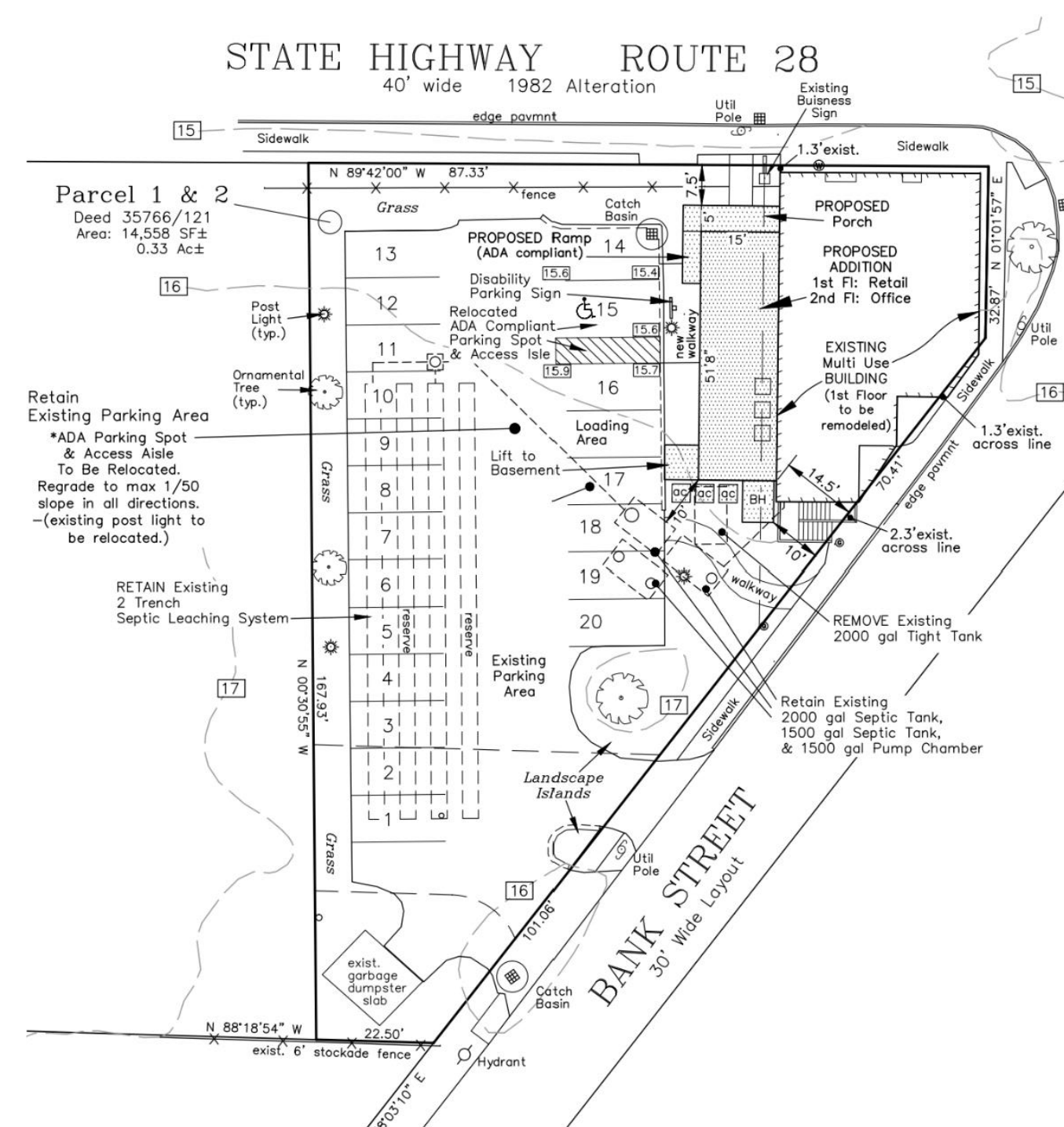


585 MAIN ST. RENOVATION + ADDITION

585 MAIN STREET, HARWICH, MA 02646

OWNER: JSLW LLC STRUCTURAL ENGINEER: COASTAL ENGINEERING BUILDER: WHITCOMB BUILDING ARCHITECT: ANTONIA BUTWELL
 AB DESIGN COLLABORATIVE LLC



SITE PLAN : NTS
 SEE CIVIL ENGINEER'S PLAN

DRAWING LIST

- G-000.00 - WINDOW / DOOR SCHEDULE + CONSTRUCTION DETAILS
- DM-100.00 - BASEMENT DEMOLITION PLAN
- DM-101.00 - FIRST FLOOR DEMOLITION PLAN
- DM-102.00 - BASEMENT DEMOLITION PLAN
- A-100.00 - BASEMENT CONSTRUCTION PLAN
- A-101.00 - FIRST FLOOR CONSTRUCTION PLAN
- A-102.00 - SECOND FLOOR CONSTRUCTION PLAN
- A-200.00 - EXISTING + PROPOSED NORTH EXTERIOR ELEVATIONS
- A-201.00 - EXISTING + PROPOSED WEST EXTERIOR ELEVATIONS
- A-202.00 - EXISTING + PROPOSED SOUTH EXTERIOR ELEVATIONS
- A-203.00 - EXISTING + PROPOSED EAST EXTERIOR ELEVATIONS
- A-300.00 - SECTION 01

SEE STRUCTURAL ENGINEER'S DRAWINGS
 FOR ALL STRUCTURAL INFO.

GENERAL INFORMATION:

LOCATION: 585 MAIN ST. HARWICH, MA
 TYPE: RENOVATION + ADDITION
 HEIGHT: 2 STORIES (+ BASEMENT)

SCOPE OF WORK:
 - RENOVATE EXISTING GROUND FLOOR RETAIL SPACE.
 - NO WORK AT 2ND FLOOR APARTMENT.
 - ADDITION AT BASEMENT, GROUND FLOOR, AND SECOND FLOOR FOR ADDITIONAL STORAGE, RETAIL SPACE, AND OFFICES.

GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE MASSACHUSETTS BUILDING CODE, FIRE DEPARTMENT RULES AND REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
2. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED INSURANCE CERTIFICATES WITH THE BUILDING DEPARTMENT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE GOVERNING MASSACHUSETTS AND LOCAL AGENCIES.
3. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT REQUIRED FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
4. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE STIPULATIONS OF LOCAL AUTHORITIES, BUILDING MANAGEMENT OR BOARD OF DIRECTORS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
6. THE CONTRACTOR SHALL LAYOUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES: PLUMBING, ELECTRICALS, ETC.
7. PLUMBING WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE BUILDING DEPARTMENT ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRED SIGN OFFS.
8. ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE BUREAU OF ELECTRICAL CONTROL ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRED SIGN OFFS.
9. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
10. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.

STRUCTURAL DESIGN

THE PROVISIONS OF MASSACHUSETTS BUILDING CODE SHALL GOVERN THE STRUCTURAL DESIGN OF BUILDINGS, STRUCTURES AND PORTIONS THEREOF REGULATED BY THE MASSACHUSETTS BUILDING CODE.

THE BUILDING, STRUCTURES AND PARTS THEREOF ARE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH STRENGTH DESIGN, LOAD AND RESISTANCE FACTOR DESIGN, ALLOWABLE STRESS DESIGN, EMPIRICAL DESIGN OR CONVENTIONAL CONSTRUCTION METHODS, AS REQUIRED BY MASSACHUSETTS BUILDING CODE.
 SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL INFORMATION.

