

ZONE: RR

RECEIVED
TOWN CLERK
HARWICH, MA
2022 MAR 24 P 1:51

SETBACKS:
Front: 25'
Side: 20'
Rear: 20'

PROPERTY LINES SHOWN HEREON
WERE COMPILED FROM AVAILABLE
PLANS OF RECORD AND VERIFIED
ON THE GROUND.
ON THE GROUND.

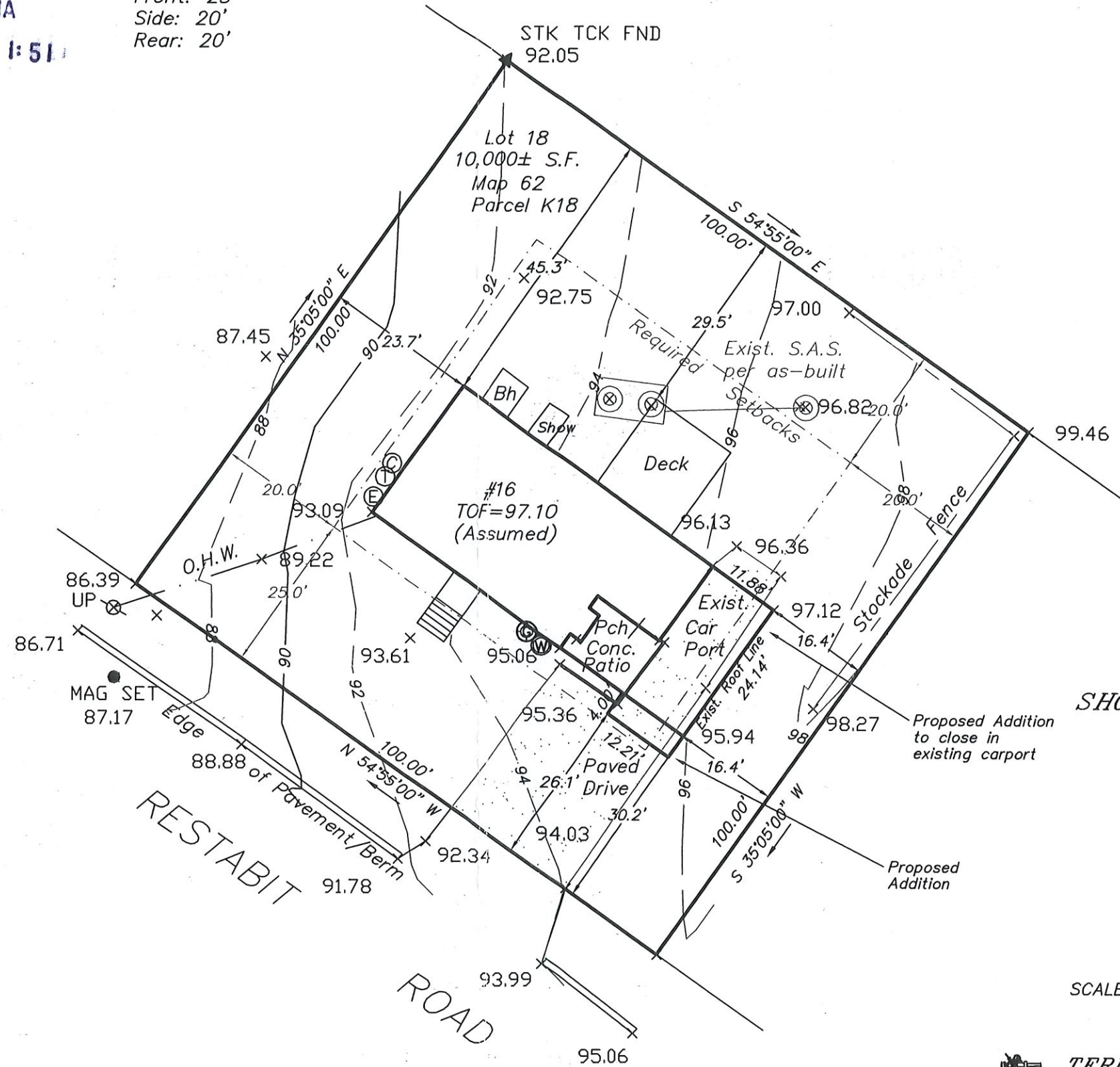
THE DWELLING DEPICTED ON THIS
PLAN WAS LOCATED ON THE GROUND
BY SURVEY ON AUG. 12, 2020 AND
EXISTS AS SHOWN AS OF THE DATE
OF LOCATION.

THIS PLAN IS FOR PLOT PLAN
PURPOSES ONLY.

STREET ADDRESS: #16 RESTABIT ROAD
OWNER: JAMES KUHL
DEED REF.: CTF. 199754
PLAN REF.: L.C.C. 27224A LOT 18

Exist. Bldg. Cov. 1,454/10,000=14.5%
Prop. Bldg. Cov. 1501/10,000=15.0%

Exist. Site Cov. 2403/10,000=24%
Prop. Site Cov. 2450/10,000=24.5%



Terry A. Warner

PLAN OF LAND

SHOWING PROPOSED ADDITION

IN
HARWICH, MA

PREPARED FOR:
JAMES KUHL
16 RESTABIT ROAD

SCALE: 1"=20' AUG. 27, 2020
Rev. 10/07/20

Rev. 01/10/22

TERRY A. WARNER, P.L.S.

