

Benjamin E. Zehnder LLC

62 Route 6A, Suite B
Orleans, Massachusetts 02653

Benjamin E. Zehnder, Esq.

bzehnder@zehnderllc.com

Tel: (508) 255-7766

October 23, 2023

Town Clerk Emily Mitchell
Harwich Town Hall
732 Main Street
Harwich, MA 02645

Via hand delivery

Re: New Planning Board site plan review and special permit application
481 Depot Street (Map 36, Parcel B1)

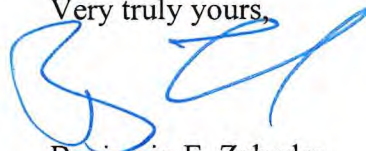
Dear Ms. Mitchell:

On behalf of the Rowoliver Nominee Trust please find enclosed one original and 11 copies of a new application to the Planning Board seeking site plan review and a site plan special permit for the property at 481 Depot Street.

I have enclosed payment in the total amount of \$2,278.10, which I calculated based upon the Planning Board's fee schedule (\$1,703.10 for site plan special permit, with 5,020 s.f. of additional floor area and six new parking spaces, and \$525.00 for special permit). I will bring a separate check to the Assessing Department for the Abutters Notice Base Fees.

Thank you for your assistance. I remain –

Very truly yours,



Benjamin E. Zehnder

Enc.
cc. via email only:
client
Shelagh Delaney
Jack Mead
John O'Reilly

TOWN OF HARWICH PLANNING DEPARTMENT



**PLANNING BOARD APPLICATION
SPECIAL PERMITS & SITE PLAN REVIEW FORM A**

TO THE TOWN CLERK, HARWICH, MA DATE October 23, 2023

PART A – APPLICANT INFORMATION/AUTHORIZATION

Applicant Name(s)	Rowoliver Nominee Trust David M. Crosbie & Steven Farnsworth, Trustees
Representative/Organization (Who will serve as the primary contact responsible for facilitating this application?)	Benjamin E. Zehnder 62 Route 6A, Suite B Orleans, MA 02653
Mailing address	481 Depot Street
Town, ST, Zip	Harwich, MA 02645
Phone	David M. Crosbie (774) 836-5799 Benjamin E. Zehnder (508) 255-7766
Fax	
E-mail	david@oechohomes.com bzehnder@zehnderllc.com

The applicant is one of the following: *(please check appropriate box)*

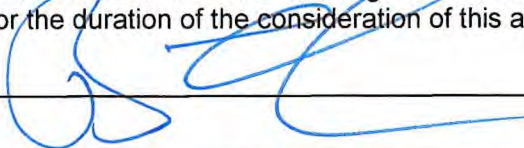
- Owner Prospective Buyer* Representative for Owner/Tenant/Buyer*
 Tenant* Other* _____

***Written permission of the owner(s) and a municipal lien certificate (where applicable) is required.**

All other forms and information as required in the Harwich Code Chapter 400, Rules and Regulations, shall be submitted as part of this application.

Authorization

Your signature hereby asserts, to the best of your knowledge, that the information submitted in this application is true and accurate; that you agree to fully comply with the Town of Harwich Zoning By-laws and the terms and conditions of any approval of this application by the Planning Board; and authorizes the Members of the Planning Board and/or Town Staff to visit and enter upon the subject property for the duration of the consideration of this application.

Applicant  10/23/23

Owner(s) – Authorization must accompany application if the owner is not the applicant.

Official use only:

PLANNING DEPARTMENT	TOWN CLERK
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Case #

PART B – PROJECT LOCATION

Legal Street Address	481 Depot Street	Village/Zip Code	02645
Title Book/Page or L.C.C. #	Book 31737, Page 23		
Map(s) / Parcel(s)	36-B1		
Zoning & Overlay Districts	IL & RR	*Historic?	not in Historic District
Frontage (linear feet)	276	but house > 100 yr. old	
Total land area (s.f.)	34,900		
Upland (s.f.)	34,900	Wetlands (s.f.)	0

PART C – PROJECT DESCRIPTION

Existing Floor Area in Sq. Ft	Gross:	Net:
Proposed Floor Area in Sq. Ft	Gross:	Net:
Change in Sq. Ft + / -	Gross:	Net:
Existing # of parking spaces	Proposed # of parking spaces:	
Existing Use(s)	Please see zoning table on attached site plan	
Proposed Use(s)		
<i>Attach a separate narrative if necessary.</i>		

The undersign hereby files an application with the Harwich Planning Board for the following special permits as proposed under the provisions of the Harwich Zoning Code: **(check all that apply)**

Site Plan Review § 325-55:

- Any floor area expansion of any structure or expansion of exterior space, other than parking, serving any of the following: commercial, industrial, multi-family or educational use or personal wireless service facility or the creation of a drive-up or drive-through window
- Expansion or reconfiguration of an existing parking lot and/or driveway(s) serving said parking lot.
- Establishment of any new commercial, industrial, multi-family, educational, fast food/take out restaurant or personal wireless service facility.
- Establishment of any new retail use(s) in the Industrial (IL) Zone.
- Waiver of Site Plan § 325-55.F

Article V, Use Regulations:

- Paragraph____, sub-paragraph #____ Paragraph____, sub-paragraph #____
- Paragraph____, sub-paragraph #____, supplemental regulation #____ § 325-14

Article X, Special Permits:

- Structures w/ gross floor area of 7,500+ s.f. § 325-51
- Structures requiring 20 or more new parking spaces § 325-51
- Accessory Apt./Shared Elderly Housing § 325-51.H Mixed Use § 325-51.M
- Drinking Water Resource Protection § 325-51.C Two Family § 325-51.N
- Village Commercial, Harwich Port § 325-51.L *Harwich Center Overlay § 325-51.O
- Signage § 325-27.F Additional Cluster, Excess SF, Non-entry Facades

Other Special Permits:

- Six Ponds Special District - Article XVI
- Wind Energy Systems - Article XVIII Large Scale Wind Generation – Article XIX
- Other (i.e. Alternate Access § 325-18.P, Special Cases § 325-44.B) _____ Multifamily sec. 325-55
- Repetitive Petition (MGL Ch 40A, §16): Proposed project evolved from a previously denied plan submitted to the Planning Board on _____ Year/Case # _____

**Note: Projects within the Harwich Center Overlay District may also be within the Harwich Center Historic District. This requires separate filing with the Historic District and Historical Commission. Please inquire for forms and instructions.*

Project Narrative
for Planning Board Site Plan Review and Zoning Board of Appeals Special Permit
481 Depot Street
Map 36, Parcel B1

Rowoliver Nominee Trust



October 23, 2023

Prepared by Benjamin E. Zehnder LLC

A. Overview:

Applicant Rowoliver Nominee Trust owns a developed parcel of land in West Harwich near the Dennis town line across from Center Street. The applicant seeks Planning Board site plan review and a Planning Board special permit, as well as Zoning Board of Appeals special permits, in order to develop a portion of the property as a self-storage facility and renovate an existing two-family dwelling house as a multifamily dwelling.

Planning Board site plan review is triggered under Bylaw § 325-55.C(1) – (4) (Planning Board site plan approval is required for development activities which expand floor area or exterior space for a commercial use, expand or reconfigure a parking lot or driveway in connection with a commercial use, or establish a new commercial use), and § 325-51.Q(2) (site plan review required for multifamily special permit).

A Planning Board multifamily special permit pursuant to Bylaw § 325-51.Q is required for the proposed conversion of the existing two-family dwelling into four apartment units.

A Zoning Board of Appeals special permit is required pursuant to Bylaw § 325-54.A(2) for the proposed alterations to the pre-existing, non-conforming two-family dwelling on a pre-existing, non-conforming lot.

Finally, the applicant requests a Zoning Board of Appeals special permit to extend self-storage use, which is permitted in the Industrial Limited district, into the part of the property in a residential zoning district. The bases for relief are Bylaw §§ 325-2 and 325-8. Section 325-8 provides that a building, structure, or lot may be used for any purpose authorized by the Use Regulations in the zoning district where the land is located. Section 325-2 construes the word ‘land’ as being followed by the words “or any portion thereof.”

Because part of the applicant’s land is in the Industrial Limited district, the entire lot may therefore be used for any purpose authorized under the Use Regulations, including self-storage use. Although a special permit is not required to benefit from these provisions, the applicant has included a request for one because the Bylaw does not explicitly state that a use may be extended to an entire property in two zoning districts.

B. Locus:

Locus is a 34,890 parcel of land in the Industrial Limited (“IL”) and Residential Rural Estate (“RR”) zoning districts. The lot was created by deed description in the 1800s and is improved with a 2,400 s.f. dwelling built in 1817, as well as a barn. The property has 267' of frontage along Depot Street. It is not within any overlay district. The property is adjacent to a cranberry bog.

The existing house and barn are located on the northerly portion of the lot in the IL district. The house is used as a two-family dwelling containing two apartment units.

C. IL and RR Areas of Locus and Zoning Non-Conformities:

The lot predates the adoption of zoning in Harwich and was in existence when the IL and RR zoning districts were created. The district line divides the property just south of the end of Center Street. Approximately 20,690 s.f. of lot area and 267' of frontage in are in the IL district and 14,200 s.f. and 109' are in the RR district.

Under the Bylaw Area Regulations lots in the IL district require a minimum lot area of 20,000 s.f., 100' of frontage, and 25' front and side and 50' rear yard setbacks. Lots in the RR district require 40,000 s.f. of area, 150' of frontage, and 25' front and 20' side and rear yard setbacks.

If treated as a single lot the property is non-conforming under the RR district lot area requirement but conforming as to the IL district. If treated as separate lots in the respective districts, the IL portion would be conforming and the RR Portion would be non-conforming as to area. The existing dwelling structure is pre-existing, non-conforming under either district's respective minimum front and (northerly) side (northerly) yard requirements.

Maximum allowable building and site coverages are 40% and 70%, respectively, in the IL district, and 15% and 25% in the RR district. If treated as a single lot the property is conforming under either district's requirements. If treated as separate lots in the respective districts, the IL portion would be conforming under the building and site coverage requirements, and the RR portion would be conforming under the building coverage but non-conforming under the site coverage requirements.

D. Proposed Site and Use Changes and Required Relief:

The applicant proposes demolishing the existing barn and renovating and reconfiguring the existing two-family dwelling on the northerly portion of the property. The structure is currently divided into two dwellings: a three-bedroom dwelling in the southerly part of the house, and a one-bedroom apartment in the northerly part.

The proposed changes reconfigure the space into four apartments: a two-bedroom apartment (Apt. #1) and a one-bedroom apartment (Apt. #2) on the first floor, a three-bedroom apartment (Apt. #3) on the second floor, and a studio apartment (Apt. #4) in the basement. The proposed construction includes installation of a new second floor exterior staircase and two fire escapes, new interior walls, a new floor system on the second floor (where there is currently a cathedral ceiling above the first floor), removal of an existing internal staircase, new partition walls, and construction of a new entryway over the current bulkhead staircase to the basement level. In connection with these changes the applicant proposes engineering and installation of a new seven-bedroom septic system.

The changes to the dwelling and its use require three forms of relief. First, a Planning Board special permit is required to convert the existing two-family use into multifamily use pursuant to Bylaw § 325-51.Q. The applicant's multifamily special permit criteria responses are provided in a later section of this narrative. Second, conversion under that section triggers Planning Board site plan review pursuant to Bylaw § 325-55. Finally, a Zoning Board of Appeals special permit is required pursuant to Bylaw § 325-54.A(2) to alter a non-conforming two-family residential structure. The applicant's responses to that section's special permit criteria are also provided in a later section of this narrative.

The applicant also proposes demolishing the existing barn and erecting three new self-storage use buildings, with associated site work, on the southerly portion of the property. The proposed buildings are one-story tall metal buildings on slab foundations. Two of the buildings would be 30' x 70' (2,100 sq. ft. each) and the third 12' x 60' (720 sq. ft.), for 5,020 s.f. of new floor area. The northerly 2,100 sq. ft. building would be located entirely in the IL district while the other two buildings would be entirely in the RR district. The building areas will be surrounded by a driveway providing access to individual units and parking for customers and will be screened with a row of staggered evergreen trees pursuant. This area will be staffed and accessible weekdays between 9 A.M. and 5 P.M. via a key-coded gate. The units will be lit by fully shielded downward fixtures detailed on the attached lighting specification sheets and will conform to the outdoor lighting requirements.

Self-storage use is allowed by-right in the IL district but prohibited in the RR district. Under Harwich Zoning Bylaw § 325-8 lots may be used or occupied for any purpose authorized by the Use Regulations in the zoning district where the land is located, and under § 325-2 the 'land' is construed to be followed by the words "or any portion thereof."

Because self-storage use is allowed in the IL district, and a portion of the applicant's land is in that district, the entire lot may be used for that purpose. The applicant requests a Zoning Board of Appeals special permit confirming this extension of the self-storage use into the RR portion of the property.

E. Planning Board Multifamily Special Permit Criteria Responses:

- (1) *The Planning Board shall serve as the special permit granting authority for multifamily developments, including conversion of existing structures/uses to multifamily and/or new construction:*

The applicant is filing this request with the Planning Board.

- (2) *A site plan review special permit pursuant to § 325-55 is also required:*

The applicant has requested site plan review, which is also required for the proposed self-storage development.

- (3) *All multifamily dwellings must be connected to a municipal water system:*

The dwelling is connected to the Harwich Water System.

- (4) *A habitable room in a multifamily dwelling unit shall have a minimum floor area of not less than 120 square feet and shall have no major width or length dimension less than 10 feet. Closets, storage spaces, bathrooms and kitchens are not habitable rooms for the purpose of these minimum area and dimension requirements:*

Please see proposed floor plans filed herewith. All habitable rooms in the dwelling will have more than 120 s.f. and will not have any major width or length dimension less than 10 feet.

- (5) *The number of multifamily dwelling units shall be determined by the ability to place an adequately sized septic system for the number of bedrooms; and required parking per number of units and landscaping on the site pursuant to Article IX, Off-Street Parking and Loading Requirements:*

Please see site plan filed herewith. The applicant proposes a new seven-bedroom septic system which will provide adequate flow for the proposed seven-bedroom dwelling.

The existing northerly driveway, with parking for two vehicles, will be retained and six new parking spaces will be created, with three at the end of the driveway and two next to the house and accessible from the driveway leading to the storage unit area (one of the three spaces next to the house will be for an employee of the storage unit business and will not be available for dwelling residents). In total there will be seven dedicated parking spaces for the house.

No new landscaping is proposed surrounding the dwelling.

- (6) *All outside entrances to multifamily dwellings shall provide protection to the immediate area in front of said entrance from the weather:*

Please see proposed floor plans filed herewith.

- (7) *Whenever the land upon which a multifamily dwelling is to be erected is located partially within a Drinking Water Resource Protection District, maximum possible use of the area outside the Drinking Water Resource Protection District will be made for the disposal of stormwater runoff and sewage:*

N/A

- (8) *Recreation areas. Where appropriate to the topography and natural features of the site, the Planning Board may require that at least 10% of the open space or two acres (whichever is less) shall be of a shape, slope, location and condition to provide an informal field for group recreation or community gardens for the residents of the multifamily development:*

The applicant submits that a recreation area is not appropriate at the site and requests that the Board not impose this requirement.

F. Zoning Board of Appeals Special Permit Criteria Responses:

The applicant responds to the Bylaw § 325-51(A)(1)(a) – (d) special permit criteria as follows:

- (a) *The use as developed will not adversely affect the neighborhood:*

Self-storage is a very low intensity use. Customers who lease storage units typically store their belongings at the beginning of a lease period and access their units infrequently or only at the end of the lease. Day-to-day business operations do not require equipment or vehicles, do not generate noise, waste, or odor, and are run with only one employee on site. The applicant submits that the proposed development will not adversely affect the surrounding neighborhood.

- (b) *The specific site is an appropriate location for such a use, structure or condition:*

Locus is an appropriate location for the proposed self-storage use and buildings. The section of Depot Street between Great Western Road and the Harwich / Dennis town line is part of an industrially zoned and developed area, with nearby industrial and commercial uses including automobile salvage, lawn maintenance, lumber and stone yards, carpentry shops, and commercial cranberry bogs. The applicant's property is physically and visually contiguous with this industrial section of town, due to the layout

of Depot Road and the large bog to the immediate east of locus, which ends just past the property. The area is easily accessible from both the center of town and the highway and is in a neighborhood where residents go for similar types of business, including the self-storage facilities on Great Western Road. The applicant submits that the property is an appropriate location for the proposed buildings and use.

(c) *There will be no nuisance or serious hazard to vehicles or pedestrians:*

The proposal will not result in any nuisance or hazard to vehicles or pedestrians. The proposed self-storage will result in few vehicle trips to or from the property. The existing southerly driveway is proposed for removal and replacement with a larger driveway, with a wider curb cut to Depot Street.

(d) *Adequate and appropriate facilities will be provided for the proper operation of the proposed use. This includes the provision of appropriate sewage treatment facilities which provide for denitrification, when the permit granting authority deems such facilities necessary for protection of drinking water supply wells, ponds or saltwater embayments:*

The applicant has designed the new septic system for the dwelling at the property with sufficient additional flow for one employee in the office. Lessees access storage units infrequently for short periods of time and do not need bathrooms facilities.

G. Miscellaneous Zoning Compliance Table Items:

The applicant responds to the Bylaw § 325-51(A)(1)(a) – (d) special permit criteria as follows:

- **Building Height:** Please see building plans filed herewith. Maximum allowable building heights in the RR and IL districts are 30' and 40', respectively. Neither the existing dwelling nor the proposed storage buildings are more than 30' high.
- **Interior Landscaping:** The applicant proposes a row of new arborvitae trees planted 5' on center next to the southerly, and a portion of the southeasterly, property lines, to screen the storage buildings, as well as a new vegetated channel along the easterly side.
- **Number of Parking Spaces:** Parking sufficient for the proposed multifamily dwelling plus one employee of the self-storage business will be provided as noted previously. Self-storage customers do not require dedicated parking spaces as they will park in front of their unit during loading or unloading.

Authorization

April 25, 2023

We, David M. Crosbie and Steven Farnsworth, as the Trustees of the Rowoliver Nominee Trust u/d/t dated December 6, 2018, hereby authorize Benjamin E. Zehnder to file an application and other materials, on the trust's behalf, with the Town of Harwich, relative to real property owned by the trust located at 481 Depot Street, Assessor's Map 36, Parcel B1.

ROWOLIVER NOMINEE TRUST, by:



David M. Crosbie, Trustee

Steven Farnsworth, Trustee


Authorization

April __, 2023

We, David M. Crosbie and Steven Farnsworth, as the Trustees of the Rowoliver Nominee Trust u/d/t dated December 6, 2018, hereby authorize Benjamin E. Zehnder to file an application and other materials, on the trust's behalf, with the Town of Harwich, relative to real property owned by the trust located at 481 Depot Street, Assessor's Map 36, Parcel B1.

ROWOLIVER NOMINEE TRUST, by:

David M. Crosbie, Trustee



Steven Farnsworth, Trustee

Key: 4022

Town of HARWICH - Fiscal Year 2023

12/21/2022 7:21 pm SEQ #: 3.471

LEGALS

CURRENT OWNER				PARCEL ID				LOCATION			
CROSBIE DAVID M TRS ET AL FARNSWORTH STEVEN TRS 481 DEPOT ST HARWICH, MA 02645				36-B1-0				481 DEPOT ST			
TRANSFER HISTORY				DOS	T	SALE PRICE	BK-PG (Cert)				
CROSBIE DAVID M TRS ET AL				12/19/2018	F	1	31737-23				
CROSBIE DAVID M				04/23/2008	S	312,000	22853-309				
DEUTSCH BANK NATIONAL TRU				09/25/2006	L	1	21375-124				

CLASS	CLASS%	DESCRIPTION			BN ID	BN	CARD	
1040	100	TWO FAMILY				1	1 of 1	
PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st	%
155	07/27/2018	53	ALTER -NO GR	7,500	08/26/2019	TCK	100	100
79	08/13/2012	53	ALTER -NO GR	1,800	07/15/2013	DS	100	100
340	06/06/2011	51	NEW CONST-NO	1,500		DS	100	100
423	09/03/2009	2	ADDITIONS	4,200	07/15/2013	DS	100	100
		6	CYCL GROWTH		06/10/2008	MO	100	100

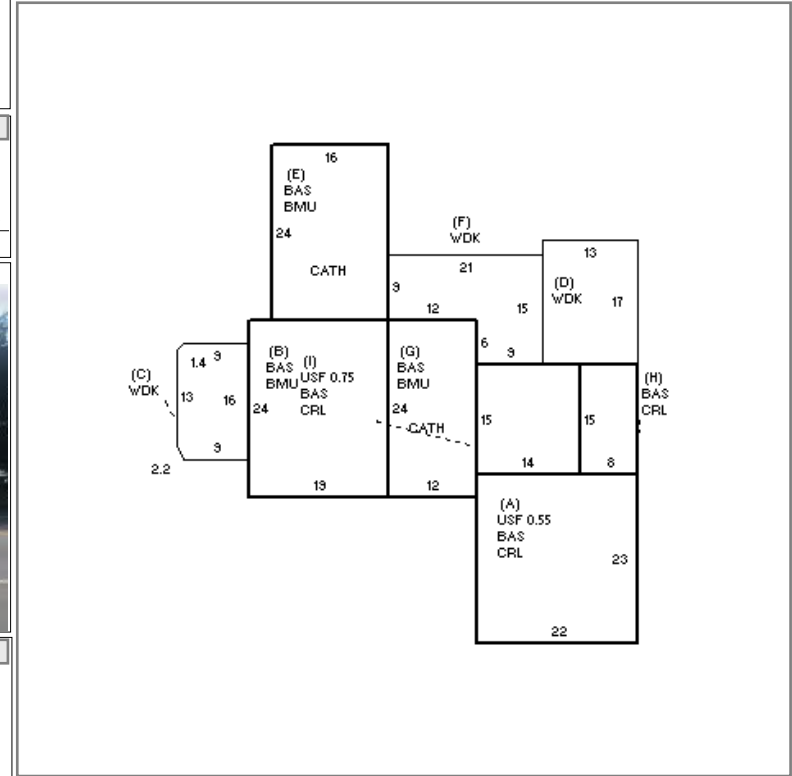
LAND

CD	T	AC/SF/UN	Ngh	Inf1	Inf2	ADJ BASE	SAF	Topo	Lpi	VC	CREDIT AMT	ADJ VALUE
100	S	35,719	3	1.00	1.00	219,600	1.04	100	1.00	2	0.90	187,490

TOTAL	35,719 SF	ZONING	FRNT	0	ASSESSED	CURRENT	PREVIOUS
Ngh	NGH 3	NOTE			LAND	187,500	163,100
Inf1	NONE		BUILDING	384,500	296,700		
Inf2	FACTOR 100		DETACHED	25,400	23,000		
			OTHER	0	0		
					TOTAL	597,400	482,800

DETAILED

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
FBN	A	1.00	A 0.75 30'x27		810	33.19	20,200
SHF	A	1.00	G 0.90 8 X 12	2007	96	19.17	1,700
ASH	A	1.00	A 0.75 10 X 27		270	17.28	3,500



BUILDING

BUILDING	CD	ADJ	DESC	MEASURE	7/15/2013	DS
MODEL	1		RESIDENTIAL	LIST	7/23/2012	DM
STYLE	7	1.35	OLD STYLE [100%]	REVIEW	9/18/2019	MR
QUALITY	+	1.15	GOOD-AVE+ [100%]	TOTAL REHAB 1982.		
FRAME	1	1.00	WOOD FRAME [100%]			

BLDG COMMENTS		
TOTAL REHAB 1982.		

