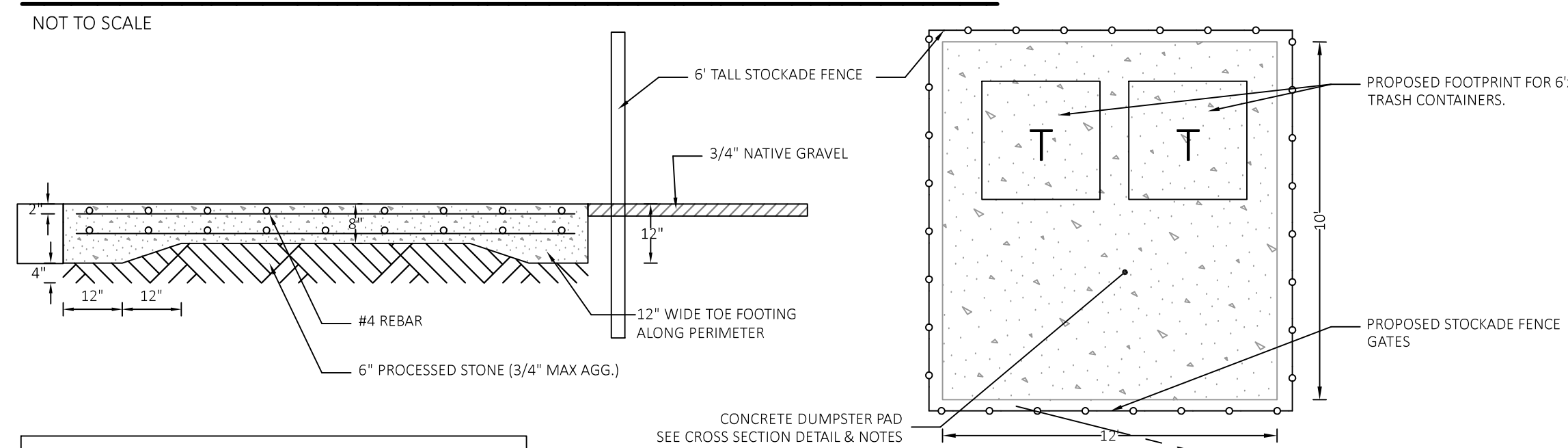


**CONCRETE DUMPSTER PAD PLAN VIEW & CROSS-SECTION:**



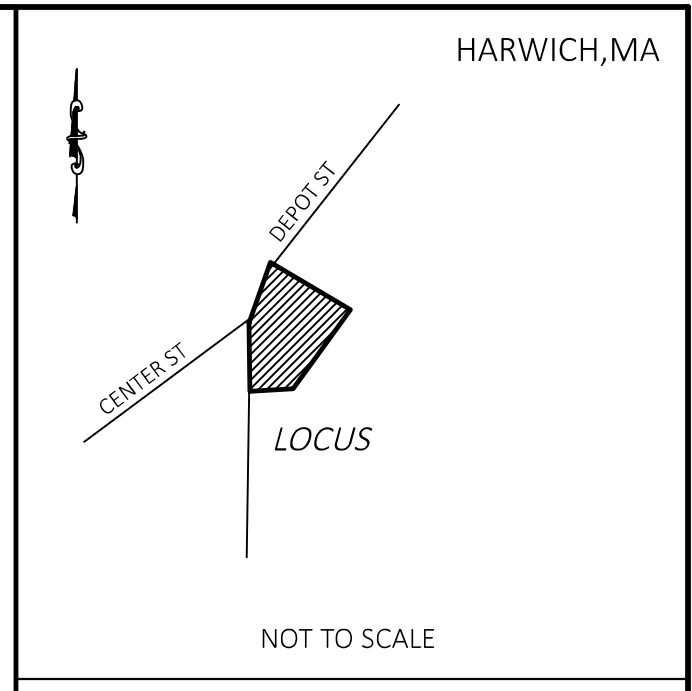
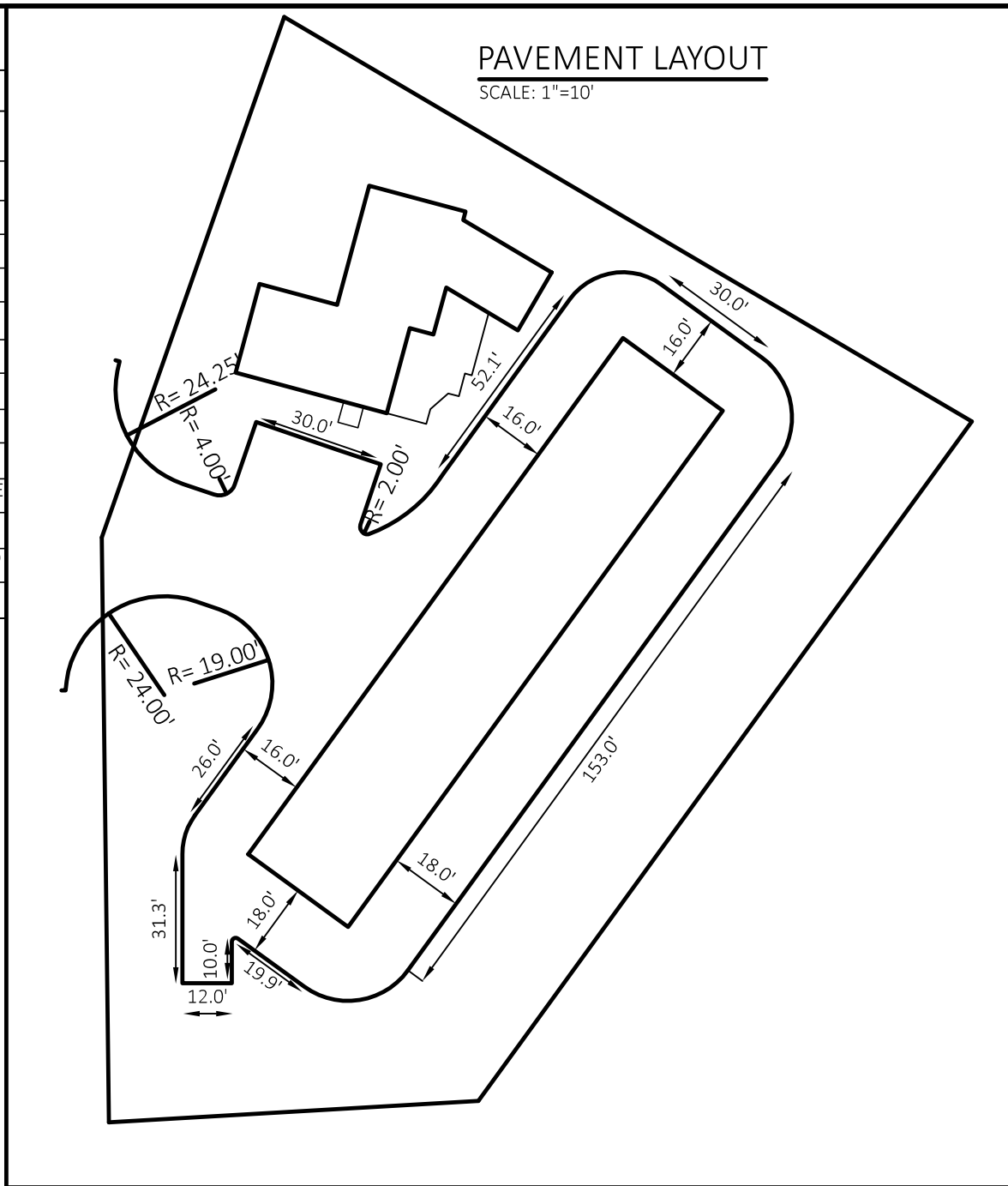
**NOTES:**  
 - CONTRACTOR SHALL USE 5,000 PSI CONCRETE, 8" THICK.  
 - CONCRETE PAD SHALL HAVE A 12" THICK, 12" WIDE TOE FOOTING ALONG THE ENTIRE PERIMETER.  
 - INSTALL TWO ROWS OF #4 REBAR SPACED 12" ON-CENTER IN BOTH DIRECTIONS. REBAR SHALL MAINTAIN 2" MINIMUM CLEARANCE FROM TOP AND BOTTOM OF CONCRETE POUR.  
 - CONCRETE SHALL BE UNDERLAID WITH A MINIMUM OF 8" BASE MATERIAL (3/4" MAX PROCESSED STONE OR APPROVED EQUAL).

**ZONING COMPLIANCE TABLE**  
 ZONING DISTRICT: ZONE R-R

SUBJECT	EXISTING	REQUIRED	PROPOSED
FRONT SETBACK (FT)	44.5	25	34.6
SIDE SETBACK (NORTH) (FT)	N/A	20	25.5
SIDE SETBACK (SOUTH) (FT)	115.6	20	44.1
REAR SETBACK (FT)	65.9	20	26.0
MIN. FRONT SETBACK PARKING	N/A	15	17.5
MIN. SIDE SETBACK PARKING	N/A	5	8.5 (North)
MIN. REAR SETBACK PARKING	N/A	5	32.5
BUILDING COVERAGE	6.5%	15%	17.6%
SITE COVERAGE	25.6%	25%	52.8%
BUILDING HEIGHT	N/A	30	SEE PROJECT NARRATIVE
INTERIOR LANDSCAPING	SEE PROJECT NARRATIVE	SEE PROJECT NARRATIVE	SEE PROJECT NARRATIVE
NUMBER OF PARKING SPACES	N/A	SEE PROJECT NARRATIVE	8
DRIVEWAY WIDTH (FT)	21.3	24	N/A