22 LONG ROAD
HARWICH, MA. 02645
(508) 432-8309

Scale: 1"=20'



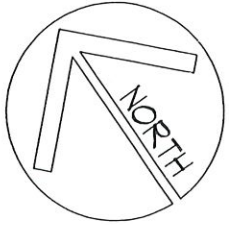
ZONING DIST. R-R	Required	Existing	Proposed
Min. Lot Area	40,000	10,000	10,000
Min. Lot Frontage	150'	100.00'	100.00'
Front Setback	25'	30.2'	26.1'
Side Setback (Right)	20'	16.4'	16.4'
Side Setback (Left)	20'	23.7'	23.7'
Rear Setback	20'	29.5'	29.5'
Maximum Height Feet	30'	15'	15'
Maximum Height Stories	2 1/2	1	1
Max. Building Coverage	15%	14.5%	15.0%
Max. Site Coverage	25%	24%	24.5%



McKenzie

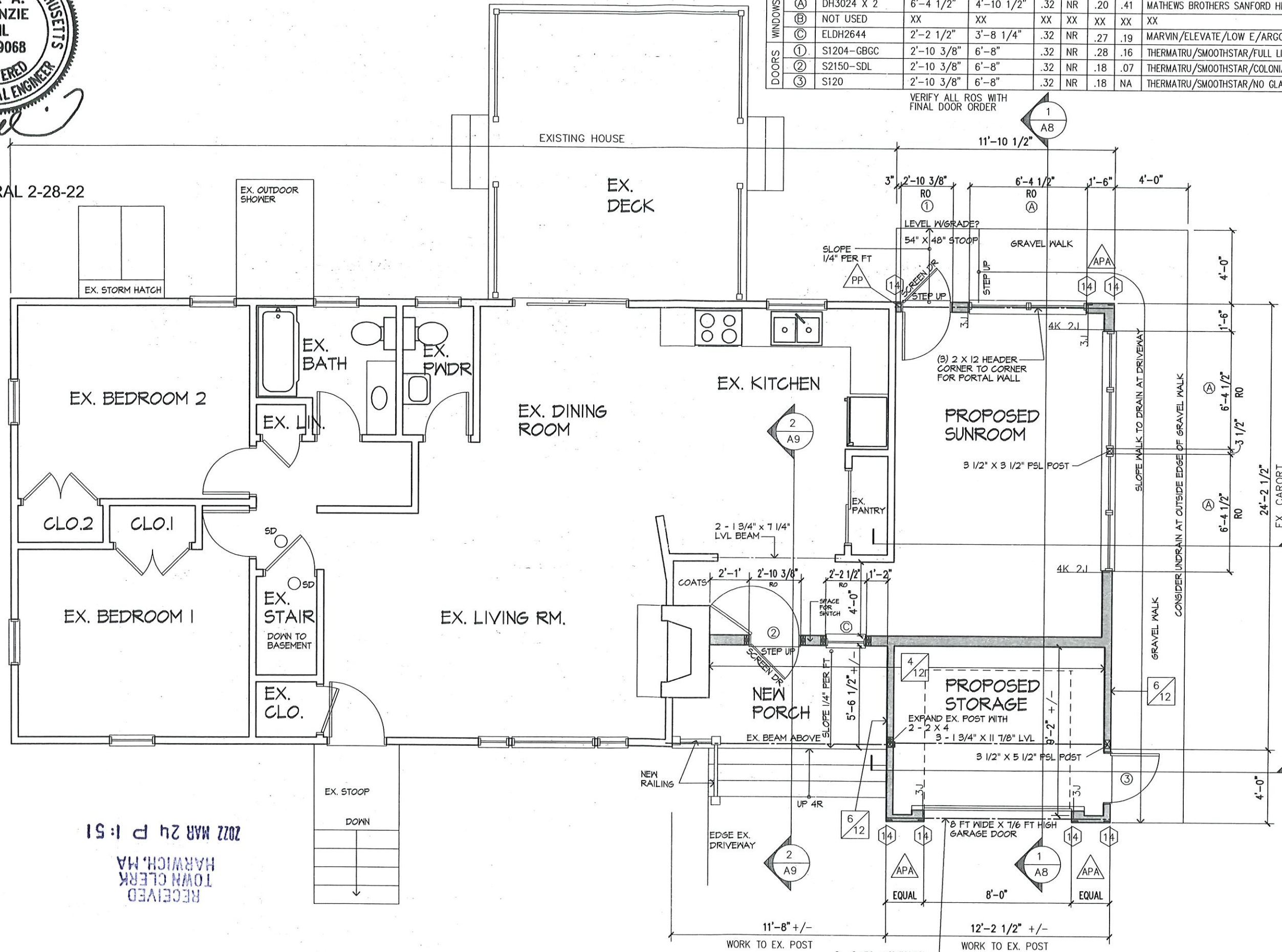
WINDOW AND DOOR SCHEDULE				2015 IECC, TABLE R402.12, ZONE 5A				MANUFACTURER/SPEC
	MARK	MODEL	RO WIDE	RO HIGH	"U" MAX	"SHGC" MAX	"U" SPEC'D UNIT	
WINDOWS	(A)	DH3024 X 2	6'-4 1/2"	4'-10 1/2"	.32	NR	.20 .41	MATHEWS BROTHERS SANFORD HILLS VINYL DH GRILLS UPPER SASH ONLY
	(B)	NOT USED	XX	XX	XX	XX	XX	XX
	(C)	ELD2644	2'-2 1/2"	3'-8 1/4"	.32	NR	.27 .19	MARVIN/ELEVATE/LOW E/ARGON/GBG
DOORS	(1)	S1204-GBGC	2'-10 3/8"	6'-8"	.32	NR	.28 .16	THERMATRU/SMOOTHSTAR/FULL LITE/FLUSH GLAZED/GBG/3W X 4H
	(2)	S2150-SDL	2'-10 3/8"	6'-8"	.32	NR	.18 .07	THERMATRU/SMOOTHSTAR/COLONIAL 9 LITE/FLUSH GLAZED/SDL
	(3)	S120	2'-10 3/8"	6'-8"	.32	NR	.18 NA	THERMATRU/SMOOTHSTAR/NO GLASS