STRUCTURAL TESTS AND INSPECTIONS

THE PROVISIONS OF MASSACHUSETTS BUILDING CODE SHALL GOVERN THE INSPECTION OF QUALITY, WORKMANSHIP AND REQUIREMENTS FOR CONSTRUCTION. MATERIALS, INSPECTION AND TESTING SHALL CONFORM TO THE APPLICABLE STANDARDS LISTED IN MASSACHUSETTS BUILDING CODE OR IN THE RULES OF THE DEPARTMENT.
 SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL INFORMATION.

ELECTRICAL

THE PROVISIONS OF MASSACHUSETTS BUILDING CODE SHALL GOVERN THE ELECTRICAL COMPONENTS, EQUIPMENT AND SYSTEMS USED IN BUILDINGS AND STRUCTURES COVERED BY THE MASSACHUSETTS BUILDING CODE. ELECTRICAL COMPONENTS, EQUIPMENT AND SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF MASSACHUSETTS ELECTRICAL CODE.

MECHANICAL SYSTEMS

MECHANICAL APPLIANCES, EQUIPMENT AND SYSTEMS SHALL BE CONSTRUCTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MASSACHUSETTS MECHANICAL CODE AND FUEL GAS CODE. MASONRY CHIMNEYS, FIREPLACES AND BARBEQUES SHALL COMPLY WITH THE MASSACHUSETTS MECHANICAL CODE.

PLUMBING SYSTEMS

MASSACHUSETTS PLUMBING CODE SHALL GOVERN THE CONSTRUCTION, ERECTION, INSTALLATION, ALTERATION, REPAIRS, RELOCATION, REPLACEMENTS, ADDITION TO, USE OR MAINTENANCE OF PLUMBING EQUIPMENT AND SYSTEMS.

FIRE RESISTANCE

MASSACHUSETTS CODES AND REGULATIONS REGARDING FIRE RESISTANT CONSTRUCTION SHOULD GOVERN ALL WORK RELATED TO CONSTRUCTION TYPE, FIRE AND SMOKE PROTECTION, INTERIOR FINISHES, FIRE AND LIFE SAFETY PROTECTION SYSTEMS, AND MEANS OF EGRESS.

WINDOW + EXTERIOR DOOR SCHEDULE

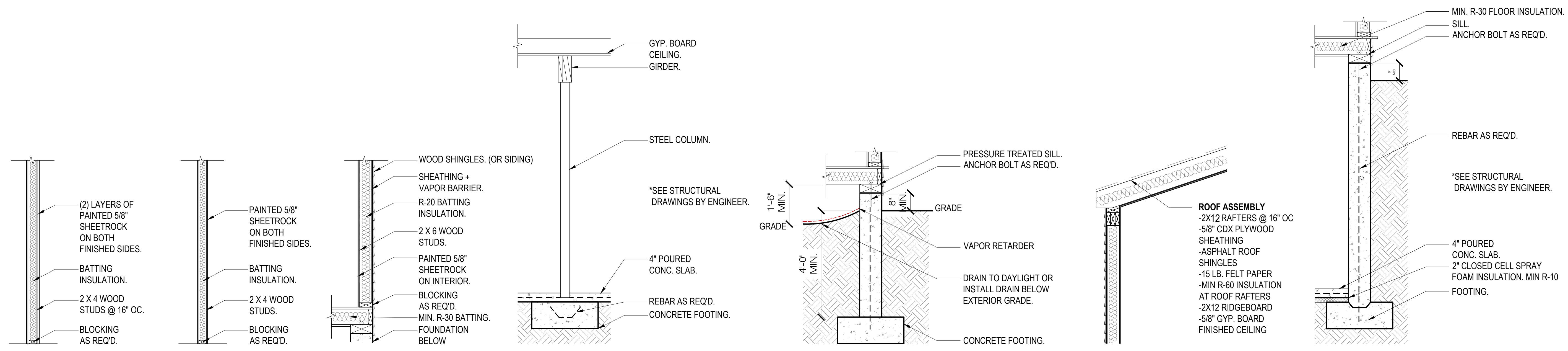
LABEL	LOCATION	HEIGHT	WIDTH	MANUF.	SERIES	NOTES
A	VARIABLES	56-7/8"	37-5/8"	ANDERSEN	400	MATCH EXISTING
B	RETAIL AREA	VARIABLES	VARIABLES	ANDERSEN	400	CUSTOM SIZES TO MATCH EXISTING ANDERSEN STYLE
01	RETAIL AREA	6'-8"	3'-0"	ANDERSEN	400	GLASS, SWING
02	RECEIVING AREA	6'-8"	4'-0"	ANDERSEN	400	SOLID, SWING
03	OFFICES	6'-8"	6'-0"	ANDERSEN	400	GLASS, SLIDERS

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. ALL NEW CONSTRUCTION TO MATCH EXISTING IN MATERIAL, DETAIL, AND FINISH.
3. CONTRACTOR TO PROTECT EXISTING AS REQUIRED DURING CONSTRUCTION.
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6. STRUCTURAL ENGINEER TO ADVISE ON ALL STRUCTURAL WORK.
7. CIVIL ENGINEER TO ADVISE ON ALL SITE WORK.

Antonia Butwell | Architect
AB Design Collaborative LLC

MAY NOT BE REPRODUCED WITHOUT PERMISSION



01. 2-HR RATED INTERIOR WALL ASSEMBLY - UL301
SCALE: 1'-0" = 1/2"

