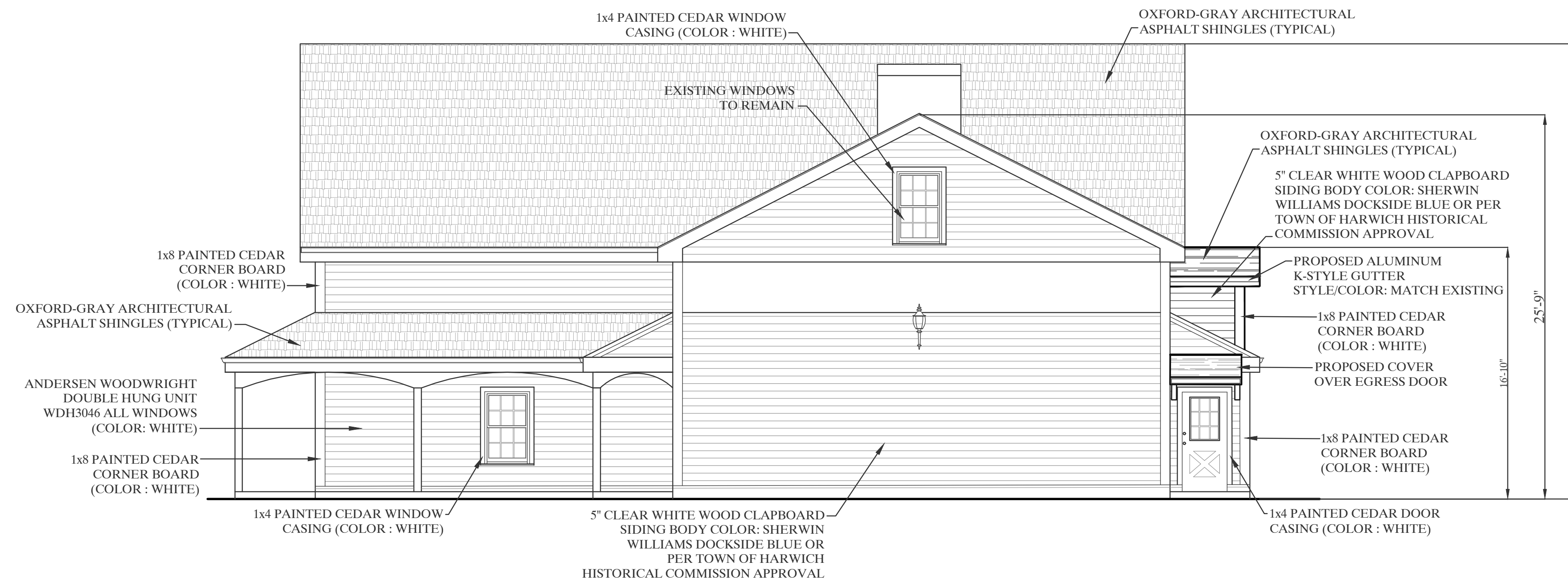
PROPOSED 2nd FLOOR LAYOUT

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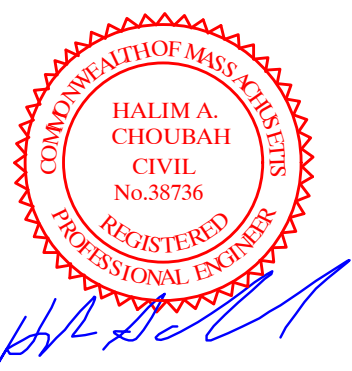
Prepared For:
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PROPOSED FRONT BUILDING ELEVATION (MAIN STREET)
 SCALE: 3/16" = 1'-0"



PROPOSED REAR BUILDING ELEVATION
 SCALE: 3/16" = 1'-0"