VERIFY ALL ROS WITH FINAL DOOR ORDER



REVISIONS:	
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STRUCTURAL 2-28-22



PROPOSED MODIFICATIONS TO
16 RESTABIT ROAD
 HARNICH, MA 02645

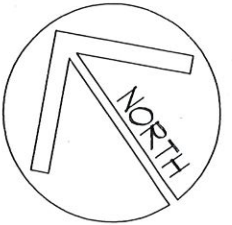
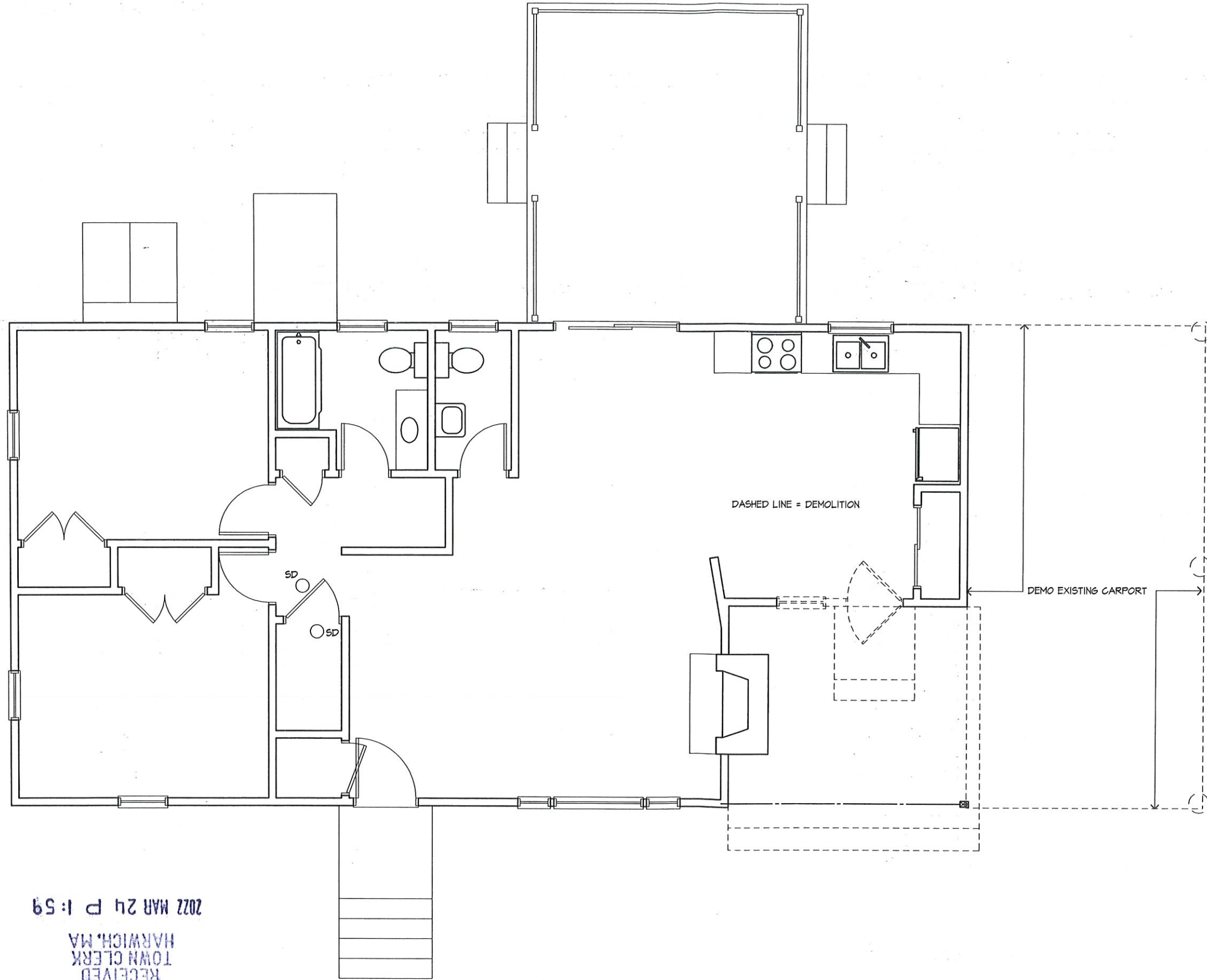
FIRST FLOOR PLAN

DATE: 2/21/2022

A=1

SCALE: 3/16"=1'-0"

