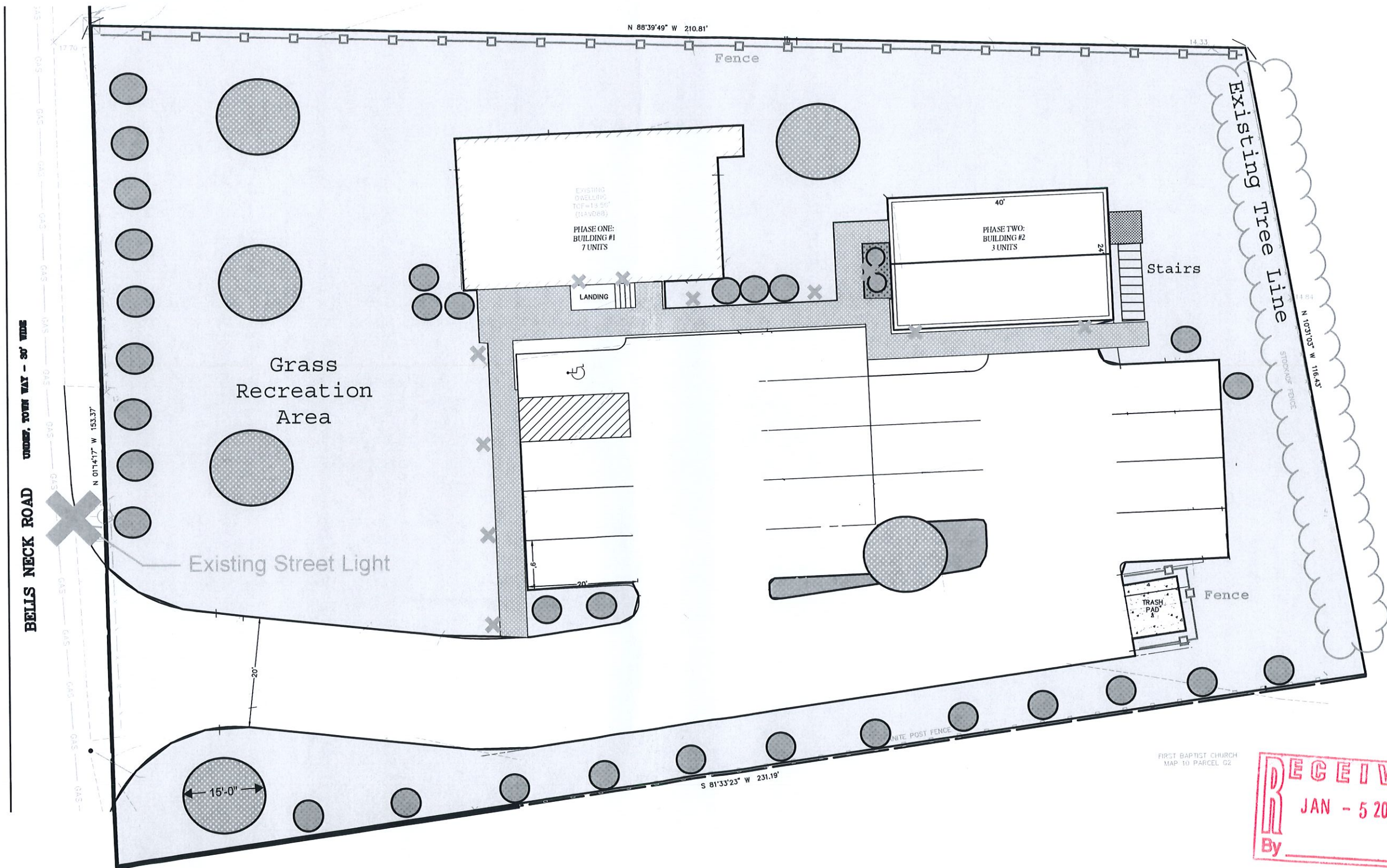
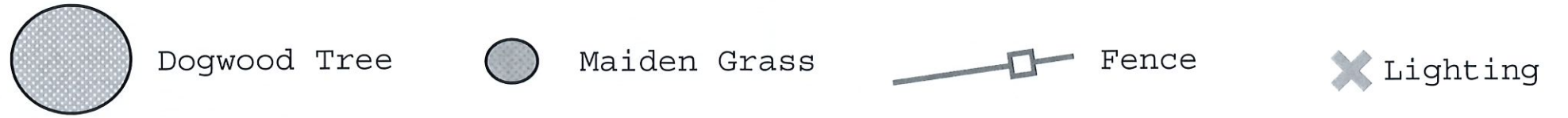


PB 2022-24

Landscape and Lighting Plan for 5 Bells Neck Road

RECEIVED
TOWN CLERK
HARWICH, MA

2023 JAN 10 A 11:27



2022-011 DM.dwg, 11/4/2022 4:04:29 PM, Javelle, DWG to PDF #3, ARCH expand D (24.00 x 36.00 inches), 1:1

FIRST BAPTIST CHURCH
MAP 10 PARCEL G2

RECEIVED
 JAN - 5 2023
 By _____

GENERAL NOTES:

- LOCUS AREA IS COMPRISED OF PER CURRENT ASSESSOR'S RECORDS:
OWNER: TOWN OF HARWICH - SELECTION DEED BOOK 5297 PAGE 33
RECORDED PLAN BOOK 619 PAGE 10
ASSESSOR'S MAP SHEET 10, PARCEL 01
- PROJECT BENCHMARK: AS SHOWN ON THIS PLAN
- ZONING INFORMATION:
ZONING DISTRICT: RM
CURRENT MINIMUM ZONING REQUIREMENTS:
MIN. LOT AREA = 40,000 SF
MIN. LOT FRONTAGE = 150'
MIN. YARD SETBACKS: FRONT = 25', SIDE = 25', REAR = 25'
MAXIMUM BUILDING HEIGHT = 3 1/2 STORIES OR 40'
MAXIMUM SITE COVERAGE (IMPERVIOUS) = 80%
OVERLAY DISTRICTS: N/A
- A TITLE SEARCH HAS NOT BEEN PERFORMED FOR THIS SITE. THERE MAY BE RIGHTS BY OTHERS, EASEMENTS, INTERESTS, MORTGAGES, RIGHTS OF WAIVER, COVENANTS, RESTRICTIONS, ETC. NOT DEPICTED. IF DETERMINED TO BE NECESSARY, A TITLE SEARCH SHALL BE PERFORMED BY OTHERS AND SUPPLIED TO BAXTER NYE ENGINEERING & SURVEYING.
- THE PROPERTY LINE INFORMATION AND EXISTING CONDITIONS SHOWN ARE BASED ON A PLAN BY PAUL SWEETSER TITLED "CERTIFIED FLOT PLAN OF LAND IN WEST HARWICH, MASSACHUSETTS AS PREPARED FOR JOHN CAREY, 2022-08-08".
- BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN FLOOD ZONE X (UNSHADED) FROM THE FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NUMBER 2501 0603 J EFFECTIVE DATE: JULY 16, 2014.
- ENVIRONMENTAL INFORMATION:
PER MASS GIS OLIVER AS OF 10/05/2022:
• SITE DOES NOT APPEAR TO BE WITHIN AN A.C.E.C. (AREA OF CRITICAL ENVIRONMENTAL CONCERN).
• SITE DOES NOT APPEAR TO BE WITHIN AN AREA OF ESTIMATED HABITAT OF RARE WILDLIFE AS MAPPED ON MASS GIS OLIVER PER WNESP "ESTIMATED HABITATS OF RARE WILDLIFE" FOR USE WITH THE MA WETLANDS PROTECTION ACT REGULATIONS (310 CMR 10).
• SITE DOES NOT APPEAR TO BE WITHIN A PRIORITY HABITAT AS MAPPED ON MASS GIS OLIVER PER WNESP "PRIORITY HABITATS OF RARE SPECIES" FOR SPECIES UNDER THE MASSACHUSETTS ENDANGERED SPECIES ACT, REGULATIONS (321 CMR 10).
• SITE DOES NOT APPEAR TO CONTAIN A CERTIFIED VERNAL POOL AS MAPPED ON MASS GIS OLIVER PER WNESP "CERTIFIED VERNAL POOLS."
• SITE DOES NOT APPEAR TO BE WITHIN A WETLAND RESOURCE AREA AS MAPPED ON MASS GIS SYSTEM.
• SITE DOES NOT APPEAR TO BE WITHIN A RIVERFRONT AREA.
• SITE APPEARS TO BE WITHIN A STATE DESIGNATED IHPA ZONE.
• SITE APPEARS TO BE ADJACENT TO STATE APPROVED ZONE I GROUNDWATER RECHARGE PROTECTION AREA.
- UTILITY INFORMATION SHOWN HEREIN:
• THE CONTRACTOR SHALL CONTACT DIG SAFE (AT 1-888-DIG-SAFE) AND UTILITY COMPANIES TO LOCATE THE LOCATION OF ALL EXISTING UTILITIES. AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. EXISTING UNDERGROUND INFRASTRUCTURE, UTILITIES, CONDUITS AND LINES ARE SHOWN IN AN APPROXIMATE WAY ONLY. MAY NOT BE LIMITED TO THOSE SHOWN HEREON AND HAVE BEEN RESEARCHED BASED ON THE AVAILABLE UTILITY RECORDS NOTED HEREON. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE SAID INFRASTRUCTURE AND UTILITIES EXACTLY IF FIELD CONDITIONS DIFFER FROM PLAN INFORMATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
• SOURCE INFORMATION FROM PLANS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY. UTILITIES NOTED HEREON ARE SHOWN BASED ON SOURCE INFORMATION, WHEN AVAILABLE (RECORD PLANS), AS OBTAINED FROM UTILITY COMPANIES AND/OR MUNICIPALITIES. LOCATIONS OF COMPILED UTILITIES SHOWN ARE TO BE CONSIDERED APPROXIMATE ONLY.
• EXISTING SEPTIC SYSTEM INFORMATION UNAVAILABLE FROM HARWICH DEPARTMENT OF HEALTH.
• TOWN WATER MAIN ADJACENT SHOWN ON THIS PLAN FROM HARWICH WATER DEPARTMENT INQUIRY DATED 10/11/22. NO WATER SERVICE RECORDS EXISTING FROM HARWICH WATER DEPARTMENT.
• GAS SERVICE SHOWN ON PLAN PER NATIONAL GRID INQUIRY 10/11/2022
• ELECTRIC LINE SHOWN ON THIS PLAN WAS LOCATED VIA GOOGLE EARTH 10/13/2022

NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH MHOS, TOWN ORDINANCES, REQUIREMENTS, AND SPECIFICATIONS.
- ALL PROPOSED WALKWAYS WILL BE HANDICAPPED ACCESSIBLE WHERE REQUIRED. ALL PROPOSED RUNNING SLOPES ON WALKWAYS SHALL BE LESS THAN SIX AND ALL CROSS SLOPES < 2%. THESE ARE MAXIMUM SLOPES WITH NO TOLERANCE. ALL WORK WILL BE IN ACCORDANCE WITH THE MOST CURRENT REQUIREMENTS OF THE U.S. ACCESS BOARD, AMERICANS WITH DISABILITIES ACT & COMMONWEALTH OF MASSACHUSETTS, ARCHITECTURAL ACCESS BOARD.
CONTRACTOR SHALL CONFIRM AND PROVIDE ALL LANDINGS OUTSIDE OF DOORWAYS, AT THE TOP AND BOTTOM OF STEPS, AND AT TOP AND BOTTOM OF RAMPS, TO BE CONSTRUCTED SO THE LANDING IS 5 FT X 5 FT MIN. (MIN) AND IS LESS THAN A 2% SLOPE IN ALL DIRECTIONS ON THE LANDING.
PROPOSED WALKWAYS SHOWN AS [Symbol]
- EXISTING PAVING EDGES SHALL BE SAWCUT TO CREATE A CLEAN EDGE WHERE IT IS TO BE TIED INTO NEW PAVING, OR WHERE ASPHALT IS REMOVED ADJACENT TO ASPHALT WHICH IS TO REMAIN. BROKEN OR UNSTABLE PAVEMENT SHALL BE REMOVED AND SUBBASE REPLACED WITH SUITABLE COMPACTED MATERIAL PER PAVEMENT SECTION DETAIL HEREIN. ANY SAWCUT LINES SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE EXACT EDGE OF SAWCUT SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD TO PROPERLY BLEND TO THE SURROUNDING GRADES. PROPOSED ASPHALT SHALL BE PROPERLY BUTTED AND BLENDED TO SURROUNDING ASPHALT WHICH IS TO REMAIN. THE BLENDED TRANSITION BETWEEN PROPOSED AND EXISTING ASPHALT SHALL BE WITH AN APPROXIMATE 1.5% GRADE UNLESS OTHERWISE IDENTIFIED. THE JOINT SHALL NOT BE ABRUPT.
- PROPERTY LINES SHOWN HEREIN/HEREON ARE PER THE PROPERTY LINE SET BY THE PROFESSIONAL LAND SURVEYOR (PLS) AS SHOWN AND SEALED WITHIN THIS PLAN SET. THE PROPERTY LINE AND SURVEY INFORMATION WAS COMMISSIONED AS PART OF THE PROJECT AND IS SHOWN AS BACKGROUND INFORMATION ON THE DESIGN PLANS. SETBACKS SHOWN ARE TO THE PROPERTY LINE SET BY THE PLS. DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF FOUNDATION OR TO THE FACE OF CURB/BERM WHERE APPLICABLE.
- ALL CURBING SHALL BE INSTALLED SO THAT WHEN A TERMINAL END OF A CURB EXISTS IT SHALL HAVE A TAPERED END PER MOST SPECIFICATIONS SO THAT THERE IS NOT A BLUNT SQUARE END PROJECTING.
- ALL PAVEMENT MARKINGS AND STRIPING SHALL FOLLOW MUTCD STANDARDS. TYPICAL LINE WIDTH FOR LANE AND PARKING STALL STRIPING SHALL BE 4 INCHES UNLESS OTHERWISE NOTED. PARKING STALL COLOR SHALL BE WHITE, TYPICAL, UNLESS OTHERWISE NOTED.
- BUILDING AND SITE SIGNAGE SHALL MEET REQUIREMENTS OF TOWN ZONING AND/OR SIGN ORDINANCES.
- ALL WORK WITHIN THESE PLANS SHALL BE PERFORMED AND PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONSTRUCTION DETAILS PROVIDED IN THIS PLAN SET WHETHER OR NOT THE DETAIL NUMBER IS SPECIFICALLY REFERENCED.