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**PROPOSED FRONT & REAR
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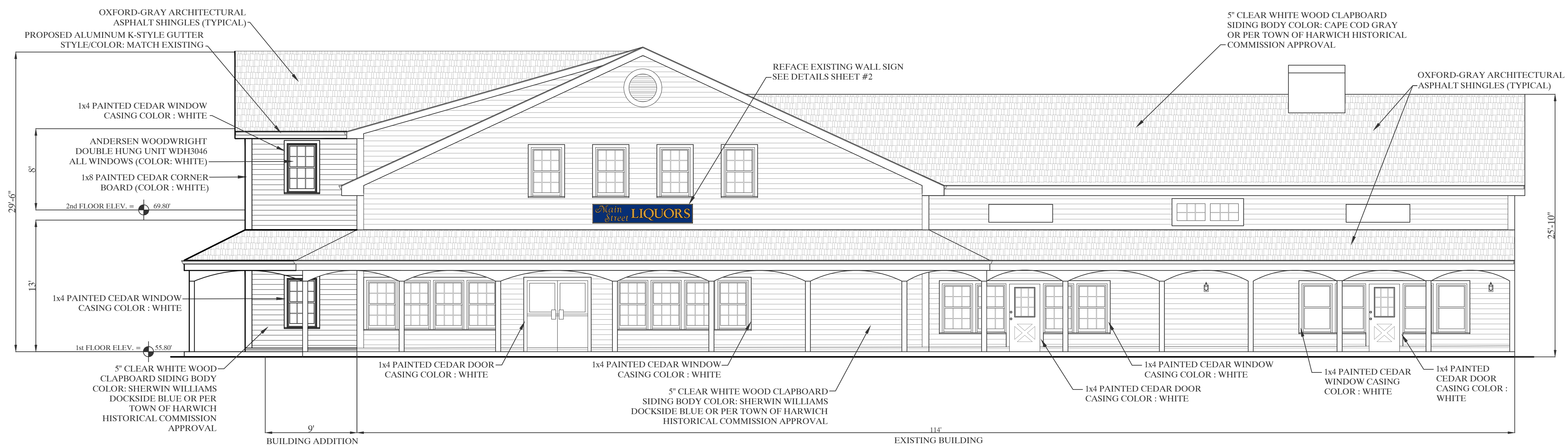
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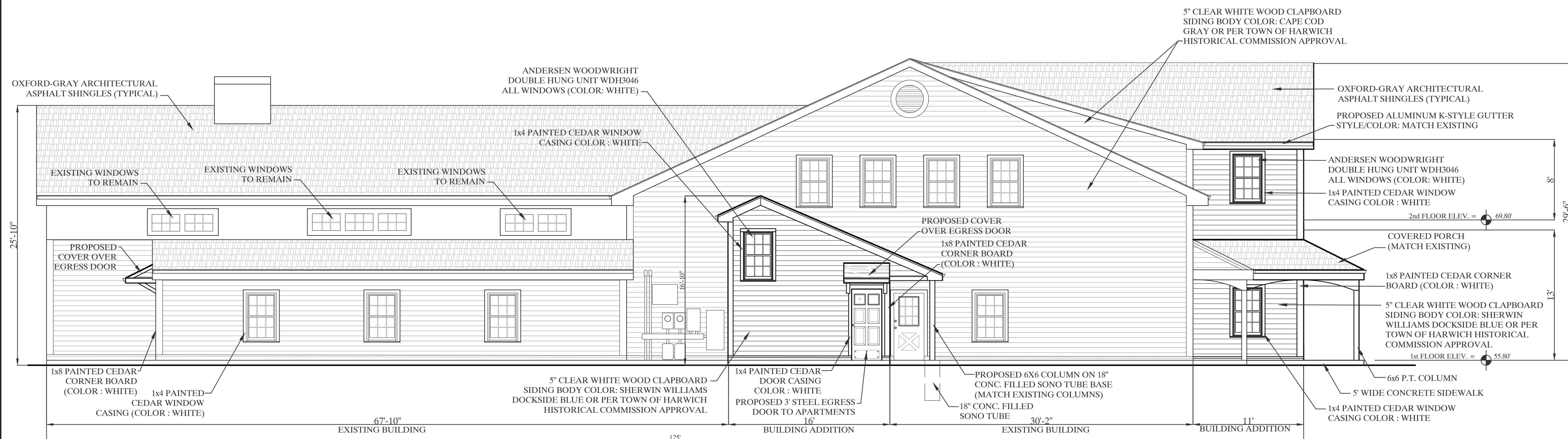
Sheet Title:

**PROPOSED RIGHT & LEFT SIDE
 BUILDING ELEVATIONS**



PROPOSED RIGHT SIDE BUILDING ELEVATION (PARKING LOT)

SCALE: 3/16"=1'-0"



PROPOSED LEFT SIDE BUILDING ELEVATION (ALLEY)

SCALE: 3/16"=1'-0"



PROPOSED FRONT ELEVATION (MAIN STREET)
NOT TO SCALE



PROPOSED LEFT SIDE BUILDING ELEVATION (ALLEY)
NOT TO SCALE



PROPOSED RIGHT SIDE BUILDING ELEVATION (PARKING LOT)
NOT TO SCALE

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