**ZONING COMPLIANCE TABLE**  
 ZONING DISTRICT: I-L ZONE

SUBJECT	EXISTING	REQUIRED	PROPOSED
FRONT SETBACK (FT)	15.8	25	15.8
SIDE SETBACK (NORTH) (FT)	18.4	25	25.5
SIDE SETBACK (SOUTH) (FT)	N/A	25	113.9
REAR SETBACK (FT)	102.2	50	50.5
MIN. FRONT SETBACK PARKING	10.5	15	27.1
MIN. SIDE SETBACK PARKING	10.6	5	9.1
MIN. REAR SETBACK PARKING	N/A	5	20.5
BUILDING COVERAGE	30.8%	40%	30.8%
SITE COVERAGE	34.6%	70%	44.9%
BUILDING HEIGHT	SEE PROJECT NARRATIVE	40	SEE PROJECT NARRATIVE
INTERIOR LANDSCAPING	SEE PROJECT NARRATIVE	SEE PROJECT NARRATIVE	SEE PROJECT NARRATIVE
NUMBER OF PARKING SPACES	2	(RESIDENCE)	1 (OFFICE SPACE)
DRIVEWAY WIDTH (FT)	N/A	24	24

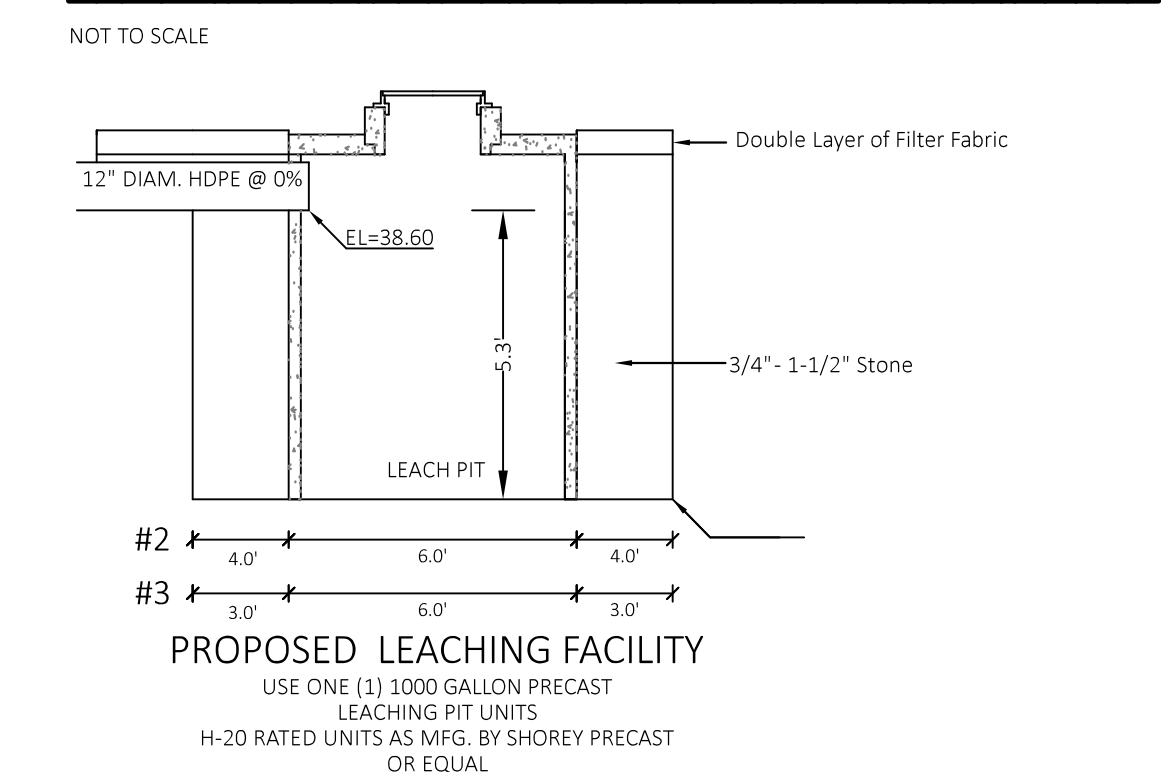


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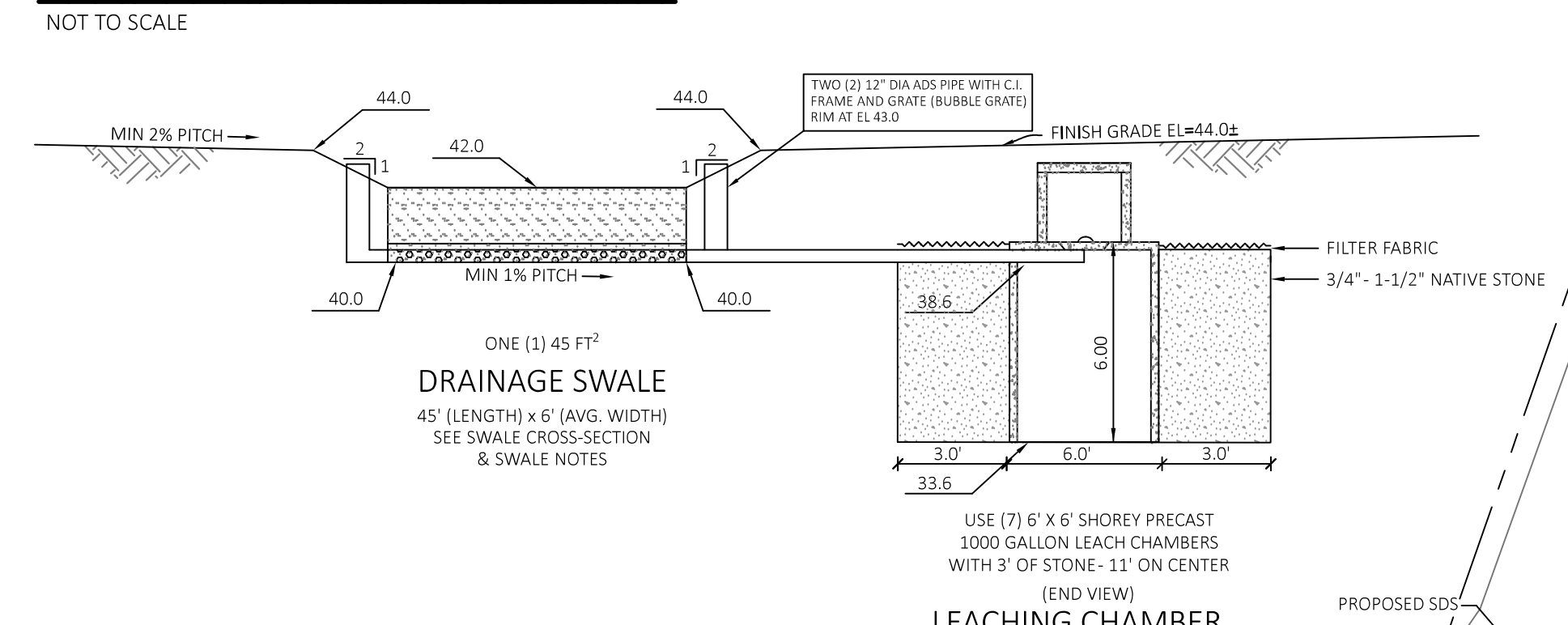
**LEGEND**

— 32	EXISTING CONTOUR
- - - 32	PROPOSED CONTOUR
X13.34	EXISTING SPOT GRADE
24x5	PROPOSED SPOT GRADE
W	WATER SERVICE LINE
U	OVERHEAD UTILITY SERVICE
U	UNDERGROUND UTILITY SERVICE
G	GAS SERVICE LINE
⊕	TEST HOLE / BORING LOCATION
ST	SEPTIC TANK
DB	DISTRIBUTION BOX
SAS	SOIL ABSORPTION SYSTEM
Reserve	RESERVED FOR FUTURE
⊕	UTILITY POLE
⊕	CATCH BASIN
⊕	FIRE HYDRANT
⊕	WELL
⊕	DRAINAGE MANHOLE
⊕	CONCRETE BOUND, FOUND
—	TOP OF BANK
—	LIMIT OF WORK
—	FENCE
—	EDGE OF CLEARING

