

- ENVIRONMENTAL NOTES:**
- SITE IS NOT WITHIN AN A.C.E.C. (AREA OF CRITICAL ENVIRONMENTAL CONCERN).
 - SITE IS NOT WITHIN AN AREA OF ESTIMATED HABITAT OF RARE WILDLIFE PER NHESP MAP AUGUST 1, 2021. ESTIMATED HABITATS OF RARE WILDLIFE FOR USE WITH THE MA WETLANDS PROTECTION ACT REGULATIONS (310 CMR 10).
 - SITE DOES NOT CONTAIN A CERTIFIED VERNAL POOL PER NHESP MAP AUGUST 1, 2021. "CERTIFIED VERNAL POOL."
 - SITE IS NOT WITHIN A PRIORITY HABITAT PER NHESP MAP AUGUST 1, 2021. "PRIORITY HABITATS OF RARE SPECIES" FOR SPECIES UNDER THE MASSACHUSETTS ENDANGERED SPECIES ACT, REGULATIONS (321 CMR 10).
 - SITE IS NOT LOCATED WITHIN A STATE APPROVED ZONE II GROUND WATER RECHARGE PROTECTION AREA.

FLOOD NOTE:
 BY GRAPHIC FLOODING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" OF THE FLOOD RESURFACING RATE MAP, AS SHOWN ON MAP NO. 23001 (07/22), WHICH BEARS AN EFFECTIVE DATE OF JULY 16, 2014, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

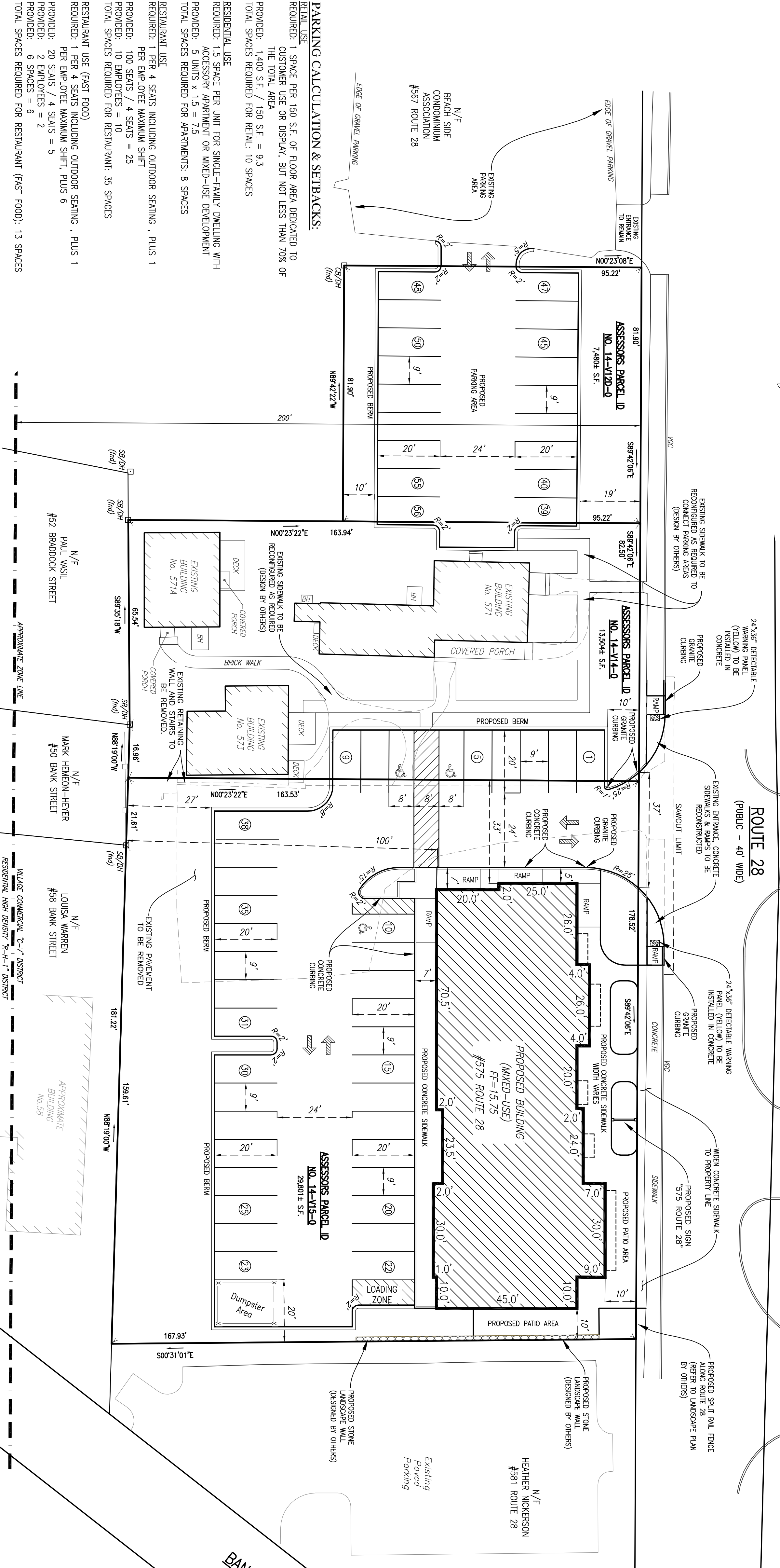
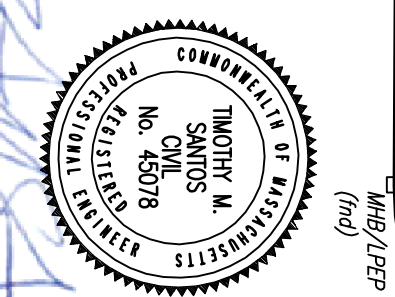
- NOTES:**
- PLAN REFERENCES:
 1.1. LAND COURT PLAN No. 23643-D
 1.2. PLAN BOOK 640 PAGE 62
 - TOPOGRAPHIC AND DETAIL INFORMATION SHOWN HEREON IS BASED UPON AN ON THE GROUND SURVEY PERFORMED BY MERRILL ENGINEERS AND LAND SURVEYORS DURING MARCH & AUGUST OF 2022.
 - ALL ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
 - SUBJECT SITE IS IN THE COMMERCIAL VILLAGE "CV" ZONING DISTRICT AND THE VILLAGE COMMERCIAL OVERLAY DISTRICT "COV" AS DEPICTED ON THE TOWN OF HARWICH ZONING MAP.
 - EXISTING UTILITIES, WHERE SHOWN, HAVE BEEN COMPILED BASED ON OBSERVED ABOVE GROUND EVIDENCE AND AVAILABLE RECORD PLANS AND ARE TO BE CONSIDERED APPROXIMATE. MERRILL ENGINEERS AND LAND SURVEYORS DOES NOT GUARANTEE THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN OR THAT ALL EXISTING UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN.
 - EXISTING SEPTIC SYSTEM COMPONENTS SHOWN HEREON TAKEN FROM RECORD AS-BUILT PLAN ON FILE WITH THE TOWN OF HARWICH BOARD OF HEALTH.

RECORD OWNER:
 ASSESSORS PARCEL ID No. 14-115-0 - #575 ROUTE 28
 ASSESSORS PARCEL ID No. 14-114-0 - #571 ROUTE 28
 ASSESSORS PARCEL ID No. 14-112-0 - #569 ROUTE 28
 HARWICHPORT, MA

MAN STREET HP, LLC
 15 CORP/LAND PRINTE
 BEAUFORT, MA 01730
 DEED BOOK 26955 PAGE 106 (#575)
 DEED BOOK 25556 PAGE 178 (#571)
 LAND COURT CERTIFICATE No. 194712 (#569)

ENGINEER:
 MERRILL ENGINEERS AND LAND SURVEYORS
 26 UNION STREET
 PLYMOUTH, MA 02360
 508-746-6060

ARCHITECT:
 RESCON ARCHITECTURAL, INC.
 118 WATERHOUSE ROAD, SUITE F
 BOURNE, MA 02532
 508-759-9828



PARKING CALCULATION & SETBACKS:

RETAIL USE:
 REQUIRED: 1 SPACE PER 150 S.F. OF FLOOR AREA DEDICATED TO CUSTOMER USE OR DISPLAY, BUT NOT LESS THAN 70% OF THE TOTAL AREA
 PROVIDED: 1,400 S.F. / 150 S.F. = 9.3
 TOTAL SPACES REQUIRED FOR RETAIL: 10 SPACES

RESIDENTIAL USE:
 REQUIRED: 1.5 SPACE PER UNIT FOR SINGLE-FAMILY DWELLING WITH ACCESSORY APARTMENT OR MIXED-USE DEVELOPMENT
 PROVIDED: 5 UNITS x 1.5 = 7.5
 TOTAL SPACES REQUIRED FOR APARTMENTS: 8 SPACES