LOADING

YEAR BLT	1817	SIZE ADJ	0.960	ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	526,680
NET AREA	2,400	DETAIL ADJ	1.005	FOUNDATION	3	CONTIN WALL	1.00	+	CRL	N	CRAWL SPACE	836		0.00			
\$NLA(RCN)	\$219	OVERALL	1.165	EXT. COVER	2	CLAPBOARD	1.00	+	BAS	L	BAS AREA	1,292	1817	186.97	241,567		
				ROOF SHAPE	1	GABLE	1.00	+	USF	L	UP-STRY FIN	436	1817	159.96	69,742		
				ROOF COVER	1	ASPHALT SHINGLE	1.00	+	BMU	N	BSMT UNFINISHED	1,128		51.33	57,897		
				FLOOR COVER	2	SOFTWOOD	1.00	+	WDK	N	ATT WOOD DECK	623		33.57	20,913		
				INT. FINISH	1	PLASTER	1.00	E	BAS	L	BAS AREA	384	2002	186.97	71,797		
				HEATING/COOLING	2	HOT WATER	1.02	G	BAS	L	BAS AREA	288	1817	186.97	53,848		
				FUEL SOURCE	1	OIL	1.00		ODS	O	OUT DOOR SHOWER	1		2,596.80	2,597		
				USE	0		1.00										
																CONDITION ELEM	CD
																EXTERIOR	
																INTERIOR	
																KITCHEN	
																BATHS	
																HEAT/ELEC	
																EFF.YR/AGE	1977 / 44
																COND	27 27 %
																FUNC	0
																ECON	0
																DEPR	27 % GD 73
																RCNLD	\$384,500



B3-1
0.8 Ac

#493 S5
0.25 Ac

B3-2
0.6 Ac

T1
4.9 Ac

T2
0.55 Ac

#484 B2
0.37 Ac

#481

B1
0.82 Ac

B4
0.13 Ac

DENNIS

DEPOT STREET

T5
0.92 Ac

T6
11.92 Ac



Town of Harwich

TOWN OF HARWICH
ASSESSORS OFFICE

OCT 24 2023

732 MAIN STREET
HARWICH, MASSACHUSETTS 02645

Assessors Office

** Please email all Abutters Requests to assessing@harwich-ma.gov

Town of Harwich

OFFICE OF
BOARD OF ASSESSORS

OCT 24 2023

Tel: 508-430-7503
Fax: 508-430-7086

Assessors Office

ABUTTERS REQUEST FORM

Board Requesting Action: Planning Board

Date Submitted: October 23, 2023

Applicant's Name: Rowoliver Nominee Trust

Assessors Map(s) & Parcel(s): 36-B1

Property Location: 481 Depot Street

Owner(s): Rowoliver Nominee Trust

Contact Person: Benjamin E. Zehnder; Charlie Zehnder

E-mail Address: bzehnder@zehnderllc.com; czehnder@zehnderllc.com

Telephone #: (508) 255-7766

Type of Petition: Site Plan Review & SPR Special Permit

Assessors Approval By: *RB*

I hereby certify that the names and addresses on the attached or preceding sheet (s) are of the owners as they appear in the assessing departments most recent computerized tax list

INVOICE

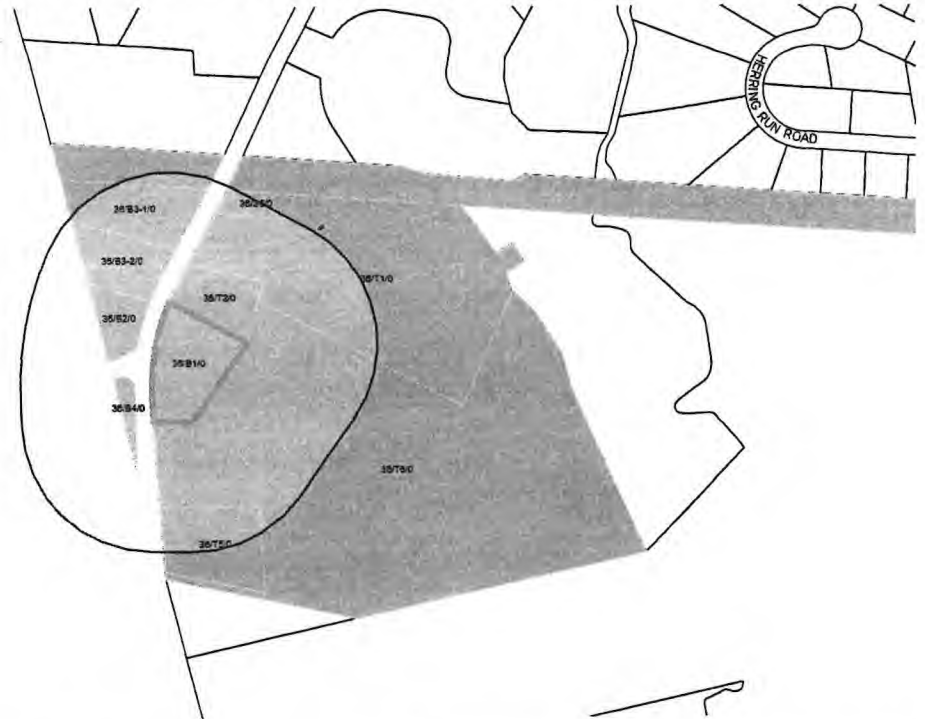
This cover sheet is also your invoice.

	<u>Date</u> <u>Paid</u>	<u>Ck #</u>
Abutters Fee	\$50.00	<u>24/10/23</u> <u>389</u>

Make checks payable to: Town of Harwich

TOWN OF HARWICH, MA
 BOARD OF ASSESSORS
 732 Main Street, Harwich, MA 02645

Town of HARWICH Abutters Within 300 feet of Parcel 36/B1/0



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
10644	36-S5-0-E	MASSACHUSETTS COMMONWEALTH OF DEPT OF ENVIRONMENTAL MANAGEMEM	493 DEPOT ST	100 CAMBRIDGE ST	BOSTON	MA	02202
10651	39-K4-0-E	MASSACHUSETTS COMMONWEALTH OF DEPT OF ENVIRONMENTAL MANAGEMEM	0 BIKE PTH	100 CAMBRIDGE ST	BOSTON	MA	02202
25672	36-B4-0-E	FISHTAIL VILLAGE CONDOMINIUM	0 DEPOT ST	549 CENTER ST	DENNIS PORT	MA	02639
27266	36-T1-0-R	HALL ARTHUR H SR ESTATE OF	0 DEPOT ST	453 DEPOT ST	HARWICH	MA	02645
27267	36-T2-0-R	HALL ARTHUR H SR ESTATE OF	485 DEPOT ST	453 DEPOT ST	HARWICH	MA	02645
27269	36-T5-0-R	HALL ALAN J & HALL MAURAA	473 DEPOT ST	473 DEPOT ST	HARWICH	MA	02645
27270	36-T6-0-R	HALL ARTHUR H SR	0 DEPOT ST	453 DEPOT ST	HARWICH	MA	02645
4022	36-B1-0-R	CROSSBIE DAVID M TRS ET AL FARNSWORTH STEVEN TRS	481 DEPOT ST	481 DEPOT ST	HARWICH	MA	02645
4023	36-B2-0-R	MCNAMARA CHRISTOPHER P TR MCNAMARA REALTY TRUST	484 DEPOT ST	492 DEPOT ST	HARWICH	MA	02645
4024	36-B3-2-0-R	MCNAMARA CHRISTOPHER P TR MCNAMARA REALTY TRUST	488 DEPOT ST	492 DEPOT ST	HARWICH	MA	02645
7828	36-B3-1-0-R	MCNAMARA CHRISTOPHER P TR MCNAMARA REALTY TRUST	492 DEPOT ST	492 DEPOT ST	HARWICH	MA	02645

36-S5-0-E

MASSACHUSETTS COMMONWEALTH OF
DEPT OF ENVIRONMENTAL MANAGEMEME
100 CAMBRIDGE ST
BOSTON, MA 02202

39-K4-0-E

MASSACHUSETTS COMMONWEALTH OF
DEPT OF ENVIRONMENTAL MANAGEMEME
100 CAMBRIDGE ST
BOSTON, MA 02202

36-B4-0-E

FISHTAIL VILLAGE CONDOMINIUM
549 CENTER ST
DENNIS PORT, MA 02639

36-T1-0-R

HALL ARTHUR H SR ESTATE OF
453 DEPOT ST
HARWICH, MA 02645

36-T2-0-R

HALL ARTHUR H SR ESTATE OF
453 DEPOT ST
HARWICH, MA 02645

36-T5-0-R

HALL ALAN J &
HALL MAURA A
473 DEPOT ST
HARWICH, MA 02645

36-T6-0-R

HALL ARTHUR H SR
453 DEPOT ST
HARWICH, MA 02645

36-B1-0-R

CROSBIE DAVID M TRS ET AL
FARNSWORTH STEVEN TRS
481 DEPOT ST
HARWICH, MA 02645

36-B2-0-R

MCNAMARA CHRISTOPHER P TR
MCNAMARA REALTY TRUST
492 DEPOT ST
HARWICH, MA 02645

36-B3-2-0-R

MCNAMARA CHRISTOPHER P TR
MCNAMARA REALTY TRUST
492 DEPOT ST
HARWICH, MA 02645

36-B3-1-0-R

MCNAMARA CHRISTOPHER P TR
MCNAMARA REALTY TRUST
492 DEPOT ST
HARWICH, MA 02645

QUITCLAIM DEED

I, David M. Crosbie, an unmarried man, of 481 Depot Street, Harwich, Barnstable County, Massachusetts 02645, in consideration of estate planning grant to David M. Crosbie, of 481 Depot Street, Harwich, Barnstable County, Massachusetts 02645, and ~~Matt Armstrong, of 16 Matheson Road, Brewster, Barnstable County, Massachusetts 02631~~*, Trustees of the Rowoliver Nominee Trust, under Declaration of Trust dated December 6, 2018, which said Trust is recorded herewith in the Barnstable County Registry of Deeds in Book 31737, Page 18

with **quitclaim covenants**

the land, together with the buildings thereon, situated in Harwich in the County of Barnstable and Commonwealth of Massachusetts, bounded and described as follows:

- ON THE WEST SIDE by County Road;
- ON THE NORTH by land now or formerly of Freeman Rogers;
- ON THE EAST by Cranberry Swamp, now or formerly of Cyrus Nickerson and Cranberry Swamp now or formerly of Nathan Kelly; and
- ON THE SOUTH by land now or formerly of Nathan Kelly.

Containing one acre, more or less.

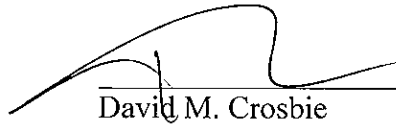
Property Address:
481 Depot Street, Harwich, Massachusetts 02645

For grantor's title, see deed of Deutsche Bank National Trust Company, Trustee, to David M. Crosbie, individually, dated March 19, 2008, and recorded April 23, 2008 with the Barnstable County Registry of Deeds in Book 22853, Page 309.

* Steven Farnsworth, of 305 SW 3rd Street, Bayton Beach, Palm Beach County, Florida

Grantor releases any and all homestead rights to the within premises, whether created by declaration or operation of law, and further states under the penalties of perjury that there are not other individuals entitled homestead rights to the property being conveyed herein.

Executed as a sealed instrument this 6th day of December, 2018.

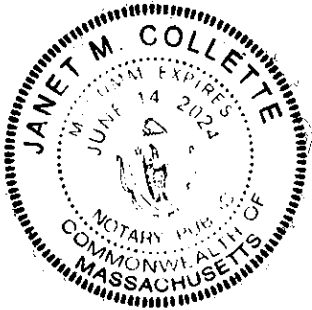


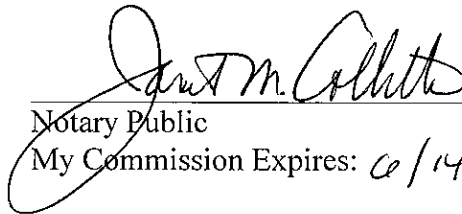
David M. Crosbie

COMMONWEALTH OF MASSACHUSETTS

Barnstable, ss

On this 6th day of December, 2018, before me, the undersigned notary public, personally appeared David M. Crosbie, proved to me through satisfactory evidence, which was personal knowledge, to be the person whose name is signed on the preceding Quitclaim Deed, and who swore and affirmed to me that the contents of the document is truthful and accurate to the best of his knowledge and belief, and acknowledged to me that he signed it voluntarily for its stated purpose.





Notary Public
My Commission Expires: 06/14/2024



S





W



W



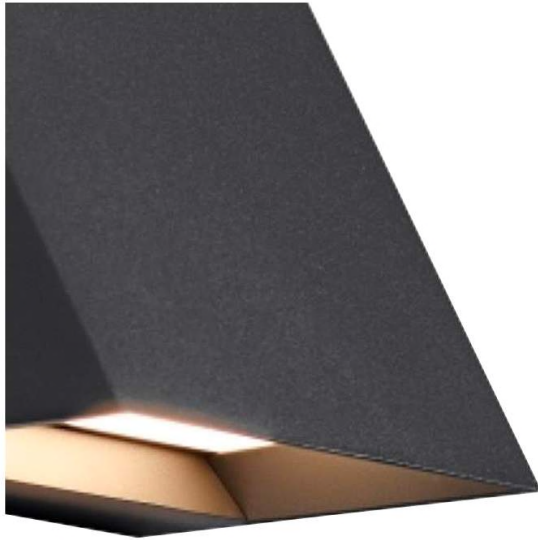
N



N



E



Tech Lighting Pitch 5" High Black LED Outdoor Wall Light

\$230.00

Pay in 4 interest-free payments of \$57.50 with [PayPal](#). [Learn more](#)

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1

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DESIGN CHAT

VIEW IN YOUR ROOM

Product Details

LED

Powerful illumination emanates from this modern outdoor LED wall light with an angular profile.

Additional Info:

Steeply pitched like a classic architectural roofline, this modern outdoor LED wall light is a designer addition from Tech Lighting. It boasts a black powder-coated finish over die cast construction and delivers lovely indirect illumination perfect for stairs or walkways. This ADA-compliant, 3000K design must be installed with the light down, and is suitable for wet locations.



- 5" high x 5" wide. Extends 4" from the wall. Weighs 1.2 lbs.
- Built-in dimmable 26.2 watt LED module: 822.6 lumen light output, comparable to a 60 watt incandescent. 3000K color temperature. 80 CRI.
- Modern metal ADA energy-efficient LED outdoor wall light from the Pitch collection by Tech Lighting.
- Powder-coated black finish over die-cast aluminum construction. Stainless steel hardware.
- Can only be installed with lights pointing down.
- Dimmable with electronic low voltage dimmer.

Chat

- LEDs average 70,000 hours at 3 hours per day.
- Universal 120 volt - 277 volt.
- Wet listed and IP65 rated indicating resistance to dust and water. Suitable for wet location when facing down.
- Can be used for both indoor or outdoor.
- ADA compliant.

Specifications

Product Attributes

Finish	Black
Style	Contemporary
LED	Yes

Technical Specifications

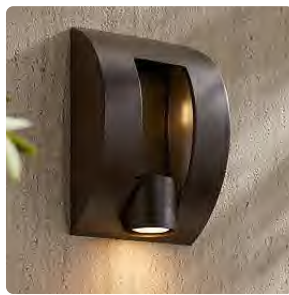
Height	5.00 inches
Width	3.90 inches
Weight	1.66 pounds

More You May Like | [View All](#)



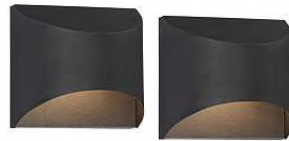
Possini Euro Xane 11" Wide Bronze Dark Sky LED Wall Light

\$179.99



Framed Slate 12" High Bronze 3-Light Outdoor Wall Light

\$199.99



Possini Euro Ratner 5 1/2" High Black LED Outdoor Wall Light...

\$259.98



Possini Euro Xane 11" Wide Bronze Finish Modern Dark Sky...

\$129.95 Sale



Kell 14" High Textured LED Up and Down

\$159.99



Related Videos



LED Buying Basics

LED Buying Guide



Contemporary Style Tips

Contemporary Style Tips and Ideas



Mid-Century Style Tips

Mid Century Modern Style Tips and Ideas



Mid-Century Modern Style

How to Style Mid Century Modern

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[Chat](#)



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Home / Lumber & Composites / Fencing / Metal Fencing / Metal Fence Gates

Internet # 304852041 Model # DG12LOND-HD Store SKU # 1004159851

Top Rated



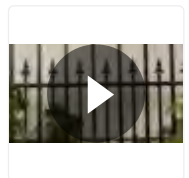
ALEKO

London Style 12 ft. x 6 ft. Black Steel Dual Swing Driveway Fence Gate

★★★★★ (15) Questions & Answers (17)

Live Chat

Feedback



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\$2399⁰⁰ /box



\$400.00 /mo* suggested payments with 6 months* financing [Apply Now](#)

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Feedback

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85 available

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Delivery

Oct 3 - Oct 10

85 available

- 1 +

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Product Details

Are you seeking high quality ornamental wrought iron gates without the high price? We have the perfect alternative for you. We offer designs you will not find anywhere else! All of our gates capture the classic elegance of wrought iron gate designs and offer

Additional Resources

From the Manufacturer

affordable prices. Our quality gates are all powder coated and galvanized for years of trouble free good looks and security. 2 Posts and 4 Hinges Included! Replacement warranty 10 years. We use Duplex System when make our gates: Galvanized Steel and Powder Coated Paint. When powder paint is applied to galvanized steel, this is referred to as the Duplex System. The Duplex System is the best process used today to protect against any weathering affects of our environment on steel. The powder coating actually increases the life of the galvanized steel. The paint slows the process of at which the zinc is being consumed. Galvanized Steel is iron that has been through a chemical process that protects the steel from rust and corrosion. The steel is submerged in molted zinc at temperatures greater than 800 degrees F. This process known as galvanizing, permanently bonds the zinc to the steel. The zinc is now a shield for the iron. Powder coating is the technique of applying dry paint to an item. The item(s) are then placed in an stove and heated in temperatures that range from 300 to 400 degrees F (depending on the powder). Unlike conventional paints, powder coated paints will not peel, chip or crack.

 Live Chat

 Feedback

Specifications

Dimensions

Assembled Height (in.)	75 in
Assembled Width (in.)	152 in
Gate Height (in.)	75
Gate opening width (in.)	144

Gate thickness (in.)	3
Gate Width (in.)	144
Nominal gate height (ft.)	6
Nominal gate width (ft.)	12
Picket Length (ft.)	6
Picket Spacing (in.)	5
Picket Thickness (in.)	1
Picket Width (in.)	1
Rail length (in.)	72
Rail thickness (in.)	1.5
Rail width (in.)	1

 Live Chat

 Feedback

Details

Color Family	Black
Color/Finish	Black
Features	Galvanized
Includes	Hardware, Posts
Material	Metal
Number of rails for panels	5
Panel Assembly	Assembled Panel
Panel Design	Spaced Picket
Panel Top Shape	Arched
Picket Top Style	Pointed

Product Weight (lb.)	378 lb
Returnable	90-Day
Structure Type	Ornamental, Permanent

Warranty / Certifications

Manufacturer Warranty	Replacement warranty 10 years
-----------------------	-------------------------------

How can we improve our product information? Provide feedback.

Questions & Answers

17 Questions

Customer Reviews

4.5 out of 5 ★★★★★ (15)

Live Chat

Feedback

Frequently Bought Together

Select

This Item

Select

Select

Top Rated



ALEKO

London Style 12 ft. x 6 ft. Black Steel Dual Swing Driveway...

★★★★★ (15)

Mighty Mule

Light Duty Dual Swing Gate Opener Solar Capable

★★★★★ (44)

Barrette Outdoor Living

4.562 in. x 2.312 in. Black Gravity Latch

★★★★★ (39)



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Home / [Lumber & Composites](#) / [Fencing](#) / [Chain Link Fencing](#) / [Chain Link Fence Fabric](#)

Internet # 319315110 Model # CLFB9.5G6X50-HD Store SKU # 1007266257



ALEKO (Brand Rating: 3.4/5)

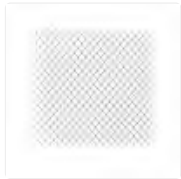
6 ft. x 50 ft. 9.5-Gauge Galvanized Black Chain Link Fabric

★ ★ ★ ★ ★ (1) Questions & Answers (6)

Live Chat



Feedback



Hover Image to Zoom

Product Details



This Chain Link Fence Fabric provides an economical and low maintenance boundary for your home or business. Stretching 50 ft. L, this fence fabric has been galvanized prior to weaving to eliminate sharp surfaces and burrs that could cut or scrape. The durable 9.5 AW gauge galvanized steel inner wire helps protect from weathering, corrosion, rust and UV radiation, making it suitable for long-term outdoor use. The black coating adds an attractive finish to any residential or commercial property. A 2 in. diamond mesh opening allows for easy visibility through the fence, while deterring intruders and small animals from entering the property. Largely versatile, this fence fabric can be used to secure the perimeter of your property or as an animal enclosure in the form of dog kennels, chicken coops or hen houses. Regardless of how you use it, the Roll-Out design allows for easy and straight-forward installation.

Additional Resources

From the Manufacturer

 Live Chat

 Feedback

Specifications



Dimensions

Mesh Size (in.)	2 in
Nominal Product Height (ft.)	6 ft
Nominal Product Length (ft.)	50 ft
Product Height (in.)	60 in

Product Thickness (in.)	0.3 in
Product Width (in.)	600 in

Details

Chain Link Type	Garden
Color Family	Black
Features	Galvanized, Water Resistant
Fencing Installation Type	Free Standing
Gauge	9.5
Material	Metal
Product Weight (lb.)	71 lb
Returnable	90-Day

 Live Chat

 Feedback

Warranty / Certifications

Manufacturer Warranty	90 days limited
-----------------------	-----------------

How can we improve our product information? Provide feedback.

Questions & Answers

6 Questions



Customer Reviews

1 out of 5      (1)



Frequently Bought Together



Regency Storage Systems
7631 Shaffer Parkway - Suite C
Littleton, CO 80127

September 11, 2023

RE: David Crosbie
481 Depot St
Chatham, MA 02633

Subject: Job # 23-52391-CL4

Bldg. 52391 30' x 70' x 9'-6"
Bldg. 52392 12' x 60' x 8'-0" L.S.

This letter is to certify the above referenced building will be designed in accordance with the applicable sections of the American Institute of Steel Construction (AISC) and the American Iron and Steel Institute (AISI) design procedures and good engineering practices for the following loads.