ZONING TABLE

	REQUIRED/ALLOWED	EXISTING	PROPOSED (PHASE) (2)
LOT AREA:	40,000 SF	29,600± SF**	29,600± SF**
FRONTAGE:	150 FT	153± FT	153± FT
BUILDING SETBACKS			
FRONT SETBACK	25 FT	66± FT	66±/66± FT
SIDE SETBACK	25 FT	16± FT**	16±/25± FT**
REAR SETBACK	25 FT	93± FT	93±/30± FT
PARKING SETBACKS			
FRONT SETBACK	20 FT	--	76± FT
SIDE SETBACK	10 FT	--	10± FT
REAR SETBACK	10 FT	--	30± FT
FRONT LANDSCAPE SETBACK	15 FT FROM STREET	--	20 FT
	2 FT FROM SIDE/REAR	--	10 FT
MAX. BLDG. HEIGHT (STORIES)	3 1/2 STORIES OR 40 FT	2 STORIES	3 1/2 STORIES 40± FT
MIN. NET FLOOR AREA	1-BEDROOM = 550 SF	--	560± SF
MIN. FLOOR AREA (HABITABLE ROOM)	120 SF	--	121± SF
MAX. SITE COVERAGE (IMPERVIOUS AREA):	80%	40.4%	PHASE 1: 38.1% (11,288 SF) PHASE 2: 41.7% (12,339 SF)
PARKING LOT LANDSCAPING			
SCREENING	2 FT FROM LOT LINE 15 FT FROM STREET		
TREES - PARKING AREA (1/5 PS) 15 SPACES/5 = 3 TREES	3 TREES		3 TREES
PARKING TABLE			
MULTI FAMILY = 1.5 SPACE PER 1-BEDROOM UNIT; 2 SPACES PER 2-BEDROOM UNIT OR GREATER	PHASE 1: 10.5 SPACES PHASE 2: 5 SPACES	0 SPACES	16 SPACES
PHASE 1: 1.5 X 7 (1-BEDROOM) = 10.5 SPACES PHASE 2: 1.5 X 2 (1-BEDROOM) = 3 SPACES 2 X 1 (2-BEDROOM) = 2 SPACES			
TOTAL PARKING	15.5 SPACES		16 SPACES
ACCESSIBLE PARKING *	1* SPACE		1* SPACE
PARKING STALL SIZE	20'X9'		
DESIGN VEHICLE		AASHTO XXX	
* ACCESSIBLE PARKING SPACES ARE INCLUDED AS PART OF THE TOTAL PARKING REQUIRED/PROVIDED COUNT. ** PRE-EXISTING NON-COMFORMING *** WAIVER REQUESTED			

CONCEPTUAL SEPTIC SYSTEM DESIGN REQUIREMENTS

NITROGEN LOADING LIMITATION : NONE
 GARBAGE GRINDER (NOT INCLUDED) = N/A
 (1) 7-BEDROOM TOWNHOUSE UNITS
 (3) 1-BEDROOM TOWNHOUSE UNITS
 TOTAL SITE DEVELOPMENT: 10 UNITS, 11 BEDROOMS
 11 BEDROOMS x 110 GPD/BR = 1,210 GPD
 TOTAL DESIGN FLOW ON LOT: 1,210 GPD
 ASSUME PERC RATE = < 6 MIN/INCH (CLASS 1)
 LTR = 0.74 GPD/SF
 MIN. LEACHING AREA OF S.A.S. REQUIRED:
 1,210 GPD / 0.74 GPD/SF = 1,635 SF, MIN.
 PROPOSED SYSTEMS: (2) 56' x 10' SOIL ABSORPTION SYSTEM (S.A.S.)
 SA = 56' x 10' x 2 SYSTEMS = 1,120 SF
 SA = 2(56' + 10') x 2' x 2 SYSTEMS = 528 SF
 TOTAL SF = 1,648 SF > 1,635 SF - OK
 SEPTIC TANK SIZING: FIRST COMPARTMENT - 1,210 GALLONS PER DAY x 200% = 2,420 GALLONS
 SECOND COMPARTMENT - 1,210 GALLONS PER DAY x 100% = 1,210 GALLONS
 TOTAL = 3,630 GALLONS
 USE 4,000 GALLON TWO-COMPARTMENT SEPTIC TANK

UTILITY NOTES:

- WATER - ASSUMED WATER SERVICE CONNECTION WITH HARWICH MUNICIPAL WATER MAIN TO THE NORTH ON ADJACENT LOT
- SEPTIC - ASSUMED NO ADJACENT POTABLE WELLS

Registered Professional Engineers and Land Surveyors

1597 Falmouth Road Street - Unit 1
Centerville, Massachusetts 02632

Phone - (508) 771-7502
Fax - (508) 771-7622
www.baxter-nye.com

STAMP STAMP

CONSULTANT

CONSULTANT

PREPARED FOR:

John Carey

PROJECT TITLE

DATE DESCRIPTION
SHEET TITLE

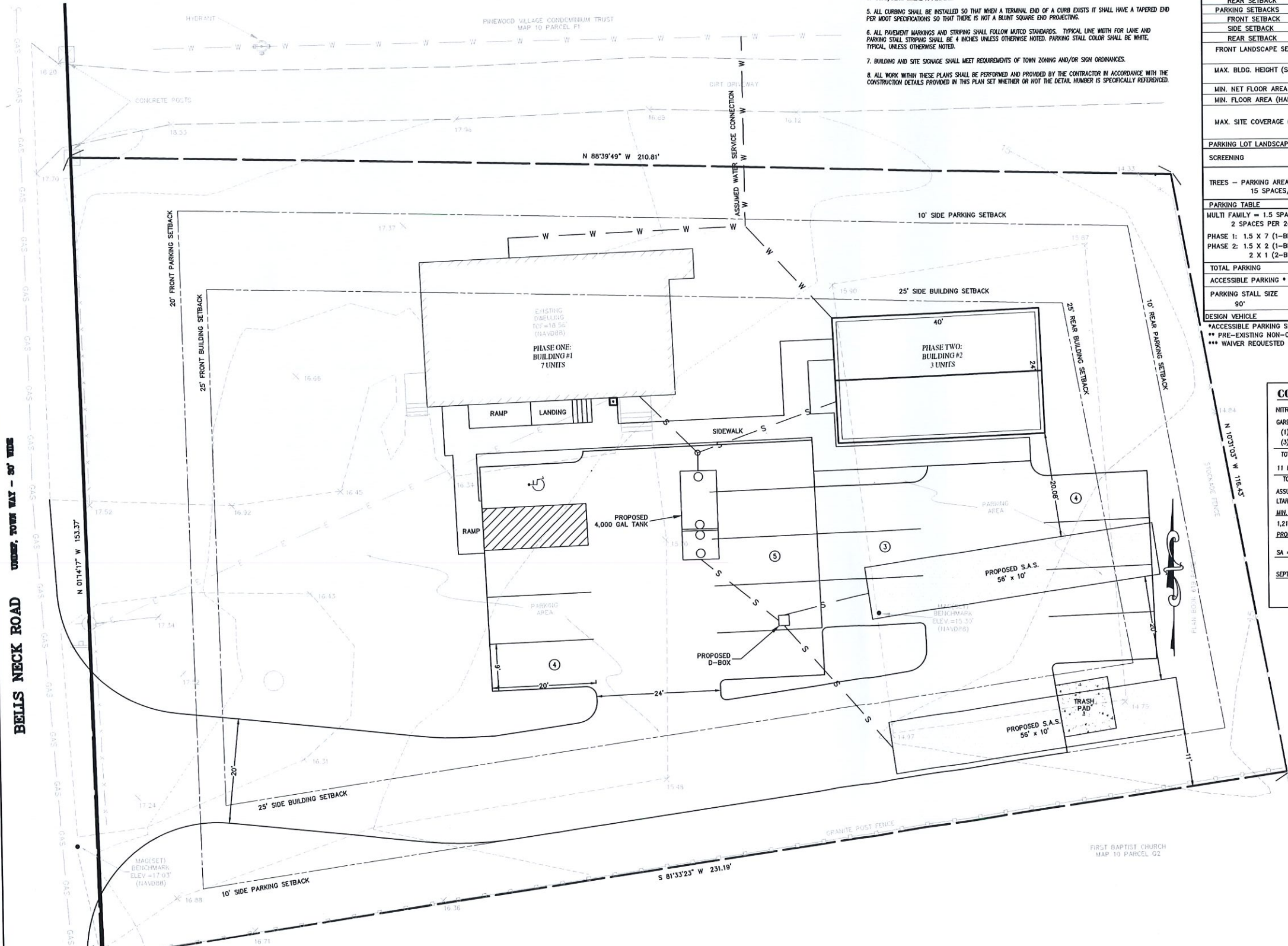
Preliminary Site Plan

SHEET NO
C1.0

DATE: NOVEMBER 4, 2022

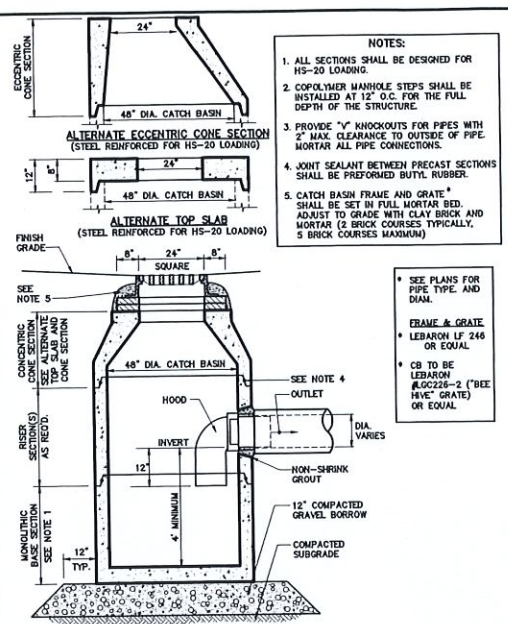
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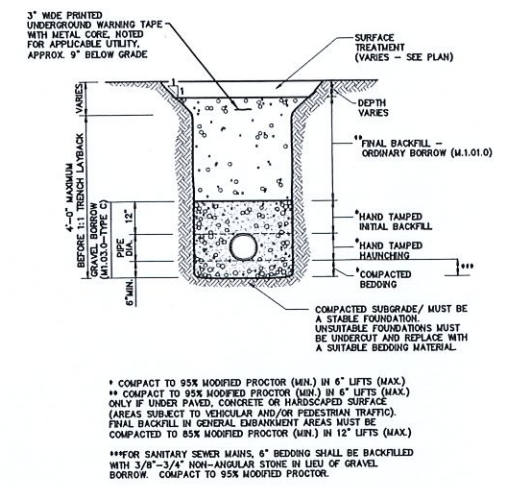
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TOWN CLERK
HARWICH, MA