RESTAURANT USE:
 REQUIRED: 1 PER 4 SEATS INCLUDING OUTDOOR SEATING, PLUS 1 PER EMPLOYEE MAXIMUM SHIFT
 PROVIDED: 100 SEATS / 4 SEATS = 25
 TOTAL SPACES REQUIRED FOR RESTAURANT: 35 SPACES

RESTAURANT USE (EAST FOOD):
 REQUIRED: 1 PER 4 SEATS INCLUDING OUTDOOR SEATING, PLUS 1 PER EMPLOYEE MAXIMUM SHIFT, PLUS 6
 PROVIDED: 20 SEATS / 4 SEATS = 5
 PROVIDED: 2 EMPLOYEES = 2
 PROVIDED: 6 SPACES = 6
 TOTAL SPACES REQUIRED FOR RESTAURANT (FAST FOOD): 13 SPACES

PARKING FOR #571 CURRENTLY ON #575
 CURRENT: 8 SPACES PROVIDED

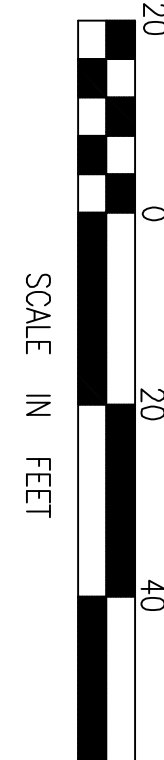
TOTAL SPACES REQUIRED: 74 SPACES (3 HC SPACES)

OFFSETTING HOURS OF USE FOR PARKING REDUCTION
 RESTAURANT (FAST FOOD) &
 RESTAURANT
 OFFSETTING PARKING: -13 SPACES

TOTAL SPACES REQUIRED/PROPOSED WITH OFFSETTING HOURS: 61 SPACES (3 HC SPACES)

SPACES PROVIDED AT #575: 38 SPACES (INCLUDES 3 HC SPACES)
SPACES PROVIDED AT #569: 18 SPACES (INCLUDES 3 HC SPACES)
TOTAL SPACES PROVIDED: 56 SPACES (INCLUDES 3 HC SPACES)

REQUIRED: #575 (PROPOSED) 10 FT, #571 (PROPOSED) 10 FT, #569 (PROPOSED) 19 FT
MIN. FRONT YARD: 10 FT
MIN. SIDE YARD: 0 FT
MIN. REAR YARD: 10 FT



ZONING REQUIREMENTS
 VILLAGE COMMERCIAL OVERLAY DISTRICT "COV00"

REQUIRED	#575 (PROPOSED)	#571 (PROPOSED)	#569 (PROPOSED)
AREA	13,000 SF	29,801 SF	7,480 SF
FRONTAGE	178.52 FT	82.50 FT	81.90 FT
SITE COVERAGE	80%	76%	72%
BUILDING HEIGHT	30 FT OR 2.5 STORES	29.75 FT	1.5 STORES (EXISTING BUILDINGS)
MINIMUM YARDS:			
FRONT	10 FT	10 FT	35.4 FT
SIDE	10 FT	10 FT	0.9 FT
REAR	20 FT	100 FT	4.8 FT
VACANT			
VACANT			
VACANT			