Design Loads:

Building Code:	IBC 2021, Chapter 16		
Risk Category	II		
Dead Load:	Metal Building Structure Only		
Live Load:	20 psf (Non-Reduced)		
Ground Snow Load	25 psf		
Roof Snow:	21.0 psf	Ce = 1.00	Ct = 1.20 Is = 1.00
	Unheated		
Collateral Load:	6.0 psf		
Wind Speed:	139 mph (basic design wind speed)	Exp = C	

Porosity condition of building 52391 is: Enclosed
Porosity condition of building 52392 is: Enclosed

Seismic Data

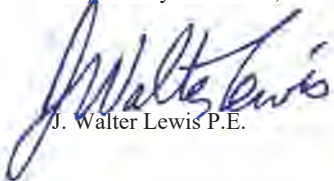
Design Category	B		
Seismic Importance Factor:	1.00		
Spectral Response Coefficients:	Ss = 0.136	S1 = 0.052	
	Sds = 0.145	Sd1 = 0.083	
Site Class (assumed):	D		
Basic Seismic Force Resisting System:	Laterally =	Not Detailed for Seismic Resistance	R = 3.00
	Longitudinally =	Not Detailed for Seismic Resistance	R = 3.00
Analysis Procedure:	Simplified Analysis Procedure		

The buyer is responsible for ensuring all specified loads are in compliance with local regulatory authorities. This letter of certification applies solely to the steel building system and its component parts and especially excludes any foundation, masonry, general contract work, or parts supplied by anyone other than Regency Storage Systems

Building is to be erected in accordance with "FOR CONSTRUCTION" erection drawings sealed by J. Walter Lewis, PE.

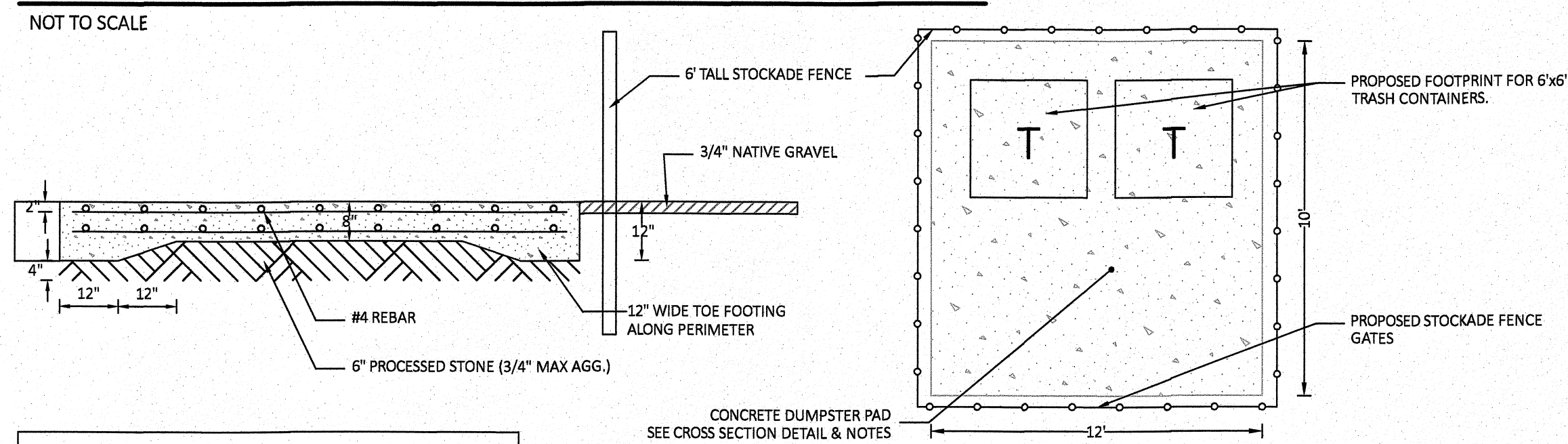
The undersigned is the metal building engineer and not the engineer of record for the overall project.

Respectfully Submitted,


J. Walter Lewis P.E.

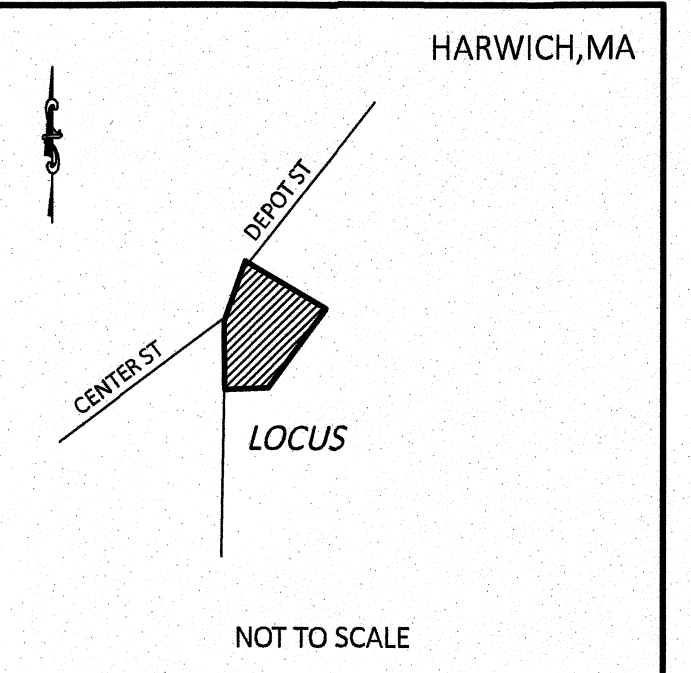
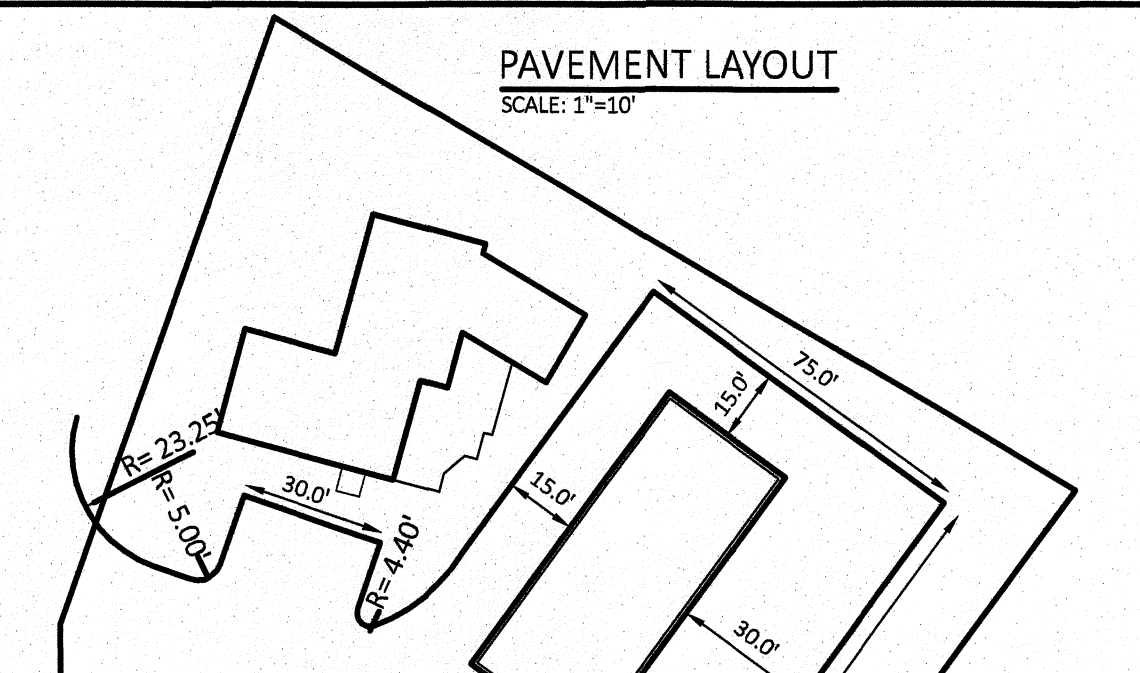


CONCRETE DUMPSTER PAD PLAN VIEW & CROSS-SECTION:



NOTES:
 1. CONTRACTOR SHALL USE 5,000 PSI CONCRETE, 8" THICK.
 2. CONCRETE PAD SHALL HAVE A 12" THICK, 12" WIDE TOE FOOTING ALONG THE ENTIRE PERIMETER.
 3. INSTALL TWO ROWS OF #4 REBAR SPACED 12" ON-CENTER IN BOTH DIRECTIONS. REBAR SHALL MAINTAIN 2" MINIMUM CLEARANCE FROM TOP AND BOTTOM OF CONCRETE POUR.
 4. CONCRETE SHALL BE UNDERLAID WITH A MINIMUM OF 8" BASE MATERIAL (3/4" MAX PROCESSED STONE OR APPROVED EQUAL).

ZONING COMPLIANCE TABLE				ZONING COMPLIANCE TABLE			
ZONING DISTRICT: ZONE R-R				ZONING DISTRICT: I-L ZONE			
SUBJECT	EXISTING	REQUIRED	PROPOSED	SUBJECT	EXISTING	REQUIRED	PROPOSED
LOT AREA (SF)	14,200	40,000	14,200	LOT AREA (SF)	20,690	20,000	20,690
FRONTAGE (FT)	109	150	109	FRONTAGE (FT)	167	100	167
FRONT SETBACK (FT)	N/A	25	25.7	FRONT SETBACK (FT)	15.8	25	15.8
SIDE SETBACK (NORTH) (FT)	N/A	20	135.5	SIDE SETBACK (NORTH) (FT)	18.4	25	25.5
SIDE SETBACK (SOUTH) (FT)	N/A	20	20.5	SIDE SETBACK (SOUTH) (FT)	115.6	25	113.9
REAR SETBACK (FT)	N/A	20	26.0	REAR SETBACK (FT)	66.0	50	50.5
MIN. FRONT SETBACK PARKING	N/A	15	15.5	MIN. FRONT SETBACK PARKING	N/A	15	27.1
MIN. SIDE SETBACK PARKING	N/A	5	6	MIN. SIDE SETBACK PARKING	N/A	5	9.1
MIN. REAR SETBACK PARKING	N/A	5	8	MIN. REAR SETBACK PARKING	N/A	5	20.5
BUILDING COVERAGE	0%	15%	19.9%	BUILDING COVERAGE	17.3%	40%	21.9%
SITE COVERAGE	27.5%	30%	54.4%	SITE COVERAGE	24.0%	70%	56.1%
BUILDING HEIGHT	N/A	30	SEE PROJECT NARRATIVE	BUILDING HEIGHT	SEE PROJECT NARRATIVE	40	SEE PROJECT NARRATIVE
INTERIOR LANDSCAPING	SEE PROJECT NARRATIVE			INTERIOR LANDSCAPING	SEE PROJECT NARRATIVE		
NUMBER OF PARKING SPACES	N/A	SEE PROJECT NARRATIVE	8	NUMBER OF PARKING SPACES	2	2 (RESIDENCE)	1 (OFFICE SPACE)
DRIVEWAY WIDTH (FT)	21.3	24	N/A	DRIVEWAY WIDTH (FT)	N/A	24	24

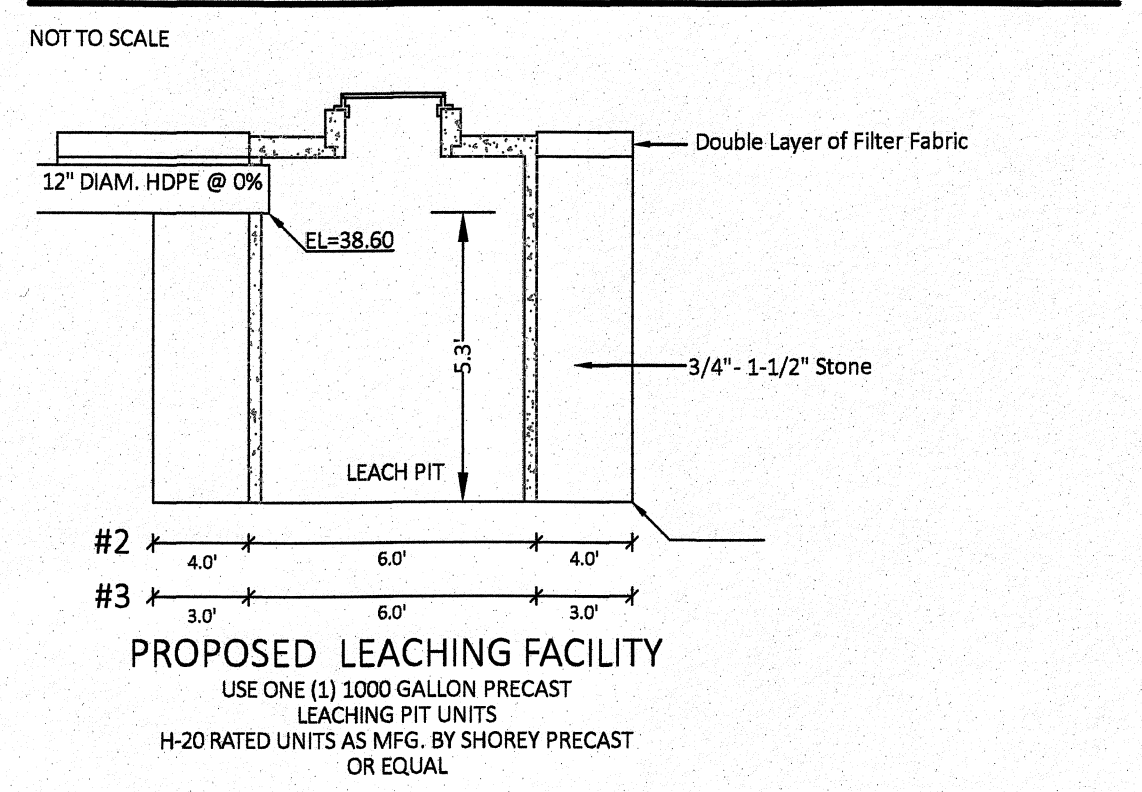


L.C. PLAN DEED BOOK 22853 ASSESSORS' MAP 36 #42160b PAGE 311 PARCEL B1

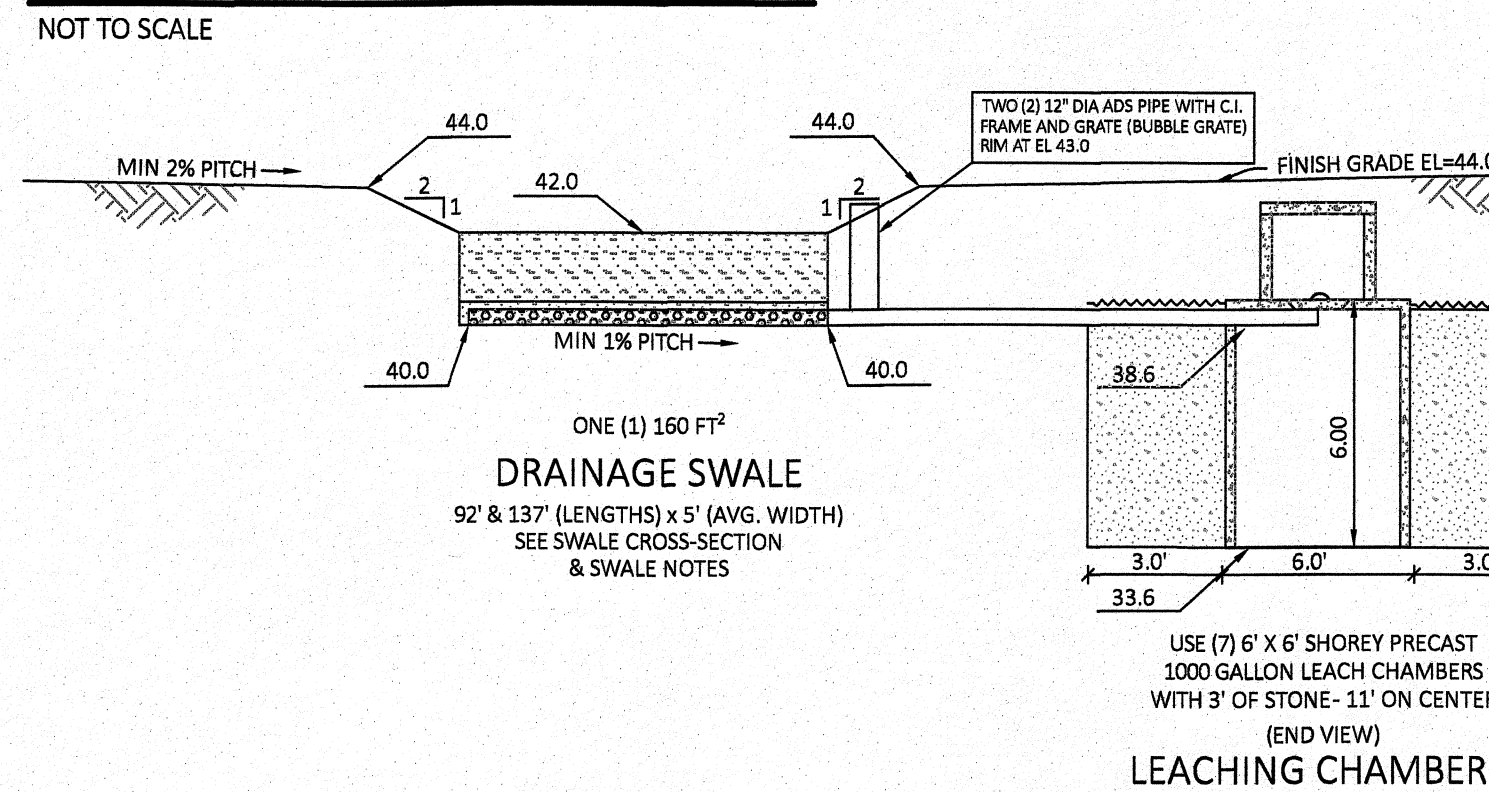
LEGEND

	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	WATER SERVICE LINE
	OVERHEAD UTILITY SERVICE
	UNDERGROUND UTILITY SERVICE
	GAS SERVICE LINE
	TEST HOLE / BORING LOCATION
	SEPTIC TANK
	DISTRIBUTION BOX
	SOIL ABSORPTION SYSTEM
	RESERVED FOR FUTURE UTILITY POLE
	CATCH BASIN
	FIRE HYDRANT
	WELL
	DRAINAGE MANHOLE
	CONCRETE BOUND, FOUND
	TOP OF BANK
	LIMIT OF WORK
	FENCE
	EDGE OF CLEARING

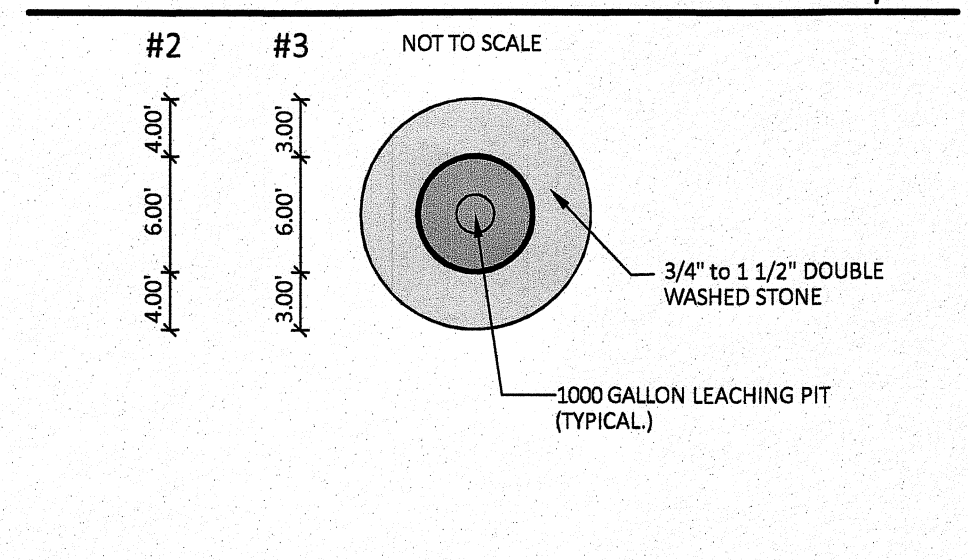
FLOW PROFILE OF DRAINAGE FACILITY #2/#3



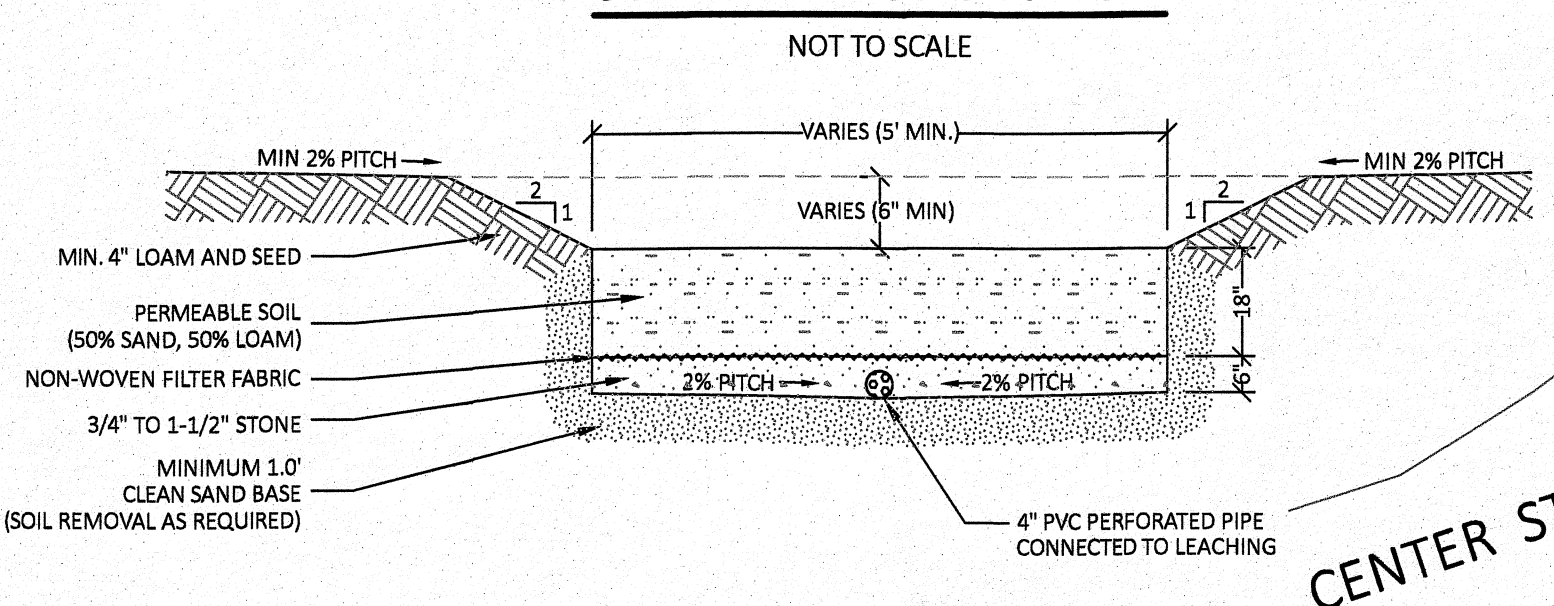
DRAINAGE FACILITY #1 PROFILE:



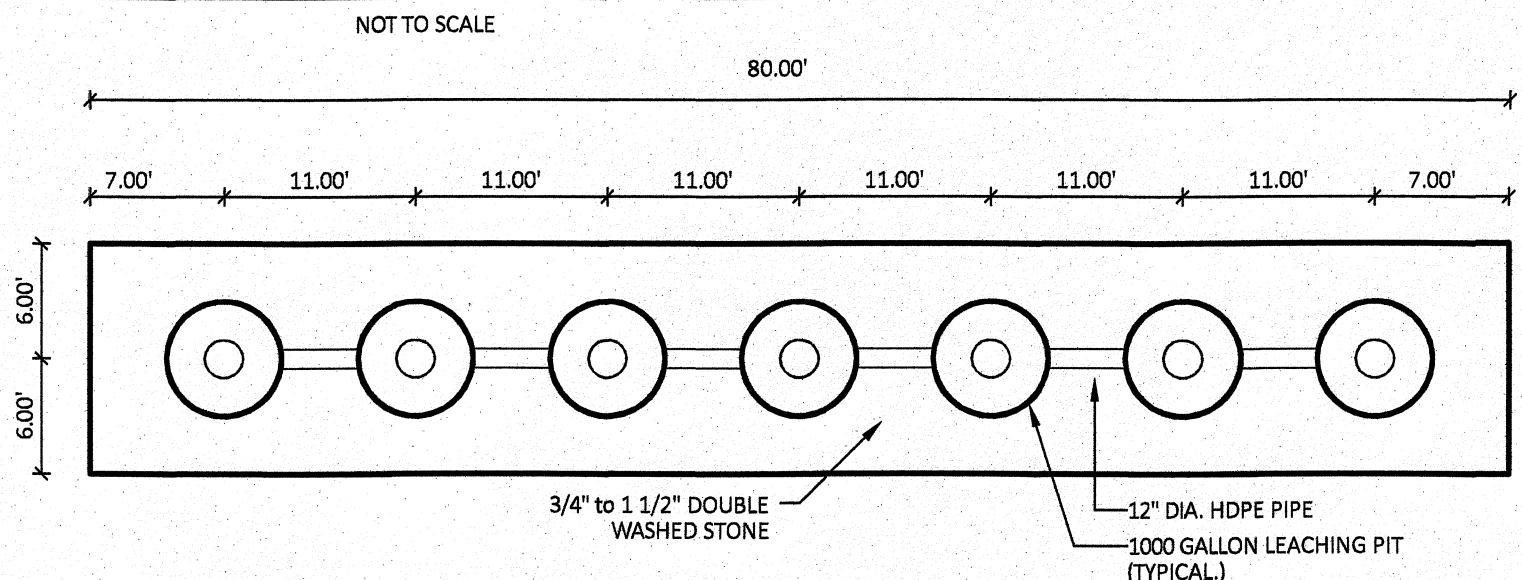
PLAN VIEW: LEACHING FACILITY #2/#3



SWALE CROSS-SECTION



PLAN VIEW: LEACHING FACILITY #1



SCREENING NOTES:

PROPOSED STORAGE UNIT:
 1) THE ENTIRE PERIMETER SHALL BE DELINEATED WITH A 6 FOOT HIGH CHAIN LINK FENCE, AS SHOWN ON THE PLAN VIEW.
 2) ALONG THE FENCE LINE, AS SHOWN ON THE PLAN VIEW, A ROW OF EMERALD GREEN ARBORVITAE SHALL BE PLANTED.
 3) THE ARBORVITAE SHALL BE 3 TO 4 FEET HIGH AND PLANTED AT 5 FEET ON CENTER. APPROXIMATELY 37 PLANTS ARE PROPOSED.