02. TYP. INTERIOR WALL ASSEMBLY
SCALE: 1'-0" = 1/2"

03. TYP. EXTERIOR WALL ASSEMBLY
SCALE: 1'-0" = 1/2"

04. TYP. LALLY COLUMN DETAIL
SCALE: 1'-0" = 1/2"

05. TYP. FOOTING DETAIL AT FRONT PORCH
SCALE: 1'-0" = 1/2"

06. TYP. ROOF ASSEMBLY DETAIL
SCALE: 1'-0" = 1/2"

07. TYP. FOUNDATION WALL DETAIL
SCALE: 1'-0" = 1/2"

PERMITTING SET
PROJECT:
02.02.2024

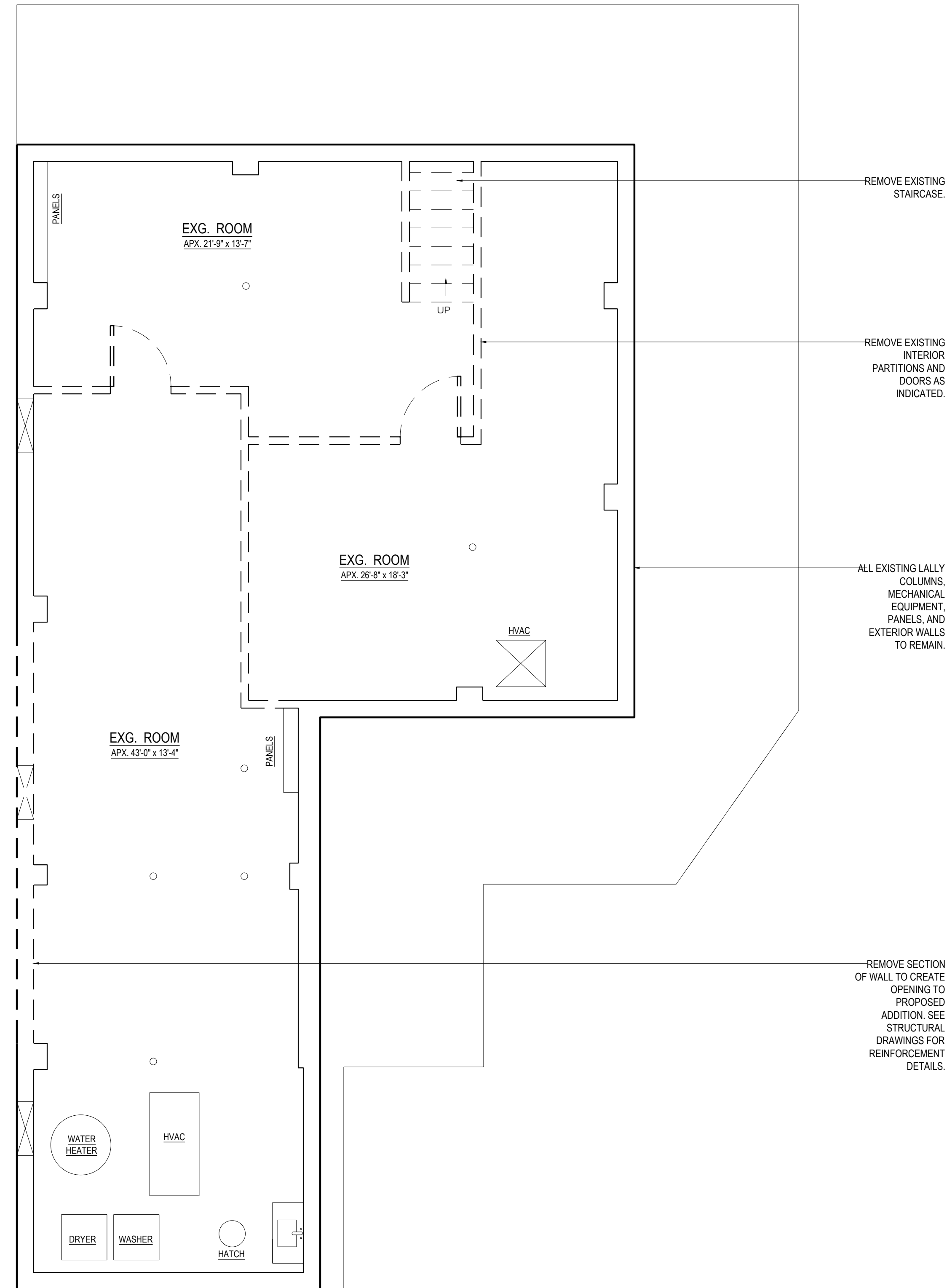
585 MAIN ST.
RENOVATION + ADDITION
585 MAIN ST
HARWICH, MA
02646
TITLE:
WINDOW SCHEDULE
CONSTRUCTION DETAILS

PROJECT No: 22019
DRAWN BY: AB
SCALE: AS NOTED

G-000.00
1 OF 1

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. ALL NEW CONSTRUCTION TO MATCH EXISTING IN MATERIAL, DETAIL, AND FINISH.
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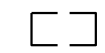
REMOVE EXISTING STAIRCASE.

REMOVE EXISTING INTERIOR PARTITIONS AND DOORS AS INDICATED.

ALL EXISTING LALLY COLUMNS, MECHANICAL EQUIPMENT, PANELS, AND EXTERIOR WALLS TO REMAIN.

REMOVE SECTION OF WALL TO CREATE OPENING TO PROPOSED ADDITION. SEE STRUCTURAL DRAWINGS FOR REINFORCEMENT DETAILS.

LEGEND

-  REMOVE FLOORING
-  DEMOLISHED WALL

PERMITTING SET 02.02.2024


PROJECT:

585 MAIN ST.
RENOVATION + ADDITION

585 MAIN ST.
HARWICH, MA
02646

TITLE:
BASEMENT DEMOLITION PLAN

PROJECT No: 22019
DRAWN BY: AB
SCALE: AS NOTED



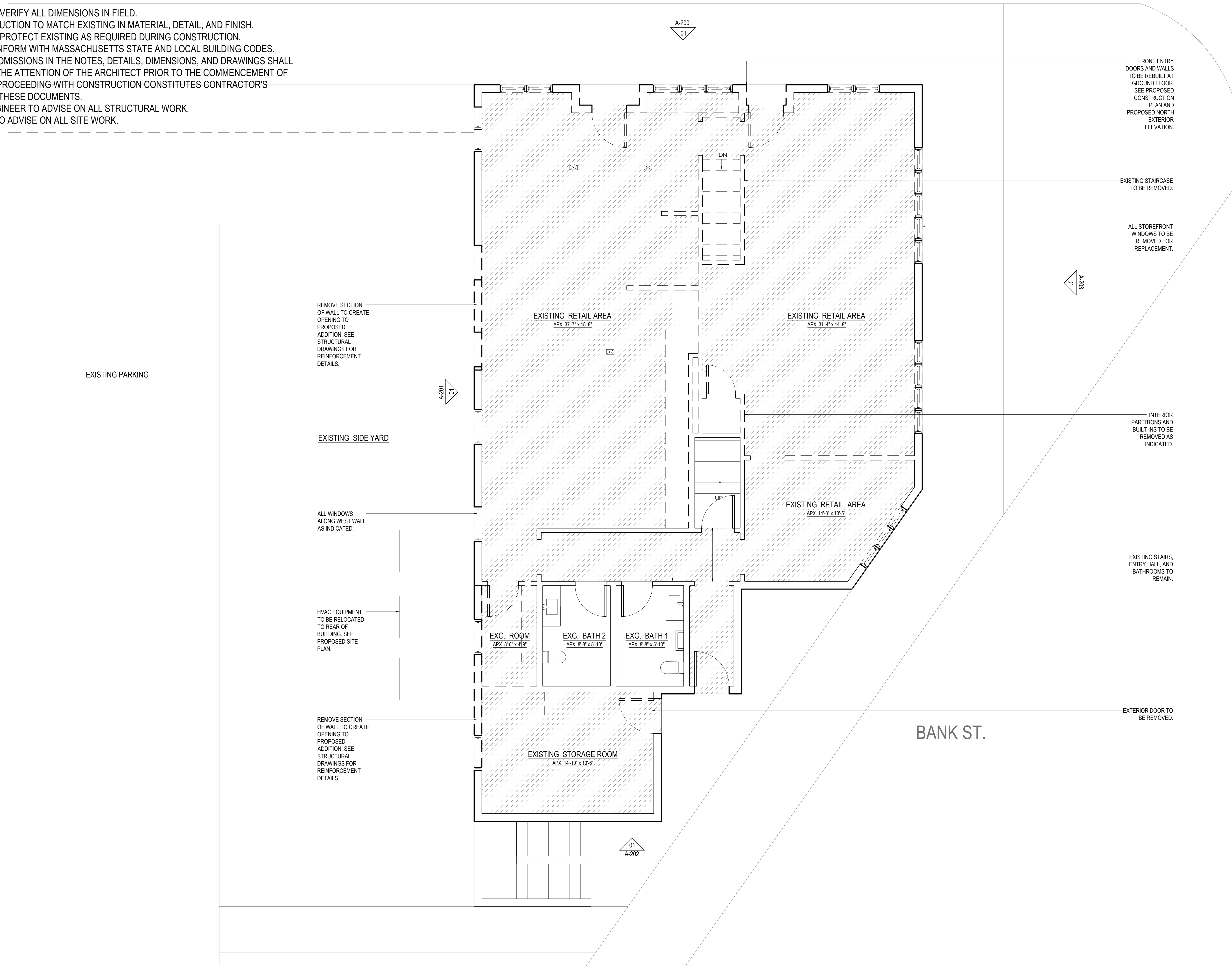
DM-100.00
1 OF 1

01. BASEMENT DEMOLITION PLAN

SCALE: 1'-0" = 1/4"