****LOTS SHALL HAVE FRONTAGE ALONG ROUTE 28 TO BE DETERMINED AT THE TIME OF SITE PLAN REVIEW****

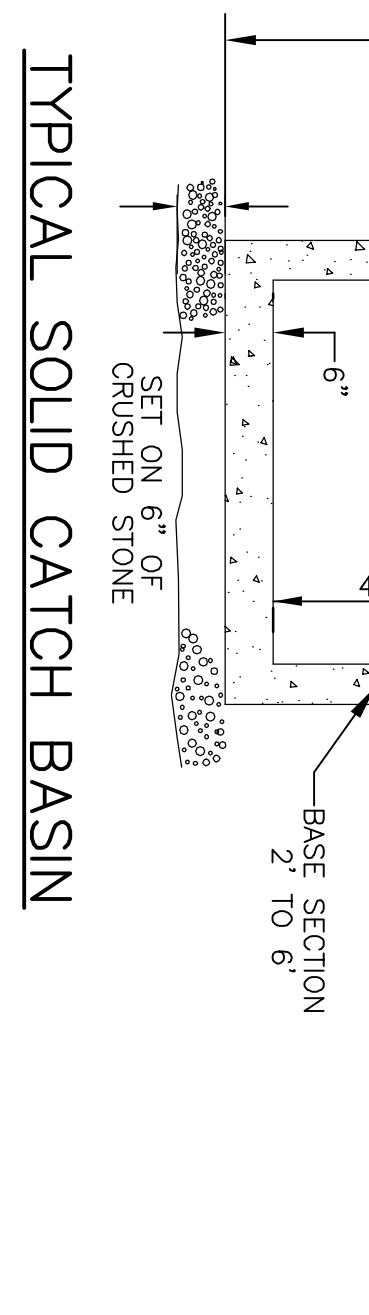
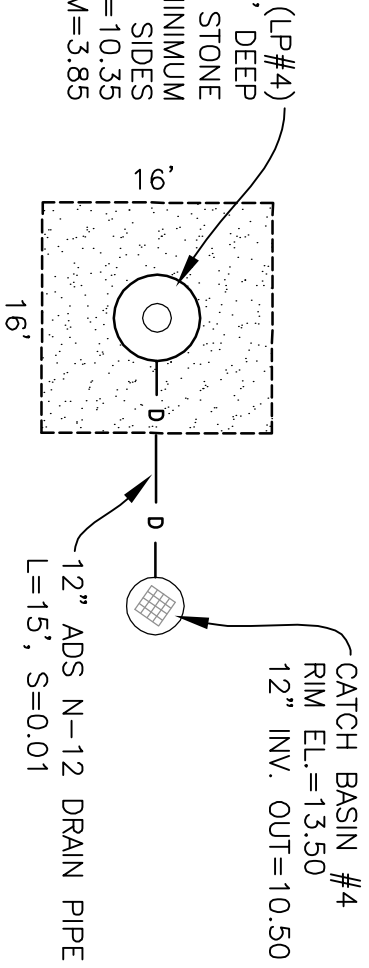
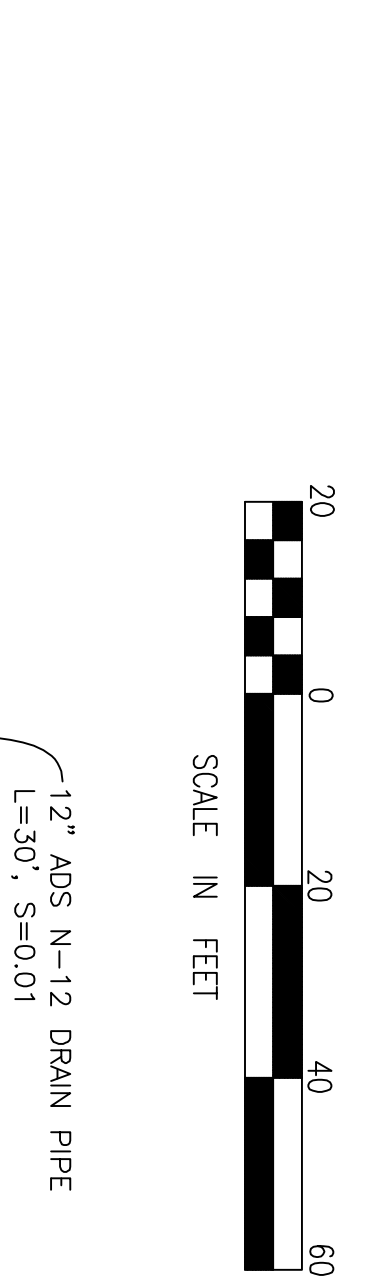
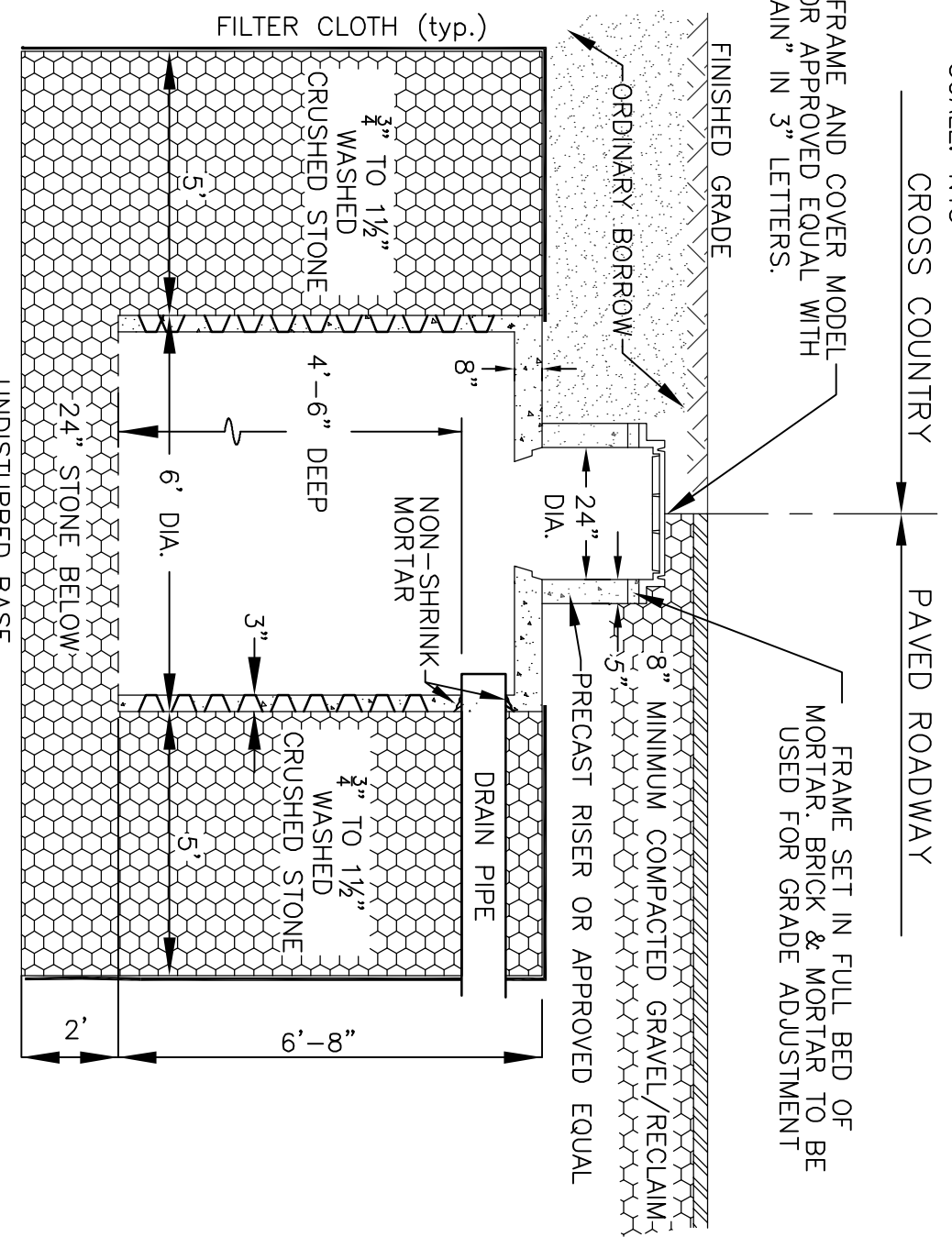
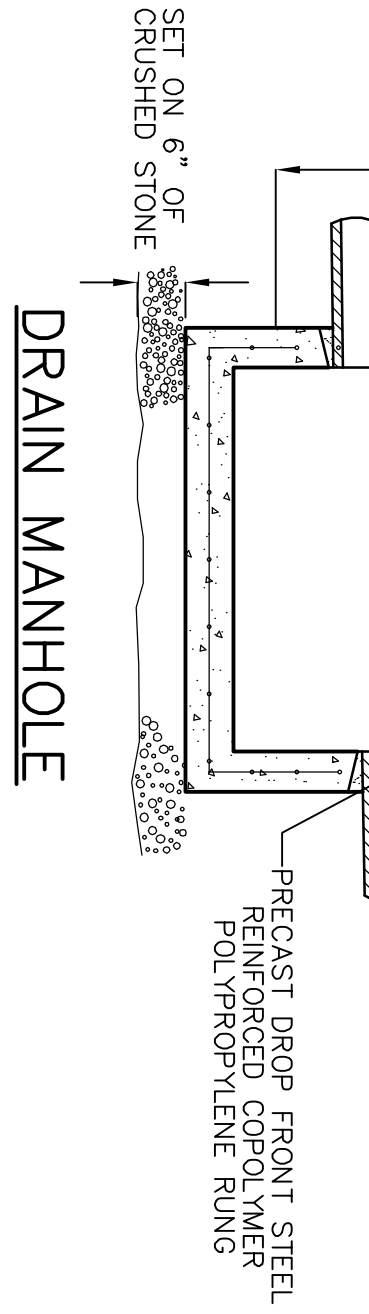
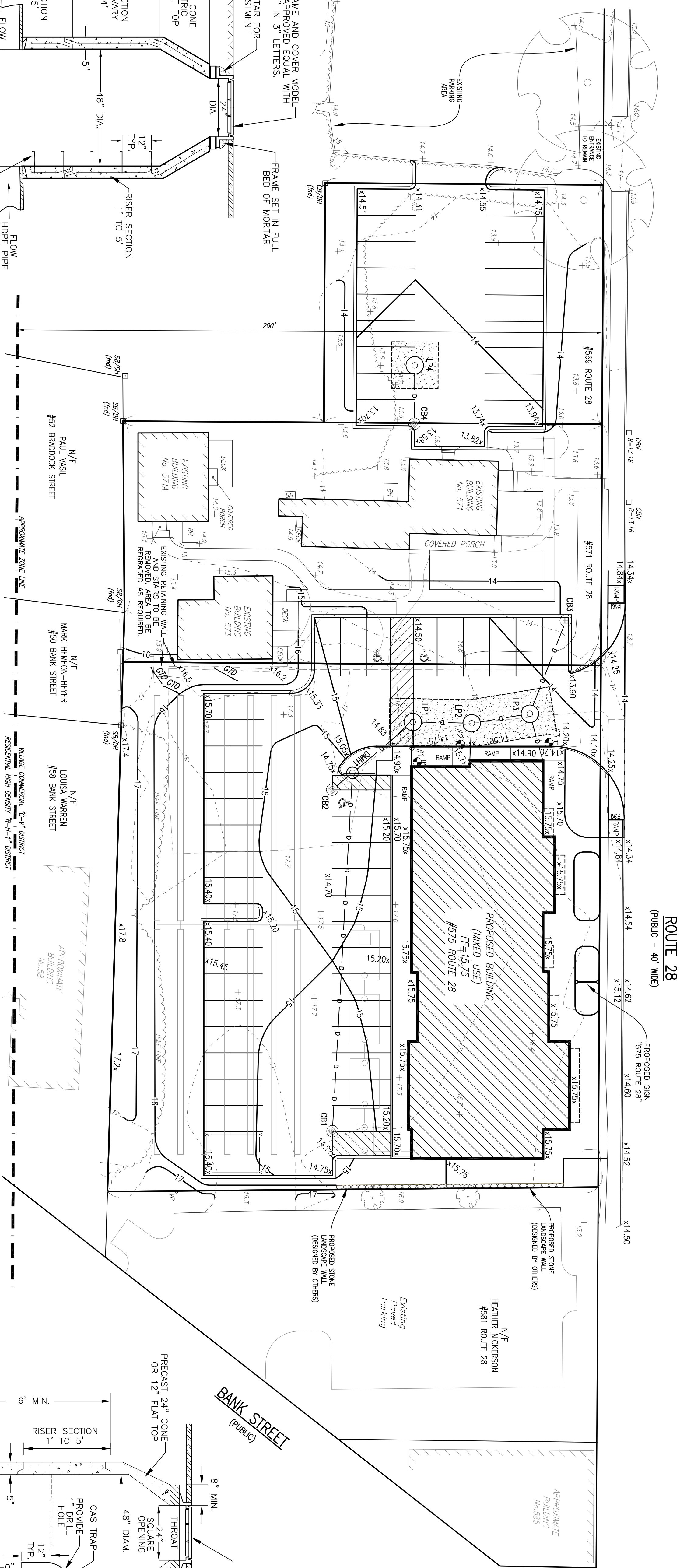
INDEX

SHEET	DESCRIPTION
1 of 8	LAYOUT PLAN
2 of 8	EXISTING CONDITIONS PLAN
3 of 8	GRADING AND DRAINAGE PLAN
4 of 8	SEPTIC AND UTILITY PLAN
5 of 8	CONSTRUCTION DETAILS
6 of 8	CONSTRUCTION DETAILS
7 of 8	CONSTRUCTION DETAILS
8 of 8	DEMOLITION AND EROSION CONTROL PLAN

REVISIONS 2 8/12/22 FOR #575 #571 & #569 ROUTE 28 1 07-14-22 URBAN PARKING LAYOUT	DRAWN BY: TMS DESIGNED BY: TMS CHECKED BY: TAP		Merrill Engineers and Land Surveyors 427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200 26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6060 WWW.MERRILLINC.COM	SITE PLAN #575 ROUTE 28 (MAIN STREET) HARWICH, MASSACHUSETTS	PREPARED FOR: MAIN STREET HP, LLC P.O. BOX 51299 BOSTON, MA 02205
				LAYOUT PLAN SHEET 1 OF 8	MAY 19, 2022 SCALE: 1"=20' JOB No. 22-145 LATEST REVISION: AUGUST 12, 2022