IRRIGATION:

4) ALL PLANTINGS SHALL BE IRRIGATED ON A REGULAR BASIS SO AS TO ENSURE SURVIVAL.
 5) IRRIGATION SYSTEM SHALL BE SOME SORT OF DRIP SYSTEM SO AS TO CONSERVE WATER.

TREE REPLACEMENT:

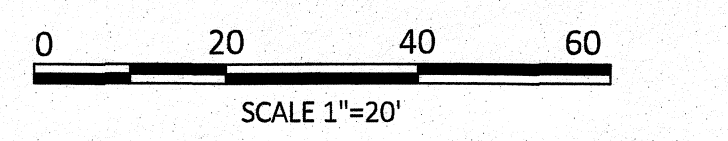
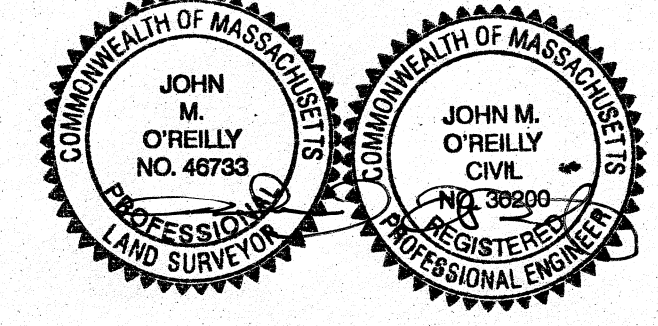
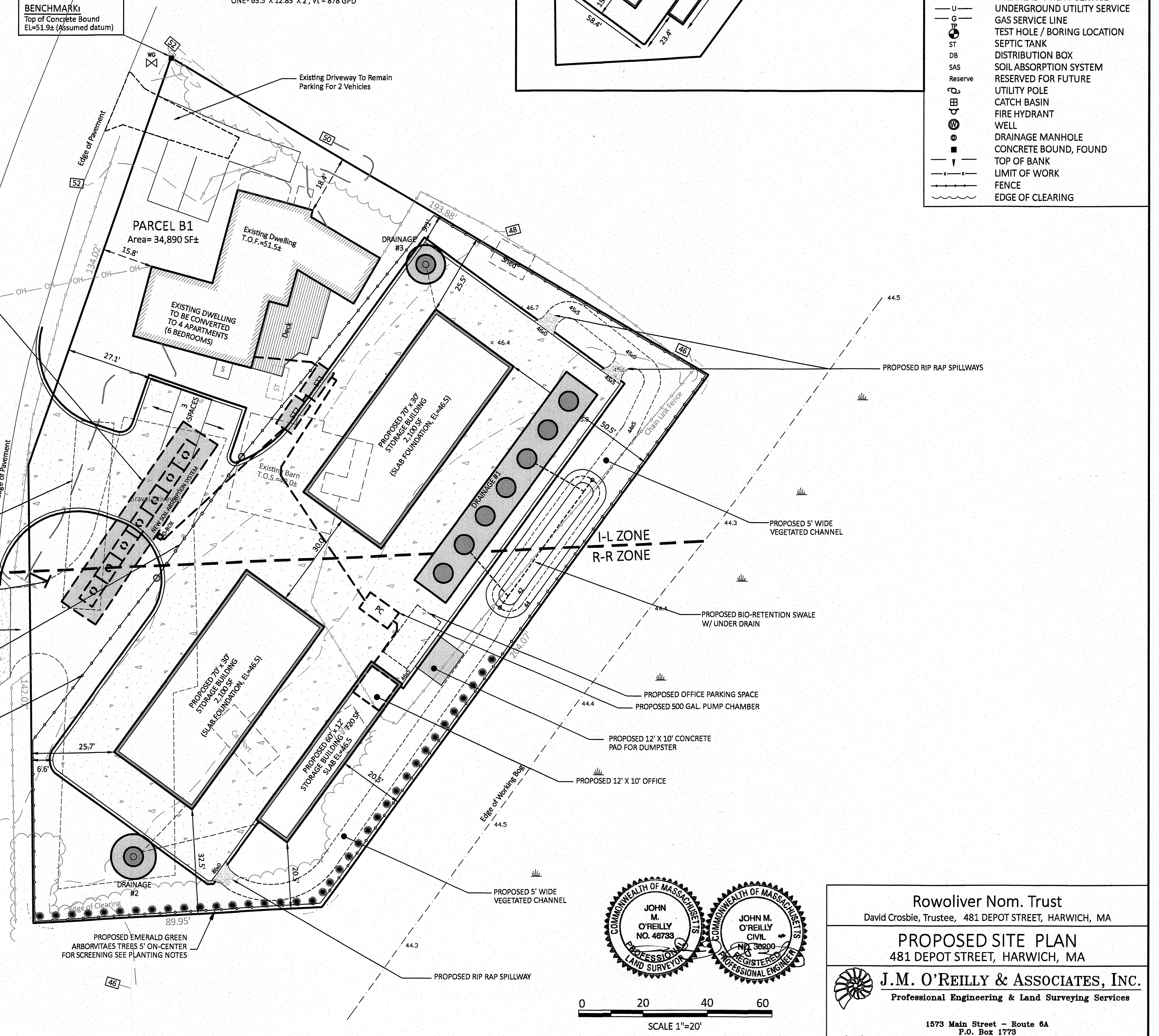
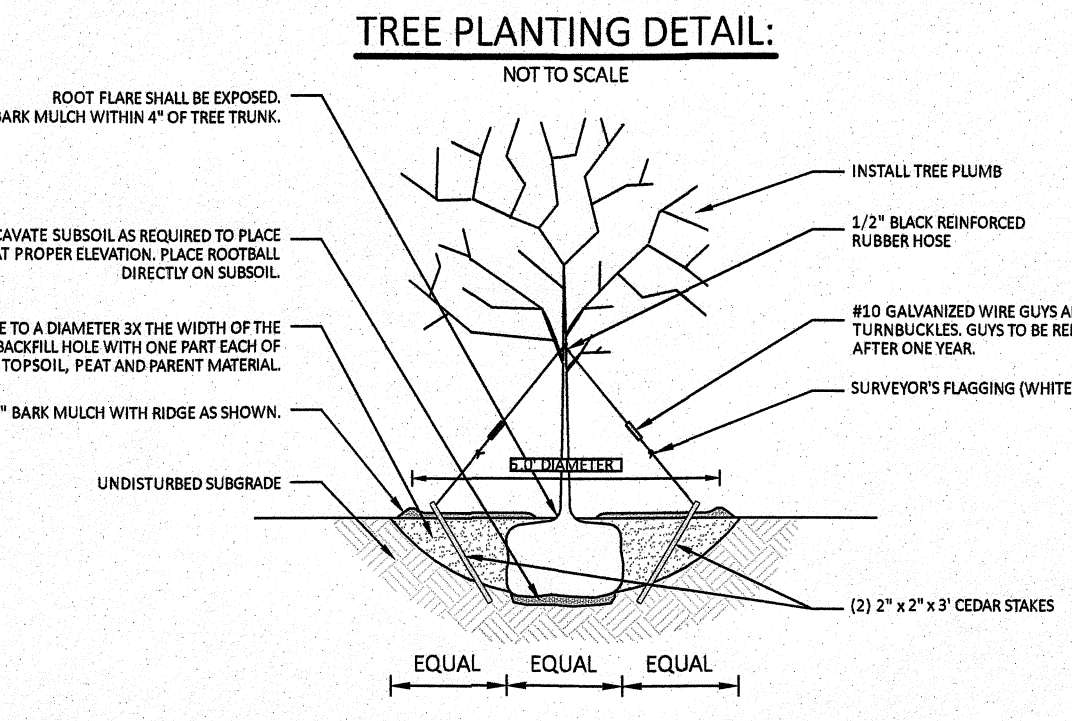
6) THE OWNER SHALL REPLACE ANY TREE WHICH DOES NOT SURVIVE FOR THE FIRST THREE YEARS AFTER PLANTING.

CHAIN LINK FENCE

7) THE PROPOSED CHAIN LINK FENCING AROUND THE PROJECT SITE SHALL BE GALVANIZED (AFTER WEAVING-GBW) FENCING.
 8) FENCE POLES SHALL BE GALV. TUBING, 1-3/8" DIAMETER AND 0.065" (1.5mm) WALL THICKNESS.
 9) FENCE SHALL BE 11-1/2" GAUGE GALV. WITH 2-1/2" MESH

LIGHTING INFORMATION:

1) PROPOSED WALL MOUNTED "SLIM LED WALLPACKS, 37W.
 2) WALLPACKS SHALL BE MOUNTED 8 FEET ABOVE THE FINISH GRADE
 3) PROPOSED WALL MOUNTED UNITS ARE CONSISTENT WITH DARK-SKY REQUIREMENTS.



Rowlover Nom. Trust
 David Crosbie, Trustee, 481 DEPOT STREET, HARWICH, MA

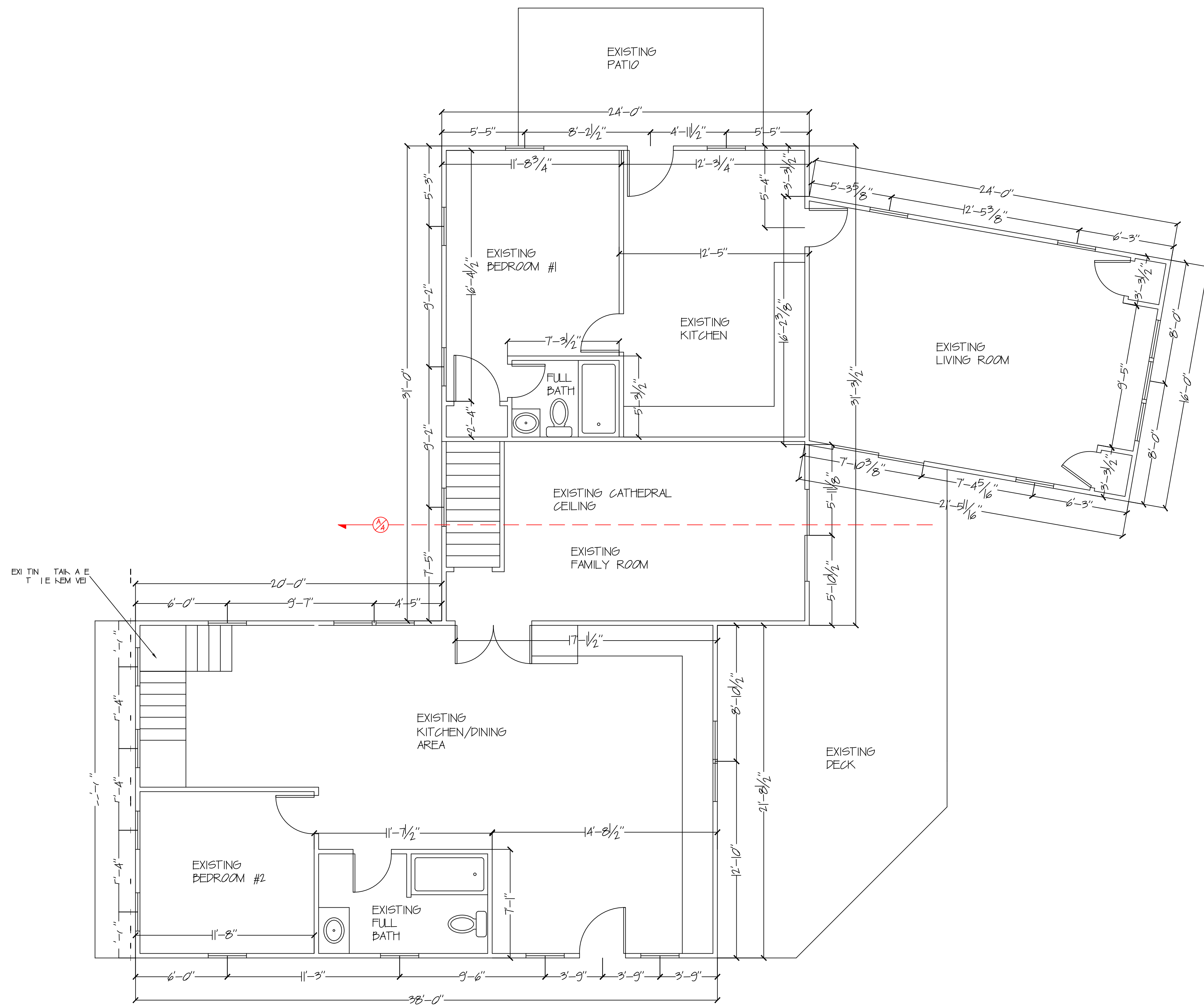
PROPOSED SITE PLAN
 481 DEPOT STREET, HARWICH, MA

J.M. O'REILLY & ASSOCIATES, INC.
 Professional Engineering & Land Surveying Services

1673 Main Street - Route 6A
 P.O. Box 1773
 Brewster, MA 02831 (508)896-6802 Fax

DATE: 10-3-2023 SCALE: As Noted BY: jmo CHECK: JMO JOB NUMBER: JMO-8601

G:\A\crosbie\8601\dwg\8601.PROPOSED SITE PLAN 7-10-23.dwg



EXISTING FIRST FLOOR PLAN

General Notes

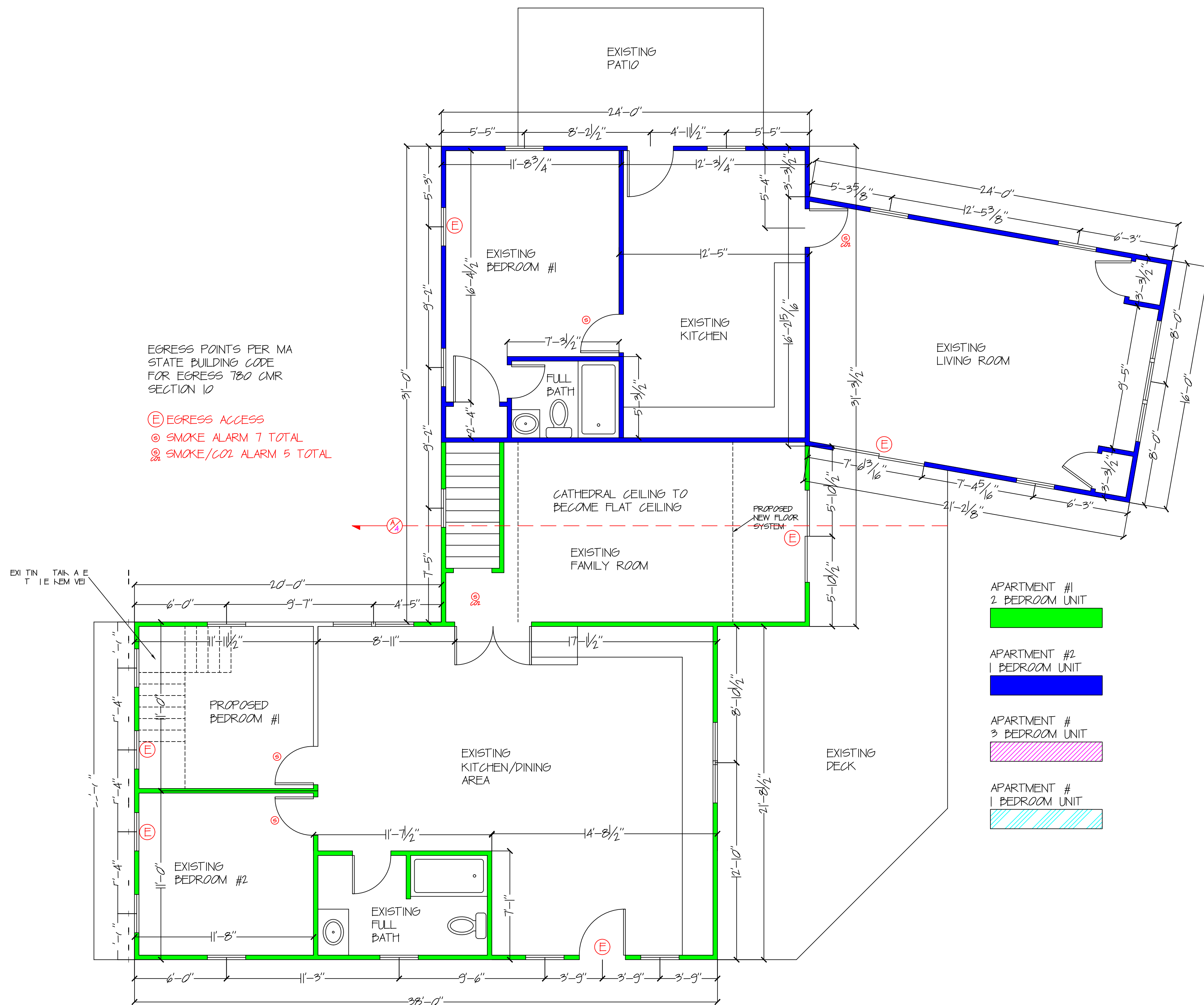
No.	Revision/Issue	Date

Firm Name and Address
 GIOVANI HOME DESIGN
 26 COLLINS LANE
 MASHPEE, MA 02649

Project Name and Address
 CROSBIE RESIDENCE
 481 DEPOT ST.
 HARWICH, MA

Project	1A0	Sheet	A-1
Date	09/06/2023		
Scale	1/4" = 1'		

General Notes



EGRESS POINTS PER MA STATE BUILDING CODE FOR EGRESS 780 CMR SECTION 10
 (E) EGRESS ACCESS
 (S) SMOKE ALARM 7 TOTAL
 (⊗) SMOKE/CO2 ALARM 5 TOTAL

- APARTMENT #1
2 BEDROOM UNIT
- APARTMENT #2
1 BEDROOM UNIT
- APARTMENT #3
3 BEDROOM UNIT
- APARTMENT #4
1 BEDROOM UNIT

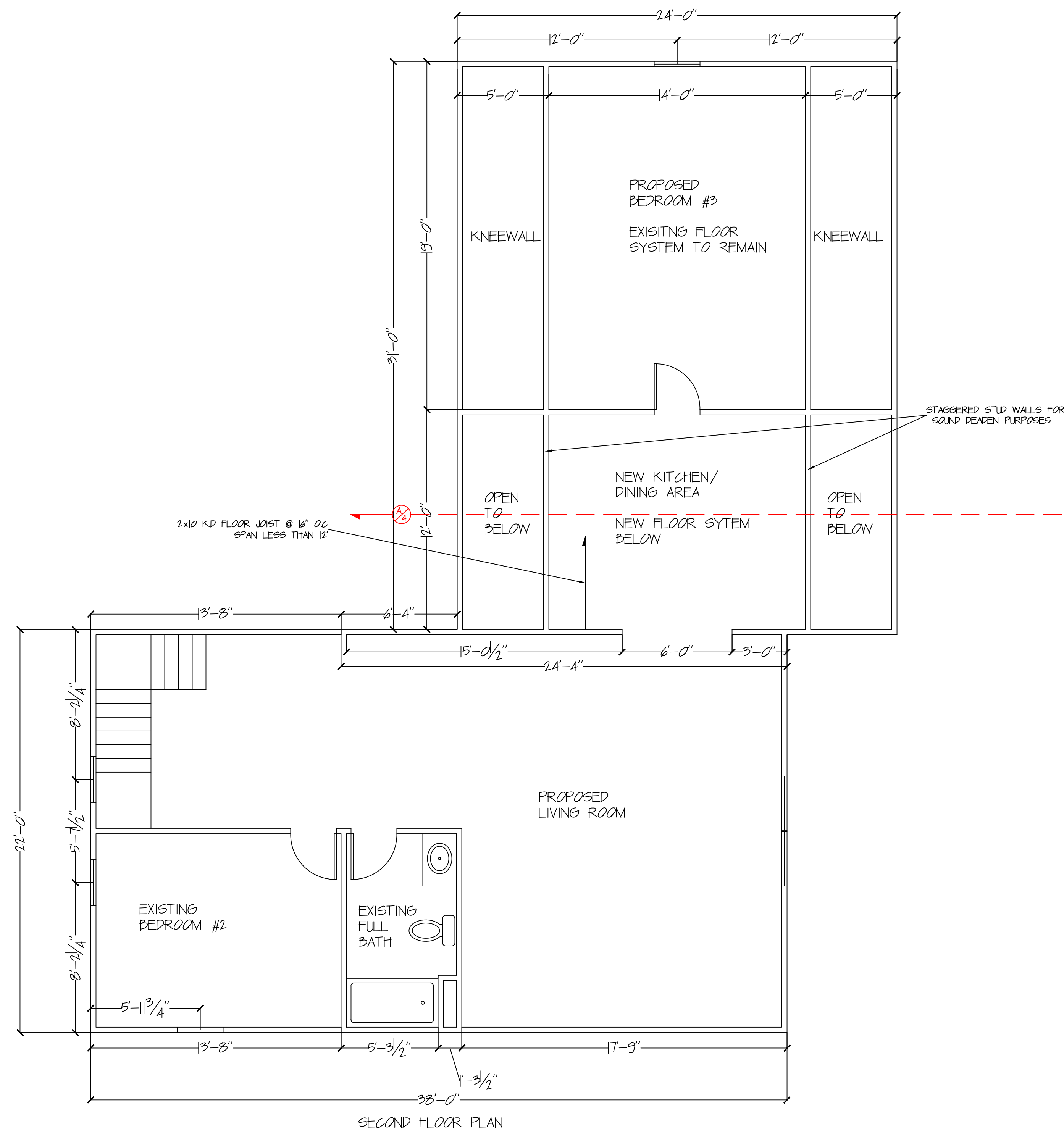
PROPOSED FIRST FLOOR PLAN
 APARTMENT #1
 APARTMENT #2

No.	Revision/Issue	Date

Firm Name and Address
 GOVONI HOME DESIGN
 26 COLLINS LANE
 MASHPEE, MA 02649

Project Name and Address
 CROSBIE RESIDENCE
 481 DEPOT ST.
 HARWICH, MA

Project	1A0	Sheet	A-2
Date	09/06/2023		
Scale	1/4" = 1'		