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PROPOSED MODIFICATIONS TO
16 RESTABIT ROAD
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DEMOLITION
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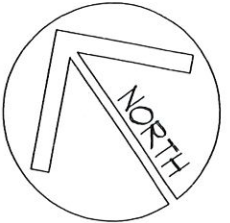
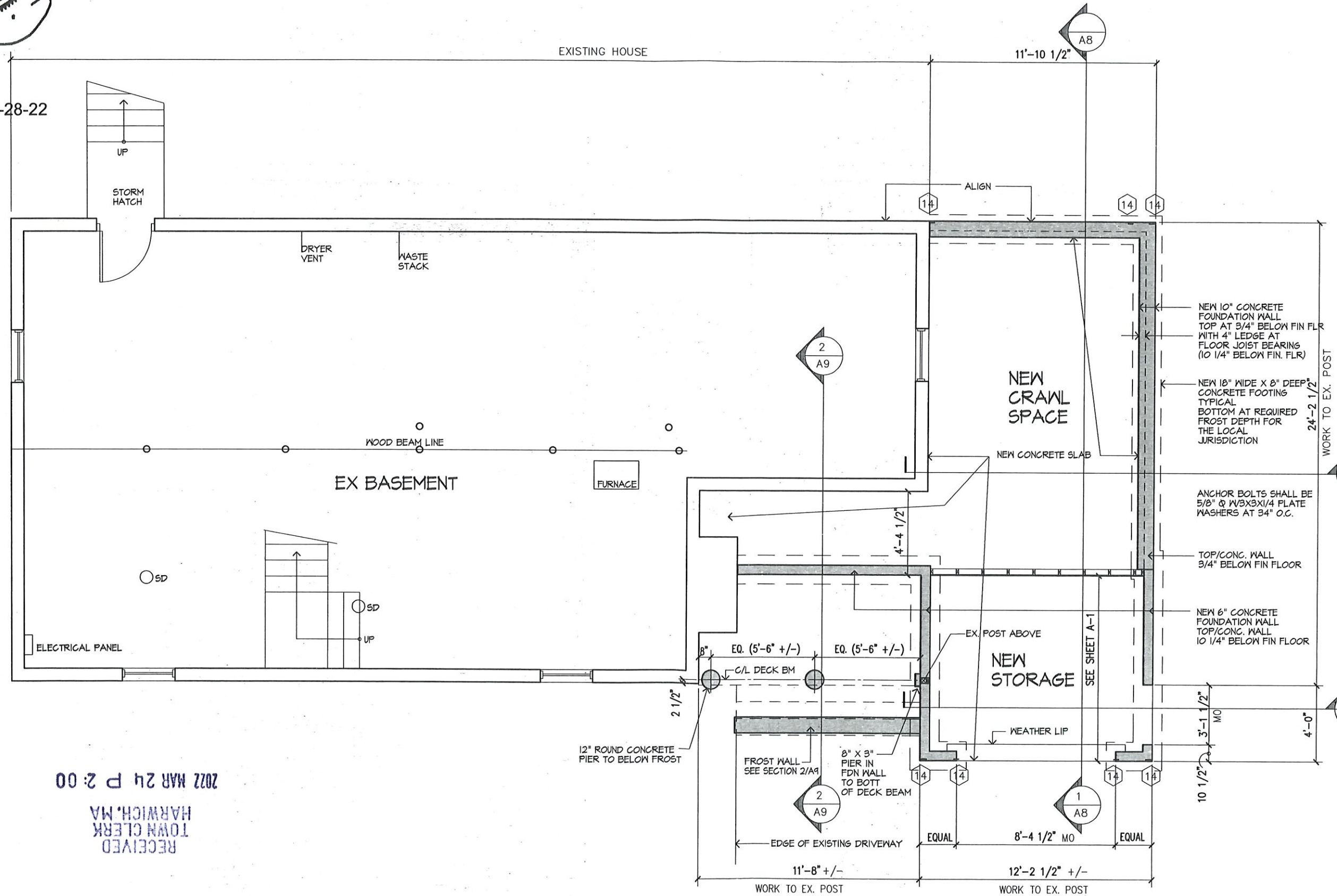
DATE: 2/19/2022

 SCALE: 3/16"=1'-0"

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PROPOSED MODIFICATIONS TO
16 RESTABIT ROAD
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EX. BASMT & NEW FOUNDATION PLAN