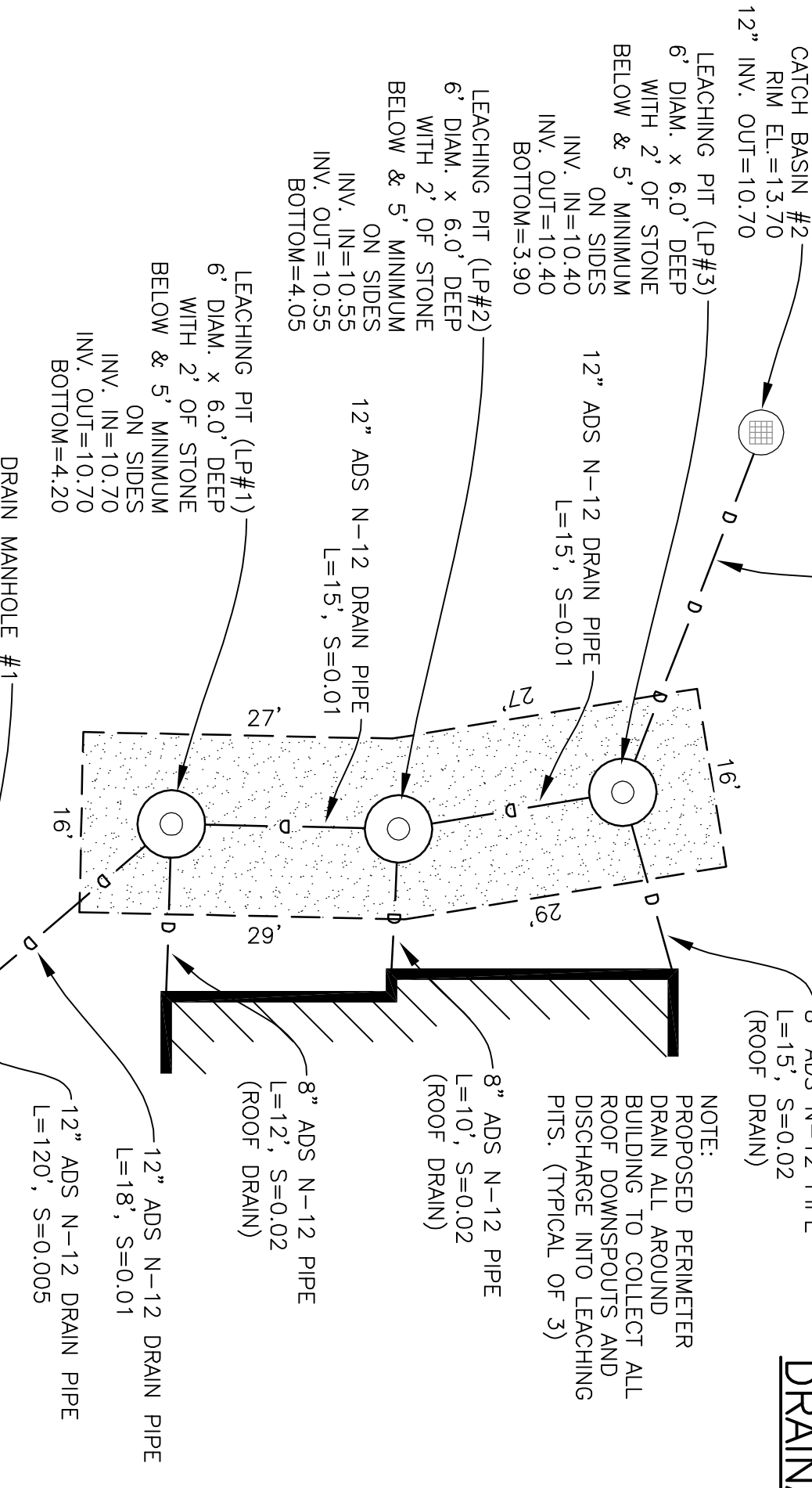
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MA MAINLAND STATE PLANE GRID NAD 1983



NOTE:
 ALL LEACHING PITS MUST BE INSTALLED IN STRATUM OF MEDIUM TO COARSE SAND TO ALLOW PROPER FUNCTIONING. THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO INSPECT THE SOILS PRIOR TO INSTALLATION.

NOTE:
 PROPOSED PERIMETER DRAIN ALL AROUND BUILDING TO COLLECT ALL ROOF RUNOFF AND RECHARGE TO LEACHING PITS. (TYPICAL OF 3)



DRAINAGE SYSTEM LAYOUT (#575)
 NOT TO SCALE

DRAINAGE STRUCTURES	INVERT ELEVATION	OUTLET ELEVATION	PIPE INFO
CB1	14.40	11.50	12" ADS N-12 ADS S=0.50%
CB2	14.40	11.50	12" ADS N-12 ADS S=0.50%
CB3	13.70	10.70	12" ADS N-12 ADS S=1.00%
CB4	13.50	10.50	12" ADS N-12 ADS S=1.00%
LP4	13.70	10.35	12" ADS N-12 ADS S=1.00%

SOIL TEST PIT INFORMATION: APRIL 14, 2022

TEST PIT #	TP#1	TP#2	TP#3
SURFACE ELEVATION	16.2±	16.0±	15.0±
TOP & SUBSOIL	0"-40"	0"-38"	0"-36"
SUBSTRATUM (COARSE SAND)	40"-84"	38"-84"	36"-84"
SUBSTRATUM (MEDIUM SAND)	84"-132"	84"-132"	84"-150"
WOTILES	NONE	NONE	NONE
OBSERVED GWI	NONE	NONE	NONE
ELEVATION OBSERVED GWI	---	---	---
PERC RATE	2 Min./inch	2 Min./inch	2 Min./inch