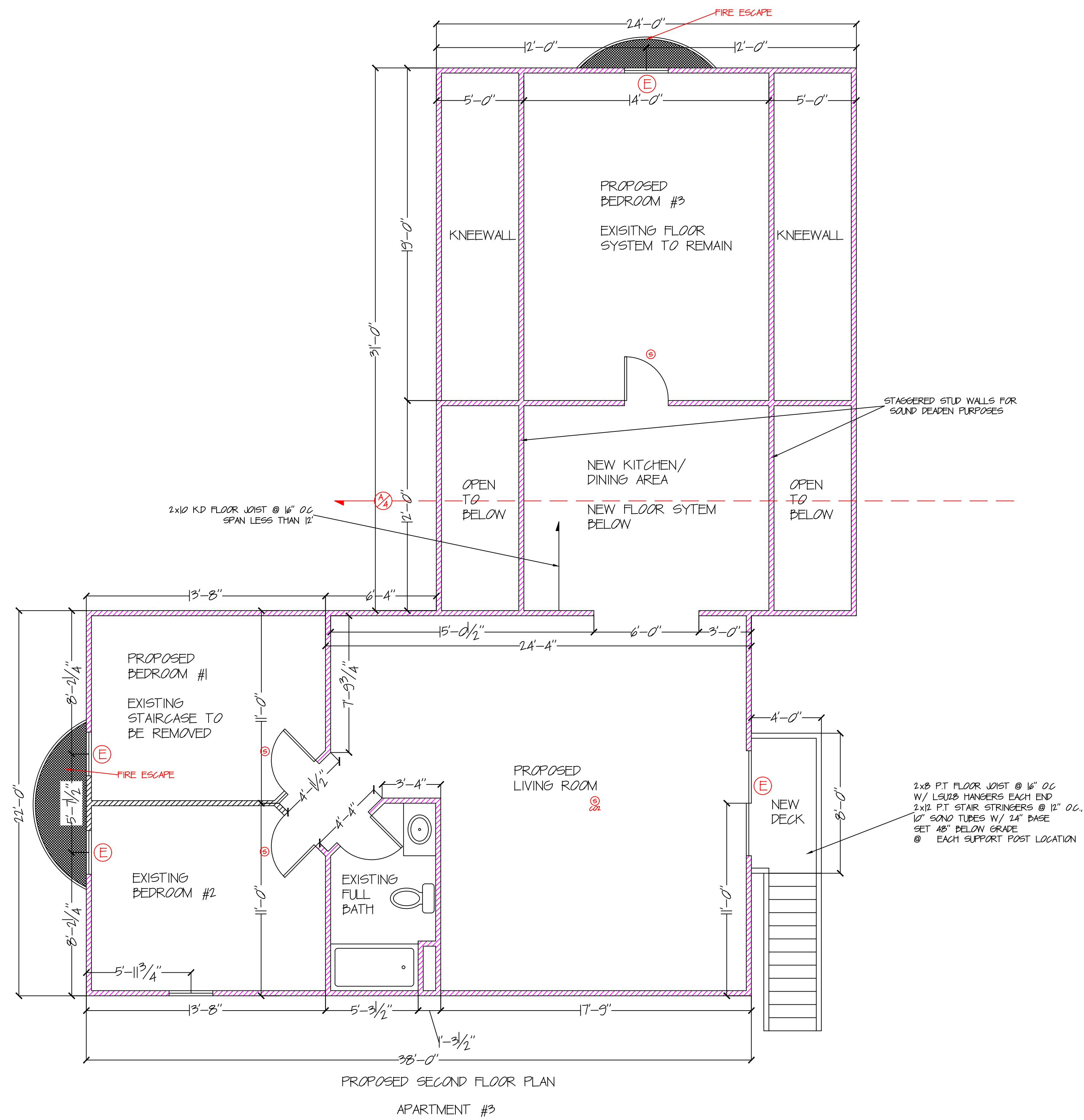
General Notes

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 MASHPEE, MA 02649

Project Name and Address
 CROSBIE RESIDENCE
 481 DEPOT ST.
 HARWICH, MA

Project	140	Sheet	A-3
Date	09/06/2023		
Scale	1/4" = 1'		



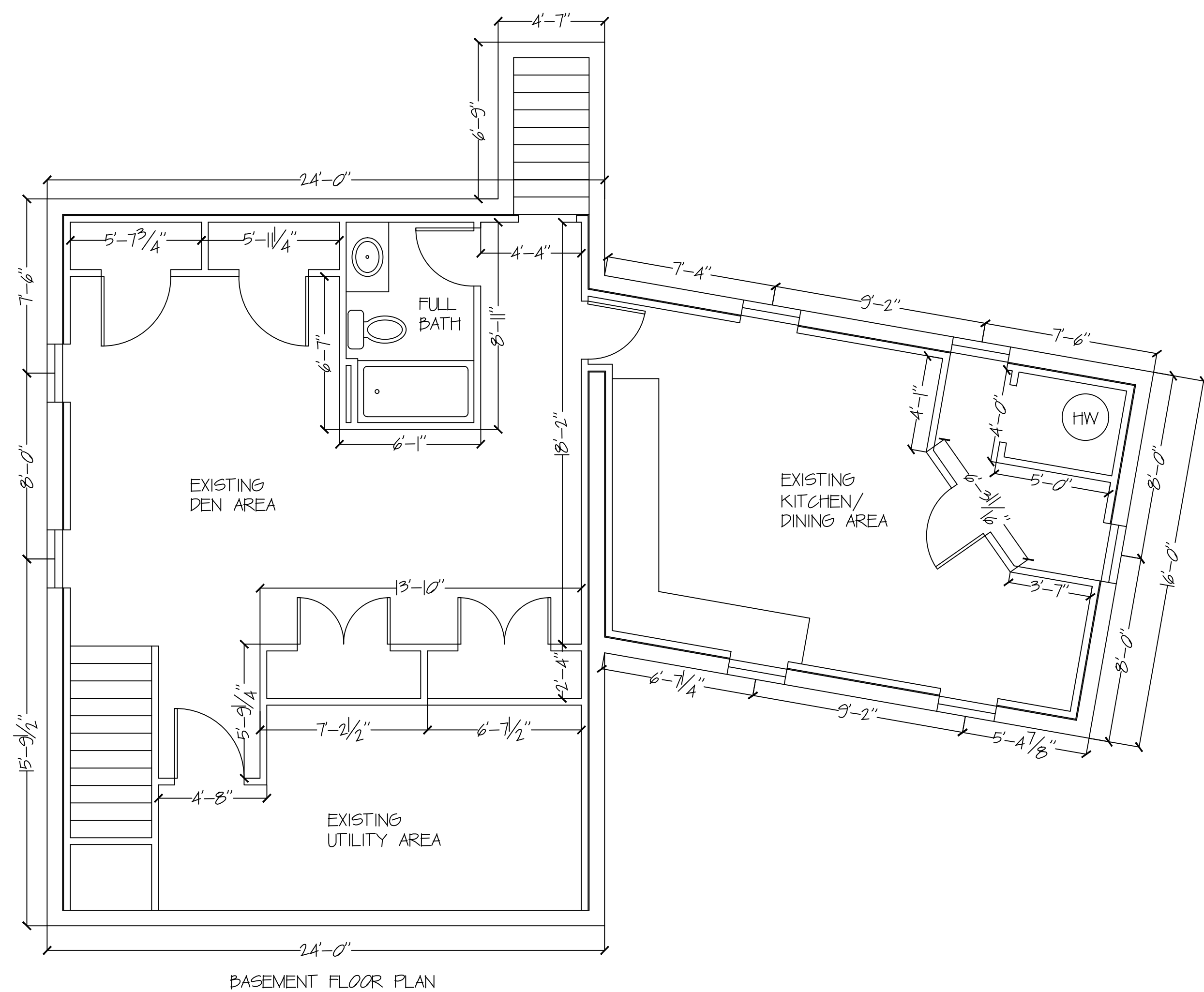
General Notes

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Project	1A0	Sheet	A-4
Date	09/06/2023		
Scale	1/4" = 1'		



BASEMENT FLOOR PLAN

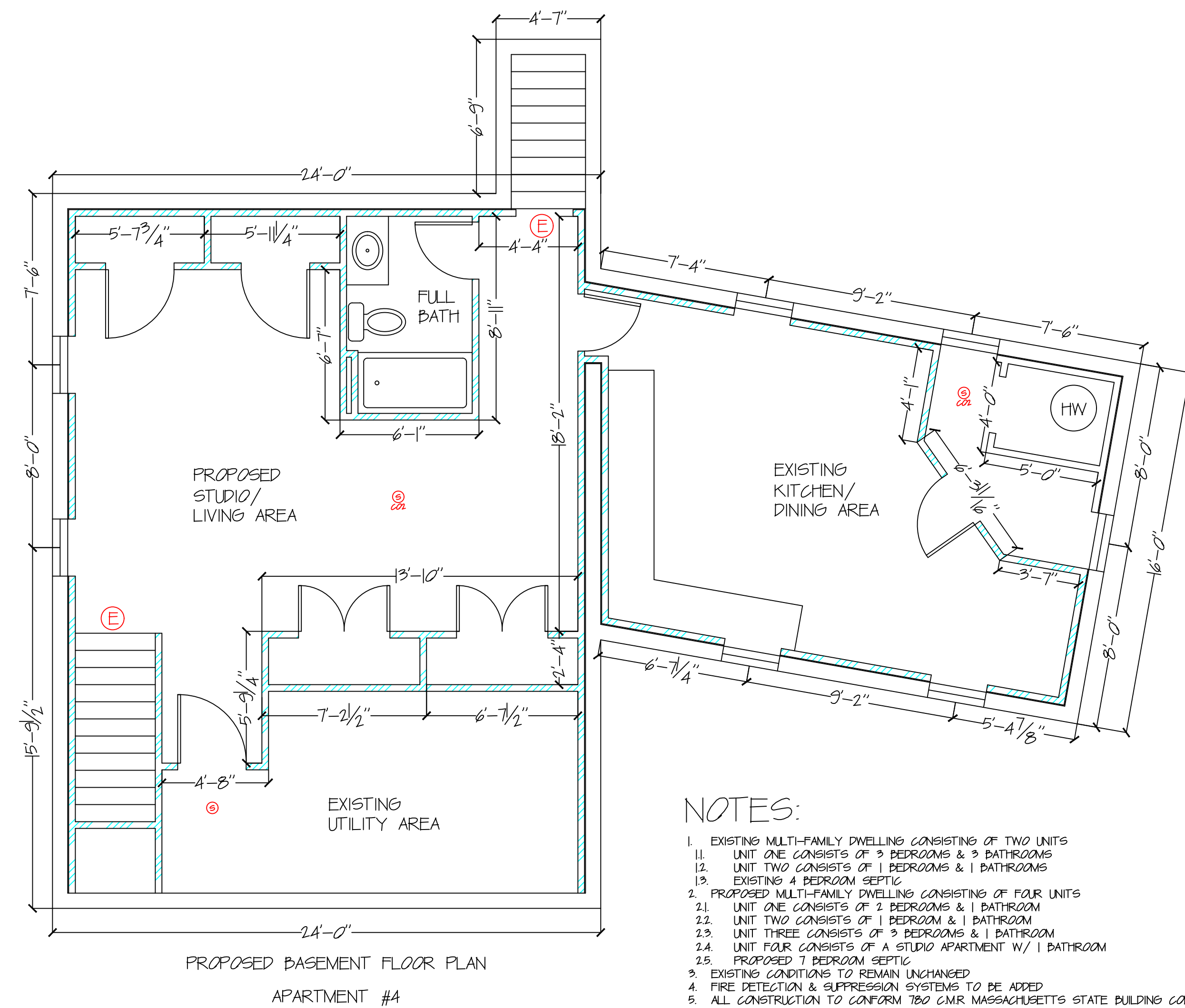
General Notes

No.	Revision/Issue	Date

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 MASHPEE, MA 02649

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 CROSBIE RESIDENCE
 481 DEPOT ST.
 HARWICH, MA

Project	140	Sheet	A-5
Date	09/06/2023		
Scale	1/4" = 1'		



NOTES:

1. EXISTING MULTI-FAMILY DWELLING CONSISTING OF TWO UNITS
11. UNIT ONE CONSISTS OF 3 BEDROOMS & 3 BATHROOMS
12. UNIT TWO CONSISTS OF 1 BEDROOMS & 1 BATHROOMS
13. EXISTING 4 BEDROOM SEPTIC
2. PROPOSED MULTI-FAMILY DWELLING CONSISTING OF FOUR UNITS
21. UNIT ONE CONSISTS OF 2 BEDROOMS & 1 BATHROOM
22. UNIT TWO CONSISTS OF 1 BEDROOM & 1 BATHROOM
23. UNIT THREE CONSISTS OF 3 BEDROOMS & 1 BATHROOM
24. UNIT FOUR CONSISTS OF A STUDIO APARTMENT W/ 1 BATHROOM
25. PROPOSED 7 BEDROOM SEPTIC
3. EXISTING CONDITIONS TO REMAIN UNCHANGED
4. FIRE DETECTION & SUPPRESSION SYSTEMS TO BE ADDED
5. ALL CONSTRUCTION TO CONFORM TO 800 CMR MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION AMENDMENT & IRC05.
6. CONTRACTOR TO VERIFY ALL DIMENSION IN THE FIELD.
7. CONTRACTOR TO VERIFY ALL INTERIOR & EXTERIOR MATERIALS, DETAILS, & FINISHES WITH OWNERS
8. ROUGH OPENING HEAD HEIGHT OF DOORS AND WINDOWS TO BE 6'-10" FROM THE SUB-FLOOR.
9. FOLLOW ALL REQUIREMENTS OF THE IECC2009 RESIDENTIAL ENERGY EFFICIENCY REQUIREMENTS & VERIFY ALL DETAILS WITH THE INSULATION INSTALLER/CONTRACTOR.
10. VERIFY ALL PLUMBING, HVAC AND ELECTRICAL DETAILS W/ OWNERS ON THE SITE DURING FRAMING CONSTRUCTION.
11. ALL WINDOWS & DOORS TO HAVE SILL PANS & ICE/WATER SHIELD FLASHING AROUND WINDOW PERIMETER.
12. FOLLOW ALL MANUFACTURERS SPECIFICATIONS FOR INSTALLATION OF ALL WINDOWS AND DOORS.
13. ALL PLYWOOD WALL SHEATHING TO BE INSTALLED VERTICAL OR HORIZONTAL W/ BLOCKING AT ALL EDGES, EDGES TO BE NAILED 3" & 12" IN THE FIELD.
14. THIS STRUCTURE IS DESIGNED TO THE A/F&P WOOD FRAME CONSTRUCTION MANUAL FOR 110 MPH EXPOSURE "B" LOCATION PER SECTION R302111.
15. TIMBER FRAMING TO BE SPRUCE/PINE/FIR NO. 2 GRADE, 200PSI MIN.
16. INSTALL ALL ROOF TO WALL, CHIMNEY, & OTHER FLASHING PER MANUFACTURER'S SPECIFICATIONS.

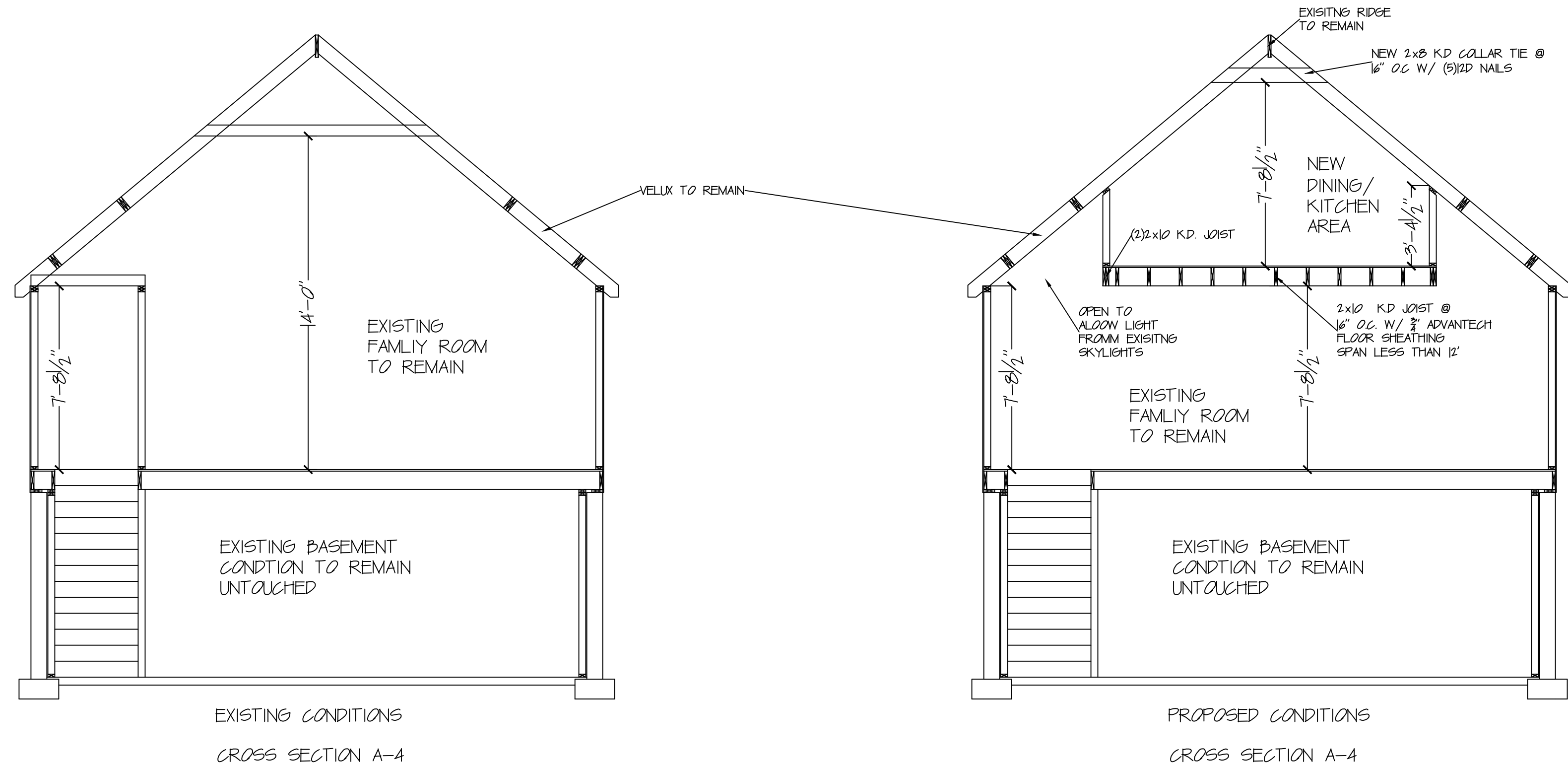
General Notes

No.	Revision/Issue	Date

Firm Name and Address
 GIOVANI HOME DESIGN
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 MASHPEE, MA 02649

Project Name and Address
 CROSBIE RESIDENCE
 481 DEPOT ST.
 HARWICH, MA

Project	140	Sheet	A-6
Date	09/06/2023		
Scale	1/4" = 1'		



EXISTING CONDITIONS
CROSS SECTION A-4

PROPOSED CONDITIONS
CROSS SECTION A-4

General Notes

No.	Revision/Issue	Date

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Project Name and Address
 CROSBIE RESIDENCE
 481 DEPOT ST.
 HARWICH, MA

Project	140	Sheet	A-7
Date	09/06/2023		
Scale	1/4" = 1'		

STRUCTURAL NOTES

BUILDER / CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT PLANS AND SPECIFICATIONS COMPLY WITH APPLICABLE REQUIREMENTS OF ANY GOVERNING BUILDING AUTHORITY.

METAL BUILDING STRUCTURE DESIGNED PER THE FOLLOWING LOADING:

- CODE: IBC 2021
WIND: 139 MPH EXPOSURE C WINDLOAD
ROOF LOAD: 20 PSF ROOF LIVE LOAD
SEISMIC DESIGN CATEGORY: B / SEISMIC COEFFICIENT: 0.22
GROUND SNOW LOAD: 25 PSF (MAX) GROUND SNOW LOAD
ROOF SNOW LOAD: 21 PSF (MAX) ROOF SNOW LOAD
COLLATERAL LOAD: 6 PSF (MAX) COLLATERAL LOAD

DESIGN LOADS DESIGNATED WITHIN CONTRACT AND DRAWINGS DO NOT ALLOW FOR ANY TYPE OF SUSPENDED SYSTEM (E.G. LIGHTS, INSULATION, DUCT WORK, PIPING, ETC.) SUSPENSION OF ANY LOAD INDUCING SYSTEM IS EXPLICITLY PROHIBITED UNLESS A CORRESPONDING REDUCTION IN CERTIFIED LIVE/SNOW LOADS CAN BE PERMITTED BY CODE.

DESIGN AND SPECIFICATION OF BASE STEEL TO CONCRETE SLAB ANCHORING IS NOT THE RESPONSIBILITY OF THE BUILDING MANUFACTURER.

BUILDING MANUFACTURER ASSUMES NO RESPONSIBILITY FOR CONCRETE SLAB FOUNDATION DESIGN, THICKNESS, MATERIALS, SITE SOIL CONDITIONS OR OTHER CONCRETE/MASONRY CONSTRUCTION.

ALL STRUCTURAL CONNECTIONS ARE TO BE MADE PER FASTENING DETAILS PRESENTED HEREIN. ALL STEEL FRAMING AND SHEETING MATERIALS MUST BE INSTALLED TO VERTICAL PLUMB AND HORIZONTALLY LEVEL.

THE BUILDING MANUFACTURER AND THE PROFESSIONAL ENGINEER SEALING THESE DRAWINGS ARE NOT THE PROFESSIONAL ENGINEER OF RECORD FOR THE ENTIRE PROJECT. THE PROFESSIONAL ENGINEER'S SEAL PERTAINS ONLY TO THE STRUCTURAL DESIGN OF THE METAL BUILDING SYSTEM. IT DOES NOT APPLY TO THE FOUNDATION SYSTEM, MASONRY DESIGN OR ANY OTHER ASPECT OF THE PROJECT UNLESS SPECIFICALLY STATED IN THESE DOCUMENTS.