DATE: 2/19/2022

A=2

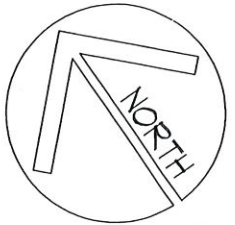
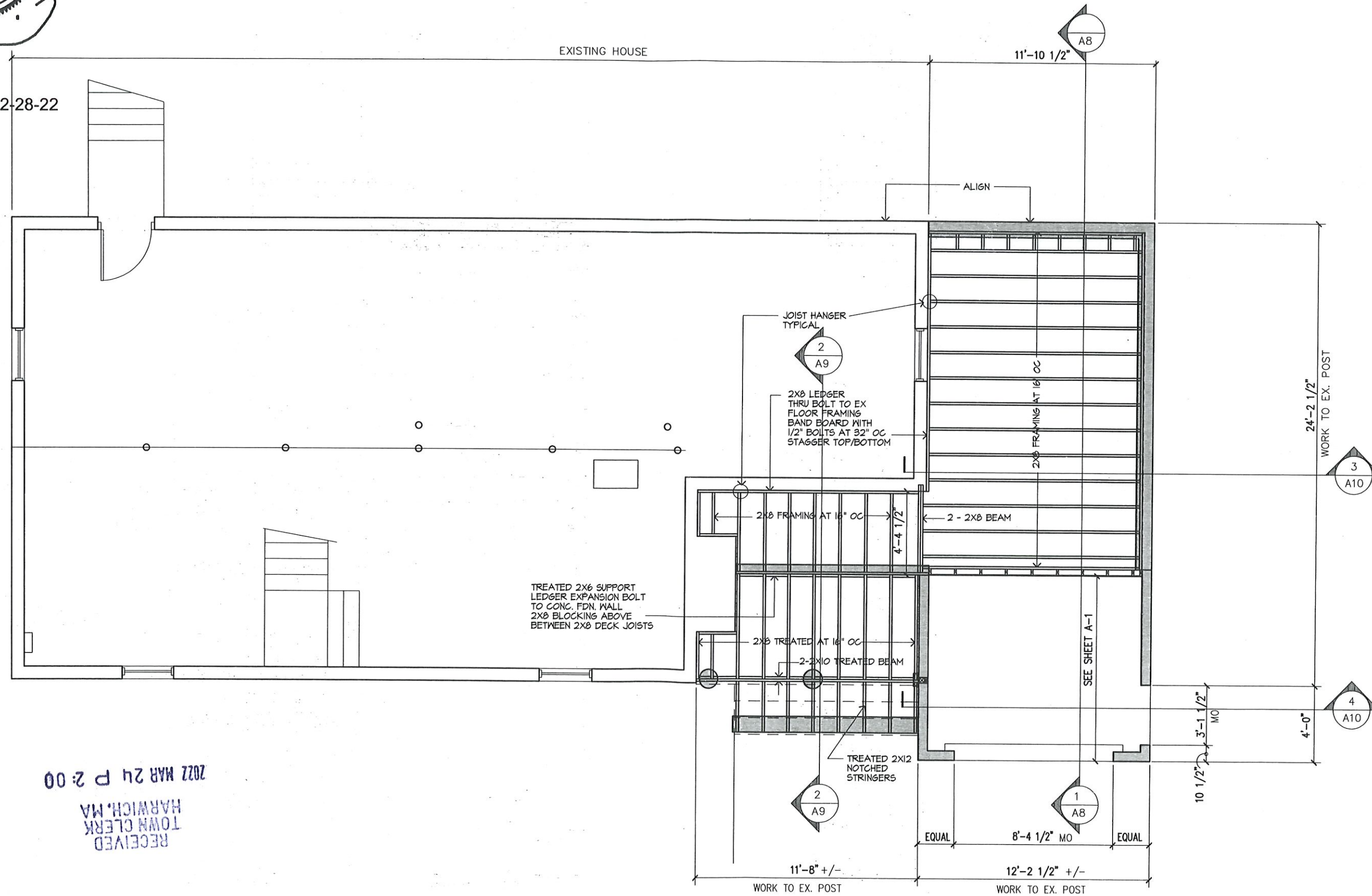
SCALE: 3/16"=1'-0"

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PROPOSED MODIFICATIONS TO
16 RESTABIT ROAD
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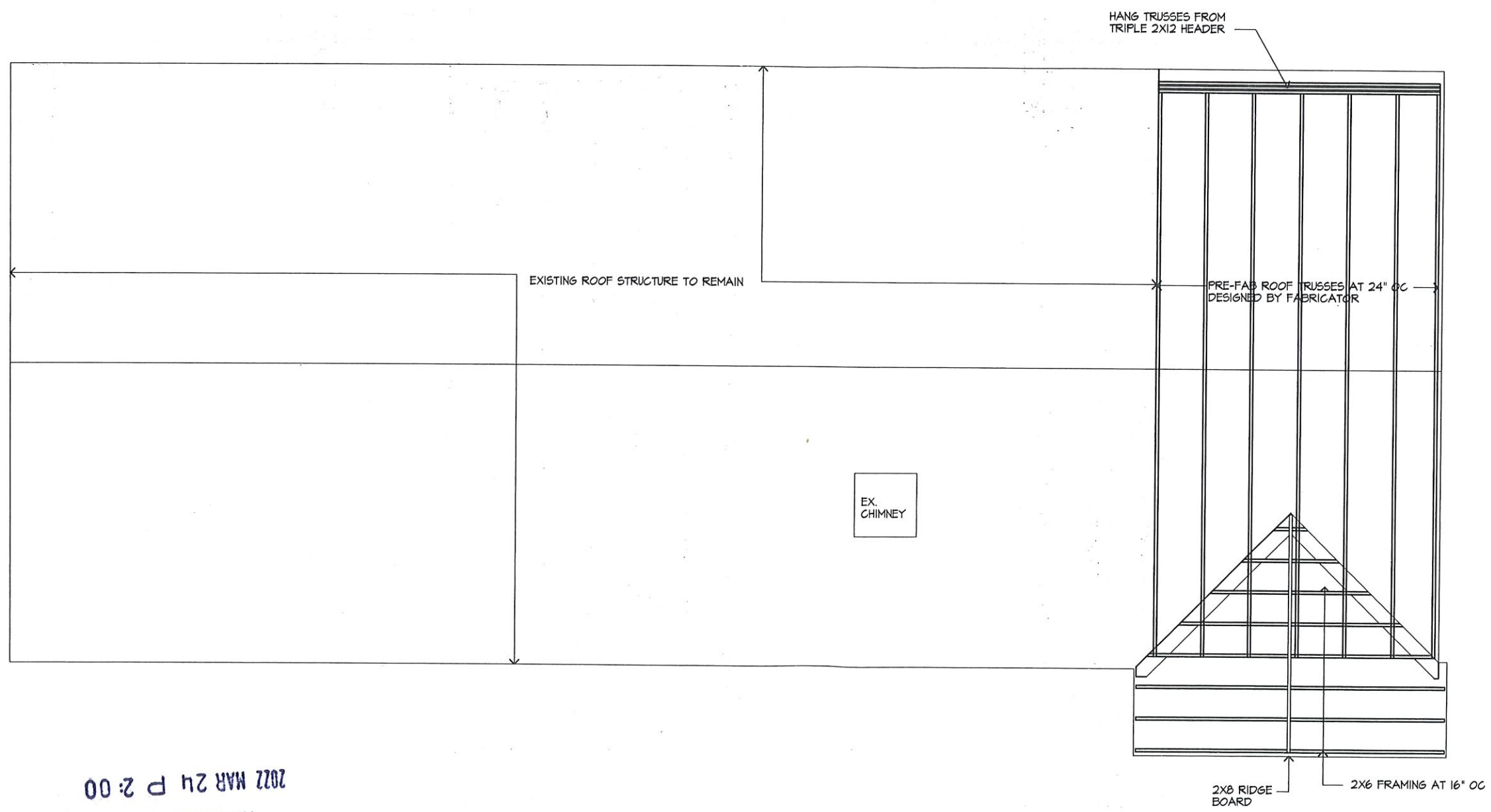
NEW FLOOR FRAMING