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. ALL NEW CONSTRUCTION TO MATCH EXISTING IN MATERIAL, DETAIL, AND FINISH.
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LEGEND

- REMOVE FLOORING
- DEMOLISHED WALL

PERMITTING SET 02.02.2024

PROJECT:

585 MAIN ST.
RENOVATION + ADDITION
585 MAIN ST.
HARWICH, MA
02646

TITLE:
FIRST FLOOR DEMOLITION PLAN

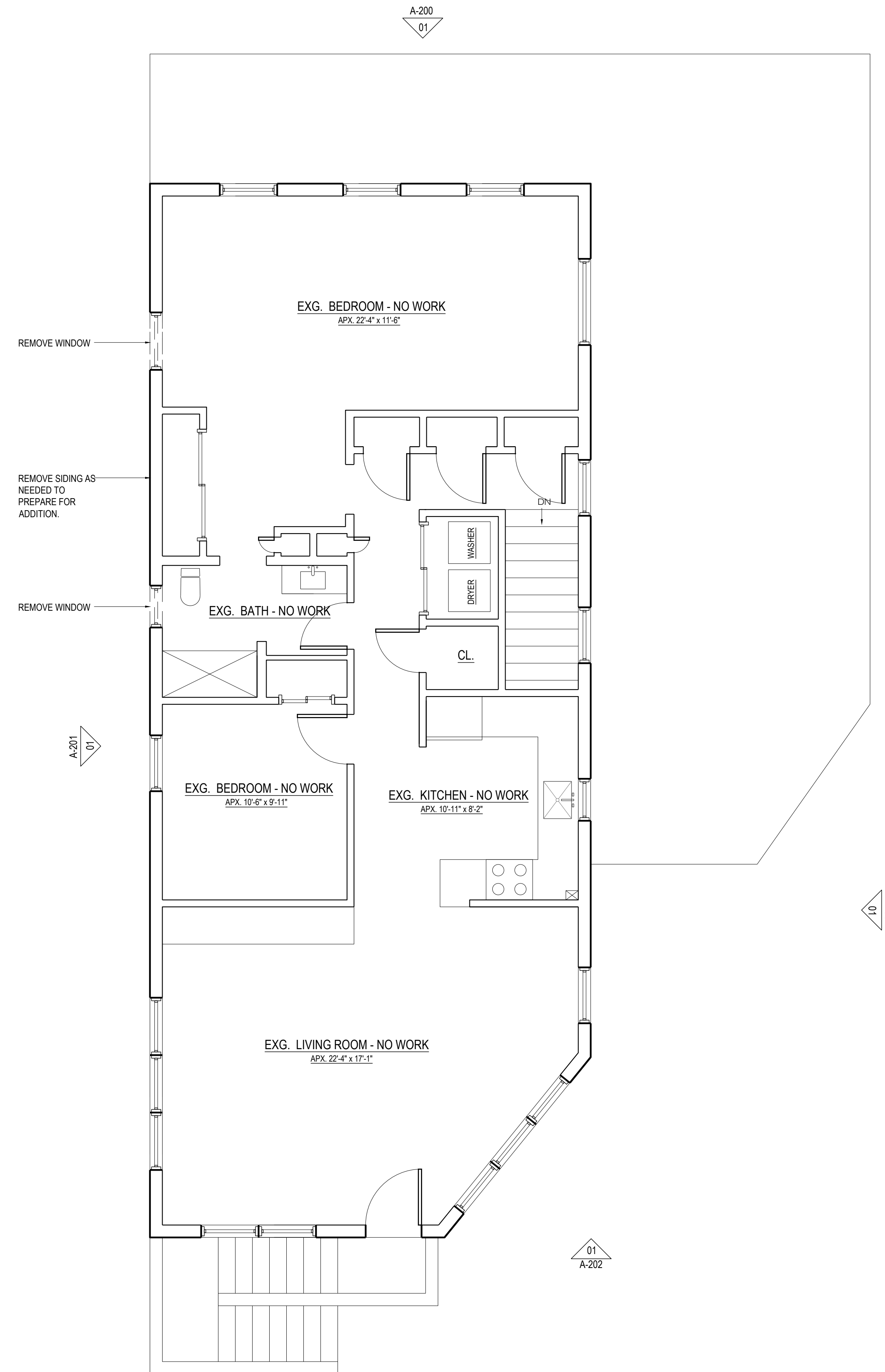
PROJECT No: 22019
DRAWN BY: AB
SCALE: AS NOTED

DM-101.00
1 OF 1


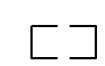
01. BFIRST FLOOR DEMOLITION PLAN
SCALE: 1'-0" = 1/4"

GENERAL NOTES:

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LEGEND



-  REMOVE FLOORING
-  DEMOLISHED WALL

PERMITTING SET 02.02.2024

PROJECT:

**585 MAIN ST.
RENOVATION + ADDITION**
585 MAIN ST.
HARWICH, MA
02646

TITLE:
SECOND FLOOR DEMOLITION PLAN

	PROJECT No: 22019	
	DRAWN BY: AB	
	SCALE: AS NOTED	

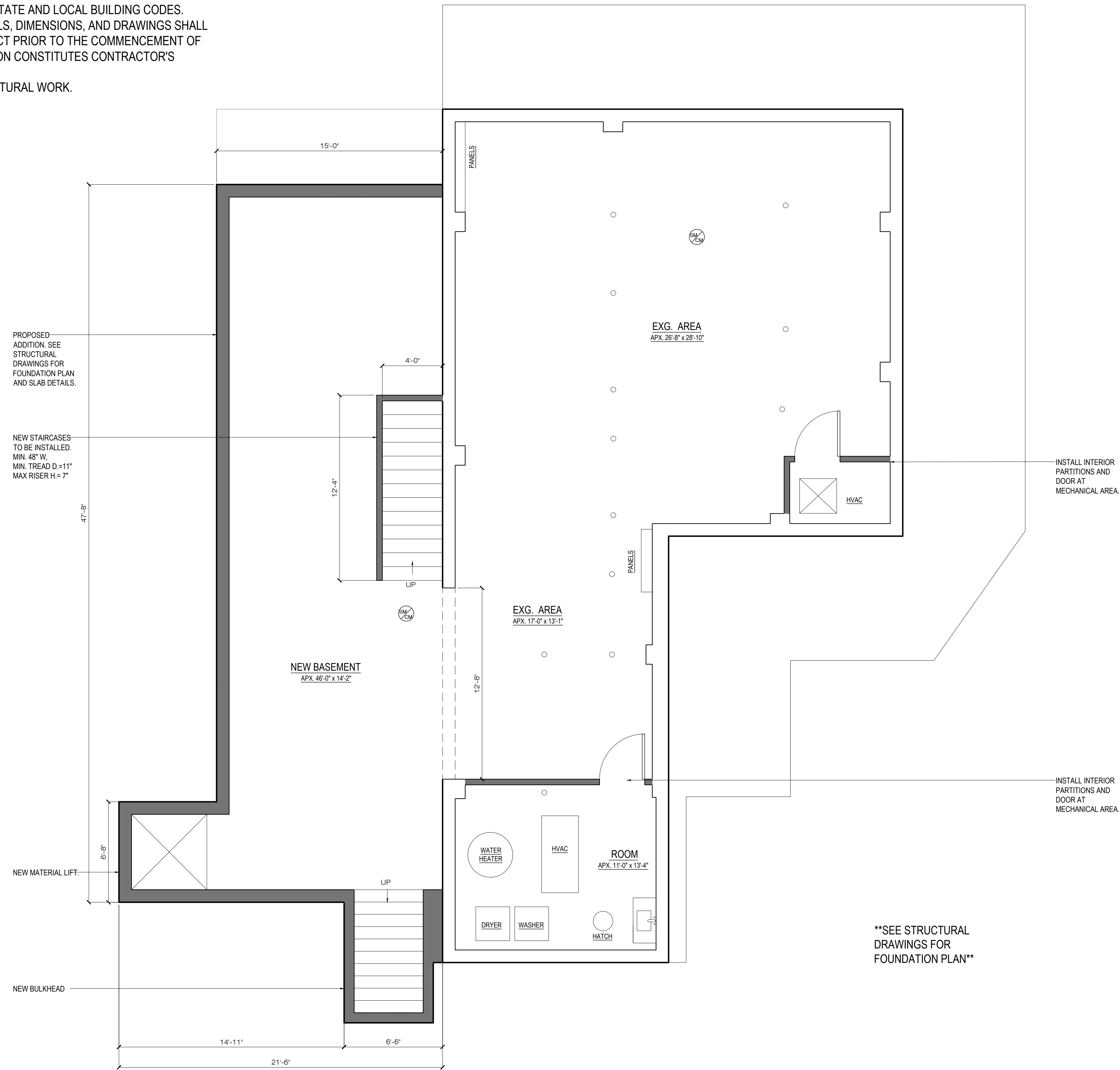
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1 OF 1

01. SECOND FLOOR DEMOLITION PLAN
SCALE: 1'-0" = 1/4"

GENERAL NOTES:

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LEGEND

- BATHROOM EXHAUST FAN
- NEW WALL
- SMOKE / CARBON MONOXIDE DETECTOR
- MILLWORK

PERMITTING SET 02.02.2024

PROJECT:

585 MAIN ST.
RENOVATION + ADDITION

585 MAIN ST.
HARWICH, MA
02646

TITLE:
BASEMENT CONSTRUCTION PLAN

PROJECT No: 22019
DRAWN BY: AB
SCALE: AS NOTED

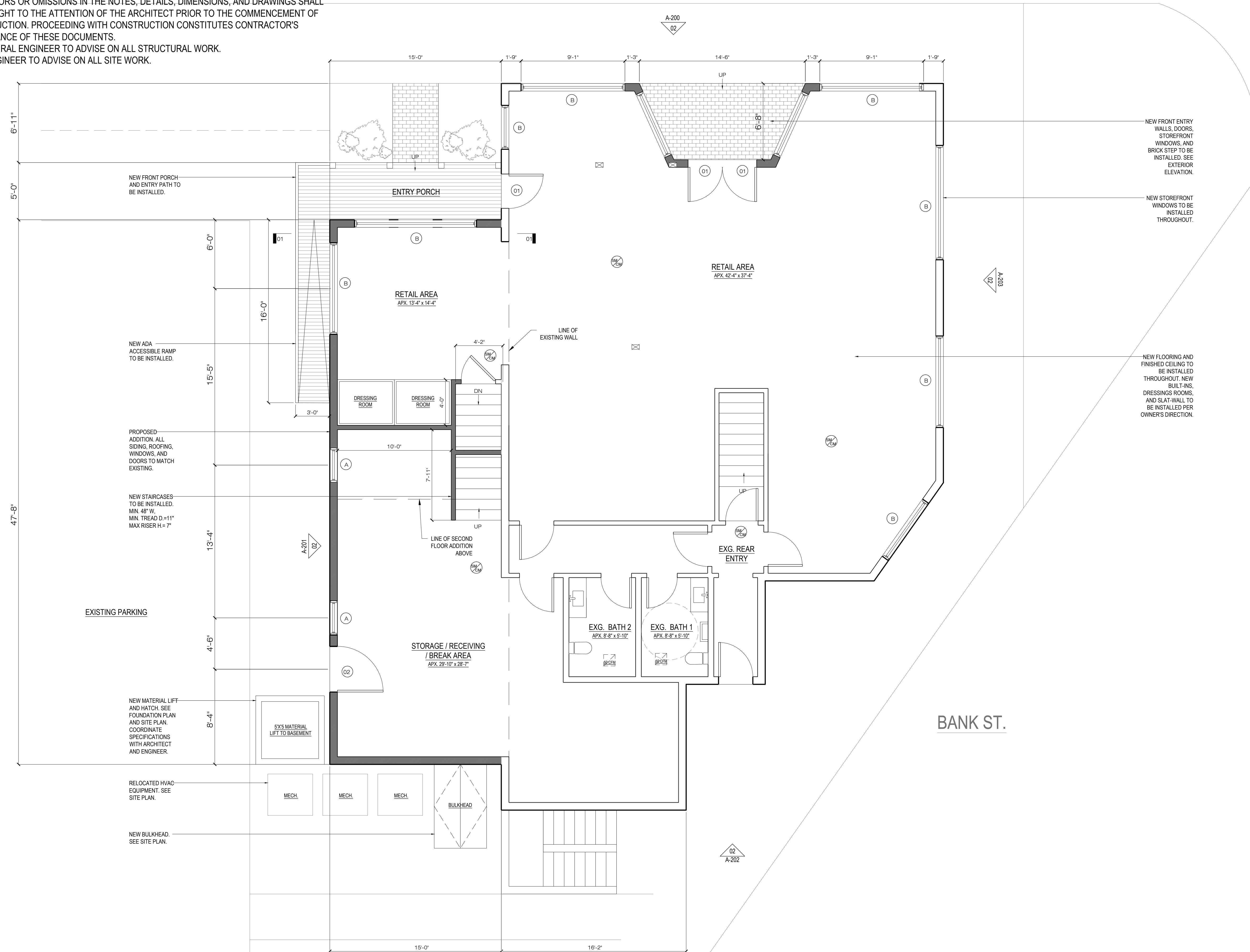
A-100.00
1 OF 1

01. BASEMENT CONSTRUCTION PLAN
SCALE: 1'-0" = 1/4"

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
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MAIN ST.



NEW FRONT ENTRY WALLS, DOORS, STOREFRONT WINDOWS, AND BRICK STEP TO BE INSTALLED. SEE EXTERIOR ELEVATION.

NEW STOREFRONT WINDOWS TO BE INSTALLED THROUGHOUT.

NEW FLOORING AND FINISHED CEILING TO BE INSTALLED THROUGHOUT. NEW BUILT-INS, DRESSINGS ROOMS, AND SLAT-WALL TO BE INSTALLED PER OWNER'S DIRECTION.