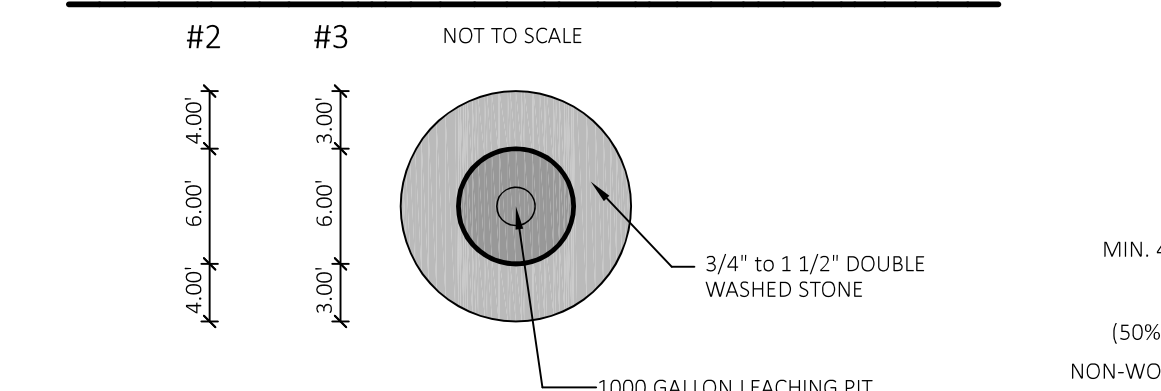
**FLOW PROFILE OF DRAINAGE FACILITY #2/#3**