SITE PLAN
 #575 ROUTE 28 (MAIN STREET)
 HARWICH, MASSACHUSETTS

PREPARED FOR: MAIN STREET HP, LLC
 P.O. BOX 51299
 BOSTON, MA 02205

SCALE: 1"=20'
 MAY 19, 2022

JOB No. 22-145
 LATEST REVISION:
 AUGUST 12, 2022

GRADING & DRAINAGE PLAN
 SHEET 3 OF 8

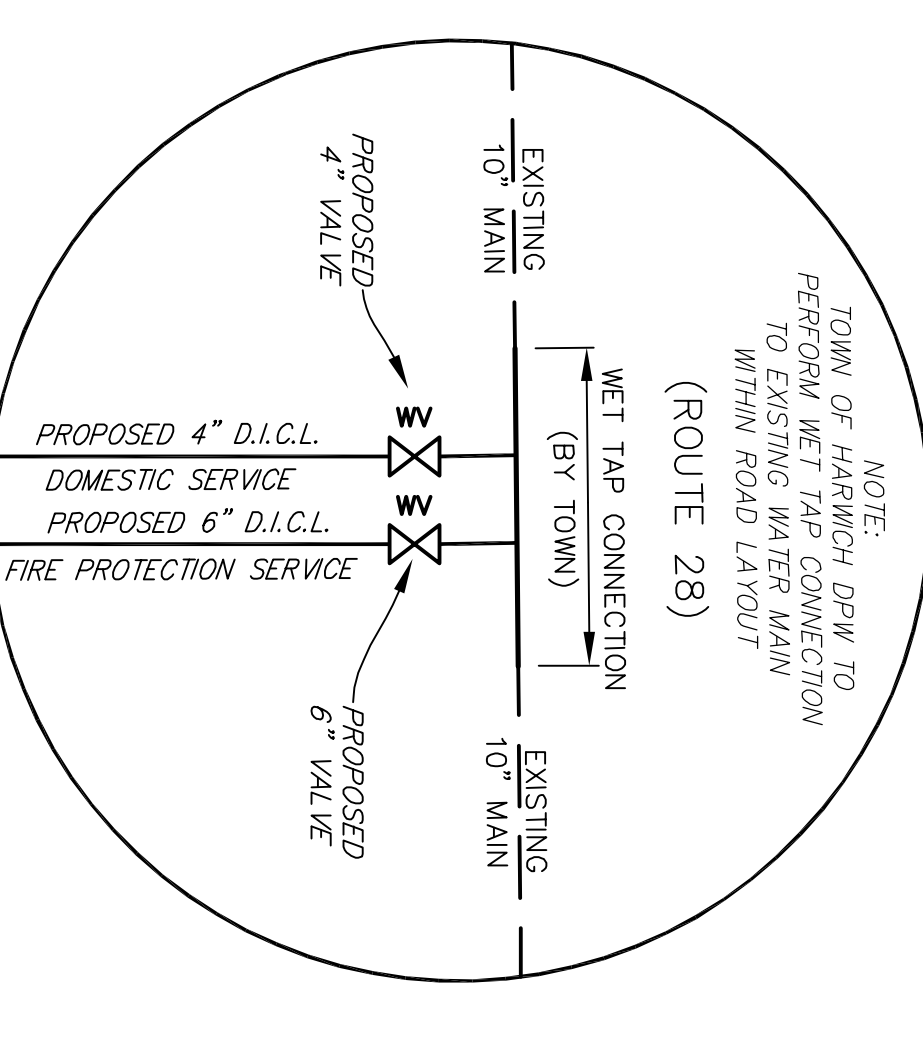
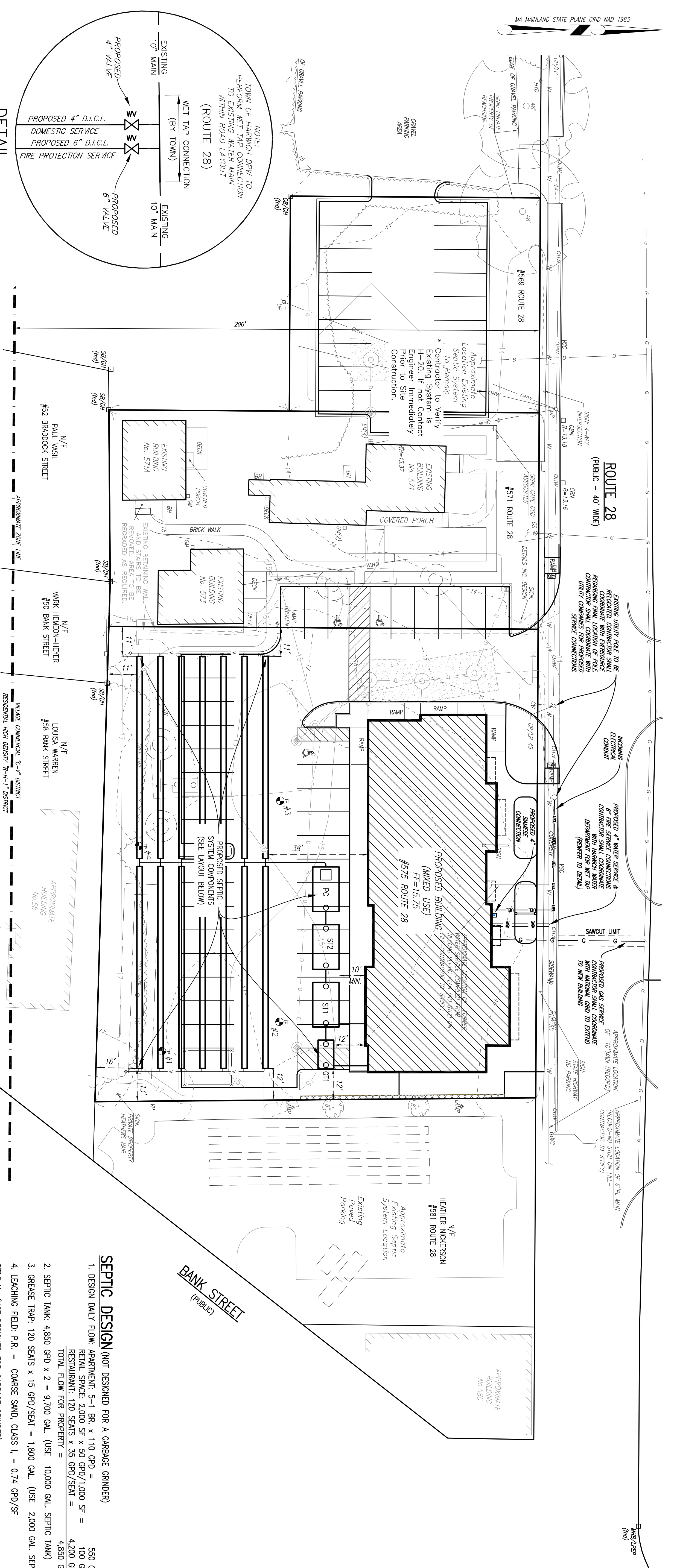
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 Engineers and Land Surveyors
 427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200
 26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6060
 WWW.MERRILLINC.COM

REVISIONS

DRAWN BY: TMS
 DESIGNED BY: TMS
 CHECKED BY: TAP

1/8/12/22 FOR #575, #571 & #589
 ROUTE 28

REGISTERED PROFESSIONAL ENGINEER
 IN THE STATE OF MASSACHUSETTS
 No. 45039
 EXPIRES 12/31/2025



SEPTIC STRUCTURES INVERT SCHEDULE

COMPONENT	INVERT (ft)	INVERT (ft)	PIPE INFO
GREASE TRAP @ BUILDING	11.87	11.87	13"-4" PIPE S=2.00%
GREASE TRAP (2,000)	11.61	11.36	5"-4" PIPE S=2.00%
SEPTIC TANK @ BUILDING	11.46	11.46	10"-4" PIPE S=2.00%
SEPTIC TANK (10,000)	11.26	11.01	5"-4" PIPE S=2.00%
SEPTIC TANK (5,000)	10.91	10.66	5"-4" PIPE S=2.00%
PUMP CHAMBER (8,000)	10.56	10.31	20"-4" PIPE FORCEMAIN
TRENCH INVERT	13.00		
TRENCH BOTTOM		11.00	

PROPOSED FIRE PROTECTION & DOMESTIC WATER SERVICE TIE-IN
NOT TO SCALE

NOTE: TOWN OF HARWICH DPW TO PERFORM WET TAP CONNECTION TO EXISTING WATER MAIN WITHIN ROAD LAYOUT (ROUTE 28)

WET TAP CONNECTION (BY TOWN)

EXISTING 10" MAIN

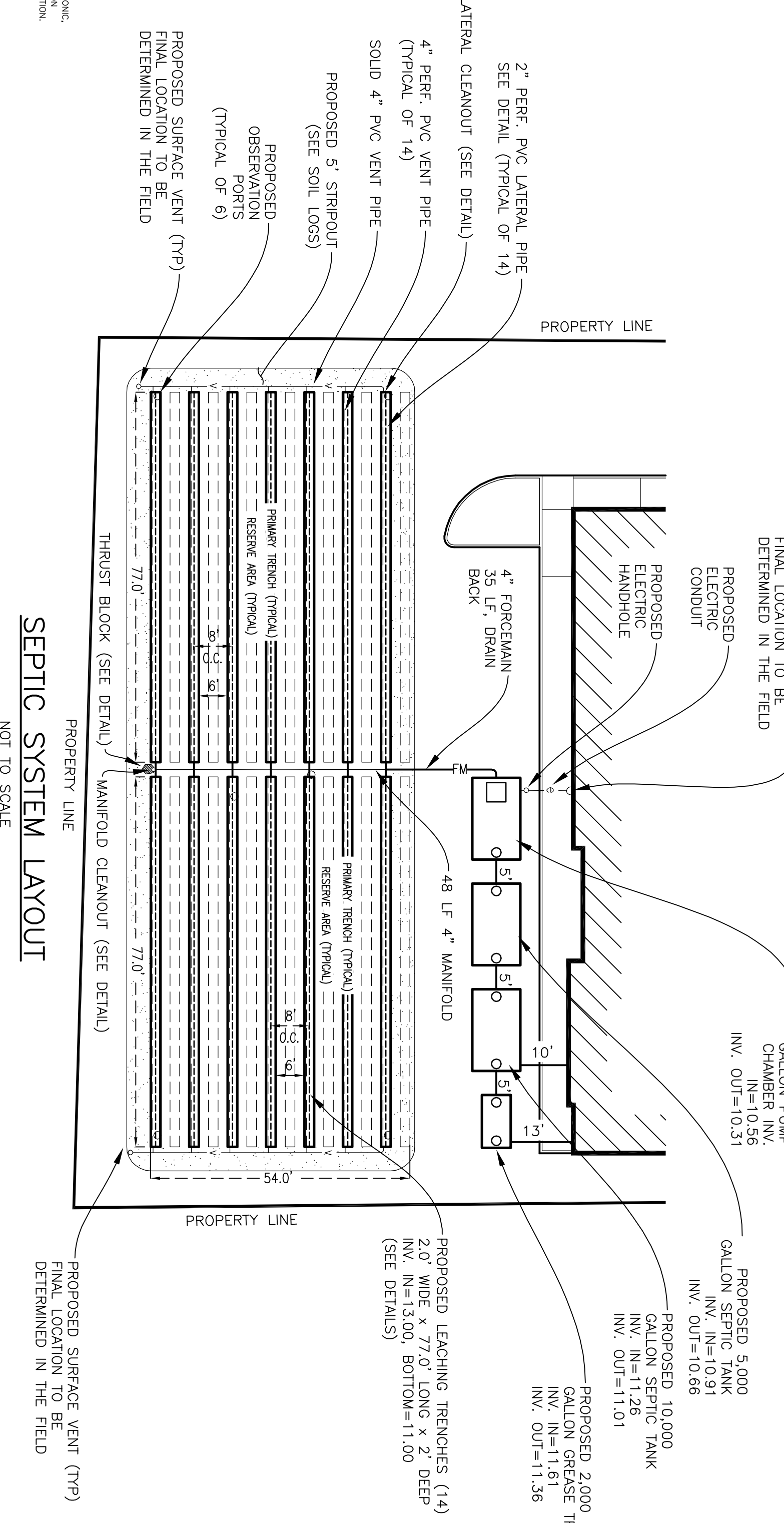
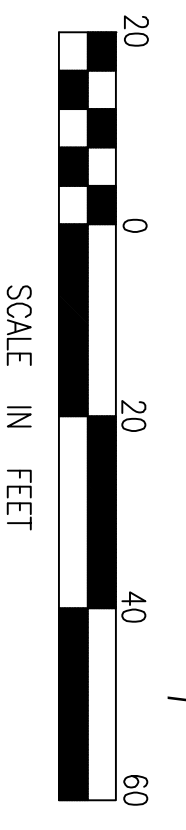
EXISTING 10" MAIN