- NOTES:**
1. ALL SECTIONS SHALL BE DESIGNED FOR H-20 LOADING.
 2. CONCRETE MANHOLE STEPS SHALL BE INSTALLED AT 12\"/>

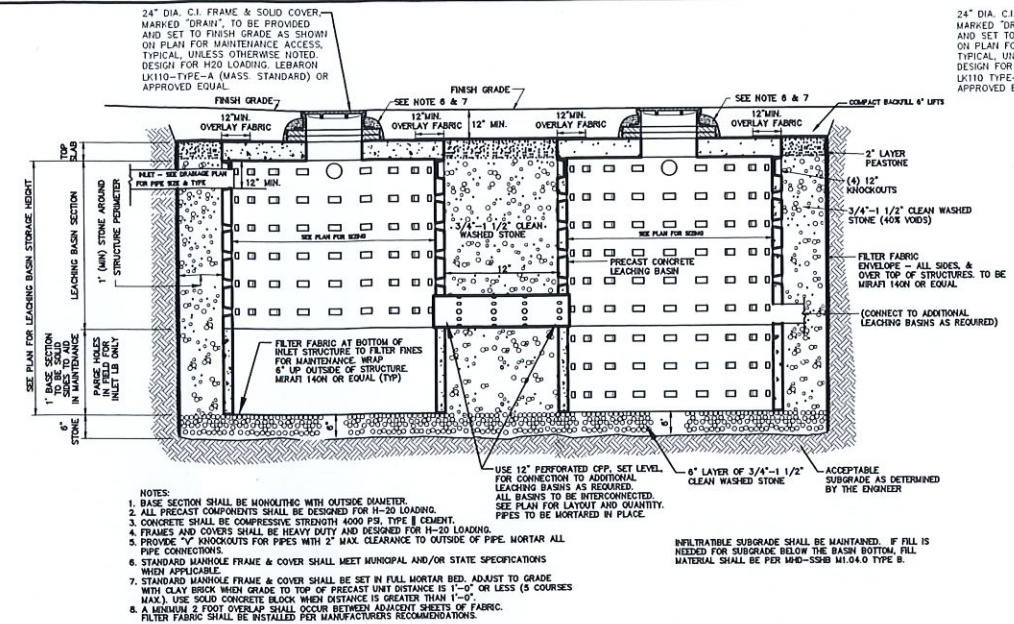
- SEE PLANS FOR PIPE TYPE AND SIZE.
- FRAME & GRATE LEAFHORN IF 24\"/>

CATCH BASIN (CB) WITH GAS TRAP N.T.S.
DETAIL

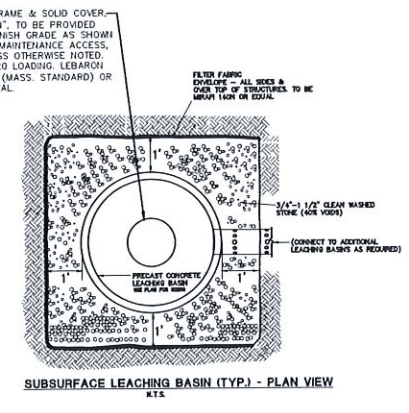


- * COMPACT TO 95% MODIFIED PROCTOR (MIN.) IN 6\"/>

UTILITY TRENCH N.T.S.
DETAIL



- NOTES:**
1. BASE SECTION SHALL BE MONOLITHIC WITH OUTSIDE DIAMETER.
 2. ALL PRECAST COMPONENTS SHALL BE DESIGNED FOR H-20 LOADING.
 3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE I CEMENT.



SUBSURFACE LEACHING BASIN (TYP.) - PLAN VIEW N.T.S.

SUBSURFACE LEACHING BASIN N.T.S.
DETAIL

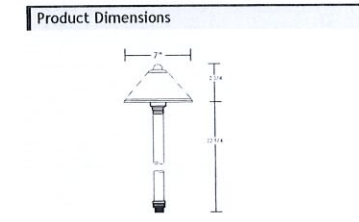
Project Name _____ Date _____
Type or Model _____ Qty _____

VOLT® Low Voltage Landscape Lighting Conehead Path & Area Lights - 310 Series

Product Description

The Conehead Path & Area Light is a high-quality outdoor light that is great for illuminating smaller areas. Featuring a tall stem and a simple, yet attractive hat, this luminaire projects a beam of illumination with a diameter of 12 ft.

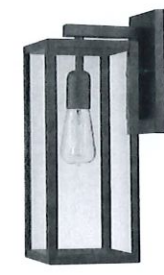
Corrosion-resistant internal components and an easy-to-change bulb socket-and-enclosure ensure years of optimal performance - carries a lifetime warranty.



- Features & Benefits**
- Solid Brass or Copper Construction
 - Pre aged patina or powder coated finish
 - Stem is 1-inch thick and includes extra-long (11-inch) strip resistant threading for greater stability
 - Beryllium copper socket - more corrosion resistant than copper
 - Silicone plug at lead wire exit prevents ground moisture and insects from entering luminaire through the stem
 - Machine threaded body screws tight onto an O-ring for a moisture tight design

- Specifications**
- Construction: Solid Brass or Solid Raw Copper
 - Finish: Bronze, Powder Coated Black, or Raw Copper
 - Lead Wire: 4' (standard) or 25' (optional) ISAWG
 - Mounting: 10" Hammer Stake with cutout for wire exit
 - Lens: Clear protective polycarbonate lens
 - Light Source (sold separately): Bi-Pin (LED or Halogen)
 - Operating Voltage: 12V AC
 - Powered by: VOLT's Low Voltage Transformer

- Warranty**
- Lifetime Warranty
- Certifications**
- UL LISTED Max 20 Watts File #E466348
 - UL LISTED Max 20 Watts File #E466348

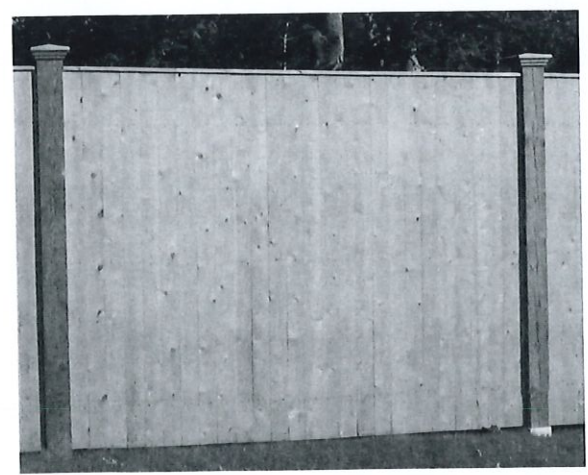


Matte Black 1 - Bulb Outdoor Wall Lantern

- SKU: GOBE1000
- By: Globe Electric
- Features**
- With its classic black finish, the Matte Black 1 complements any decor making it the ideal piece for all your lighting needs.
 - The clear glass panels of the Matte Black 1 showcase your bulb at its best to create a stunning light outside your home.
 - Suitable for any environment, this truly versatile piece is weather resistant and can be placed outside or inside for a year-round look.
 - Easy to install.
- Weights & Dimensions**
- Overall H.S. 14.5" (w x h x d)
 - Overall Product Weight: 3.4 lbs

Contact: John Carey
508-771-7502
john@baxternye.com

6'x 8' wide Cedar Panels



Fence Detail:
Cedar Board with Cap

Sidewalk Lighting Detail:
Volt Conehead- 310 Series

Building Scone Lighting Detail:
Globe Electric Lantern- GOBE1000

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HARWICH, MA

STAMP	STAMP
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CONSULTANT

CONSULTANT

PREPARED FOR:

PROJECT TITLE

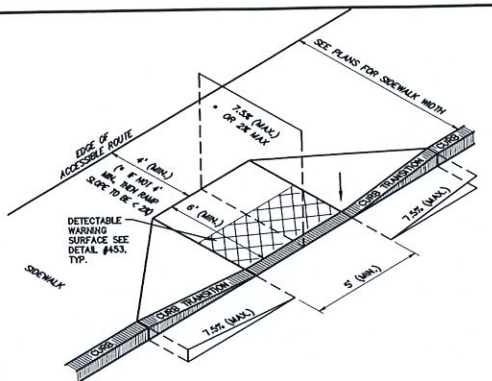
Details Plan

SHEET NO
C5.0

DATE: FEBRUARY 11, 2021

SCALE: 1"=20'

DRAWN BY: JKL CHECKED BY: MME



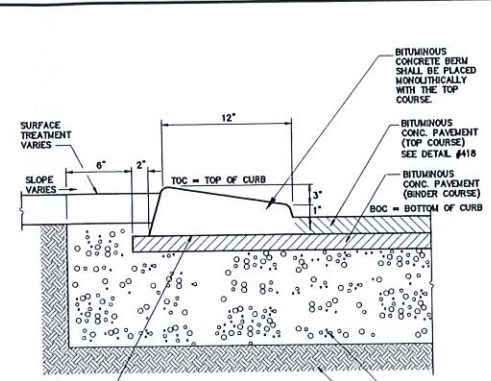
NOTES:

- ALL RAMP AND ACCESSIBLE ROUTES SHALL BE IN ACCORDANCE WITH THE U.S. ACCESS BOARD ADA ACCESSIBILITY GUIDELINES & THE COMMUNITY DEVELOPMENT OF MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR REQUIREMENTS, AS CURRENTLY AMENDED.
- THE MAXIMUM ALLOWABLE ROUTE (SIDEWALK) AND CURB RAMP CROSS SLOPES SHALL BE 1.5%.
- THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 4.5%.
- THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
- A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
- BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
- ENTIRE RAMP SHALL BE CONSTRUCTED WITH CONCRETE.

CONCRETE NOTES:

- CEMENT CONCRETE STRENGTH TO BE 3500 PSI AT 28 DAYS.
- PROVIDE EXPANSION JOINTS AT MIN. 16 FT. O.C. WITH PRE-MOLDED JOINT FILLER.
- PROVIDE TOOLED DUMMY JOINTS AT 4' O.C.
- PROVIDE BRUSH FINISH IN DIRECTION PERPENDICULAR TO CURB.

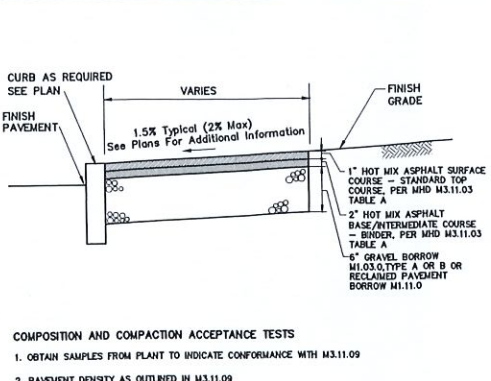
C-403 ACCESSIBLE CURB RAMP - TYPE 'D' DETAIL N.T.S.



COMPOSITION AND COMPACTION ACCEPTANCE TESTS

- OBTAIN SAMPLES FROM PLANT TO INDICATE CONFORMANCE WITH M3.11.09.
- PAVEMENT DENSITY AS OUTLINED IN M3.11.09.
- ALL SAMPLES TO BE TAKEN IN ACCORDANCE WITH AASHTO T230.
- MATERIALS SHALL MEET OR EXCEED THE REQUIREMENTS SPECIFIED IN SECTION M3.11.00 DIVISION III, MATERIALS AND THE FOLLOWING SUBSECTIONS:
MINERAL AGGREGATE: M3.11.04
MINERAL FILLER: M3.11.05
- THE BITUMINOUS CONCRETE BASE COURSE SHALL BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT SECTIONS/PROVISIONS OF SECTION 460 FOR CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1.
- CLASS I BITUMINOUS PAVEMENT, TYPE I-1 REQUIRED THE SAME TESTING AS BASE COURSE AND SHALL HAVE A MINIMUM OF 95% COMPACTION. TESTING TO BE COMPLETED BY METHODS OUTLINED IN M3.11.00.

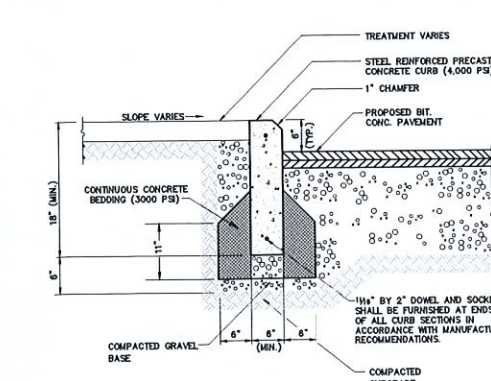
C-411 CAPE COD BERM (CCB) DETAIL N.T.S.