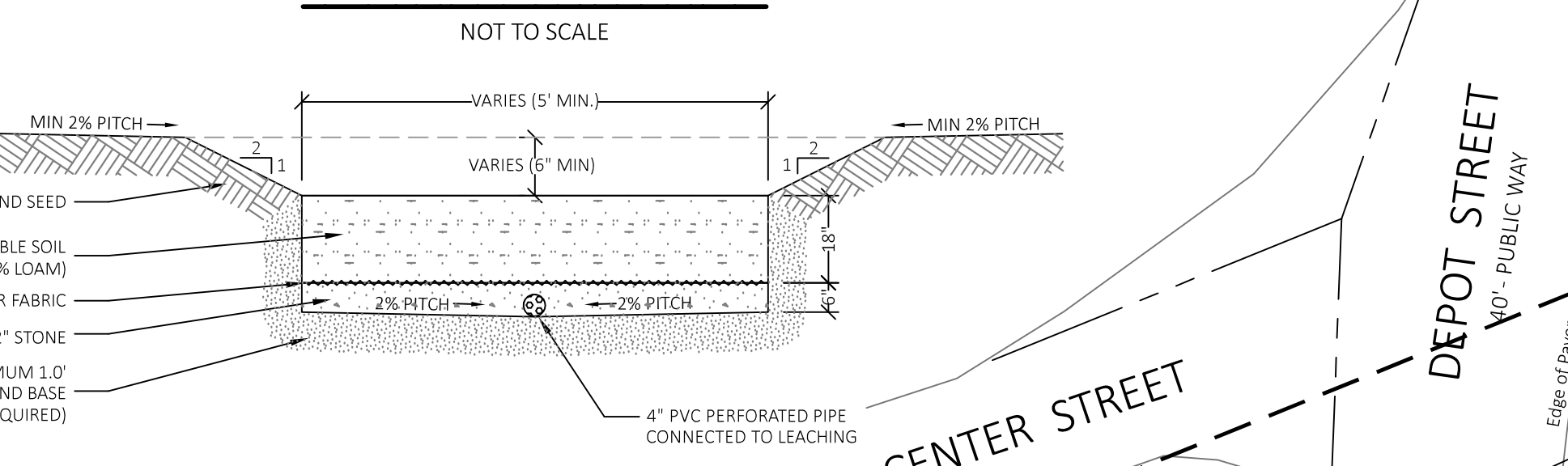
**DRAINAGE FACILITY #1 PROFILE:**



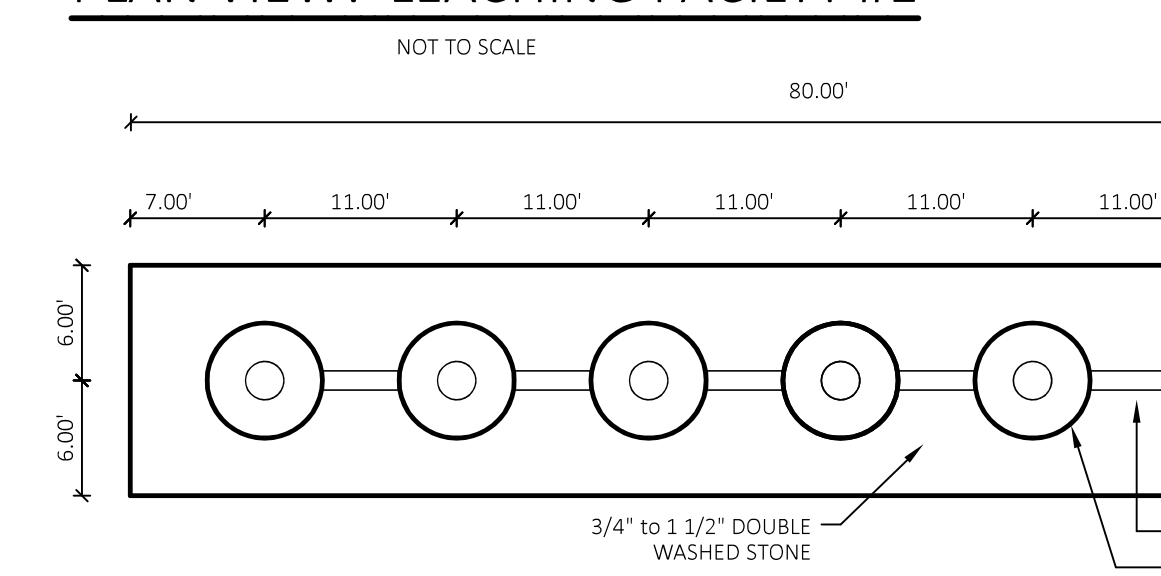
**PLAN VIEW: LEACHING FACILITY #2/#3**



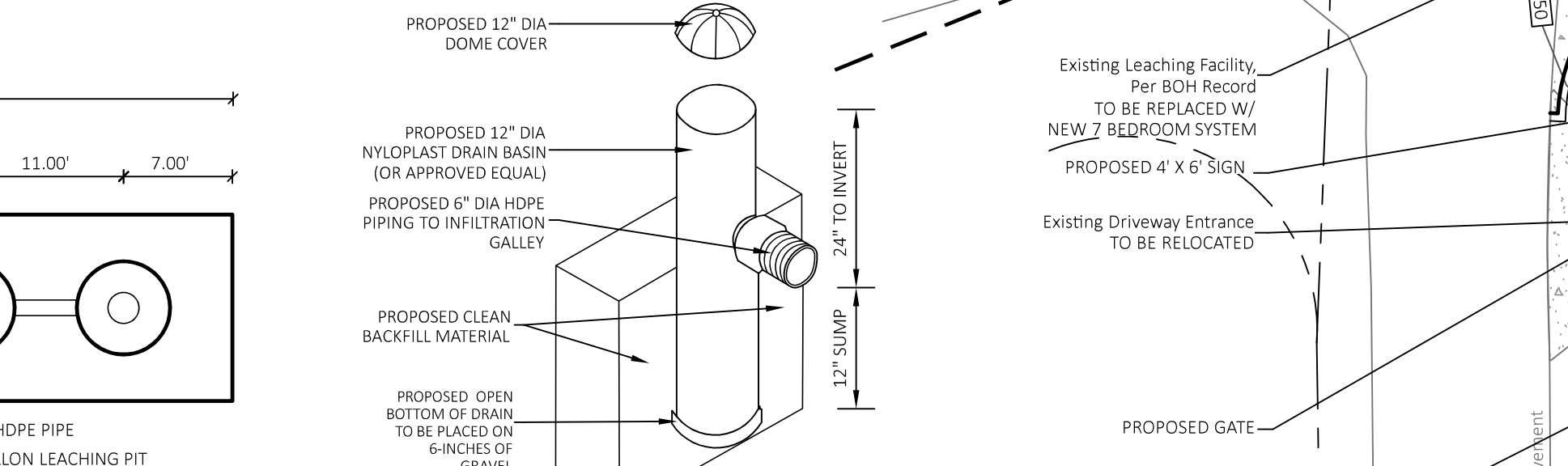
**SWALE CROSS-SECTION**



**PLAN VIEW: LEACHING FACILITY #1**



**TYPICAL INLET DRAIN TO INFILTRATION GALLEY**



**SCREENING NOTES:**

**PROPOSED STORAGE UNIT:**  
 1) THE ENTIRE PERIMETER SHALL BE DELINEATED WITH A 6 FOOT HIGH CHAIN LINK FENCE, AS SHOWN ON THE PLAN VIEW.  
 2) ALONG THE FENCE LINE, AS SHOWN ON THE PLAN VIEW, A ROW OF EMERALD GREEN ARBORVITAE SHALL BE PLANTED.  
 3) THE ARBORVITAE SHALL BE 3 TO 4 FEET HIGH AND PLANTED AT 5 FEET ON CENTER. APPROXIMATELY 37 PLANTS ARE PROPOSED.