Antonia Butwell | Architect
AB Design Collaborative LLC

MAY NOT BE REPRODUCED WITHOUT PERMISSION

LEGEND

- BATHROOM EXHAUST FAN
- NEW WALL
- SMOKE / CARBON MONOXIDE DETECTOR
- MILLWORK

PERMITTING SET 02.02.2024

PROJECT:

585 MAIN ST.
RENOVATION + ADDITION
585 MAIN ST.
HARWICH, MA
02646

TITLE:
FIRST FLOOR CONSTRUCTION PLAN

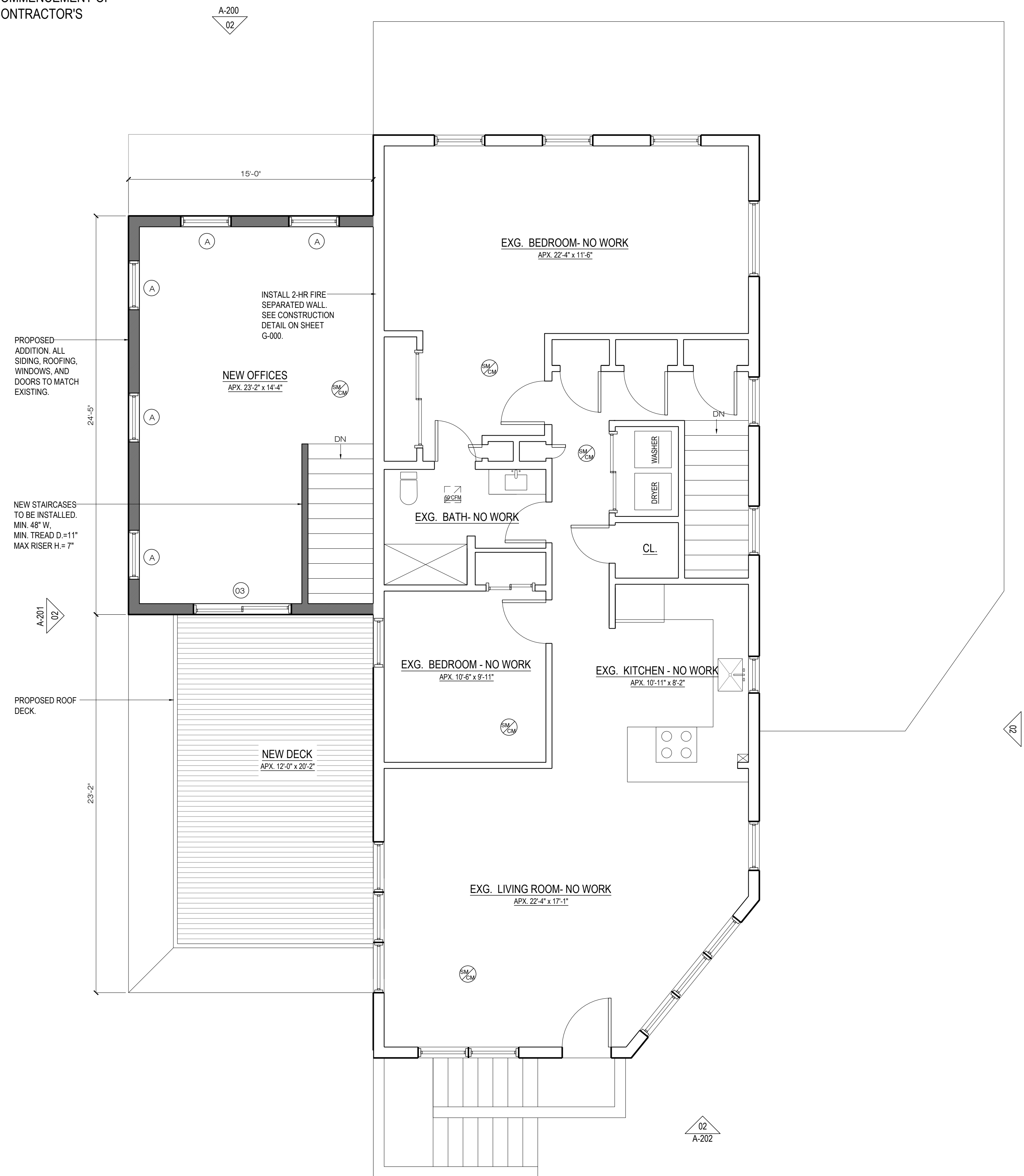
PROJECT No: 22019
DRAWN BY: AB
SCALE: AS NOTED

A-101.00
1 OF 1

01. FIRST FLOOR CONSTRUCTION PLAN
SCALE: 1'-0" = 1/4"

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LEGEND

- BATHROOM EXHAUST FAN
- NEW WALL
- SMOKE / CARBON MONOXIDE DETECTOR
- MILLWORK

PERMITTING SET 02.02.2024

PROJECT:

585 MAIN ST.
RENOVATION + ADDITION
585 MAIN ST.
HARWICH, MA
02646

TITLE:
SECOND FLOOR CONSTRUCTION PLAN

PROJECT No: 22019
DRAWN BY: AB
SCALE: AS NOTED

A-102.00
1 OF 1

01. SECOND FLOOR CONSTRUCTION PLAN
SCALE: 1'-0" = 1/4"

GENERAL NOTES:

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01. EXISTING NORTH EXTERIOR ELEVATION
SCALE: 1'-0" = 1/4"