COMPOSITION AND COMPACTION ACCEPTANCE TESTS

- OBTAIN SAMPLES FROM PLANT TO INDICATE CONFORMANCE WITH M3.11.09.
- PAVEMENT DENSITY AS OUTLINED IN M3.11.09.
- ALL SAMPLES TO BE TAKEN IN ACCORDANCE WITH AASHTO T230.
- MATERIALS SHALL MEET OR EXCEED THE REQUIREMENTS SPECIFIED IN SECTION M3.11.00 DIVISION III, MATERIALS AND THE FOLLOWING SUBSECTIONS:
MINERAL AGGREGATE: M3.11.04
MINERAL FILLER: M3.11.05
- THE BITUMINOUS CONCRETE BASE COURSE SHALL BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT SECTIONS/PROVISIONS OF SECTION 460 FOR CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1.
- CLASS I BITUMINOUS PAVEMENT, TYPE I-1 REQUIRED THE SAME TESTING AS BASE COURSE AND SHALL HAVE A MINIMUM OF 95% COMPACTION. TESTING TO BE COMPLETED BY METHODS OUTLINED IN M3.11.00.

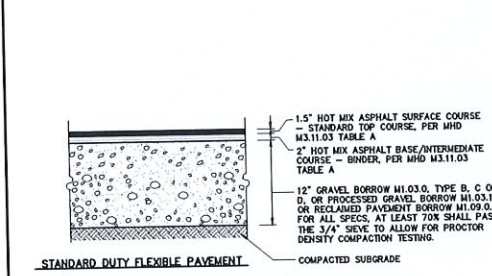
C-417 BITUMINOUS CONCRETE SIDEWALK DETAIL N.T.S.



COMPOSITION AND COMPACTION ACCEPTANCE TESTS

- OBTAIN SAMPLES FROM PLANT TO INDICATE CONFORMANCE WITH M3.11.09.
- PAVEMENT DENSITY AS OUTLINED IN M3.11.09.
- ALL SAMPLES TO BE TAKEN IN ACCORDANCE WITH AASHTO T230.
- MATERIALS SHALL MEET OR EXCEED THE REQUIREMENTS SPECIFIED IN SECTION M3.11.00 DIVISION III, MATERIALS AND THE FOLLOWING SUBSECTIONS:
MINERAL AGGREGATE: M3.11.04
MINERAL FILLER: M3.11.05
- THE BITUMINOUS CONCRETE BASE COURSE SHALL BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT SECTIONS/PROVISIONS OF SECTION 460 FOR CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1.
- CLASS I BITUMINOUS PAVEMENT, TYPE I-1 REQUIRED THE SAME TESTING AS BASE COURSE AND SHALL HAVE A MINIMUM OF 95% COMPACTION. TESTING TO BE COMPLETED BY METHODS OUTLINED IN M3.11.00.

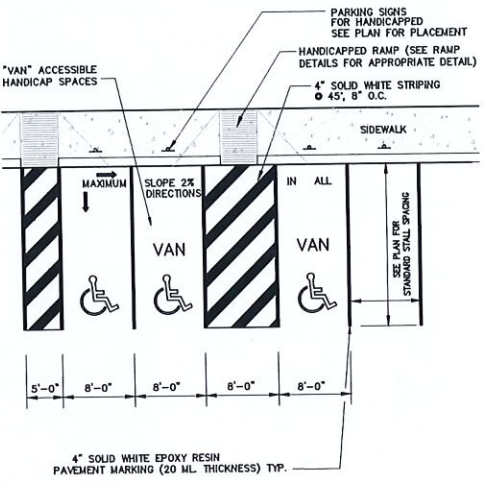
C-412 PRECAST CONCRETE CURB (PCC) DETAIL N.T.S.



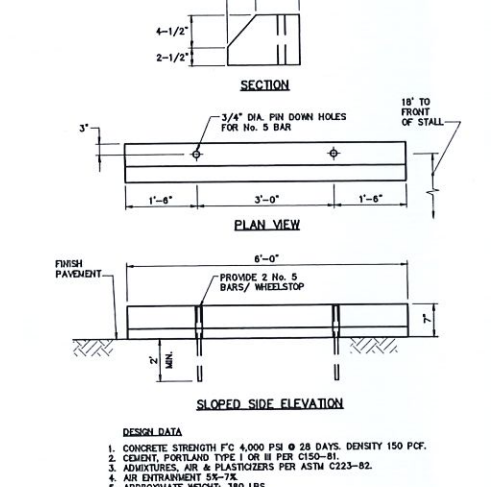
COMPOSITION AND COMPACTION ACCEPTANCE TESTS

- OBTAIN SAMPLES FROM PLANT TO INDICATE CONFORMANCE WITH M3.11.09.
- PERFORM PAVEMENT DENSITY TESTING AS OUTLINED IN M3.11.09.
- ALL SAMPLES TO BE TAKEN IN ACCORDANCE WITH THE MASSDOT SPECIFICATIONS.
- MATERIALS SHALL MEET OR EXCEED THE REQUIREMENTS SPECIFIED IN SECTION M3.11.00 DIVISION III, MATERIALS AND THE FOLLOWING SUBSECTIONS:
MINERAL AGGREGATE: M3.11.04 BITUMINOUS MATERIALS: M3.11.06
MINERAL FILLER: M3.11.05 COMPOSITION OF BASE COURSE: M3.11.02
- THE BITUMINOUS CONCRETE BASE COURSE SHALL BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT SECTIONS/PROVISIONS OF SECTION 460 FOR CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1.
- CLASS I BITUMINOUS PAVEMENT, TYPE I-1 REQUIRED PER SECTION 460. TESTING FOR BASE COURSE AND TOP COURSES SHALL HAVE A MINIMUM COMPACTION OF 95%. TESTING FOR DENSITY TO BE COMPLETED BY METHODS OUTLINED IN M3.11.00.

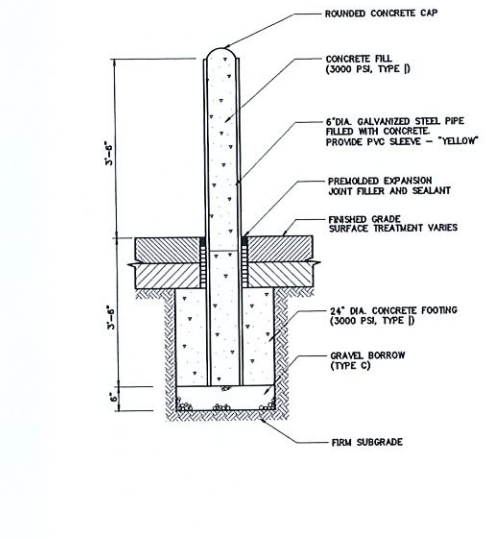
C-418 BITUMINOUS CONCRETE PAVEMENT SECTIONS DETAIL N.T.S.



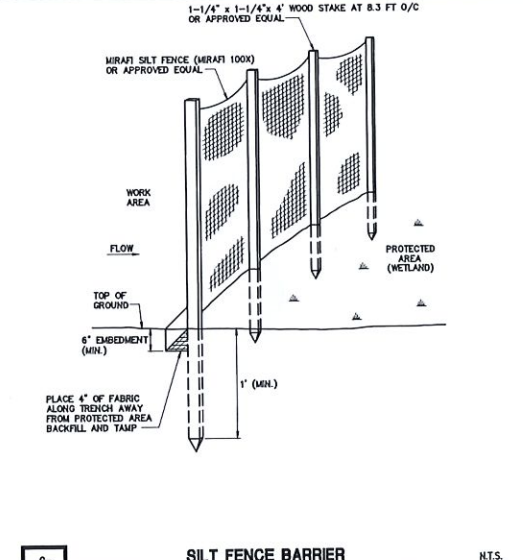
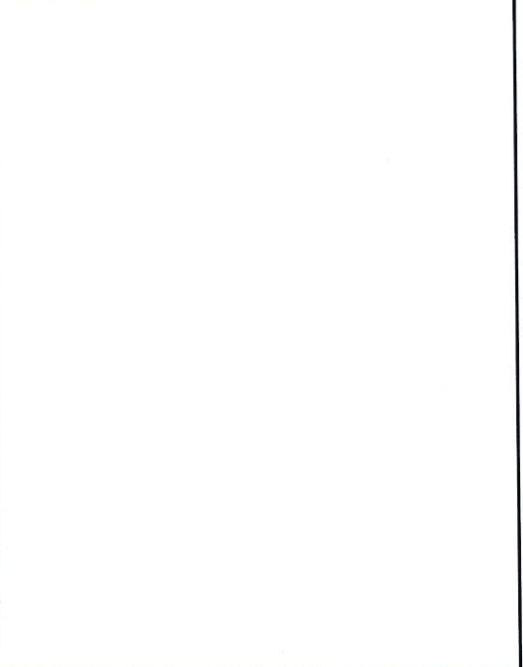
C-440 HANDICAP PARKING AND STANDARD STALL LAYOUT DETAIL N.T.S.



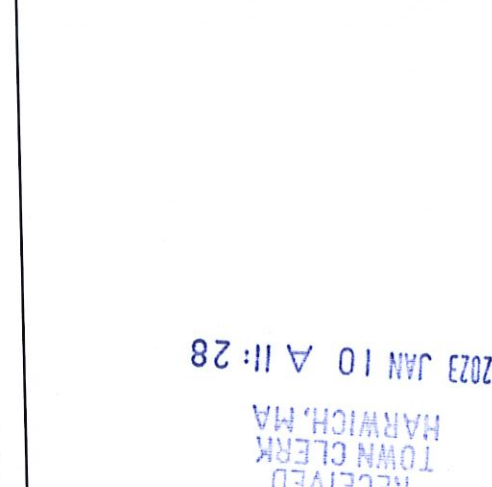
C-443 CONCRETE WHEEL STOP DETAIL N.T.S.



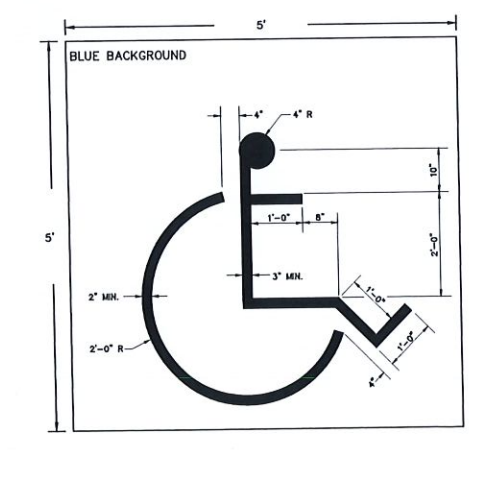
C-444 BOLLARD DETAIL N.T.S.



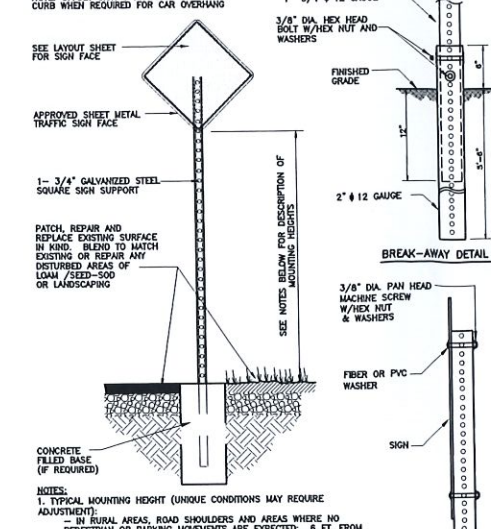
C-602 SILTY FENCE BARRIER DETAIL N.T.S.



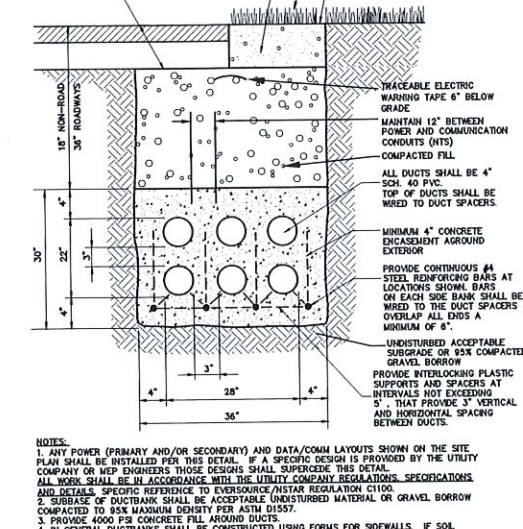
C-445 HANDICAPPED PARKING STALL SYMBOL DETAIL N.T.S.