DATE: 2/19/2022

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SCALE: 3/16"=1'-0"

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 2022 MAR 24 P 2:00



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PROPOSED MODIFICATIONS TO
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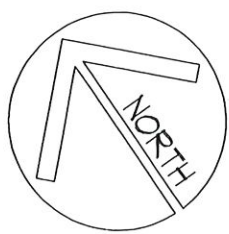
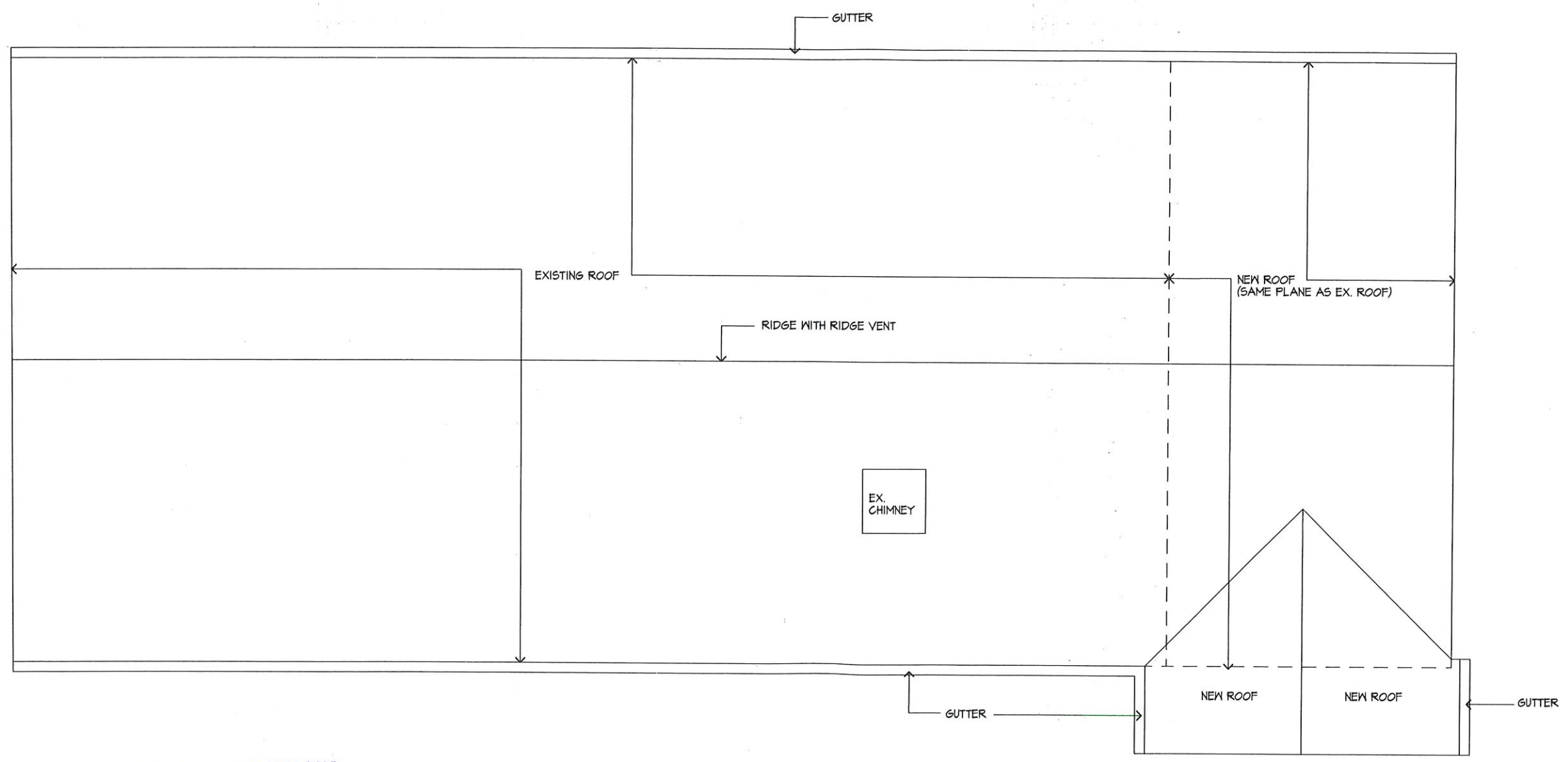
ROOF
 FRAMING
 PLAN