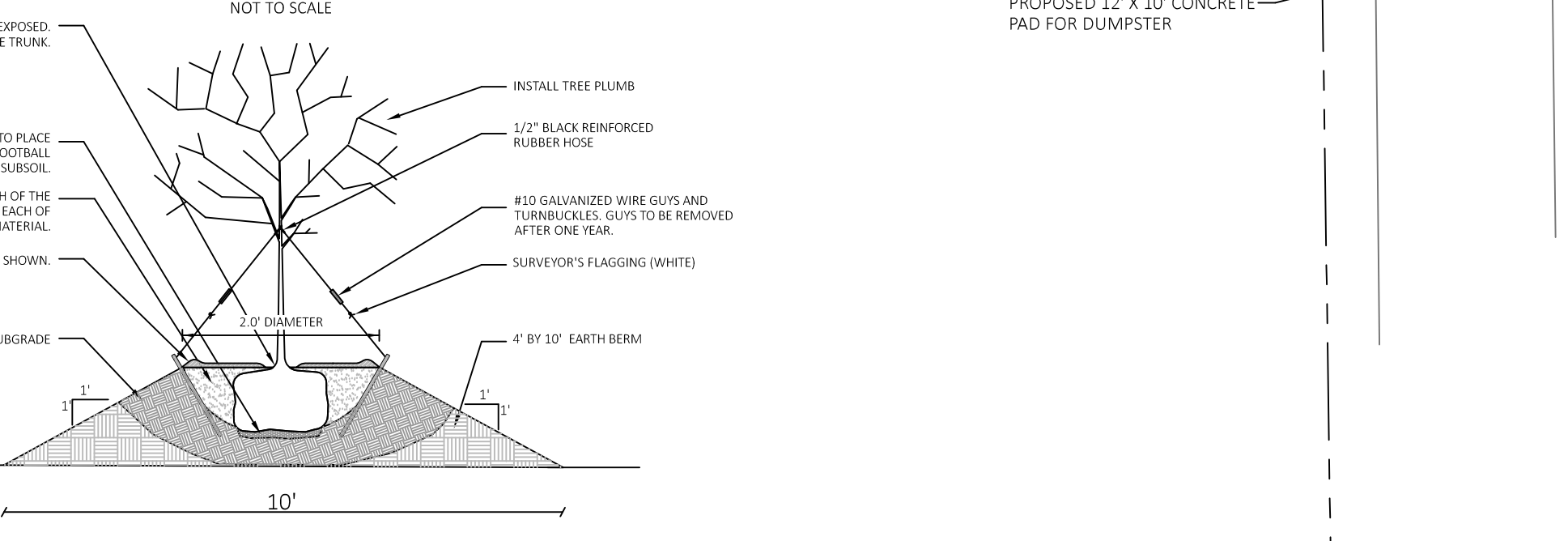
**IRRIGATION:**  
 4) ALL PLANTINGS SHALL BE IRRIGATED ON A REGULAR BASIS SO AS TO ENSURE SURVIVAL.  
 5) IRRIGATION SYSTEM SHALL BE SOME SORT OF DRIP SYSTEM SO AS TO CONSERVE WATER.

**TREE REPLACEMENT:**  
 6) THE OWNER SHALL REPLACE ANY TREE WHICH DOES NOT SURVIVE FOR THE FIRST THREE YEARS AFTER PLANTING.

**CHAIN LINK FENCE**  
 7) THE PROPOSED CHAIN LINK FENCING AROUND THE PROJECT SITE SHALL BE GALVANIZED (AFTER WEAVING-GBW) FENCING.  
 8) FENCE POLES SHALL BE GALV. TUBING, 1-3/8" DIAMETER AND 0.065" (1/16") WALL THICKNESS.  
 9) FENCE SHALL BE 11-3/2" GAUGE GALV. WITH 2-1/2" MESH