C-446 TRAFFIC SIGN POST DETAIL N.T.S.



C-447 ACCESSIBLE PARKING SIGN DETAIL N.T.S.



C-632 UTILITY DUCT BANK (POWER, DATA/COM) DETAIL N.T.S.

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PREPARED FOR:

PROJECT TITLE

DATE	DESCRIPTION
04/08/21	CONSTRUCTION V.E.
02/18/21	PER SITE PLAN REVIEW COMMENTS

SHEET TITLE

Details Plan

SHEET NO

C5.1

DATE: FEBRUARY 11, 2021

SCALE IN FEET

SCALE: 1"=20'

DRAWN BY: JKL CHECKED BY: MNE

000-052\CIVIL\PROJECT\2020-052_DT.dwg - 4/9/2021 9:26:41 AM, DWG To PDF.pc3, ARCH expand D (24.00 x 36.00 inches), 1:1

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EXHIBT	PROP (BLACK TEXT REPRESENTS "PROPOSED" INFORMATION)	EXHIBT	PROP (BLACK TEXT REPRESENTS "PROPOSED" INFORMATION)
L=50.00'	PROPERTY LINE	DR	DRAINAGE LINE
---	RIGHT-OF-WAY/PROPERTY LINE	OD	OVERFLOW DRAIN
---	EASEMENT	RD	ROOF DRAIN
---	BUILDING SETBACK	S	SEWER LINE
---	STATE HIGHWAY BASELINE	OHW	OVERHEAD ELECTRIC, TELEPHONE & FIRE ALARM
10+00	BASELINE	W	WATER LINE
---	CONSTRUCTION LAYOUT	FP	FIRE PROTECTION LINE
---	ZONING LINE	G	GAS LINE
---	TOWN LINE	E	UNDERGROUND ELECTRIC, DATA/COMMUNICATIONS LINES
---	STATE LINE	E OR	UNDERGROUND ELECTRIC, DATA/COMMUNICATIONS LINES
---	GRAVEL ROAD	F	UNDERGROUND DATA & COMMUNICATION LINES
---	EDGE OF PAVEMENT	FA	FIRE ALARM
---	BITUMINOUS CURB	FAP	FIRE & POLICE CABLE
---	CAPE COD BERM	CATV	CABLE TV
---	PRECAST CONC. CURB	CB	CATCH BASIN (SQUARE OR ROUND CATCH BASIN)
---	VERT. GRAN. CURB	DCB	DOUBLE CATCH BASIN
---	SLOPED GRAN. CURB	DI	DRAIN INLET
---	LIMIT OF CURB TYPE	DMH	DRAIN MANHOLE
---	SAWCUT	TD	TRENCH DRAIN
---	MATCHLINE	C	PLUG/STUB
---	---	FES	FLARED END SECTION
---	---	ES	CONTROL STRUCTURE
---	---	SMH	SEWER MANHOLE
---	---	ST	GREASE TRAP
---	---	W	WATER MANHOLE
---	---	WS	WATER SHUT OFF/CURB STOP
---	---	WG	WATER GATE
---	---	TSV	TAPPING SLEEVE, VALVE, & BOX RISER
---	---	PR	PRESSURE REDUCER
---	---	SC	SAMESEX CONNECTION
---	---	FR	FIRE HYDRANT
---	---	WM	WATER METER
---	---	PIV	POST INDICATOR VALVE
---	---	W	WELL
---	---	MW	MONITORING WELL
---	---	ICV	IRRIGATION CONTROL VALVE
---	---	SH	SPRINKLER HEAD
---	---	GC	GAS GATE
---	---	GM	GAS METER
---	---	DMH	ELECTRIC MANHOLE
---	---	EB	ELECTRIC BOX
---	---	EM	ELECTRIC METER
---	---	L	LIGHT POLE (DECORATIVE)
---	---	FL	FLOOD LIGHT
---	---	L	LANDSCAPE LIGHT
---	---	SL	SINGLE LUMINAIRE
---	---	DL	DOUBLE LUMINAIRE
---	---	TL	TRIPLE LUMINAIRE
---	---	QL	QUAD LUMINAIRE
---	---	WP	WALL PACK
---	---	SA	SIGNAL ARM
---	---	UP	UTILITY POLE/GUY WIRE
---	---	UP	UTILITY POLE/GUY POLE
---	---	H	HAND HOLE
---	---	PB	PULL BOX
---	---	FG	FRAME AND GRATE
---	---	G	GAS
---	---	H	HORRANT
---	---	I	INTERCEPTOR DRAIN
---	---	I	INVERT ELEVATION
---	---	P	PERFORATED DRAIN
---	---	PVC	POLYVINYL CHLORIDE PIPE
---	---	PCP	REINFORCED CONCRETE PIPE
---	---	RD	ROOF DRAIN
---	---	S	SEWER
---	---	C/O	SEWER CLEANOUT
---	---	SD	STORM DRAIN
---	---	T	TELEPHONE
---	---	TSVMB	TAPPING SLEEVE, VALVE & BOX RISER
---	---	UP	UTILITY POLE
---	---	VF	VERIFY IN FIELD
---	---	VCP	VITRIFIED CLAY PIPE
---	---	LP	LOW POINT
---	---	HP	HIGH POINT
---	---	GB	GRADE BREAK
---	---	TOP	TOP & BOTTOM ELEVATION
---	---	27.21	SPOT ELEVATION w/LEADER
---	---	27.15	SPOT ELEVATION
---	---	27.23	BORING LOCATION
---	---	27.25	TEST PIT LOCATION
---	---	27.25	BENCH MARK
---	---	---	TIE IN TO EXISTING GRADE
---	---	---	REPRESENTS EXISTING INFORMATION
---	---	---	BLACK TEXT REPRESENTS PROPOSED INFORMATION

○	TELEPHONE MANHOLE
○	TELEPHONE MARKER
○	TRAFFIC SIGNAL
○	SIGNAL BOX
○	FIRE ALARM CONTROL PANEL
○	FIRE ALARM BOX
○	TRANSFORMER PAD
○	120 VOLTS/250 AMP

△	WETLANDS
△	50' WETLAND BUFFER
△	100' WETLAND BUFFER
△	200' WETLAND BUFFER
△	LIMIT OF WETLANDS
△	WETLAND FLAG
△	100 YEAR FLOOD PLAIN
△	MITIGATION AREA LINE
△	EDGE OF WATER

ABBREVIATIONS

ABB	DESCRIPTION
ABAN	ABANDON
ADJ	ADJUST
APPROX	APPROXIMATE
BB	BITUMINOUS BERM
BC	BITUMINOUS CURB
BOS	BOTTOM OF CURB
BOC	BOTTOM OF SLOPE
BOH	BOTTOM OF WALL
CC	CONCRETE CURB
CCB	CAPE COD BERM
CSE	COBBLESTONE EDGING
ECB	EROSION CONTROL BLANKET
ELEV	ELEVATION
EXIST	EXISTING
EQ	EQUAL
FDH	FOUNDATION
FF	FINISHED FLOOR ELEVATION
GB	GRADE BREAK
GC	GRANITE CURB
GE	GRANITE EDGING
HC	HANDICAP
HMA	HOT MIX ASPHALT
HP	HIGH POINT
LA	LANDSCAPE AREA
LP	LOW POINT
MAX	MAXIMUM
MIN	MINIMUM
NCC	NONCURING CONCRETE CURB
MWB/EP LP	MASS HIGHWAY BOUND/ ESCUTCHEON PIN LEAD TRAP
NC	NOT IN CONTRACT
NTS	NOT TO SCALE
PCC	PRECAST CONCRETE CURB
PROP	PROPOSED
PWW	PAVED WATERWAY
REMO	REMOVED
REU	REMOVE
RAR	REMOVE AND RESET
RAS	REMOVE AND STACK
RET	RETAIN
SDE	SLOPED GRANITE EDGING
SGC	SLOPED GRANITE CURB
TIE	TIE INTO EXISTING GRADE
TOC	TOP OF CURB
TDF	TOP OF FOUNDATION
TOS	TOP OF SLOPE
TOW	TOP OF WALL
TYP	TYPICAL
UN	UNLESS OTHERWISE NOTED
VF	VERIFY IN FIELD BY CONTRACTOR
VGC	VERTICAL GRANITE CURB