DATE: 2/21/2022

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SCALE: 3/16"=1'-0"

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 2022 MAR 24 P 2:00



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PROPOSED MODIFICATIONS TO
16 RESTABIT ROAD
 HARWICH, MA 02645

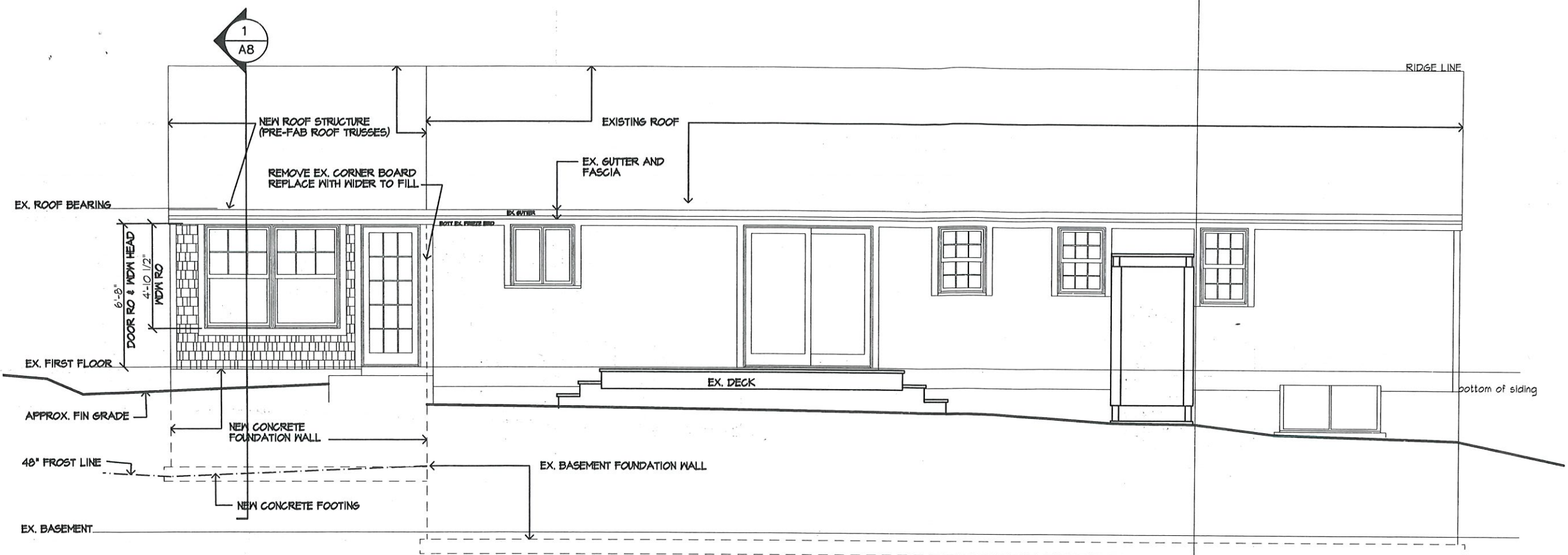
ROOF
 PLAN

DATE: 2/19/2022

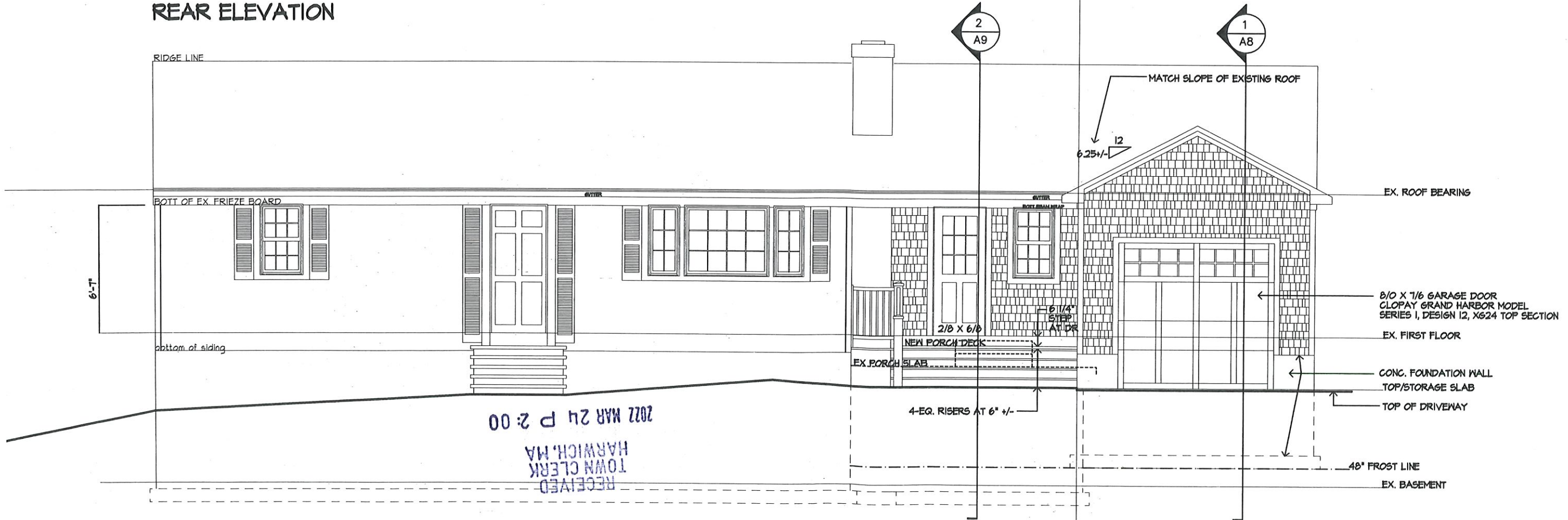
A-5

SCALE: 3/16"=1'-0"