JOBSITE / FIELD CONDITIONS NOTES:

BUILDING MANUFACTURER ASSUMES NO RESPONSIBILITY FOR ANY LOADS TO STRUCTURE NOT INDICATED AT THE TIME OF PURCHASE. ANY ALTERATIONS TO THE STRUCTURAL SYSTEM, REMOVAL OF ANY COMPONENT PARTS OR THE ADDITION OF OTHER CONSTRUCTION MATERIALS OR LOADS MUST BE DONE UNDER THE DIRECTION OF REGISTERED ARCHITECT, CIVIL OR STRUCTURAL ENGINEER.

ALL CONCRETE AND MASONRY CONSTRUCTION MUST BE FLAT, LEVEL AND SQUARE PER THE SLAB PLAN DIMENSIONS HEREIN.

ALL JOBSITE DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED BEFORE ERECTION OF BUILDING STRUCTURE.

ALL OMISSIONS, CONFLICTS AND DISCREPANCIES SHALL BE REPORTED TO THE BUILDING MANUFACTURER BEFORE PROCEEDING WITH PROJECT WORK.

ALL TEMPORARY SUPPORTS SUCH AS GUYS, BRACES, FALSEWORK, CRIBBING, WINDBRACES OR OTHER ELEMENTS REQUIRED FOR THE BUILDING ERECTION ARE TO BE DETERMINED BY AND SUPPLIED BY BUILDER/CONTRACTOR.

BUILDING MANUFACTURER HAS MADE A COMMITMENT TO MANUFACTURE QUALITY BUILDING COMPONENTS THAT CAN BE SAFELY ERECTED. JOB SITE SAFETY INSTRUCTION, SAFETY EQUIPMENT AND CONDITIONS ARE THE RESPONSIBILITY OF THE BUILDER/CONTRACTOR.

ALL COMPONENTS SHIPPED SHALL BE THOROUGHLY INSPECTED AND ACCOUNTED FOR AT THE TIME OF DELIVERY. ALL MATERIAL SHORTAGES OR DEFECTS MUST BE REPORTED WITHIN FIVE (5) WORKING DAYS OF MATERIAL DELIVERY TO THE BUILDING MANUFACTURER.

DIAPHRAGM ACTION OF THE METAL PANELS AT INTERIOR PARTITION WALLS IS UTILIZED FOR THE STABILITY OF THIS BUILDING. ANY MODIFICATION OR UNAUTHORIZED CUTTING OF INTERIOR PARTITION PANELS IS EXPRESSLY PROHIBITED BY THE BUILDING MANUFACTURER.

INSTALLATION NOTES:

FIELD CUTTING OF STRUCTURAL, SHEETING AND TRIMS FOR SPLICE AND FINAL FITTING OF COMPONENTS IS REQUIRED.

ALL ROOF PANEL LAPS SHALL BE SEALED WITH 3/8" (MINIMUM) WIDTH MASTIC TAPE AS PROVIDED FOR PROJECT. ALL SHEET PROFILE FOAM CLOSURES AT EAVE, WALL AND RIDGE CONDITIONS AS PROVIDED FOR PROJECT MUST BE INSTALLED AS SHOWN HEREIN.

WALL PANELS AND WALL TRIMS, AT INTERIOR AND EXTERIOR, ARE TO BE SET WITH 1/4" CLEARANCE ABOVE CONCRETE SURFACES AND AT ANY LOCATIONS WHICH MAY BE SUBJECTED TO CONTACT WITH STANDING WATER.

LAP ALL FLASHINGS 2" MINIMUM AND SEAL AS REQUIRED FOR WATER TIGHTNESS

ALLOW 1/4" TOLERANCE AT EACH END FOR PURLINS, HEADERS AND GIRTS.

DRAWING INDEX

Table with 2 columns: Number and Description. Includes items like LEAD SHEET, GENERAL NOTES, SCHEDULES, KEY PLAN; SLAB PLAN; EXTERIOR ELEVATIONS; INTERIOR ELEVATIONS; FLOOR PLAN, FRAMING PLAN; PARTITION PLAN, ROOF PLAN; DETAILS.

STANDARD ABBREVIATIONS

Table of standard abbreviations for building components, materials, and structural elements.

STRUCTURE ABBREVIATIONS

Table of structure abbreviations for various steel and structural components.

SHEETING ABBREVIATIONS

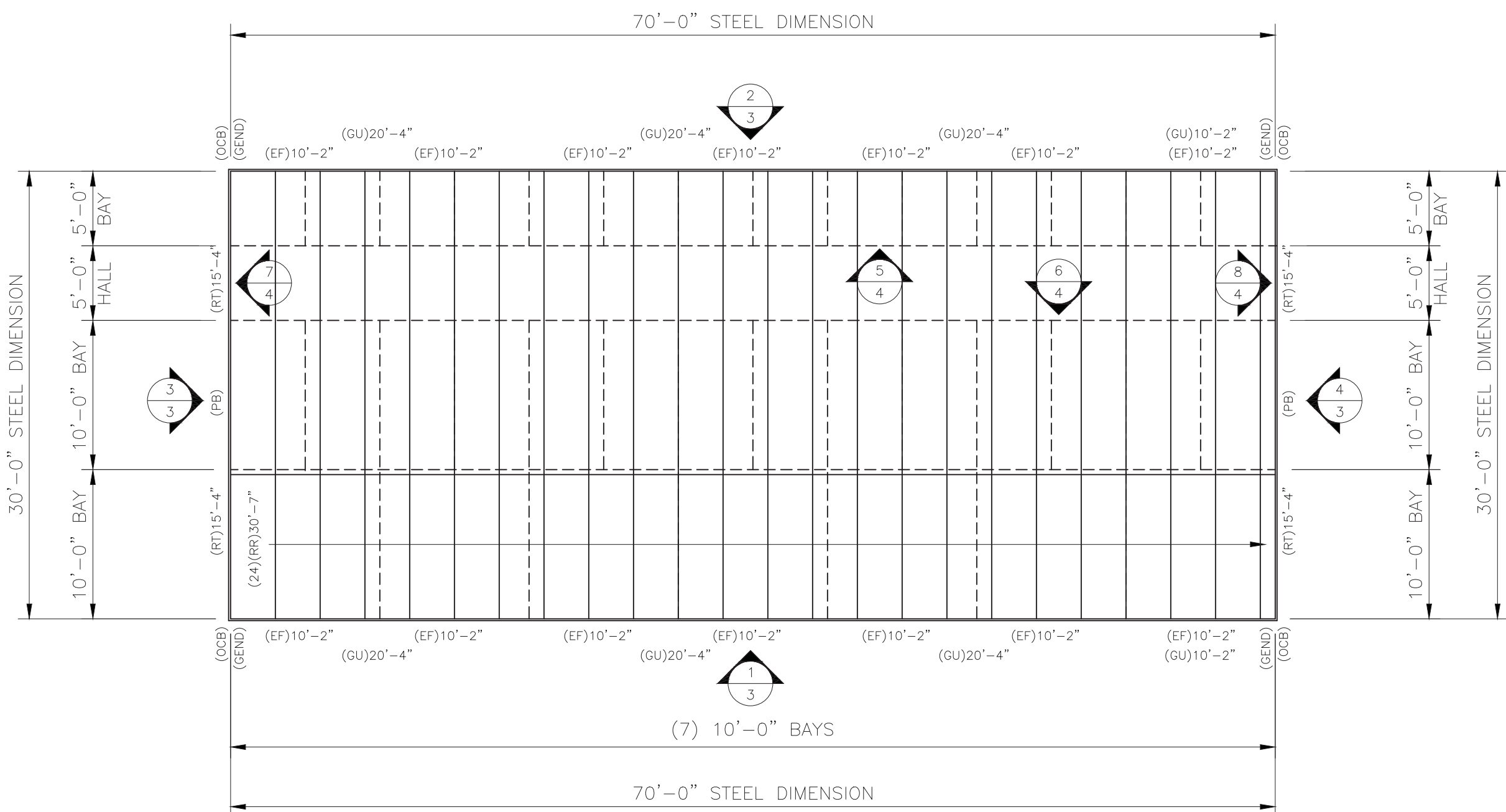
Table of sheeting abbreviations for wall and roof panels.

FASTENER ABBREVIATIONS

Table of fastener abbreviations for various types of anchors, bolts, and rivets.

TRIM ABBREVIATIONS

Table of trim abbreviations for interior and exterior finishing elements.



KEY PLAN

scale - 1/8" = 1'-0"

CLOSURE NOTE: (48) INSIDE CLOSURES INCLUDED FOR LOW EAVE. INSTALL BTR TAPE ON TOP AND BOTTOM OF INSIDE CLOSURE (SEE DETAILS AND INSTALLATION GUIDE) (44) INSIDE CLOSURES INCLUDED FOR BASE OF EXTERIOR WALL PANELS. (20) OUTSIDE CLOSURES INCLUDED FOR RAKE.

ERECTOR NOTE: A DETAILED INSTALLATION GUIDE IS AVAILABLE AND SHOULD BE CONSULTED DURING THE ERECTION OF THIS BUILDING PACKAGE. PLEASE CONTACT US IF YOU HAVE NOT RECEIVED A COPY OF THE INSTALLATION GUIDE AND ONE WILL BE PROVIDED TO YOU.



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PROJECT: 30 x 70 x 9-6
LOCATION: Chatham, MA 02633

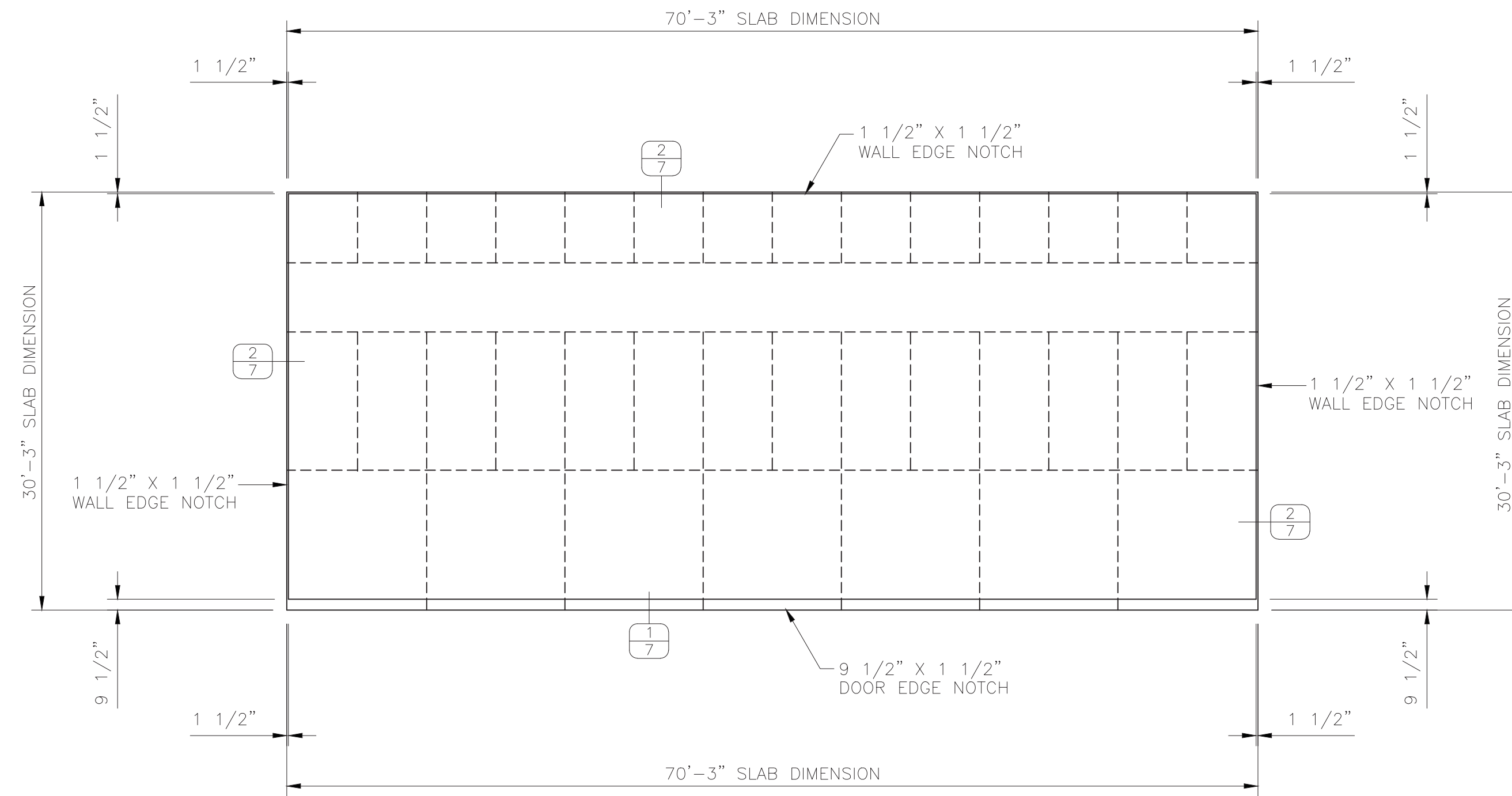
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Sheet

1 of 12

Table with columns for Construction, Issued For, Prints, and Date.



SLAB PLAN
 scale - 1/8" = 1'-0"



09/11/2023

DATE	07/23/23
BY	PSS
ISSUED FOR	CONSTRUCTION
PRINTS	

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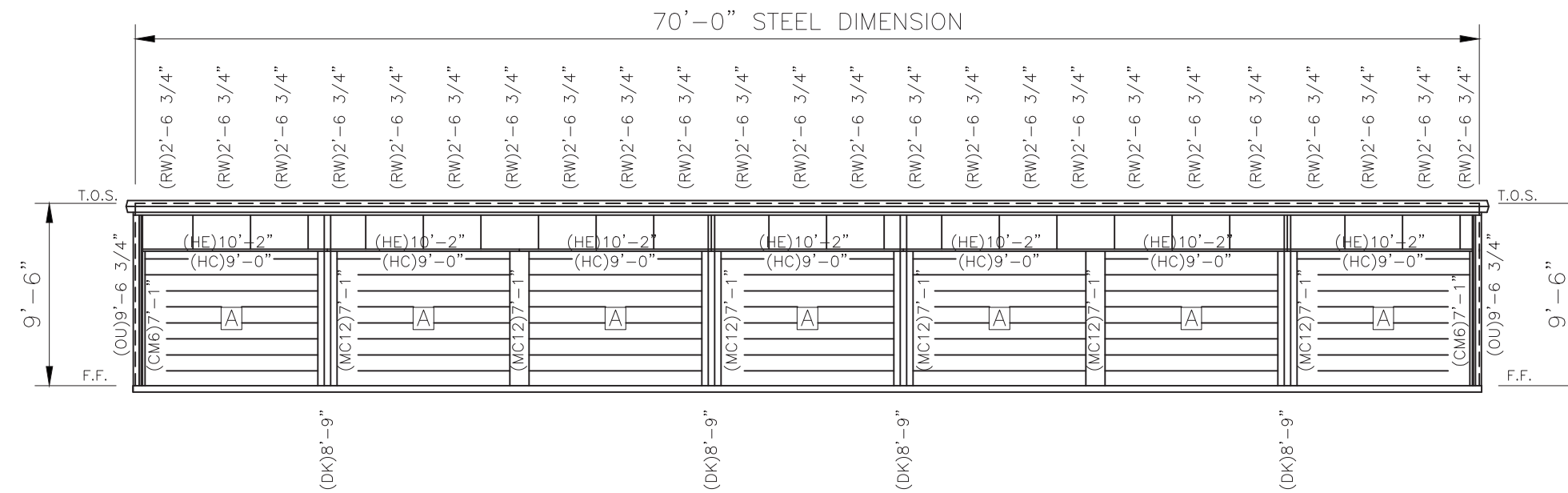
PROJECT:	30 x 70 x 9-6
LOCATION:	Chatham, MA 02633

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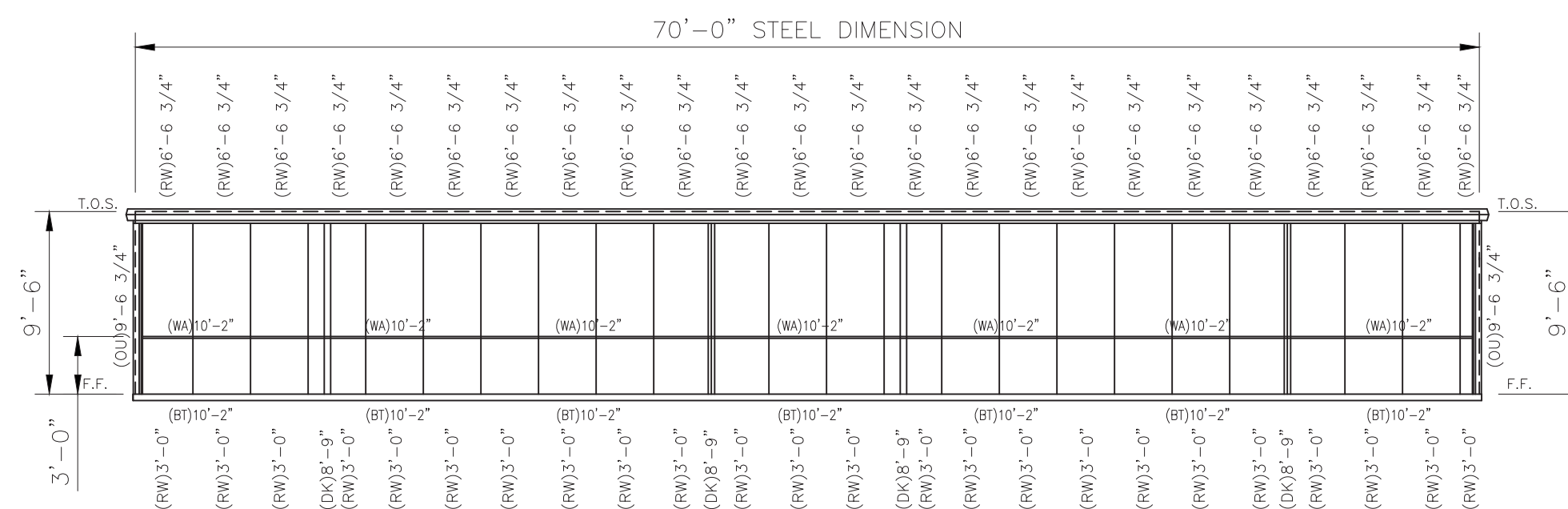
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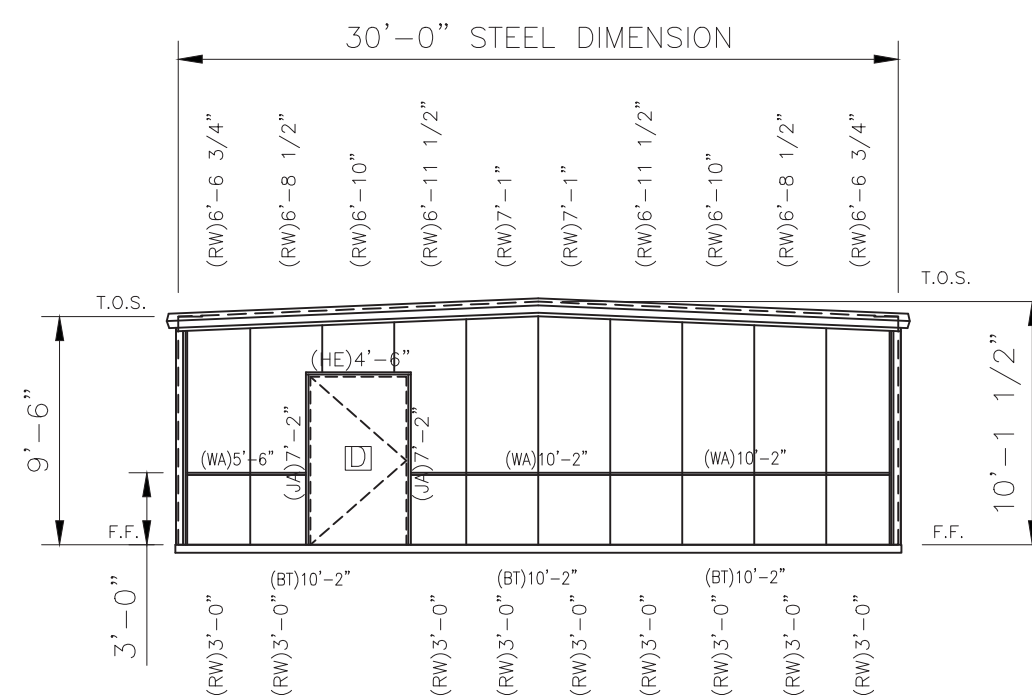
2 of 12



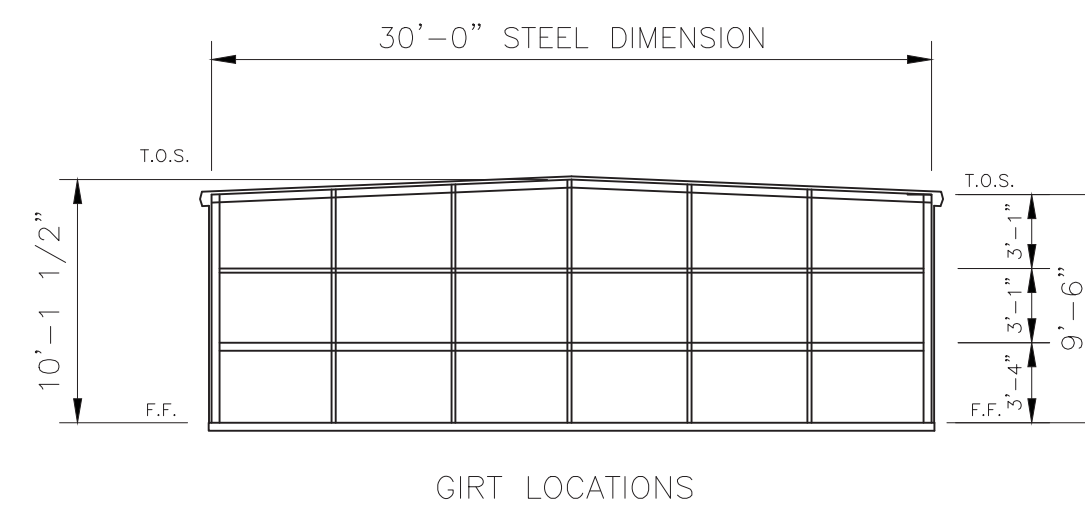
1 EXTERIOR FRONT ELEVATION
scale - 1/8" = 1'-0"