GENERAL CONSTRUCTION NOTES

- (ALL REFERENCES TO "CONTRACTOR" SHALL MEAN THE GENERAL CONTRACTOR OR HIS SUB-CONTRACTORS.)
- ALL WORK & MATERIALS SHALL BE IN ACCORDANCE WITH MASSDOT, HIGHWAY DIVISION, STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (MASSDOT-SSHB), AS CURRENTLY AMENDED, UNLESS OTHERWISE NOTED. IF THERE ARE CONFLICTS IN ANY OF THE SPECIFICATIONS OR PROJECT DOCUMENTS, THE HIGHER STANDARD SHALL APPLY.
 - ALL WORK UNDER THESE DOCUMENTS SHALL ALSO CONFORM TO ALL CODES AND STANDARDS, AS CURRENTLY AMENDED, WHICH ARE APPLICABLE TO THIS PROJECT. ALL WORK SHALL FURTHER CONFORM TO SPECIFIC REQUIREMENTS, SPECIFICATIONS, ORDINANCES AND INTERPRETATIONS OF LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. DETERMINATION OF APPLICABLE CODES AND STANDARDS AND OF THE AUTHORITIES HAVING JURISDICTION SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR, AS SHALL BE THE ANALYSIS OF ALL SUCH CODES AND STANDARDS IN REGARD TO THEIR APPLICABILITY TO THE PROJECT FOR SECURING ALL APPROVALS AND PERMITS.
 - ALL WORK WITHIN THESE PLANS SHALL BE PERFORMED AND PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONSTRUCTION DETAILS PROVIDED IN THIS PLAN SET WHETHER OR NOT THE DETAIL NUMBER IS SPECIFICALLY REFERENCED.
 - EXCEPT WHERE THE PROJECT DOCUMENTS INCLUDE MORE STRINGENT REQUIREMENTS, APPLICABLE CONSTRUCTION INDUSTRY STANDARDS HAVE THE SAME FORCE AND EFFECT AS IF BOUND HERETO. SUCH STANDARDS ARE MADE A PART OF THE PROJECT DOCUMENTS BY REFERENCE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITY ESTIMATES AND VERIFYING, TO HIS OWN SATISFACTION, THAT ALL QUANTITIES ARE ACCURATE FOR ALL CONSTRUCTION MATERIALS, INCLUDING CUT & FILL ESTIMATES WHICH THE CONTRACTOR MAY PREPARE BASED ON INFORMATION CONTAINED WITHIN THESE PLANS.
 - WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
 - THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS WITH THE APPROPRIATE UTILITY COMPANIES FOR OBTAINING CONSTRUCTION PERMITS AND PERFORMING ALL NEW CONSTRUCTION, RELOCATION, ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC (INCLUDING UTILITY POLES), TELEPHONE, CABLE, FIRE ALARM, WATER, SANITARY SEWER, STORM DRAIN, AND ANY OTHER UTILITIES, BOTH PUBLIC AND PRIVATE, AS REQUIRED.
 - THE LOCATION OF EXISTING UNDERGROUND SYSTEMS, INFRASTRUCTURE, UTILITIES, CONDUITS, WELLS, AND LINES ARE SHOWN IN AN APPROXIMATE WAY ONLY, MAY NOT BE LIMITED TO THOSE SHOWN HEREIN, AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER, THE ENGINEER, OR THEIR REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION, BOTH HORIZONTALLY AND VERTICALLY, OF ALL EXISTING UTILITIES, CONDUITS, LINES, WELLS, AND OTHER BURIED INFRASTRUCTURE AND SYSTEMS BEFORE THE START OF ANY WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE THE INFRASTRUCTURE, UTILITIES, CONDUITS AND LINES EXACTLY. THE CONTRACTOR SHALL PRESERVE ALL UNDERGROUND INFRASTRUCTURE AND UTILITIES AS REQUIRED. THE CONTRACTOR MUST CALL "DIG SAFE" (AT 1-888-DIG-SAFE) AT LEAST 72 HOURS BEFORE THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL AT LEAST 24 HOURS AHEAD FOR INSPECTIONS BY THE APPROPRIATE AUTHORITY IN ACCORDANCE WITH THE TOWN REQUIREMENTS, AS APPLICABLE.
 - THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN, (SEE CHAPTER 370, ACTS OF 1963, MASSACHUSETTS) PRIOR TO COMMENCING ANY WORK.
 - BAXTER NYE ENGINEERING & SURVEYING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN.
 - THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE AND RESET" (R&R).
 - UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATION AND APPLY FOR AND OBTAIN ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH SAME, AND COORDINATE WITH THE ENGINEER AS REQUIRED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING INFORMATION OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR MUST NOTIFY THE OWNER OR ENGINEER IMMEDIATELY UPON DISCOVERY AND AT LEAST 72 HOURS PRIOR TO INSTALLATION OF ANY PORTION OF THE AFFECTED WORK.
 - THE CONTRACTOR SHALL REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS AND CONSTRUCTION. BUILDING DIMENSIONS SHOWN HEREIN ARE FOR COORDINATION WITH OTHER SITE WORK ONLY AND SHOULD NOT BE USED TO STAKE OUT BUILDINGS. SITE CONTRACTOR SHALL STAKE OUT THE EXTERIOR BUILDING CORNERS FROM THE LATEST ARCHITECTURAL PLANS. THE CONTRACTOR SHALL NOTIFY BAXTER NYE ENGINEERING & SURVEYING OF ANY DISCREPANCIES BETWEEN SITE PLAN DIMENSIONS AND ARCHITECTURAL BUILDING PLANS BEFORE PROCEEDING WITH ANY PORTION OF SITE WORK WHICH MAY BE EFFECTED SO THAT PROPER ADJUSTMENTS TO THE SITE LAYOUT CAN BE MADE IF NECESSARY.
 - PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT A SCHEDULE OF OPERATIONS TO THE OWNER AND ITS REPRESENTATIVE. THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE OWNER, ITS ENGINEER OR REPRESENTATIVE.
 - THE CONTRACTOR SHALL CONTACT THE ENGINEER TO SCHEDULE A PRE-CONSTRUCTION MEETING AT LEAST TWO (2) WEEKS PRIOR TO COMMENCING CONSTRUCTION.
 - THE CONTRACTOR SHALL MAKE SUBMITTALS TO THE ENGINEER FOR APPROVAL BEFORE ANY FABRICATION OR DELIVERY OF PRODUCTS OR MATERIALS.
 - CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS. BAXTER NYE ENGINEERING & SURVEYING DOES NOT ASSUME ANY RESPONSIBILITY IN JOB SITE SAFETY FOR CONSTRUCTION METHODS USED, ALL FEDERAL, STATE, AND LOCAL OSHA REQUIREMENTS AND REGULATIONS SHALL BE FOLLOWED BY ALL PERSONNEL ON THE JOB SITE AT ALL TIMES.
 - THE CONTRACTOR SHALL REMOVE ALL STUMPS, RUBBISH, AND DEBRIS FROM THE PROJECT SITE. STORAGE OF THESE ITEMS WILL NOT BE PERMITTED ON THE PROJECT SITE. THE CONTRACTOR SHALL LEAVE THE SITE IN A SAFE, CLEAN, AND LEVEL CONDITION AT THE COMPLETION OF THE SITE CLEARANCE WORK.
 - ALL UNSUITABLE MATERIALS ENCOUNTERED WITHIN THE LIMIT OF WORK SUB GRADES SHALL BE REMOVED, AS DIRECTED, BY THE ENGINEER OR OWNERS REPRESENTATIVE, TO NATURAL STABLE GROUND BY THE CONTRACTOR. UNSUITABLE MATERIALS INCLUDE TOPSOIL, LOAM, PEAT, ALL ORGANIC MATERIAL, SNOW, ICE, CONSTRUCTION RUBBLE, TRASH, AND OTHER DELETERIOUS DEBRIS.
 - TREES AND SHRUBS WITHIN THE LIMITS OF GRADING SHALL BE REMOVED AND RESET ONLY UPON APPROVAL OF THE ENGINEER OR OWNERS REPRESENTATIVE.
 - AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS, WITHOUT PRIOR APPROVAL BY THE OWNER OR ITS REPRESENTATIVE, SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
 - EXISTING SUBSURFACE ROCK IS NOT SHOWN ON THE PLANS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE THEIR OWN DETERMINATION AS TO THE LOCATION OF SUBSURFACE ROCK.
 - THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER, AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY FACILITIES DAMAGED BY CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
 - ALL EXISTING SIGNS WITHIN THE PROJECT LIMITS SHALL BE RETAINED UNLESS NOTED OTHERWISE.
 - JOINTS BETWEEN NEW BITUMINOUS CONCRETE ROADWAY PAVEMENT AND SAWCUT EXISTING PAVEMENT SHALL BE SEALED WITH BITUMEN AND BACKSAND. ALL JOINTS TO EXISTING PAVEMENT SHALL BE SAWCUT AND STRAIGHT. ALL CRACKED OR INADEQUATE PAVEMENT AND/OR SUBBASE MATERIAL SHALL BE REMOVED AND REPLACED.
 - ALL PROPOSED WALKWAYS SHALL BE HANDICAPPED ACCESSIBLE. ALL PROPOSED SLOPES ON WALKWAYS SHALL BE LESS THAN 5% AND ALL CROSS SLOPES <2%. THESE ARE MAXIMUM SLOPES WITH NO TOLERANCE. ALL WORK WILL BE IN ACCORDANCE WITH THE MOST CURRENT REQUIREMENTS OF THE U.S. ACCESS BOARD, AMERICANS WITH DISABILITIES ACT & COMMONWEALTH OF MASSACHUSETTS,

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- FINAL LAYOUT AND STAKING OF ALL PROPOSED FEATURES AND GRADING SHALL BE REVIEWED IN THE FIELD AND APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO ANY SITE PREPARATION OR CONSTRUCTION. THE CONTRACTOR SHALL NOT ADJUST OR MODIFY THE LAYOUT AND STAKING OF ANY PROPOSED FEATURES WITHOUT FINAL APPROVAL FROM THE OWNERS REPRESENTATIVE, AND ANY GOVERNMENTAL AGENCY WHICH MAY HAVE JURISDICTION OVER CONTEMPLATED CHANGE.
- ALL ELECTRICAL (BOTH PRIMARY AND SECONDARY), TELEPHONE, DATA/COM AND FIRE DEPARTMENT CONDUITS AND APPURTENANT FEATURES REQUIRED BY THE APPLICABLE UTILITY COMPANY ARE TO BE INSTALLED BY THE ELECTRICAL CONTRACTOR. TRENCHING, BACKFILLING, CONCRETE WORK, MANHOLE AND RELATED STRUCTURES AND STREET REPAIR SHALL BE PERFORMED BY THE GENERAL CONTRACTOR. ALL ASSOCIATED COSTS FOR COMPLETE EXECUTION OF THIS WORK SHALL BE INCLUDED IN THE CONTRACTORS PRICING.
- RIM ELEVATIONS OF DRAINAGE AND SANITARY SEWER MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH GRADING PLANS. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, GAS GATES, WATER GATES AND OTHER UTILITIES TO FINISHED GRADE WITHIN THE LIMITS OF THE SITE WORK.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED IN KIND. SURFACES NOT OTHERWISE TREATED SHALL BE STABILIZED AS LAWNS. ALL LAWN AREAS SHALL HAVE A MODIFIED LOAM BORROW PLACED, SEDED, FERTILIZED, LIMED AND MULCHED UNTIL GRASS STAND IS ESTABLISHED AND SURFACE IS STABILIZED. THE MODIFIED LOAM BORROW SHALL HAVE A MINIMUM DEPTH OF 6" AND SHALL BE PLACED FLUSH WITH THE TOP OF ADJACENT CURBS, EDGING, BERM, OR OTHER SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AREAS UNTIL VEGETATION HAS BEEN PERMANENTLY ESTABLISHED. SLOPES IN EXCESS OF 3:1 SHALL BE FURTHER STABILIZED WITH EROSION CONTROL BLANKETS (ECB) OF CURLEX OR EQUAL.
- THE CONTRACTOR SHALL WATER, MOW, FERTILIZE OR OTHERWISE MAINTAIN ALL SODDED AND SEDED OR OTHERWISE STABILIZED AREAS UNTIL GRASS STANDS OR OTHER VEGETATED METHODS ARE ESTABLISHED TO THE SATISFACTION OF THE OWNER OR THEIR REPRESENTATIVE.
- THE CONTRACTOR SHALL RESET ALL MONUMENTATION DISTURBED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL PROVIDE A SURVEY BY A PLS TO ENSURE THAT THE MONUMENTATION IS RESET TO ITS ORIGINAL LOCATION. MONUMENTS INCLUDE, BUT ARE NOT LIMITED TO, TOWN BOUNDS, MASS HIGHWAY BOUNDS, PROPERTY LINE MONUMENTS, IRON RODS, STAKES, CONCRETE BOUNDS, GRANITE BOUNDS AND STONE WALLS WITH DRILL HOLES.
- ALL WORK WITHIN THESE PLANS SHALL BE PERFORMED AND PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONSTRUCTION DETAILS PROVIDED IN THIS PLAN SET WHETHER OR NOT THE DETAIL NUMBER IS SPECIFICALLY REFERENCED.

EXCAVATION SAFETY:

ALL EXCAVATION MUST FOLLOW OSHA, MASSACHUSETTS AND LOCAL REGULATIONS FOR SAFETY. ALL TRENCH EXCAVATION EXCEEDING 3 FEET OF DEPTH WILL REQUIRE A TRENCH PERMIT FROM THE LOCAL TOWN OR CITY PRIOR TO ANY EXCAVATION.

DRAWINGS STATEMENT:

THE CONTRACTOR WILL PREPARE AS-BUILT DRAWINGS, STAMPED BY A MA LICENSED PROFESSIONAL ENGINEER (PE) CERTIFYING THAT: "TO THE BEST OF THEIR KNOWLEDGE, JUDGEMENT AND BELIEF, THE CONSTRUCTED WORK IS IN GENERAL CONFORMANCE WITH THE PLANS."

INSPECTIONS/TESTING:

- CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE ENGINEER ON ALL NECESSARY INSPECTIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST TWO (2) BUSINESS DAYS AHEAD OF REQUIRED INSPECTIONS.
- AT A MINIMUM, THE FOLLOWING INSPECTIONS/TESTING WILL BE REQUIRED, IF ISSUES ARISE DURING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS ADDITIONAL INSPECTIONS BEYOND WHAT IS NOTED MAY BE NEEDED.
 - INSTALLATION OF SEDIMENT AND EROSION CONTROLS AT LIMIT OF WORK PRIOR TO COMMENCING CONSTRUCTION.
 - DRAINAGE AND STORMWATER MANAGEMENT:
 - BOTTOM OF EXCAVATION FOR EACH STORMWATER MANAGEMENT (SWM) FACILITY.
 - DURING INSTALLATION OF STRUCTURES/CHAMBERS TO SEE A CROSS SECTION VIEW OF INSTALLATION.
 - AT COMPLETION OF INSTALLATION OF EACH SWM FACILITY PRIOR TO BACKFILL.
 - AT FINAL SHAPING OF STONE WEIRS, OUTFALLS AND EARTH BERMS.
 - DURING INSTALLATION OF THE BIO-RETENTION SECTION FOR THE SWALE AND BASIN.
 - GRAVEL BORROW SUBBASE UNDER ALL PAVED AND CONCRETE SURFACES (UNLESS OTHERWISE WITNESSED BY A TESTING AGENCY).
 - BN WILL NEED TO WITNESS REPRESENTATIVE INSTALLATION OF VERTICAL AND SLOPED CURBING.
 - BN SHALL BE PROVIDED FOR REVIEW ALL TESTING AGENCY LABORATORY MATERIAL AND ON-SITE TESTING AS REQUIRED UNDER THE PROJECT DOCUMENTS FOR COMPLETE REQUIREMENTS, INCLUDING BUT NOT LIMITED TO:
 - BIO-RETENTION SECTION FILTER MEDIA COMPOSITION SIEVE ANALYSIS AND MATERIAL CHARACTERISTICS PER SPEC.
 - SANDY TOPSOIL SIEVE ANALYSIS AND MATERIAL CHARACTERISTICS PER SPEC FOR SWM AREAS.
 - ALL COMPACTION TESTING RESULTS FOR BACKFILL.
 - GRAVEL BORROW MATERIAL UNDER PAVING, SIDEWALK, SITE SLABS, PADS, ETC. AS TO DEPTH OF MATERIAL PLACEMENT AND COMPACTION TESTING RESULTS.
 - BITUMINOUS CONCRETE PLACEMENT AND COMPACTION TESTING RESULTS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MATERIAL SAMPLES TO AND COORDINATING WITH THE TESTING AGENCY AS REQUIRED.