02. PROPOSED NORTH EXTERIOR ELEVATION
SCALE: 1'-0" = 1/4"

585 MAIN ST.
RENOVATION + ADDITION
585 MAIN ST.
HARWICH, MA
02646

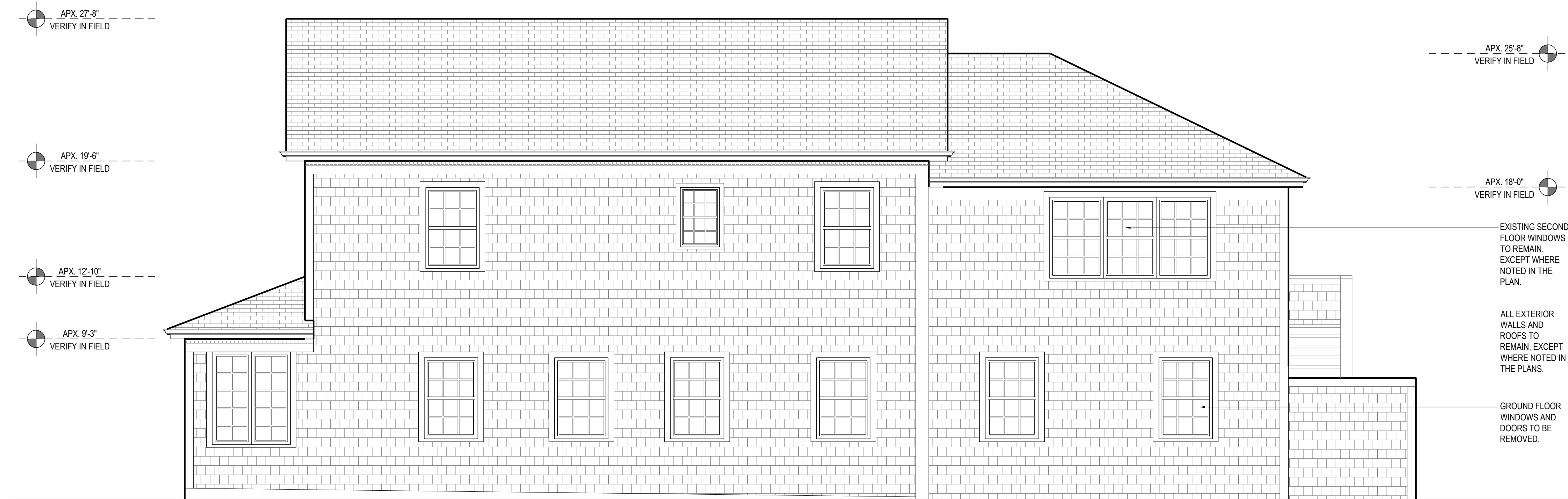
TITLE:
EXISTING NORTH ELEVATION
PROPOSED NORTH ELEVATION

PROJECT No: 22019
DRAWN BY: AB
SCALE: AS NOTED

A-200.00
1 OF 1

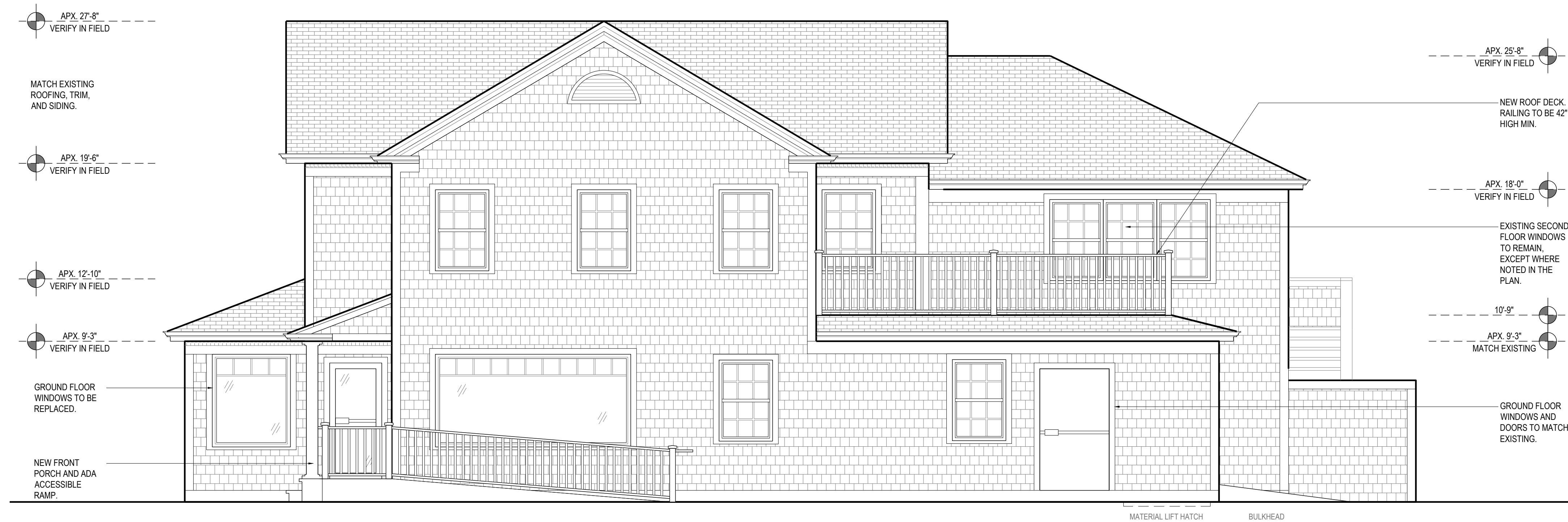
GENERAL NOTES:

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01. EXISTING WEST EXTERIOR ELEVATION

SCALE: 1'-0" = 1/4"



02. PROPOSED WEST EXTERIOR ELEVATION

SCALE: 1'-0" = 1/4"

PERMITTING SET 02.02.2024

PROJECT:

585 MAIN ST.
RENOVATION + ADDITION

585 MAIN ST.
HARWICH, MA
02646

TITLE:
EXISTING WEST ELEVATION
PROPOSED WEST ELEVATION

PROJECT No: 22019
DRAWN BY: AB
SCALE: AS NOTED

A-201.00
1 OF 1

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
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01. EXISTING SOUTH EXTERIOR ELEVATION
SCALE: 1'-0" = 1/4"



02. PROPOSED SOUTH EXTERIOR ELEVATION
SCALE: 1'-0" = 1/4"

PERMITTING SET 02.02.2024

PROJECT:

**585 MAIN ST.
RENOVATION + ADDITION**
585 MAIN ST.
HARWICH, MA
02646

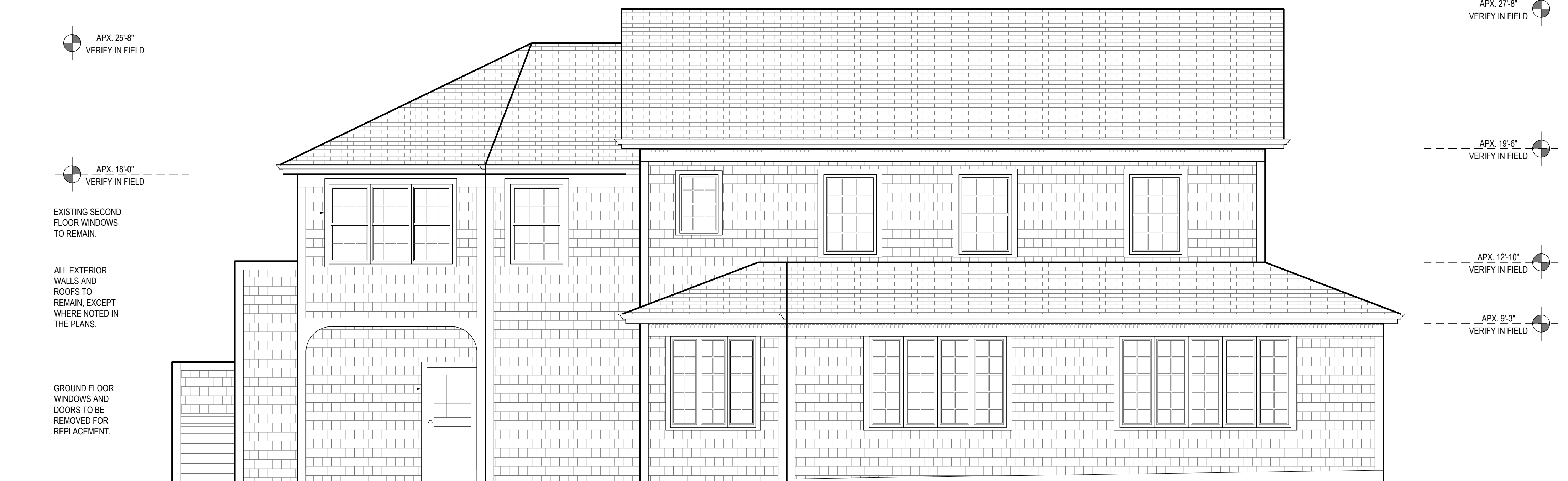
TITLE:
EXISTING SOUTH ELEVATION
PROPOSED SOUTH ELEVATION

PROJECT No: 22019
DRAWN BY: AB
SCALE: AS NOTED

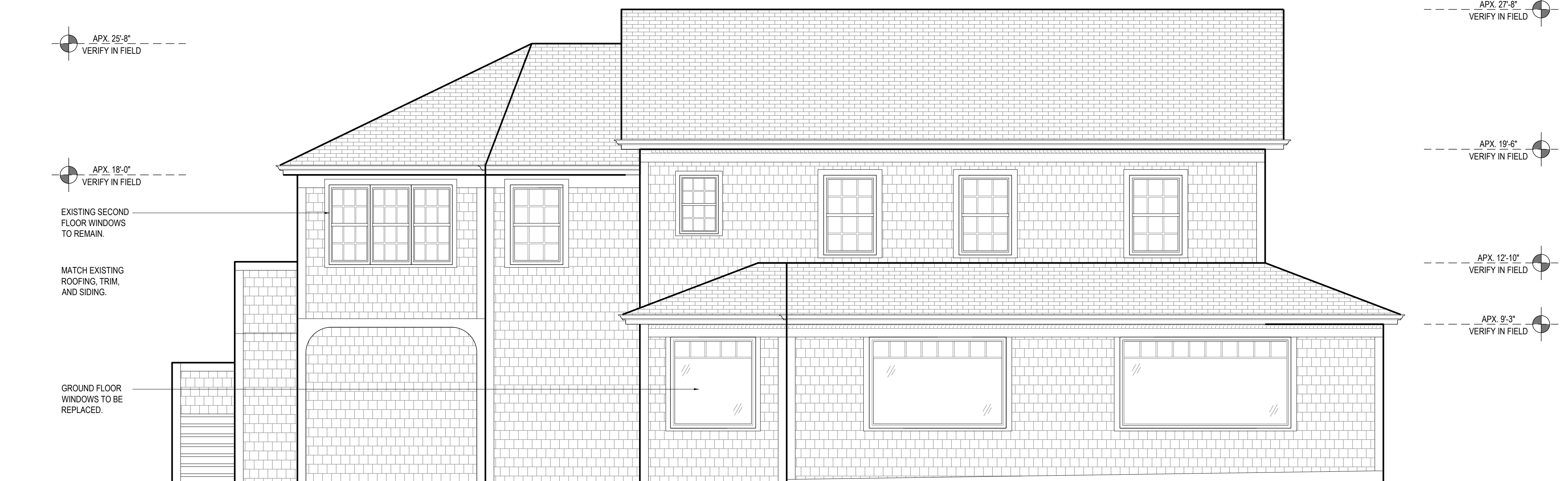
A-202.00
1 OF 1

GENERAL NOTES:

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7. CIVIL ENGINEER TO ADVISE ON ALL SITE WORK.



01. EXISTING EAST EXTERIOR ELEVATION
SCALE: 1'-0" = 1/4"



02. PROPOSED EAST EXTERIOR ELEVATION
SCALE: 1'-0" = 1/4"

585 MAIN ST.
RENOVATION + ADDITION

585 MAIN ST.
HARWICH, MA
02646

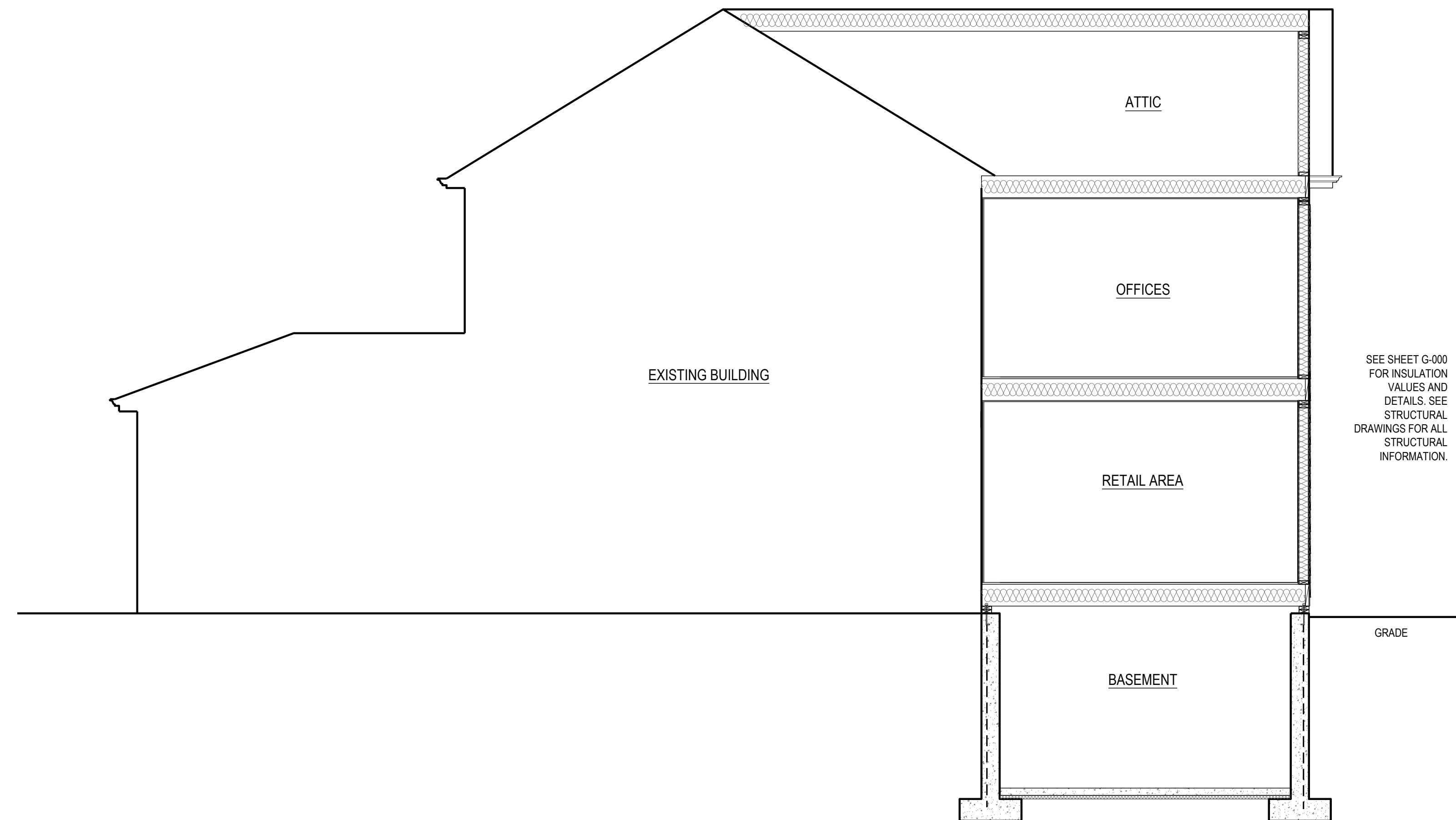
TITLE:
EXISTING EAST ELEVATION
PROPOSED EAST ELEVATION

PROJECT No: 22019
DRAWN BY: AB
SCALE: AS NOTED

A-203.00
1 OF 1

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. ALL NEW CONSTRUCTION TO MATCH EXISTING IN MATERIAL, DETAIL, AND FINISH.
3. CONTRACTOR TO PROTECT EXISTING AS REQUIRED DURING CONSTRUCTION.
4. ALL WORK TO CONFORM WITH MASSACHUSETTS STATE AND LOCAL BUILDING CODES.
5. ANY ERRORS OR OMISSIONS IN THE NOTES, DETAILS, DIMENSIONS, AND DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PROCEEDING WITH CONSTRUCTION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF THESE DOCUMENTS.
6. STRUCTURAL ENGINEER TO ADVISE ON ALL STRUCTURAL WORK.
7. CIVIL ENGINEER TO ADVISE ON ALL SITE WORK.



01. SECTION 01

SCALE: 1'-0" = 1/4"

585 MAIN ST.
RENOVATION + ADDITION

585 MAIN ST.
HARWICH, MA
02646

SECTION 01