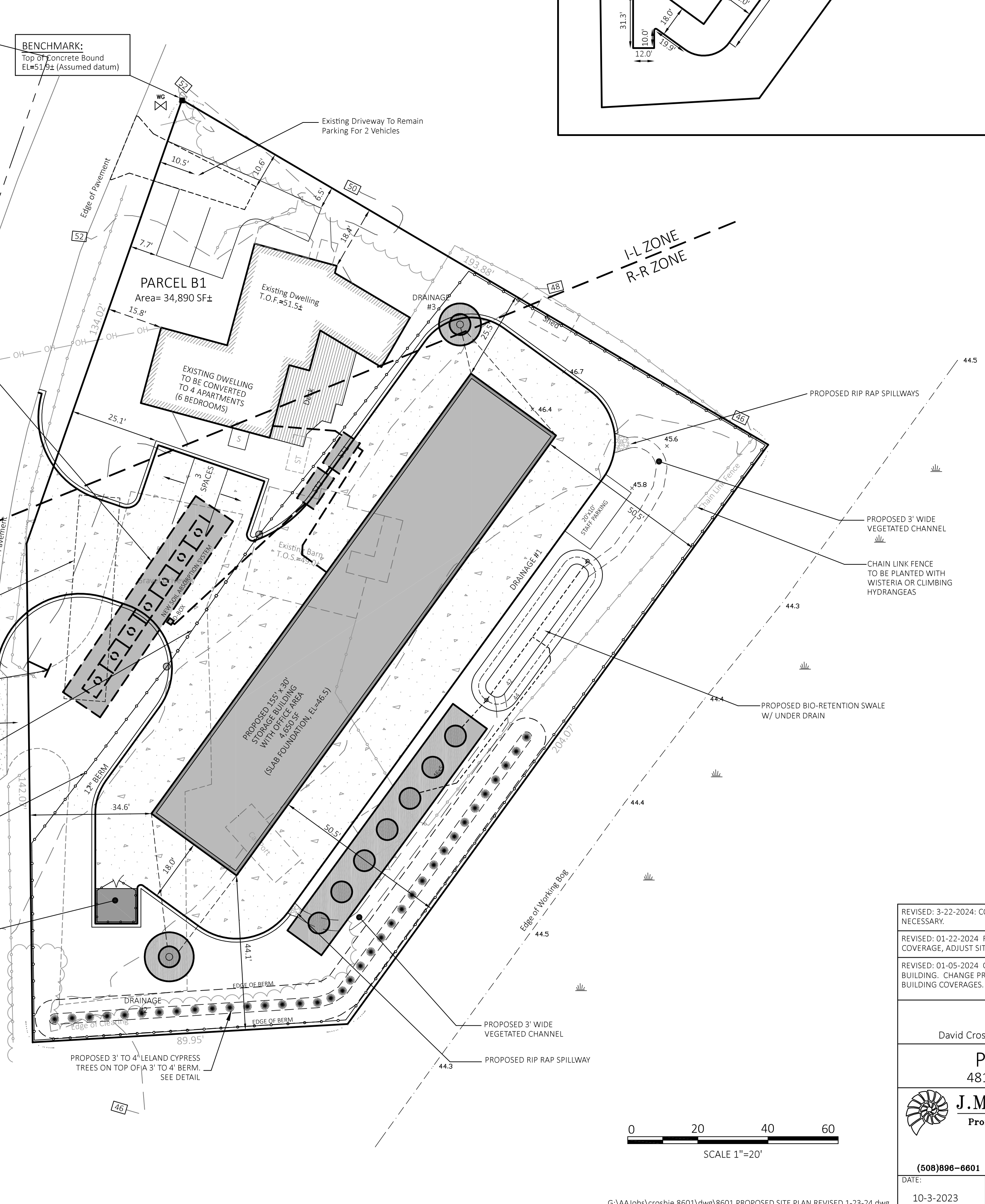
**LIGHTING INFORMATION:**  
 1) PROPOSED WALL MOUNTED "SLIM LED WALLPACKS, 37W.  
 2) WALLPACKS SHALL BE MOUNTED 8 FEET ABOVE THE FINISH GRADE  
 3) PROPOSED WALL MOUNTED UNITS ARE CONSISTENT WITH DARK-SKY REQUIREMENTS.

**TREE PLANTING DETAIL:**



**ZONING COMPLIANCE TABLE - ENTIRE LOT**

SUBJECT	EXISTING	REQUIRED (RR DISTRICT)	REQUIRED (L DISTRICT)	PROPOSED
LOT AREA (SF)	34,890	40,000	20,000	34,890
FRONTAGE (FT)	276	130	100	276



REVISED: 3-22-2024: CORRECTED THE ZONING LINE AND UPDATED THE ZONING TABLE AS NECESSARY.  
 REVISED: 01-22-2024: REDUCED THE BUILDING FOOTPRINT TO MEET THE 15% BUILDING COVERAGE, ADJUST SITE COVERAGE AS NECESSARY.  
 REVISED: 01-05-2024: COMBINE STORAGE BUILDINGS INTO ONE. REMOVE 60'X12' STORAGE BUILDING. CHANGE PROPOSED DRIVEWAY SIZE AND SHOW 12" BERM. ADJUST SITE AND BUILDING COVERAGES. ADD RAISED BERM TO SCREENING TREES ALONG THE PROPERTY LINE.

Rowlover Nom. Trust  
 David Crosbie, Trustee, 481 DEPOT STREET, HARWICH, MA

**PROPOSED SITE PLAN**  
 481 DEPOT STREET, HARWICH, MA

**J.M. O'REILLY & ASSOCIATES, INC.**  
 Professional Engineering & Land Surveying Services

1573 Main Street - Route 6A  
 P.O. Box 1773  
 Brewster, MA 02631 (508)896-6602 Fax

(508)896-6601 Office (508)896-6602 Fax

DATE: 10-3-2023 SCALE: As Noted BY: jmo CHECK: JMO JOB NUMBER: JMO-8601