F. BN WILL NEED TO WITNESS A REPRESENTATIVE UTILITY INSTALLATION BEFORE BACKFILL FOR:

- WATER
 - CONTRACTOR SHALL CONTACT BN TO ALLOW BN TO TAKE AS-BUILT SHOTS ON PIPE BENDS, PIPE TOP FOR AS-BUILT REQUIREMENTS.
 - THE WATER SYSTEM SHALL BE INSPECTED BY A THIRD PARTY APPROVED WATER INSPECTOR PAID FOR BY THE CONTRACTOR. ACCEPTANCE REPORTS AND AS-BUILT TIE CARDS FOR THE WATER SYSTEM (INCLUDING TIES TO ALL BENDS, TEES, ETC.) SHALL BE PREPARED BY THE 3RD PARTY INSPECTOR AND PROVIDED TO THE ENGINEER FOR RECORD.
- SEWER
 - INSTALLATION OF PIPE AND PIPE BEDDING, TANKS, AND SMH PRIOR TO BACKFILLING.
 - CONTRACTOR SHALL PROVIDE ALL REQUIRED TESTING FOR ACCEPTANCE OF THE SEWER SYSTEM. UNACCEPTABLE TEST/INSPECTION RESULTS WILL RESULT IN THE CONTRACTOR REPAIRING THE CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER.
 - CONTRACTOR TO PROVIDE BN WITH SEWER DEPT. APPROVED INSPECTION REPORT AND ACCEPTANCE LETTER.

SANITARY SEWER TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL INCLUDE:

- ALL SEWERS AND APPURTENANT WORK, IN ORDER TO BE ELIGIBLE FOR ACCEPTANCE BY THE ENGINEER, SHALL BE SUBJECTED TO TESTS THAT WILL DETERMINE THE DEGREE OF WATER TIGHTNESS AND HORIZONTAL AND VERTICAL ALIGNMENT.
 - THOROUGHLY CLEAN AND/OR FLUSH ALL SEWER LINES TO BE TESTED, IN A MANNER AND TO THE EXTENT ACCEPTABLE TO THE ENGINEER, PRIOR TO INITIATING TEST PROCEDURES.
 - TESTING GRAVITY SEWER PIPING:
 - LOW-PRESSURE AIR TEST.
 - INFILTRATION TEST.
 - HYDROSTATIC TESTING PRESSURE PIPING.
 - DEFLECTION TESTING PER ACCEPTED STANDARDS (RIGID BALL, "GO-NO GO MANDREL), MAX ALLOWABLE DEFLECTION IS 5% OF ORIGINAL PIPE DIAMETER. PIPES HOLDING WATER MAY RESULT IN FAILING INSPECTION.
 - CAMERA VIDEO INSPECTION.
 - SEALING AND TESTING PRECAST SANITARY SEWER MANHOLES, FRAMES AND COVERS.
 - WATER TIGHT TESTS PRIOR TO BACKFILLING OF WET WELLS AND TANKS PER ACCEPTABLE STANDARD.
 - PUMPS AND CONTROLS
 - ALL TESTING SHALL BE PERFORMED PRIOR TO ACCEPTANCE OF THE SEWER SYSTEM.
- H. THE CONTRACTOR SHALL NOTIFY AND COORDINATE A SITE MEETING WITH THE ENGINEER PRIOR TO PLACING FINAL PAVING COURSE. LAYOUT AND FINAL REQUIRED DIMENSIONS ARE TO BE REVIEWED AT THIS MEETING PRIOR TO PAVING OPERATION. REQUIREMENTS SHALL BE PER MASSDOT STANDARD SPECIFICATIONS.
- I. FINAL STABILIZATION AND PLANTINGS PRIOR TO REMOVING ANY SEDIMENT AND EROSION CONTROL DEVICES.

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Fax - (508) 771-7622
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STAMP	STAMP
CONSULTANT	

CONSULTANT	
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CONSULTANT	
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PREPARED FOR:	
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PROJECT TITLE	
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DATE	DESCRIPTION
01/08/21	CONSTRUCTION V.E.
02/18/21	PER SITE PLAN REVIEW COMMENTS
	DATE DESCRIPTION

Legend and
General Notes Plan

SHEET NO
C6.0

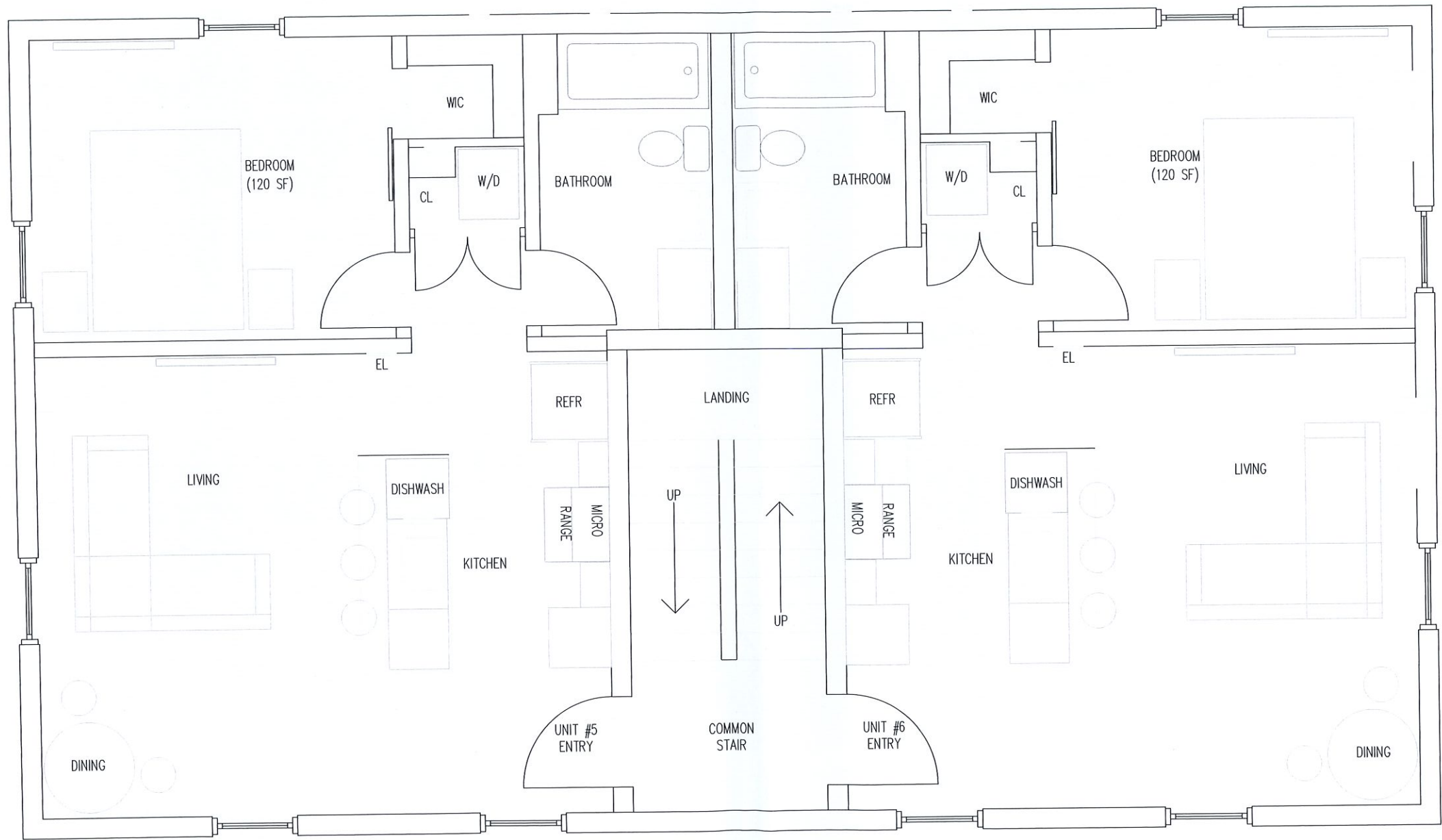
DATE: FEBRUARY 11, 2021

SCALE IN FEET
SCALE: 1"=20'

DRAWN BY: JNL CHECKED BY: MNE

RECEIVED
TOWN CLERK
HARWICH, MA
2023 JAN 10 A 11:29

FAR SIDE
PROPERTIES



SECOND

REVISIONS		
#	DATE	DESCRIPTION
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2	09.13.22	UPDATE BR & TOT SF
3	01.03.23	UPDATED EXT DETAILS
4		
5		

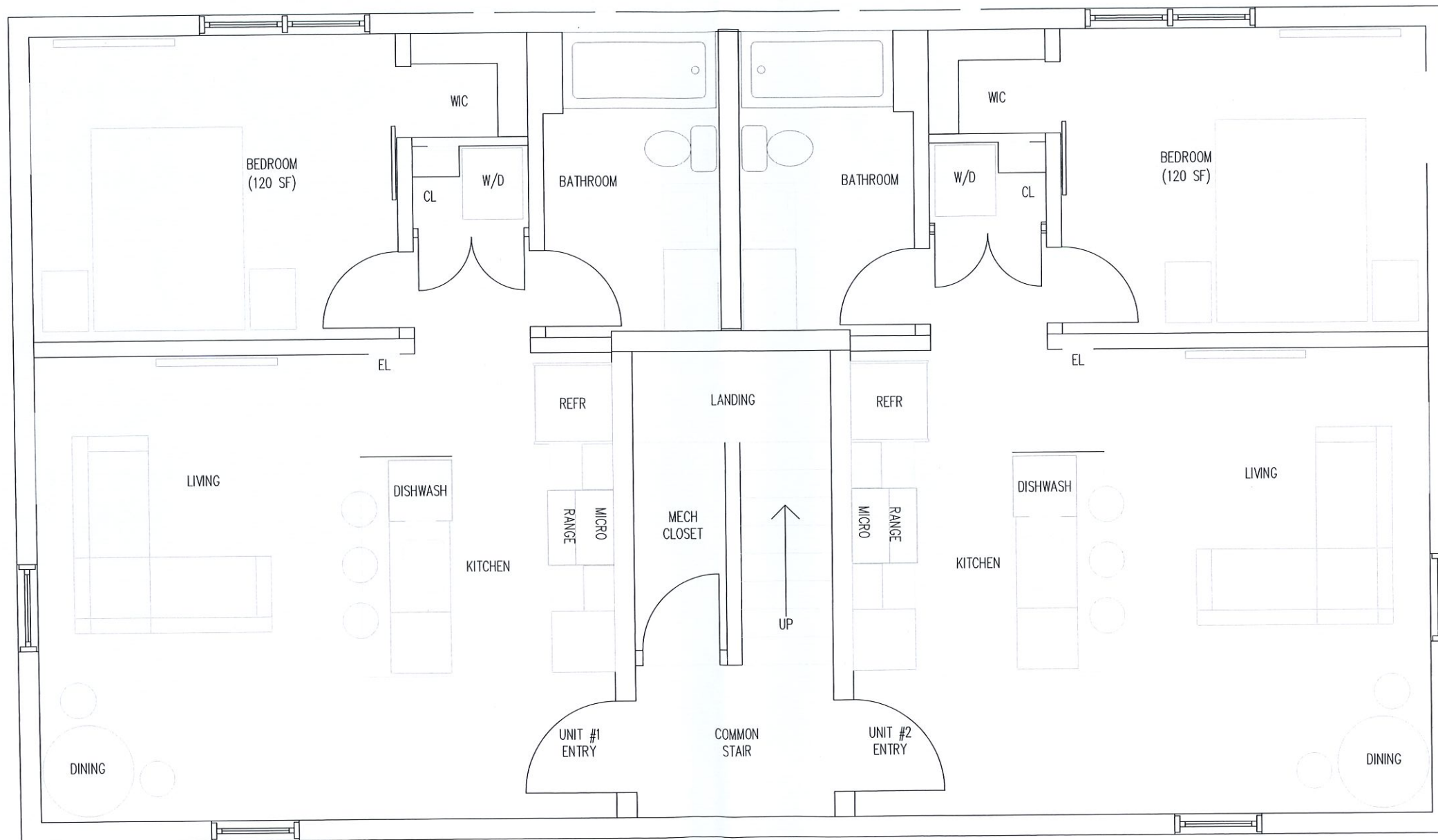
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DRAWN BY: KB/JC
JOB#: 22-001