PROPOSED 4" D.I.C.L. DOMESTIC SERVICE

PROPOSED 6" D.I.C.L. FIRE PROTECTION SERVICE

PROPOSED 4" VALVE

PROPOSED 6" VALVE



SEPTIC DESIGN (NOT DESIGNED FOR A GARBAGE GRINDER)

- DESIGN DAILY FLOW: APARTMENT: 5-1 BR x 110 GPD = 550 GPD
RETAIL SPACE: 2,000 SF x 50 GPD/1,000 SF = 100 GPD
RESTAURANT: 120 SEATS x 35 GPD/SEAT = 4,200 GPD
TOTAL FLOW FOR PROPERTY = 4,850 GPD
- SEPTIC TANK: 4,850 GPD x 2 = 9,700 GAL. (USE 10,000 GAL. SEPTIC TANK)
- GREASE TRAP: 120 SEATS x 15 GPD/SEAT = 1,800 GAL. (USE 2,000 GAL. SEPTIC TANK)
- LEACHING FIELD: P.R. = COARSE SAND, CLASS 1, = 0.74 GPD/SF
- EXCAVATE ALL MATERIAL 5' ALL AROUND SYSTEM TO CI LAYER (SEE SOIL LOGS) & REPLACE WITH CLEAN COARSE MATERIAL IN ACCORDANCE WITH 310 CMR 15.255 TO TOP OF S.A.S. (SEE PROFILE & SOIL LOG). EXCAVATION MUST BE INSPECTED BY THE TOWN AND MERRILL CORPORATION BEFORE SOIL PLACEMENT.

SOIL LOGS

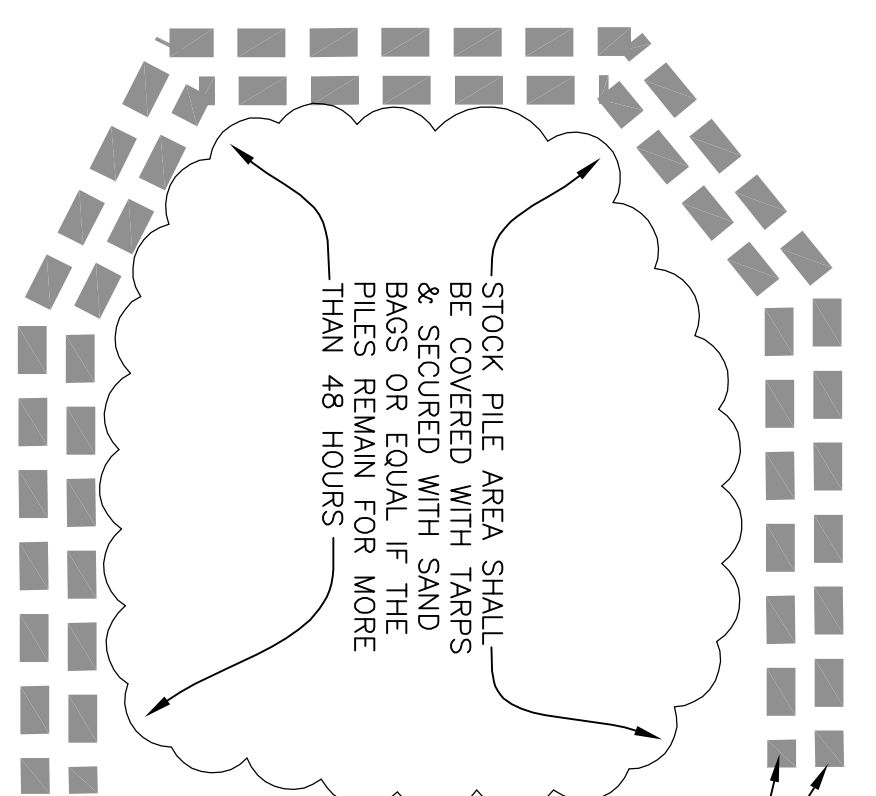
PERFORMED BY: TIMOTHY SANTOS (MERRILL ENGINEERING)
WITNESSED BY: CARIE SPOHNER (HARWICH B.O.H.)
DATE: APRIL 14, 2022

TH. #1	TH. #2	TH. #3	TH. #4
EL. 18.8	EL. 16.9	EL. 17.2	EL. 17.8
0" TO 42" FILL	0" TO 48" FILL	0" TO 15" SAND LOAM TOR 5/3	0" TO 15" SAND LOAM TOR 5/3
42" TO 86" COARSE SAND @ 2.5V 6/8	48" TO 84" CI HORIZON COARSE SAND @ 2.5V 6/8	15" TO 36" SAND LOAM TOR 5/3	15" TO 40" SAND LOAM TOR 5/3
86" TO 120" MEDIUM SAND @ 2.5V 7/2	84" TO 132" MEDIUM SAND @ 2.5V 7/2	36" TO 84" CI HORIZON COARSE SAND @ 2.5V 7/2	40" TO 132" MEDIUM SAND @ 2.5V 7/2
120" TO 133" FILL	132" TO 129" FILL	84" TO 109" SAND LOAM TOR 5/8	132" TO 145" SAND LOAM TOR 5/8
REMARK: NONE	REMARK: NONE	REMARK: NONE	REMARK: NONE