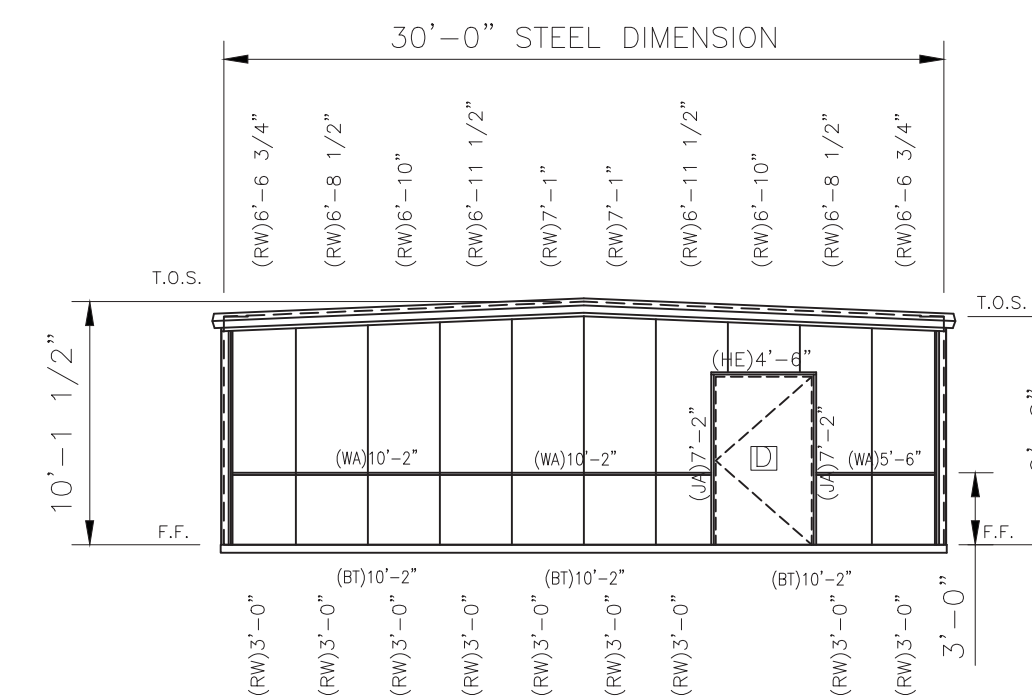
2 EXTERIOR REAR ELEVATION
scale - 1/8" = 1'-0"



3 EXTERIOR LEFT ENDWALL ELEVATION
scale - 1/8" = 1'-0"



GIRT LOCATIONS



4 EXTERIOR RIGHT ENDWALL ELEVATION
scale - 1/8" = 1'-0"

CONSTRUCTION	PSS	07/23/23
PRINTS ISSUED FOR	BY	DATE

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PROJECT:
30 x 70 x 9-6
 LOCATION:
Chatham, MA 02633

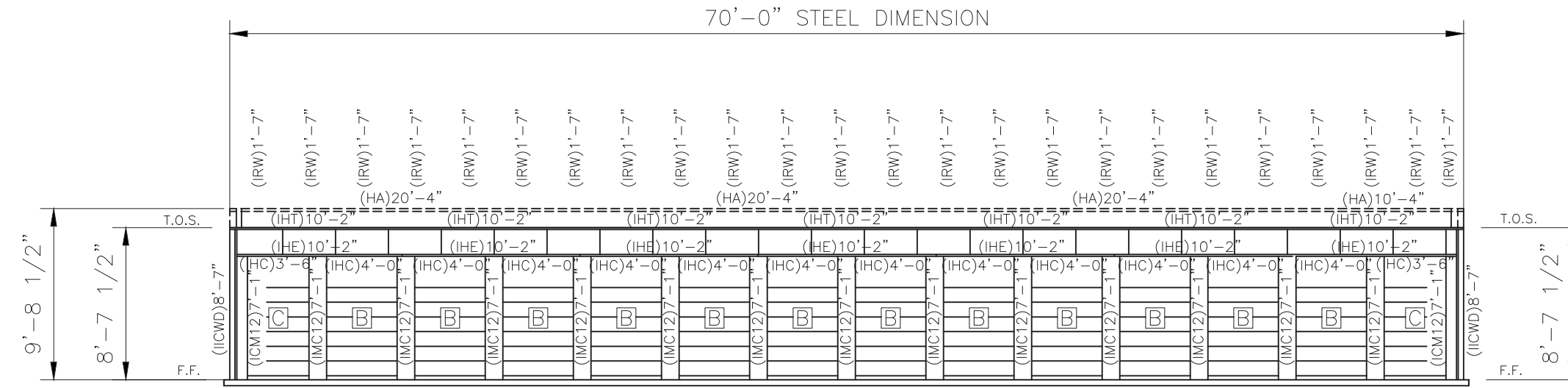
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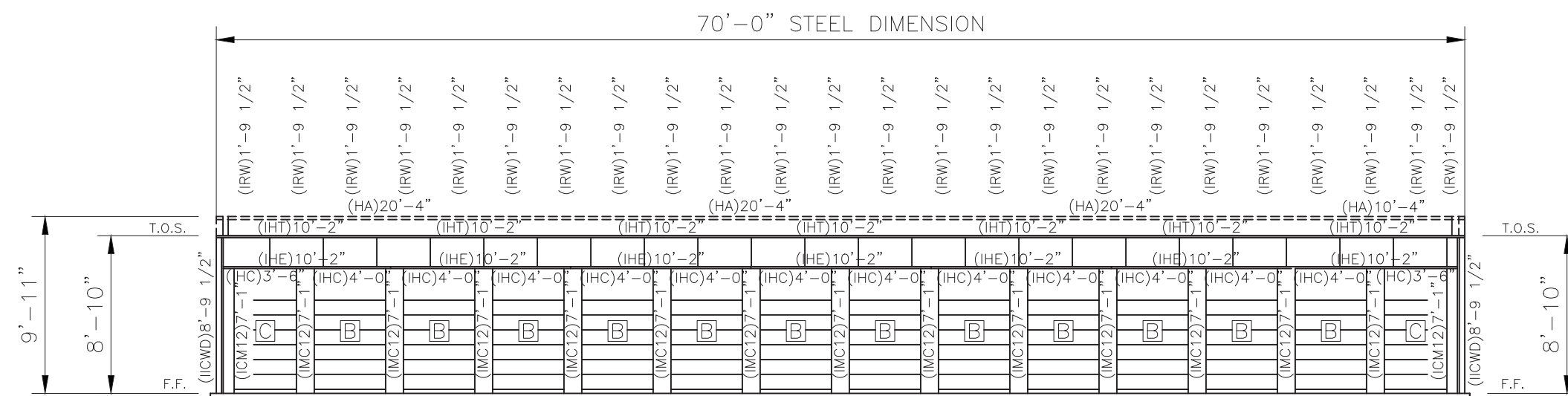
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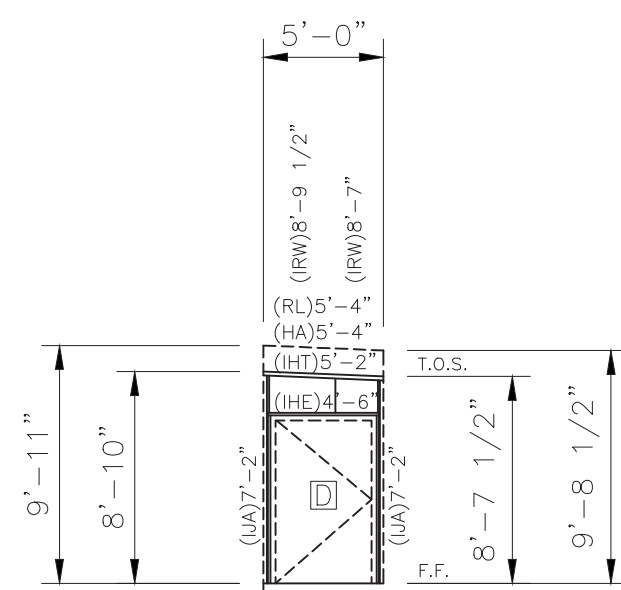
3 of 12



5 INTERIOR HALLWAY ELEVATION
scale - 1/8" = 1'-0"

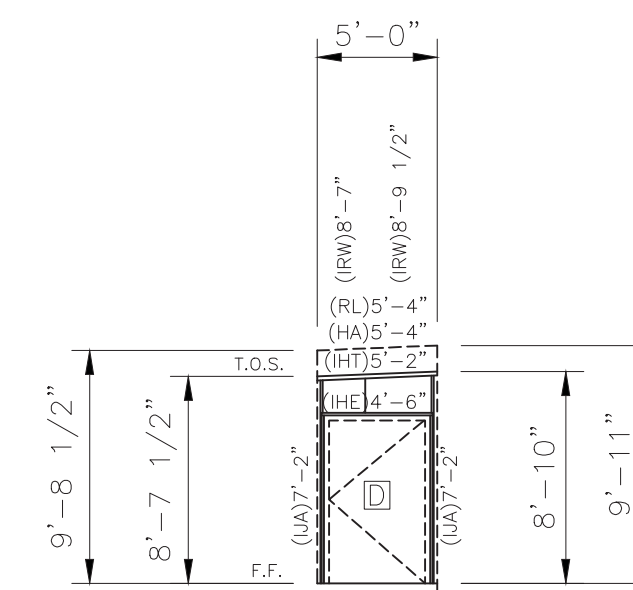


6 INTERIOR HALLWAY ELEVATION
scale - 1/8" = 1'-0"



7 INTERIOR ELEVATION
scale - 1/8" = 1'-0"

DOOR SCHEDULE	
A	(7) EACH 9'-0" X 7'-0" ROLLUP DOOR
B	(24) EACH 4'-0" X 7'-0" ROLLUP DOOR
C	(4) EACH 3'-6" X 7'-0" ROLLUP DOOR
D	(2) EACH 4'-0" X 7'-0" WALK DOOR



8 INTERIOR ELEVATION
scale - 1/8" = 1'-0"

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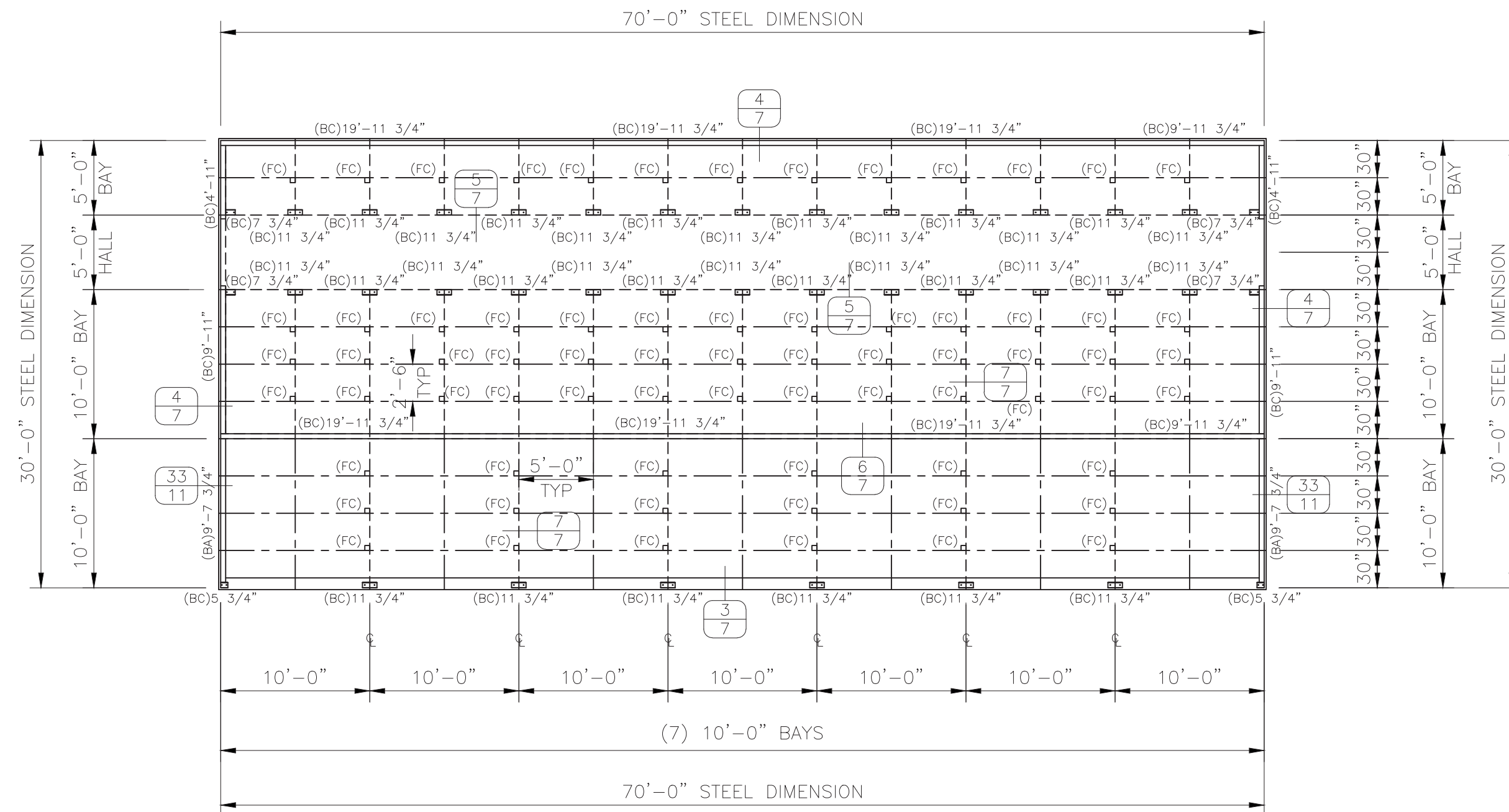
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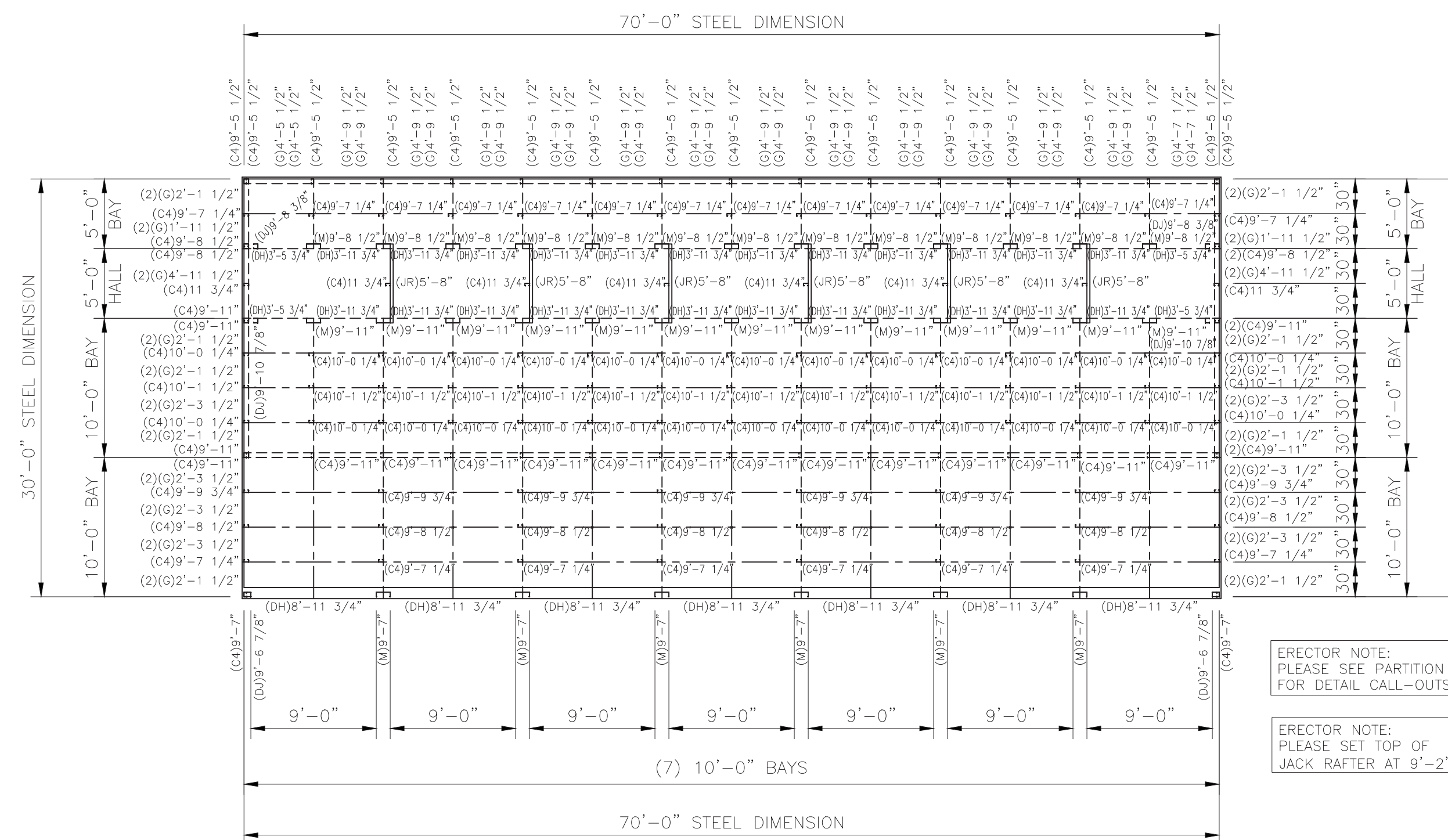
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Sheet

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FLOOR PLAN
scale - 1/8" = 1'-0"



ERECTOR NOTE:
PLEASE SET PARTITION PLAN
FOR DETAIL CALL-OUTS

ERECTOR NOTE:
PLEASE SET TOP OF
JACK RAFTER AT 9'-2" A.F.F

FRAMING PLAN
scale - 1/8" = 1'-0"

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PROJECT:
30 x 70 x 9-6
LOCATION:
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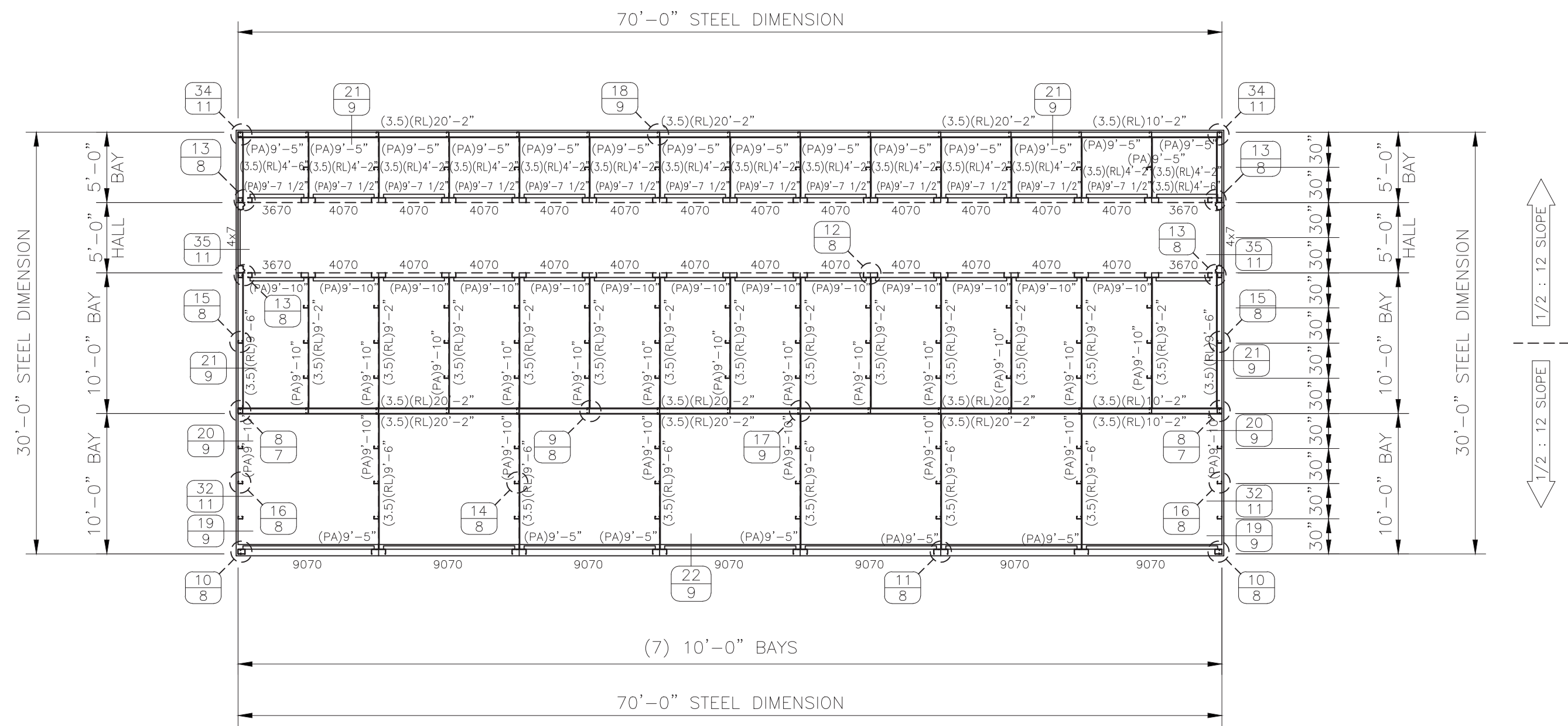
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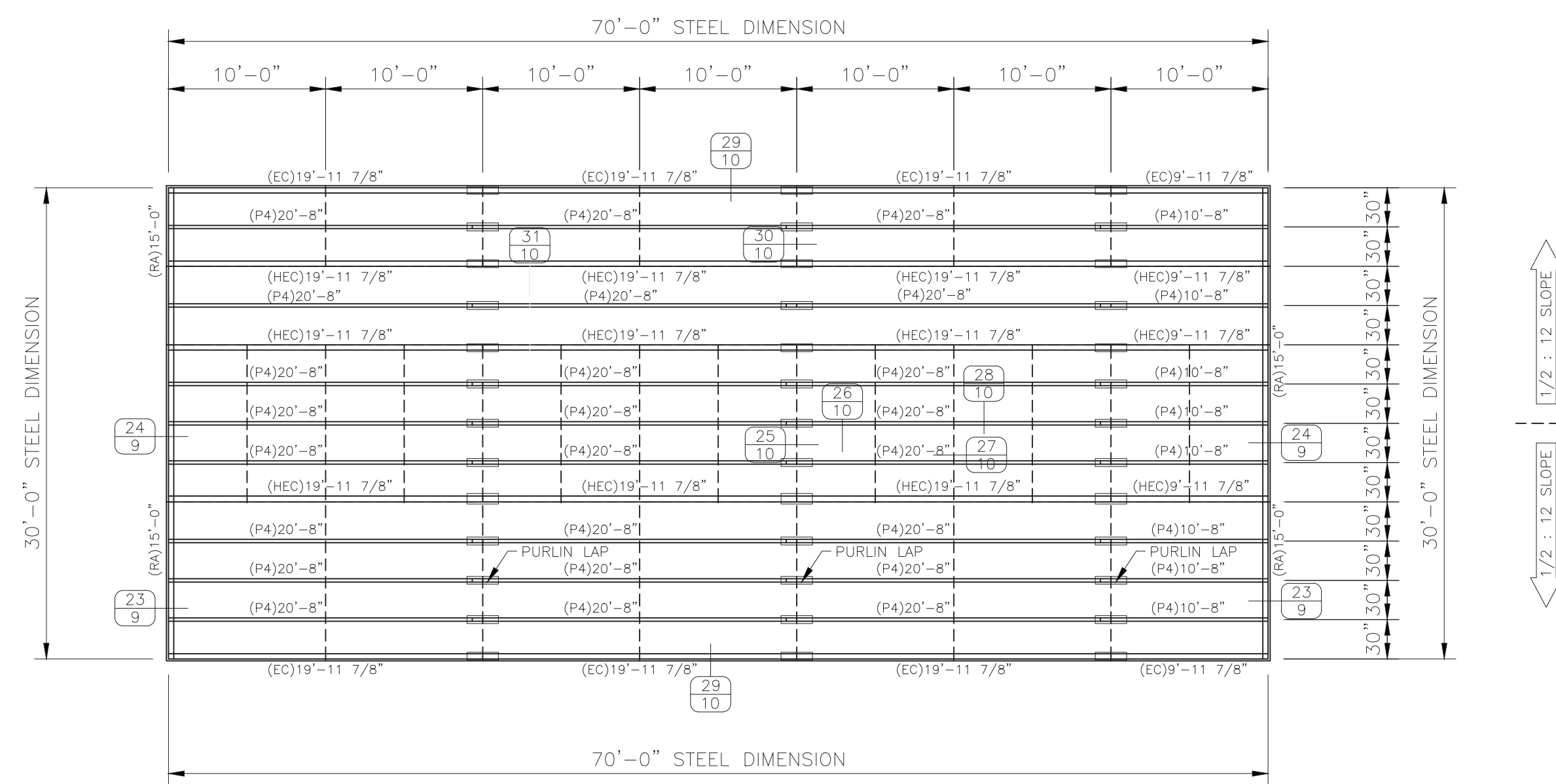
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Sheet