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FAR SIDE
PROPERTIES



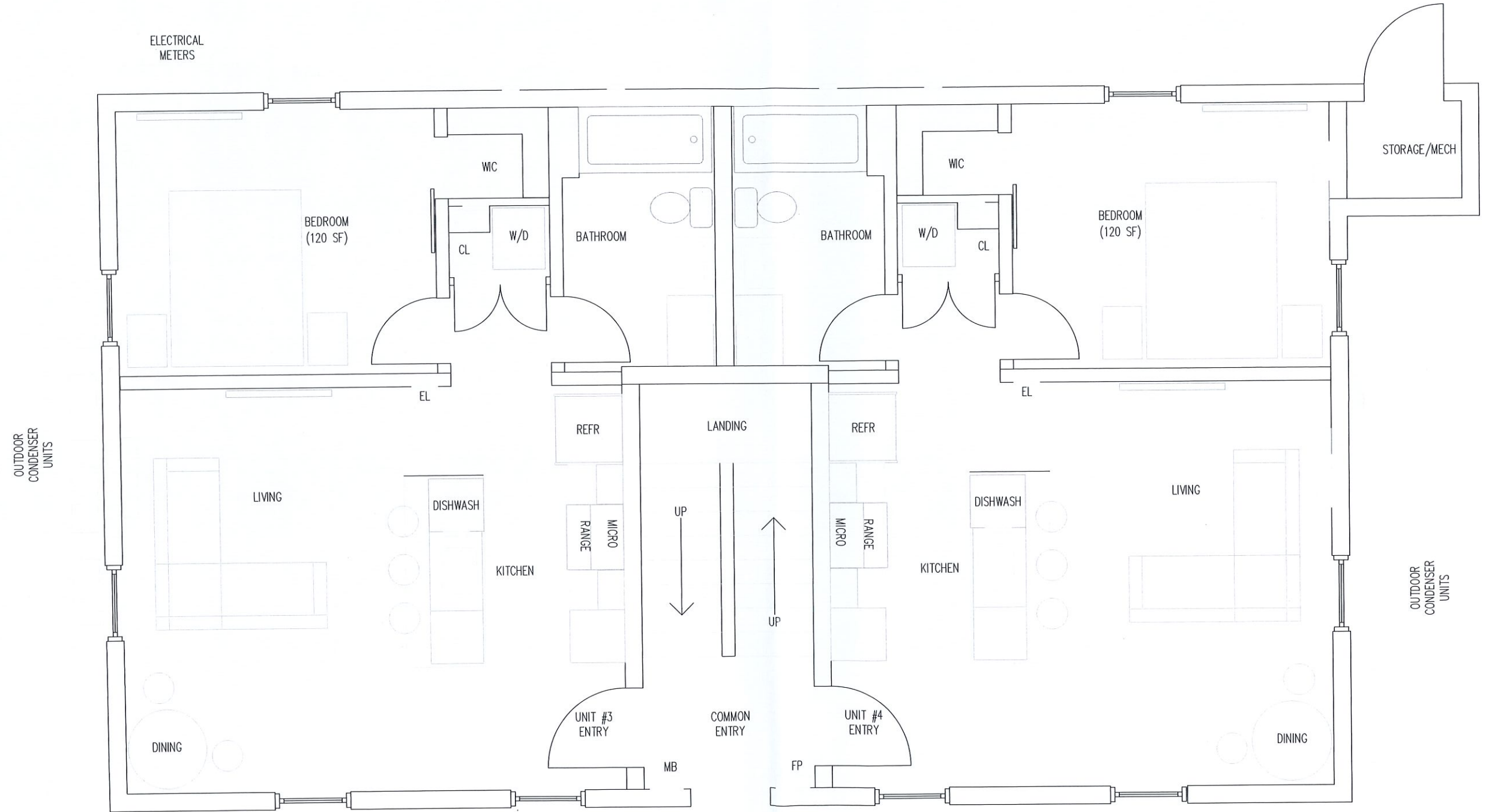
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REVISIONS	
#	DESCRIPTION
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2	09.13.22 UPDATE BR & TOT SF
3	01.03.23 UPDATED EXT DETAILS
4	
5	

 NORTH
 DATE: 08.22.22
 SCALE: 1/2" = 1'-0"
 DRAWN BY: KB/JC
 JOB#: 22-001


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TOWN CLERK
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2023 JAN 10 A 11: 29

FAR SIDE
PROPERTIES



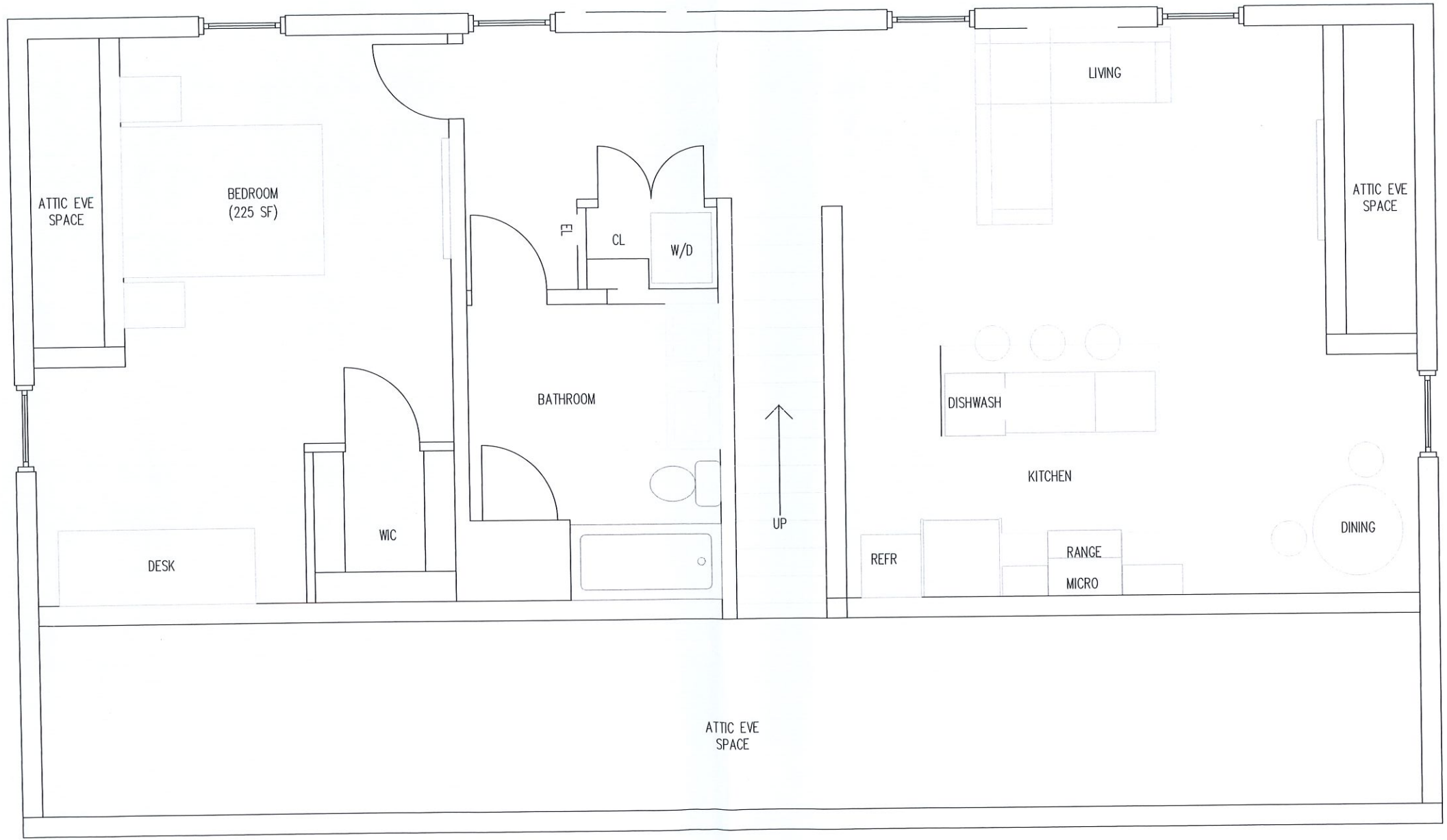
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REVISIONS	
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2	01.03.23 UPDATED EXT DETAILS
3	
4	
5	

 NORTH
 DATE: 08.22.22
 SCALE: 1/2" = 1'-0"
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FAR SIDE
PROPERTIES



THIRD

REVISIONS		
#	DATE	DESCRIPTION
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2	09.13.22	UPDATE BR & TOT SF
3	01.03.23	UPDATED EXT DETAILS
4		
5		

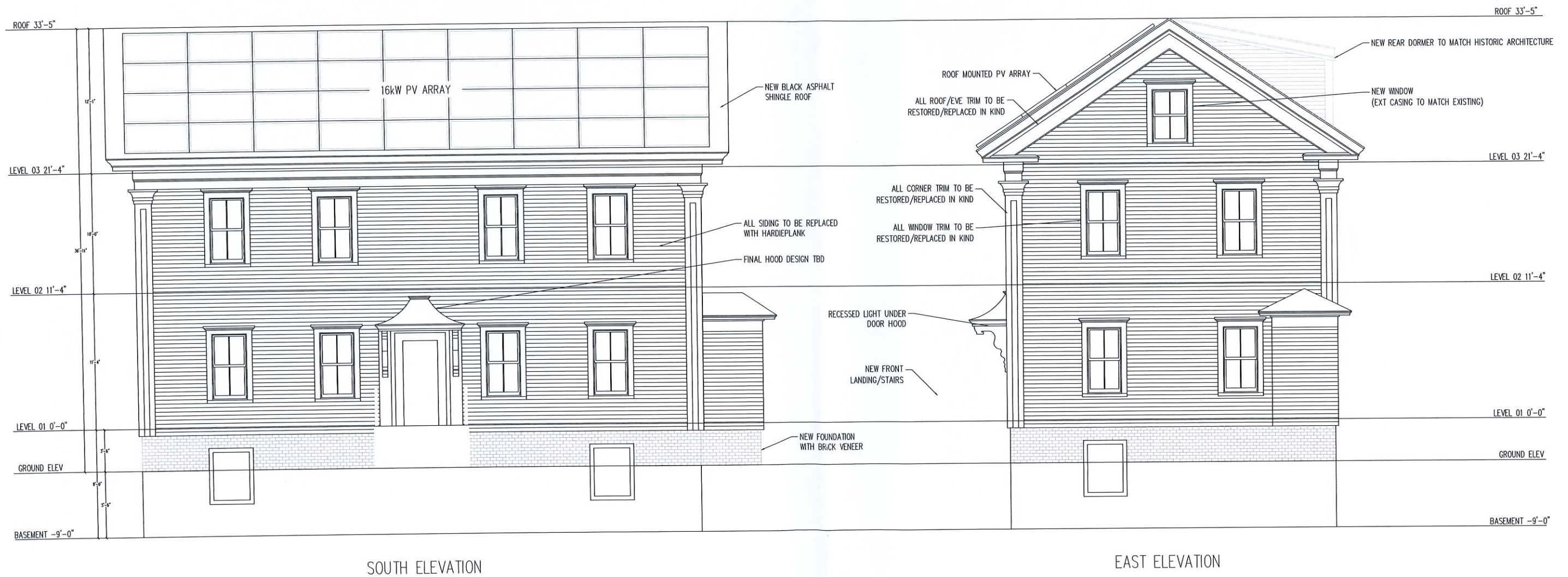
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 DATE: 08.22.22
 SCALE: 1/2" = 1'-0"
 DRAWN BY: KB/JC
 JOB#: 22-001

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- GENERAL NOTES:
1. ALL WINDOWS TO BE STERGIS 2 OVER 2 STYLE WITH BLACK FRAMES. SIZES VARY.
 2. ROOF TO BE BLACK ASPHALT SHINGLE.
 3. SIDING TO BE REPLACED WITH HARDIEPLANK.
 4. ALL TRIM TO BE RESTORED/REPLACED IN KIND.
 5. ALL TRIM/SIDING PAINT TO BE WHITE TO MATCH ORIGINAL.
 6. ENTRY DOOR TO BE SOLID.
 7. NEW FOUNDATION TO BE FINISHED WITH BRICK VENEER TO MATCH ORIGINAL.
 8. FRONT DOOR LIGHT WILL BE RECESSED IN HOOD CEILING. (NOT VISIBLE)
 9. FRONT DOOR LIGHT WILL BE RECESSED IN HOOD CEILING. (NOT VISIBLE)

FAR SIDE
PROPERTIES



SOUTH ELEVATION

EAST ELEVATION

REVISIONS		
#	DATE	DESCRIPTION
1	09.06.22	UPDATED
2	09.13.22	UPDATE BR & TOT SF
3	01.03.23	UPDATED EXT DETAILS
4		
5		



DATE: 08.22.22
SCALE: 1/4" = 1'-0"
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2023 JAN 10 A 11:29

GENERAL NOTES:

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FAR SIDE
PROPERTIES

REVISIONS

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DATE: 08.22.22
SCALE: 1/4" = 1'-0"
DRAWN BY: KB/JC
JOB#: 22-001