NO GROUNDWATER ENCOUNTERED

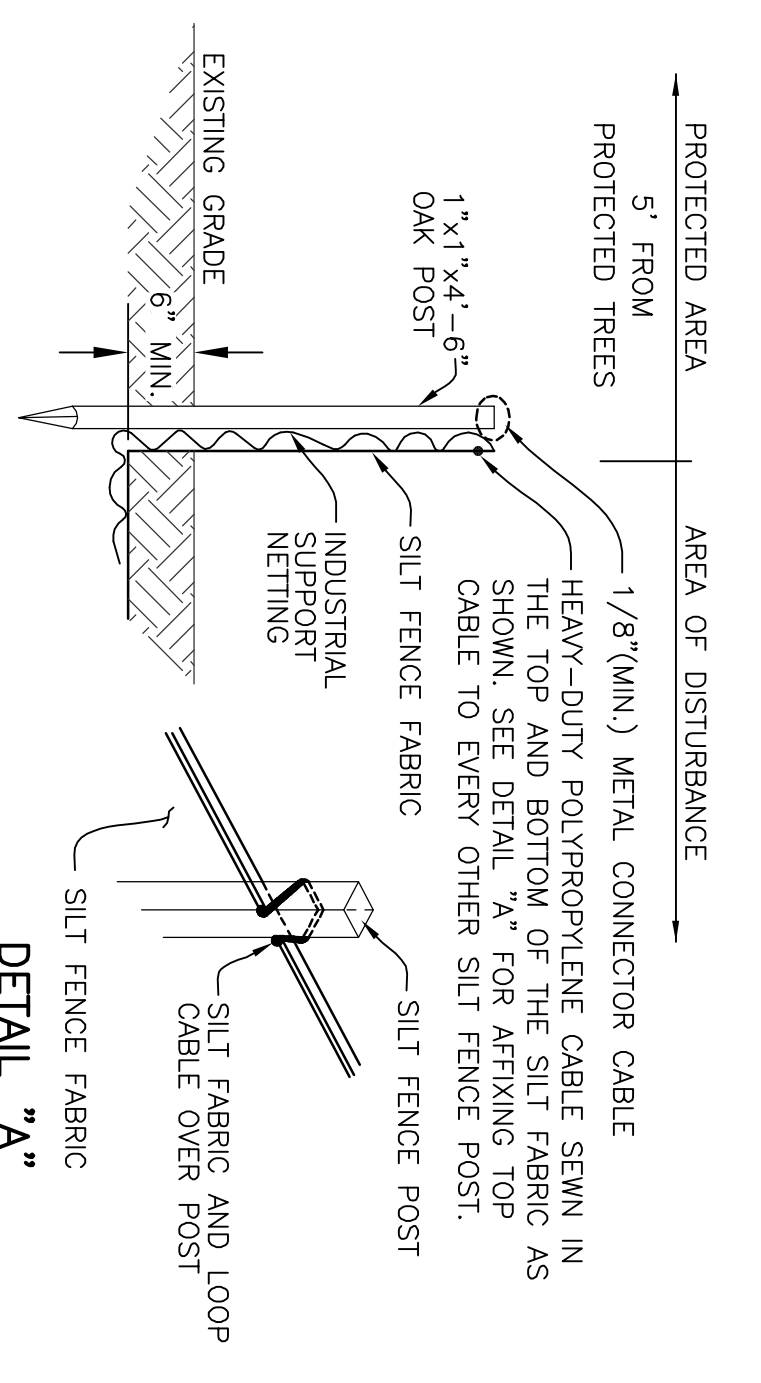
<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>8/12/22</td> <td>ISSUE LAYOUT/GRADING</td> </tr> <tr> <td>2</td> <td>10/15/22</td> <td>REVISE</td> </tr> <tr> <td>3</td> <td>11/16/22</td> <td>REVISE</td> </tr> <tr> <td>4</td> <td>12/12/22</td> <td>REVISE</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	8/12/22	ISSUE LAYOUT/GRADING	2	10/15/22	REVISE	3	11/16/22	REVISE	4	12/12/22	REVISE	<p>Merrill Engineers and Land Surveyors 427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200 26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6060 WWW.MERRILLINC.COM</p>	<p>DRAWN BY: TMS DESIGNED BY: TMS CHECKED BY: TAP</p>	<p>SCALE: 1"=20' JOB No. 22-145 LATEST REVISION: AUGUST 12, 2022</p>	<p>SITE PLAN #575 ROUTE 28 (MAIN STREET) HARWICH, MASSACHUSETTS</p> <p>PREPARED FOR: MAIN STREET HP, LLC P.O. BOX 51299 BOSTON, MA 02205</p>	<p>SEPTIC & UTILITIES PLAN SHEET 4 OF 8</p>
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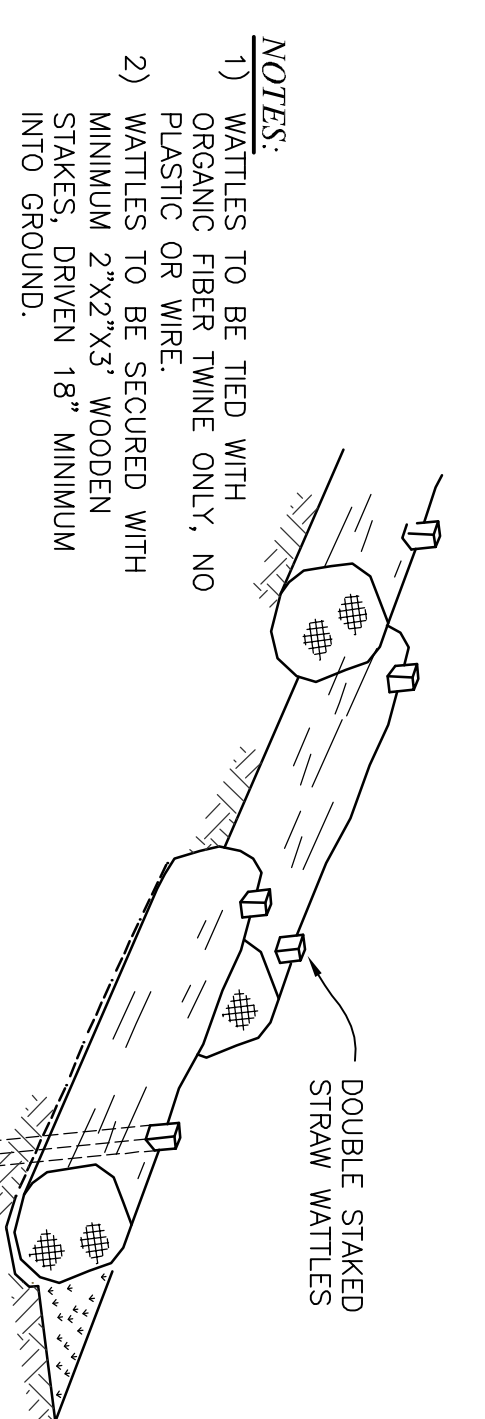


STOCK PILE DETAIL
NOT TO SCALE

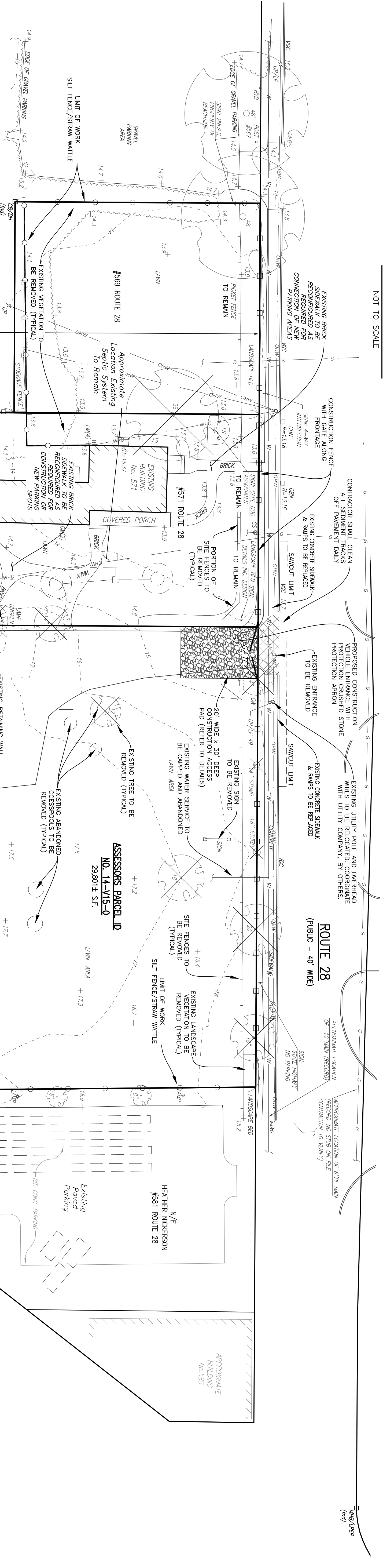
- NOTES:**
- 1) THOROUGHLY COMPACT EXCAVATED SOILS BACK INTO THE TRENCH AFTER INSTALLATION OF EROSION CONTROL DEVICES.
 - 2) SILT FENCE FABRIC SHALL NOT BE SPLIT.
 - 3) 1"x1/4"-6" OAK POSTS FOR THE SILT FENCE SHALL BE LOCATED ON CENTER 8'-0" (MAX).



SILT FENCE / WORK LIMIT
NOT TO SCALE

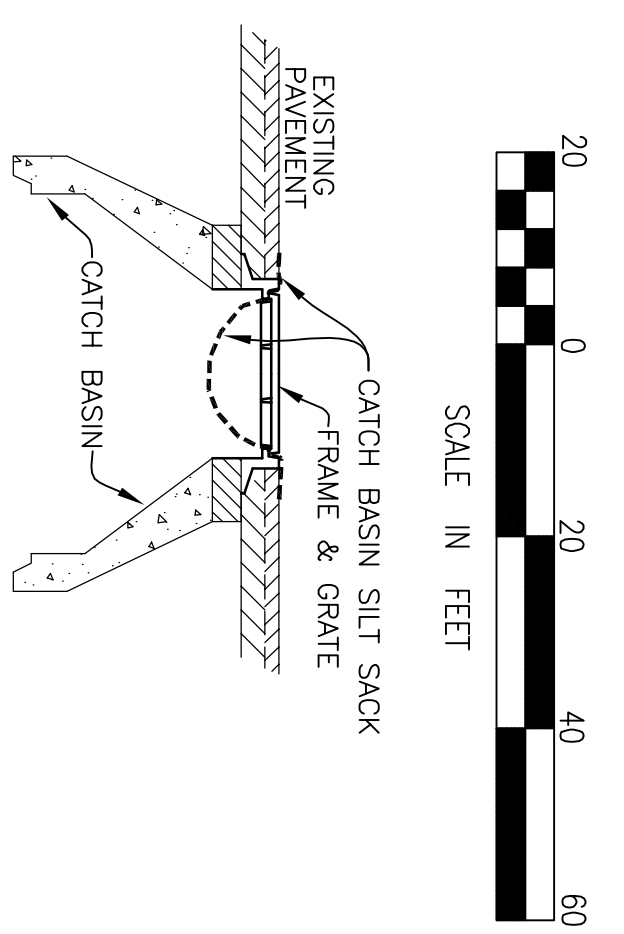


LIMIT OF WORK - STRAW WATTLE DETAIL
NOT TO SCALE

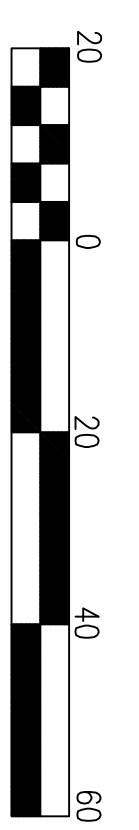


EROSION AND SEDIMENTATION CONTROL PLAN:

1. The Installer shall examine the work area and site conditions under which this work is to be performed prior to installation of sedimentation and erosion control.
2. Control. The Contractor is responsible for establishing and maintaining the limit of work and sedimentation controls throughout the duration of the work and prior to performing any clearing and excavation activities on the site.
3. The Contractor shall provide adequate protection to the existing stormwater system on or near the site as indicated on the construction drawings.
4. The Contractor shall protect existing catch basins with the use of silt-bags at the inlet of the structures. The Contractor may remove such protection once the disturbed areas have been stabilized and no signs of erosion and sedimentation exist in the direction to the protected catch basins.
5. The Contractor shall construct a Stone Tracking Pad of entrance to and from the site. The Pad shall be constructed of stone and shall be installed on the Stone Tracking Pad. Sedimentation controls shall be installed to remove all sediments spilled, dropped, washed or tracked onto public and private roadways.
6. The Contractor shall stabilize all graded and/or disturbed areas by installing loam and seeding at the earliest time possible to prevent erosion and sedimentation.
7. The Contractor shall implement supplemental drainage and erosion control measures (such as temporary swales, stone checks, seeding or mulching) as may be necessary during the course of the construction based on changes of stormwater runoff patterns if necessary.
8. After every construction activity during construction the Contractor shall examine the site for signs of erosion and sedimentation controls and perform any required repairs or replacements.
9. The Contractor shall maintain 50 linear feet of silt fence or straw wattles on site in the event erosion occurs. If erosion occurs during construction the Contractor shall take steps to control the erosion and mitigate the damaged areas.
10. The Contractor shall remove all land clearing waste material (brush, stumps, wood, leaves, chips, etc.) during construction from site and properly transport to an approved disposal site. The Contractor shall not mix land clearing waste material with other construction activities waste material.
11. All excavated areas rendering a slope equal or greater than 3:1 horizontal to 1 vertical (3:1) shall be stabilized with the installation of erosion control matting.
12. Slopes of 3:1 or steeper shall be covered with erosion control matting approved by the project engineer and shall not cause damage to the sedimentation and erosion controls.
13. The Contractor shall implement measures to control dust levels by means such as water trucks during construction until all disturbed areas are stabilized.
14. Stabilization for paved areas shall be achieved by installing the gravel base immediately after the rough grading and sub-base compaction is complete.
15. The Contractor shall avoid smearing the bottom levels of the excavation and the exposed excavation face walls for subsurface leaching systems and/or erosion systems.
16. The Contractor shall use double washed crushed stone for the construction of the subsurface leaching systems. Installed the Contractor shall use double washed crushed stone for these components.
17. All protective measures (filter fabric, silt sacs, haybale domes) installed in the vicinity of construction of the site protecting existing stormwater systems shall be removed once the disturbed areas are stabilized.



TEMPORARY CATCH BASIN PROTECTION DETAIL
NOT TO SCALE

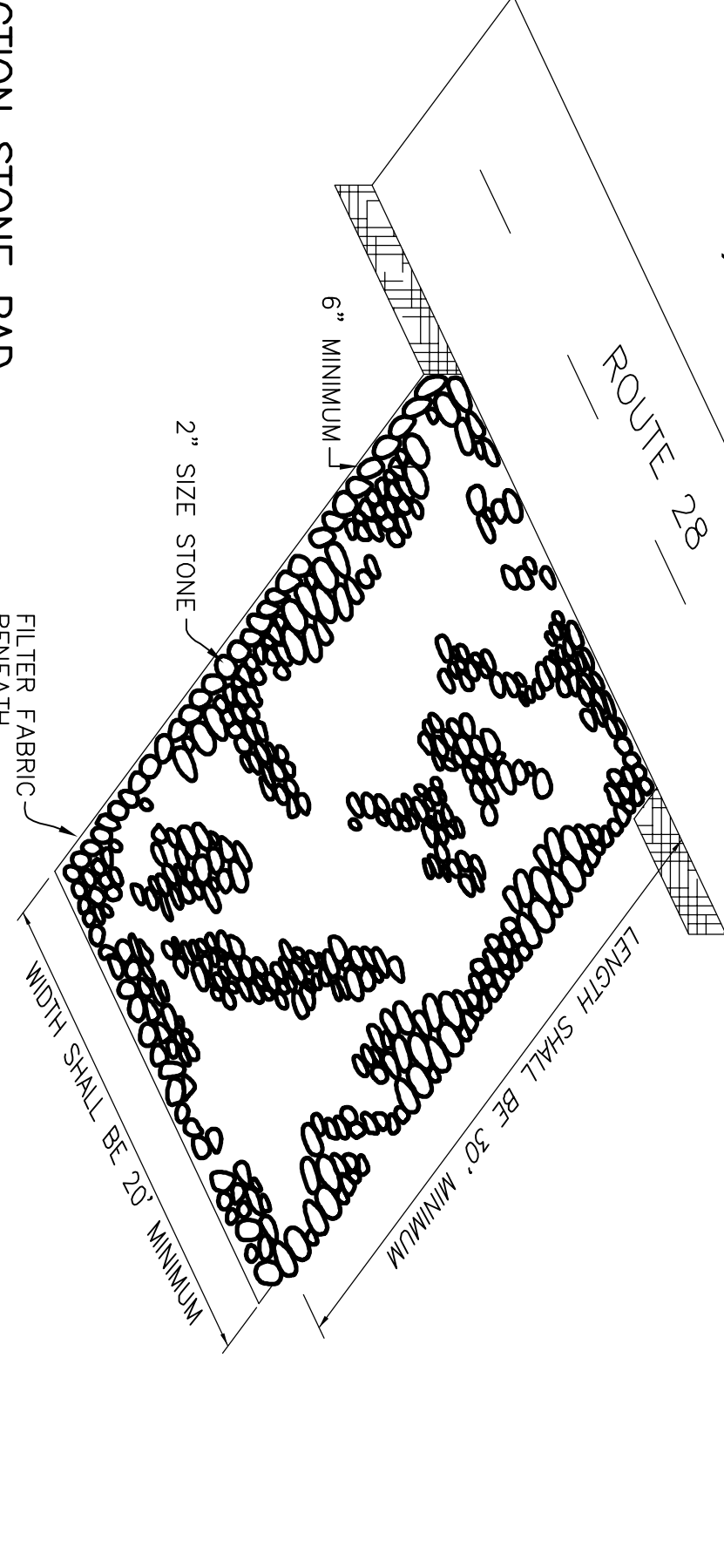


INSTALLATION
THE AREA OF THE CONSTRUCTION ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, PAVERS, WALKWAYS AND OTHER OBSTRUCTIBLE MATERIAL. THE WATTLES SHALL BE PLACED TO THE SPECIFIED DIMENSIONS, AS NOTED.

MAINTENANCE
THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENTS ONTO ADJACENT ROADWAYS. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE, OR ADDITIONAL LENGTH, AS CONDITIONS DEMAND, AND REPAIR, AND /OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO ADJACENT ROADWAYS MUST BE REMOVED IMMEDIATELY.

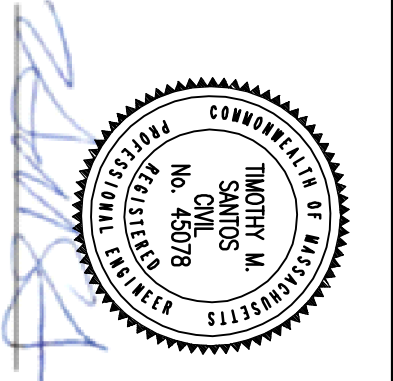
PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

CONSTRUCTION ENTRANCE PROTECTION STONE PAD
NOT TO SCALE



REVISIONS

1	8/12/22	UPDATE EXISTING CONDITIONS AT #575
2	8/31/22	#571 & #572 ROUTE 28



DRAWN BY: TMS
DESIGNED BY: TMS
CHECKED BY: TAP

Merrill
Engineers and Land Surveyors
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SITE PLAN
#575 ROUTE 28 (MAIN STREET)
HARWICH, MASSACHUSETTS

PREPARED FOR: MAIN STREET HP, LLC
P.O. BOX 51299
BOSTON, MA 02205

MAY 19, 2022
SCALE: 1"=20'
JOB No. 22-145
LATEST REVISION:
DEMOLITION & EROSION CONTROL PLAN
SHEET 8 OF 8

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