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PARTITION PLAN
 scale - 1/8" = 1'-0"



ROOF PLAN
 scale - 1/8" = 1'-0"

DATE	07/23/23
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PROJECT:
 30 x 70 x 9-6
 LOCATION:
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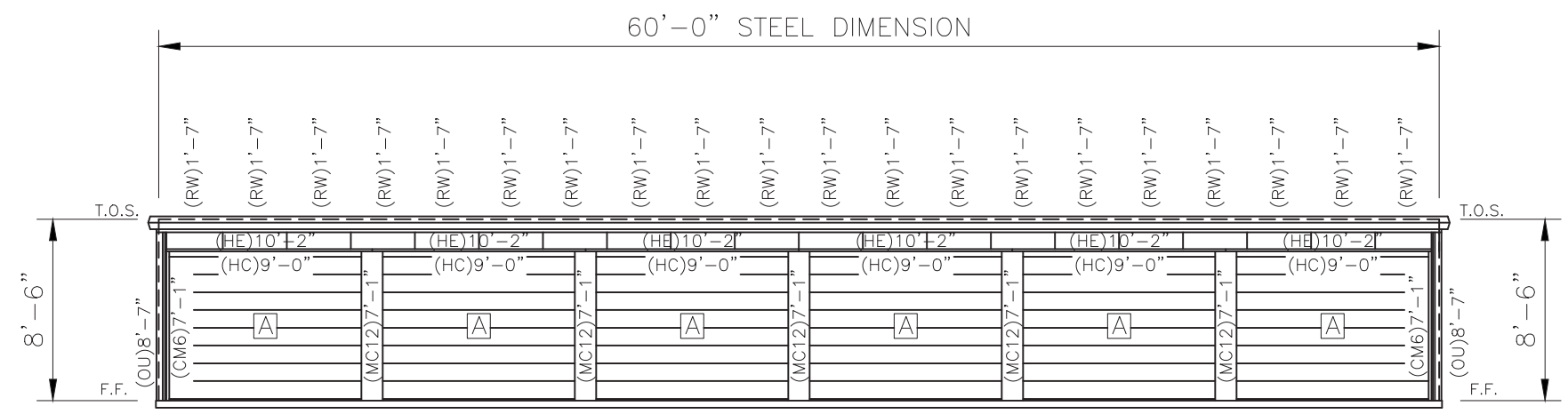
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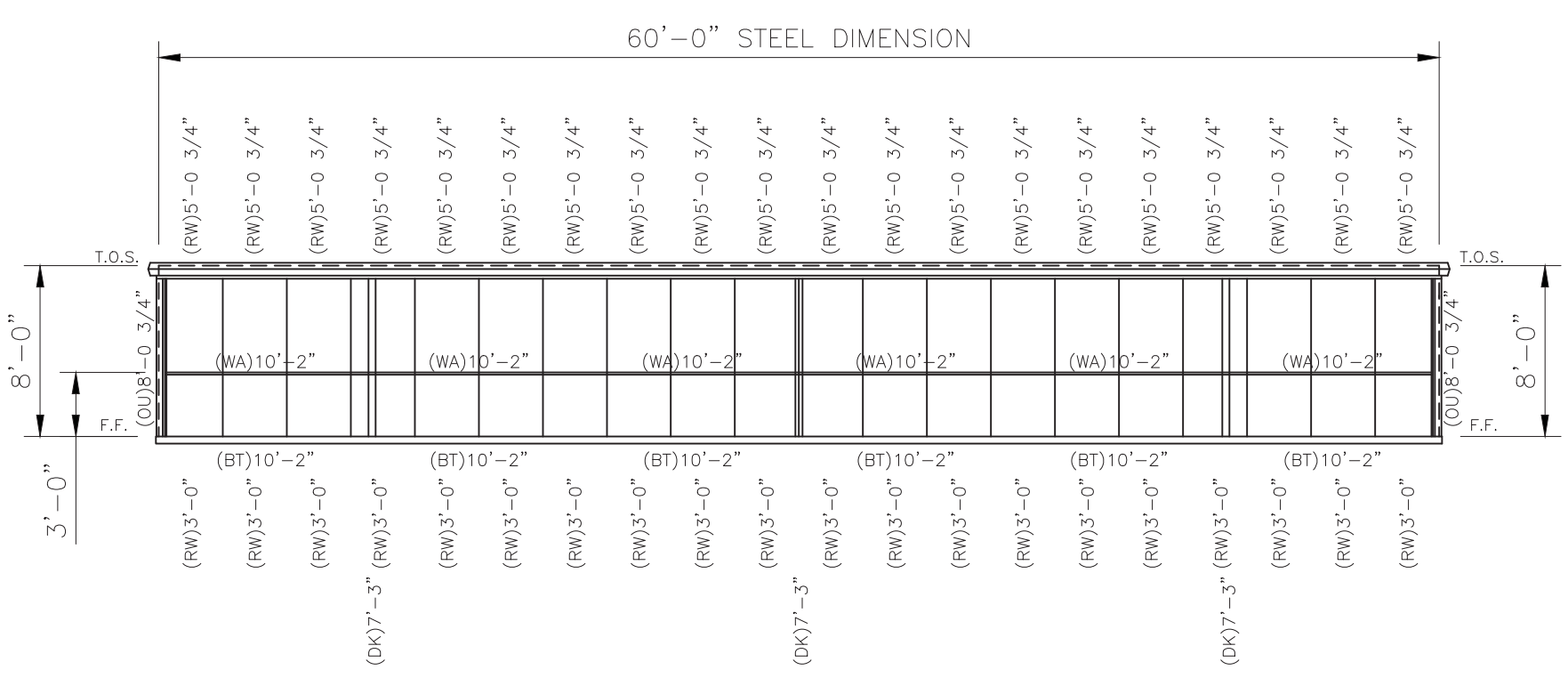
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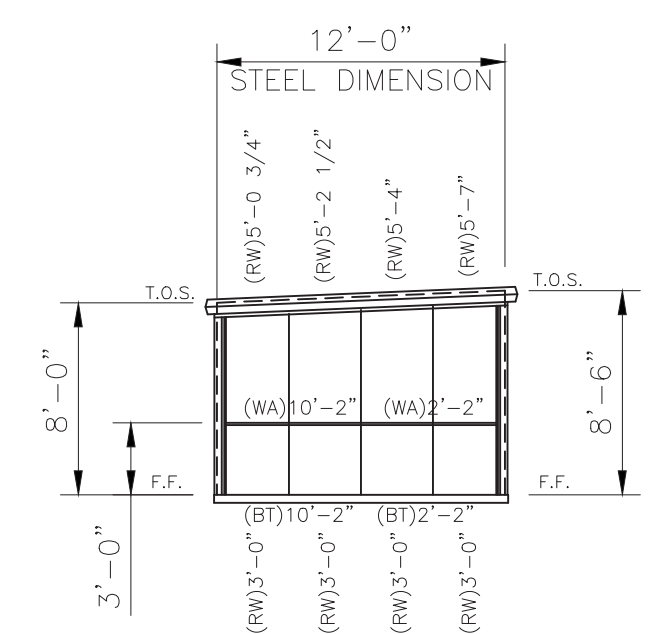




1 FRONT ELEVATION
 scale - 1/8" = 1'-0"



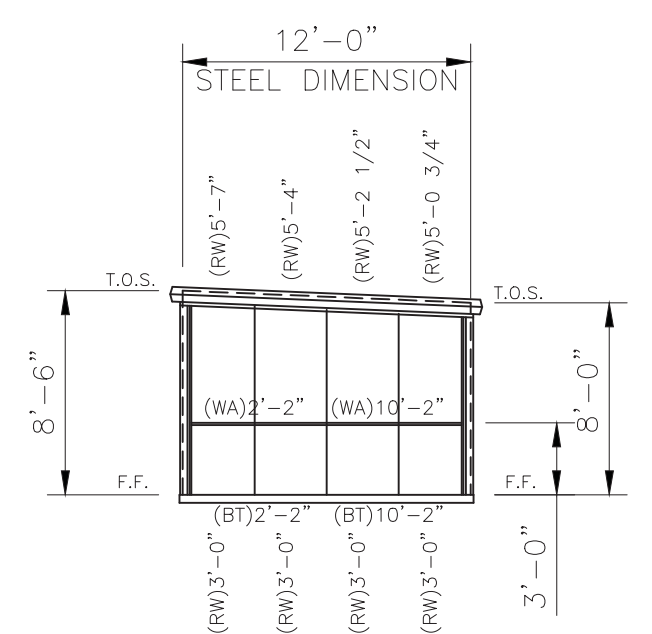
2 REAR ELEVATION
 scale - 1/8" = 1'-0"



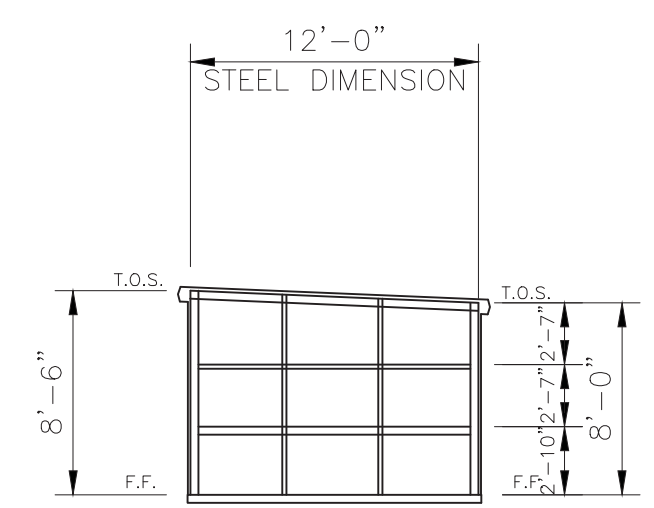
3 LEFT ELEVATION
 scale - 1/8" = 1'-0"

DOOR SCHEDULE

A	(6) EACH 9'-0" X 7'-0" ROLLUP DOOR
---	------------------------------------



4 RIGHT ELEVATION
 scale - 1/8" = 1'-0"



GIRT LOCATIONS



09/11/2023

CONSTRUCTION	CS	7/23/23
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PROJECT:
 12 x 60 x 8-0 LS

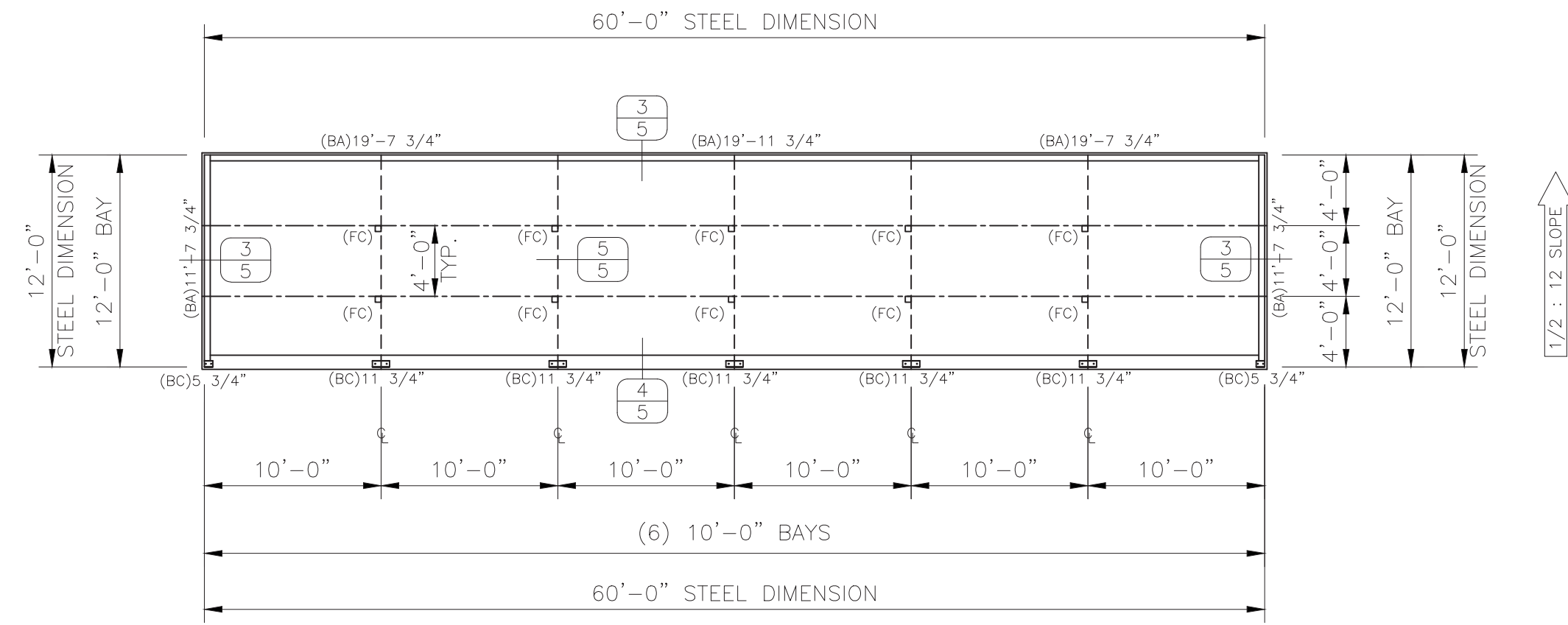
LOCATION:
 Chatham, MA 02633

REGENCY
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 7631 Shaffer Parkway - Suite C
 Littleton, CO 80127
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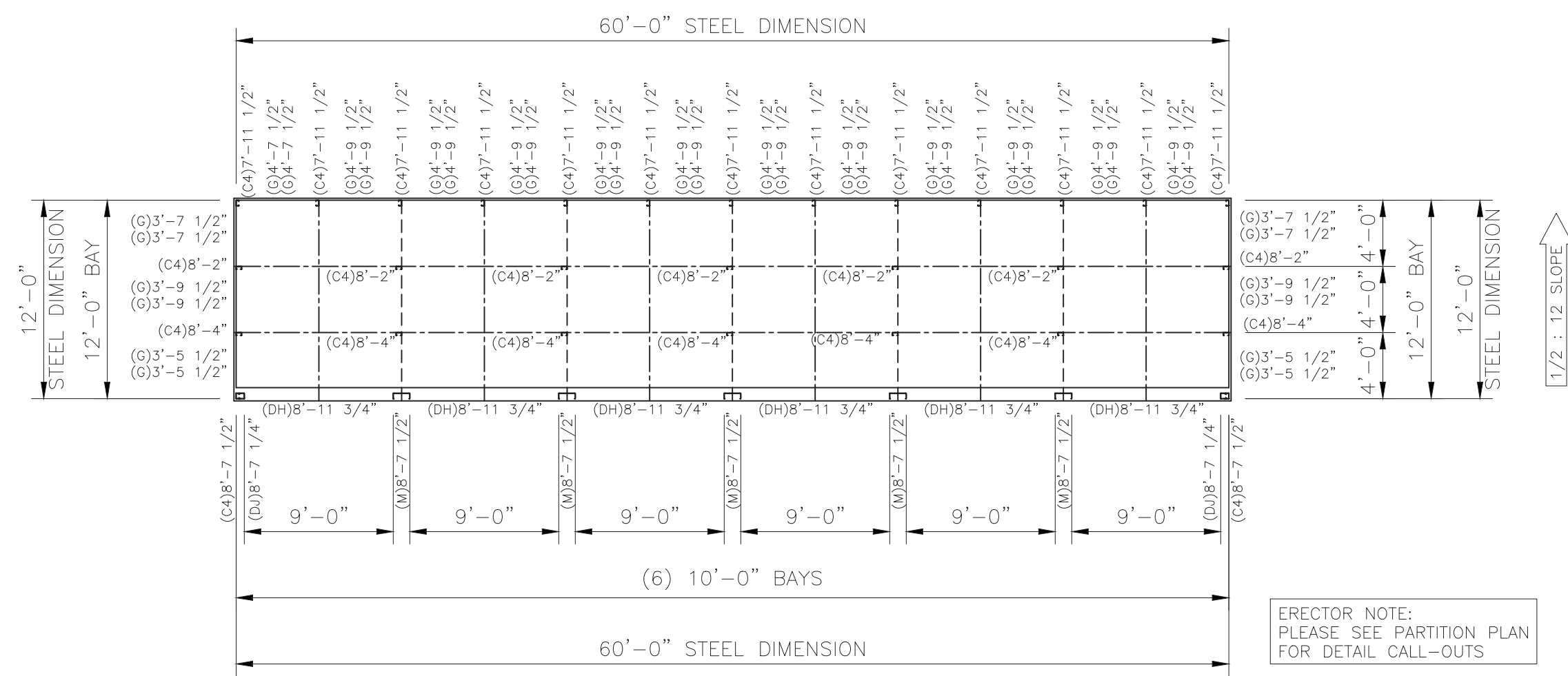
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FLOOR PLAN

scale - 1/8" = 1'-0"



FRAMING PLAN

scale - 1/8" = 1'-0"



09/11/2023

CONSTRUCTION	CS	7/23/23
PRINTS ISSUED FOR	BY	DATE

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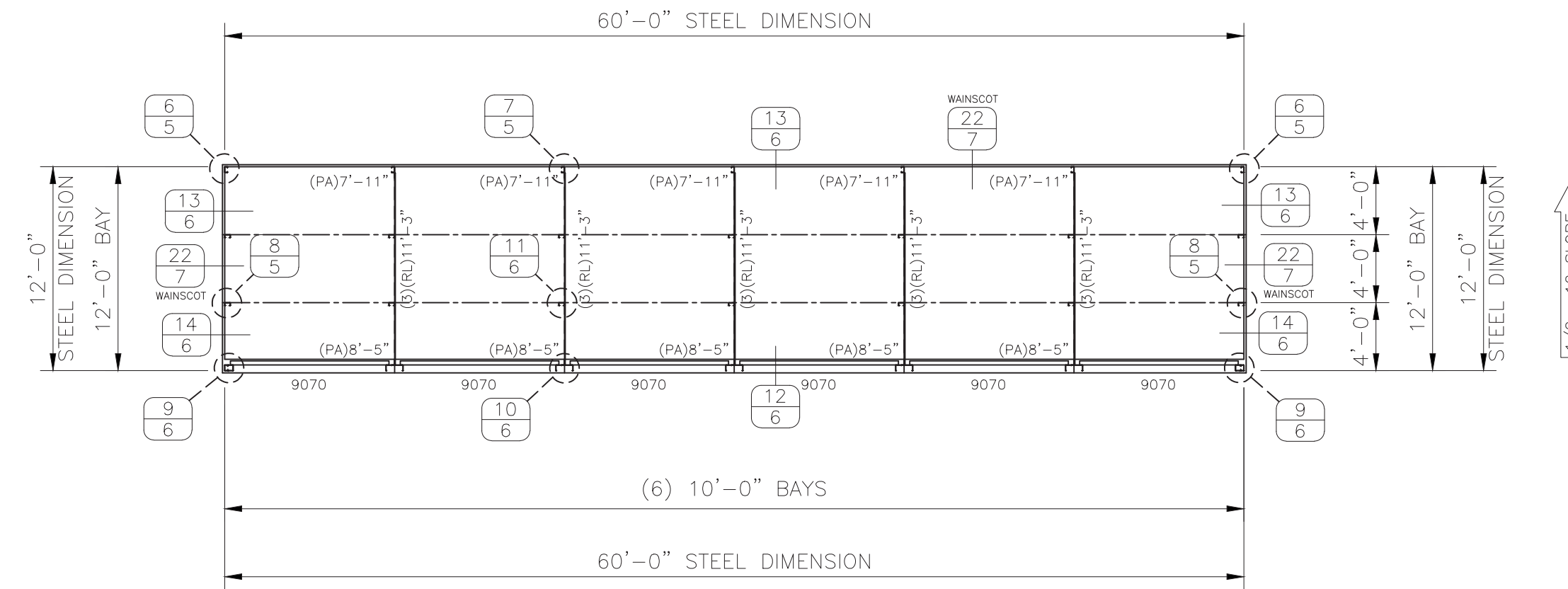
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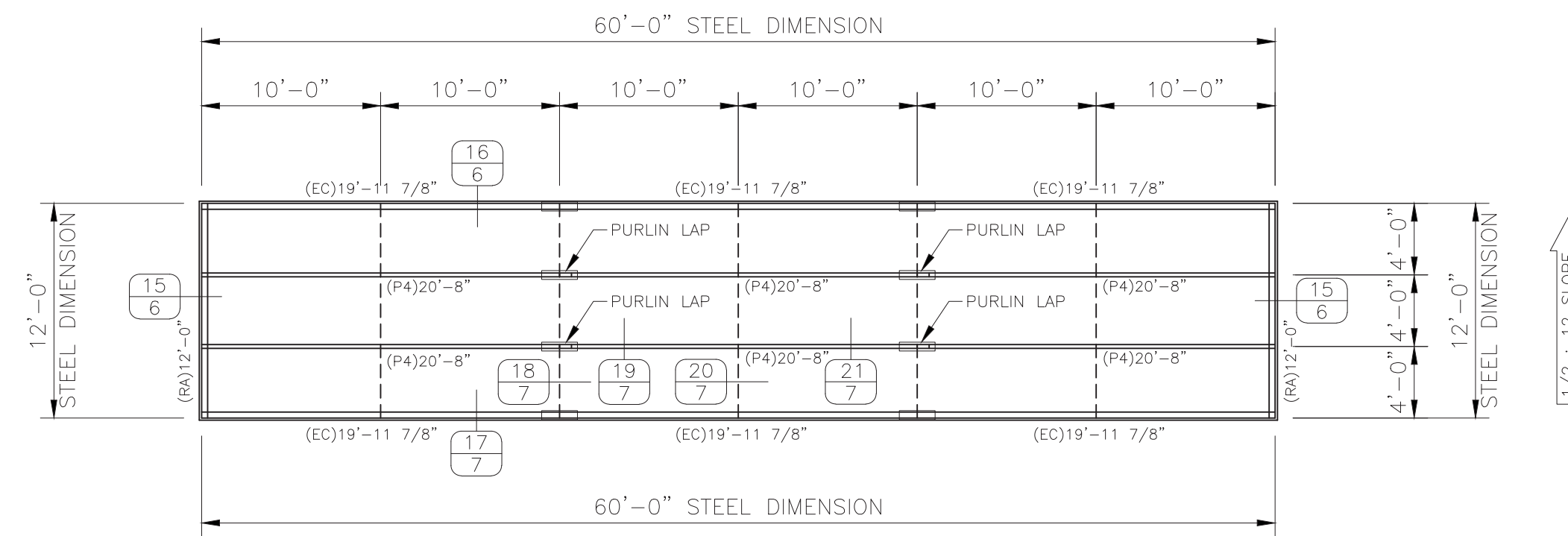
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PARTITION PLAN

scale - 1/8" = 1'-0"



ROOF PLAN

scale - 1/8" = 1'-0"

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7/23/23	CS		