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 2022 MAR 24 P 2:00



REAR ELEVATION



FRONT ELEVATION

REVISIONS:

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PROPOSED MODIFICATIONS TO
16 RESTABIT ROAD
 HARNICH, MA 02645

FRONT &
 REAR
 ELEVATIONS

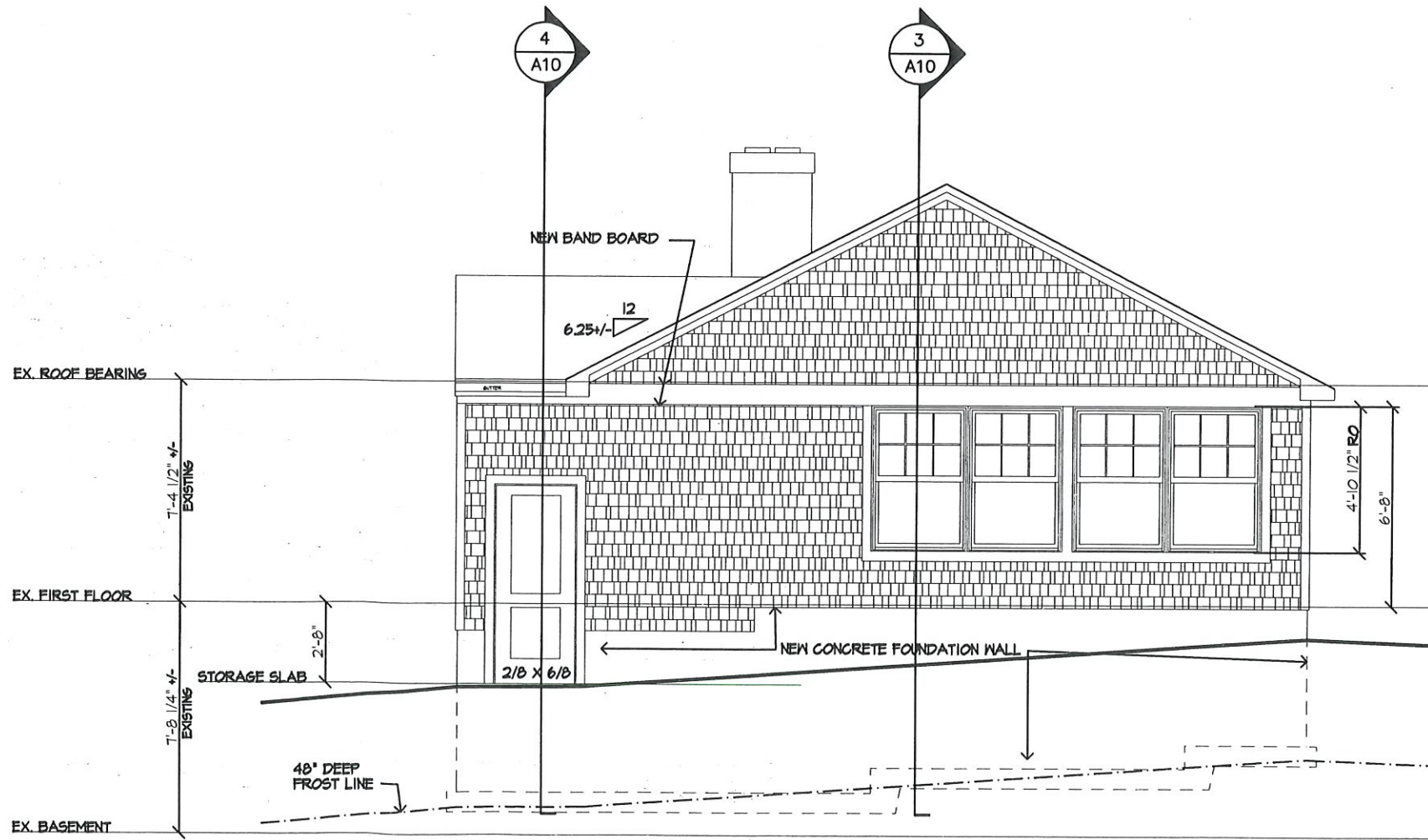
DATE: 2/19/2022

A-6

SCALE: 3/16"=1'-0"

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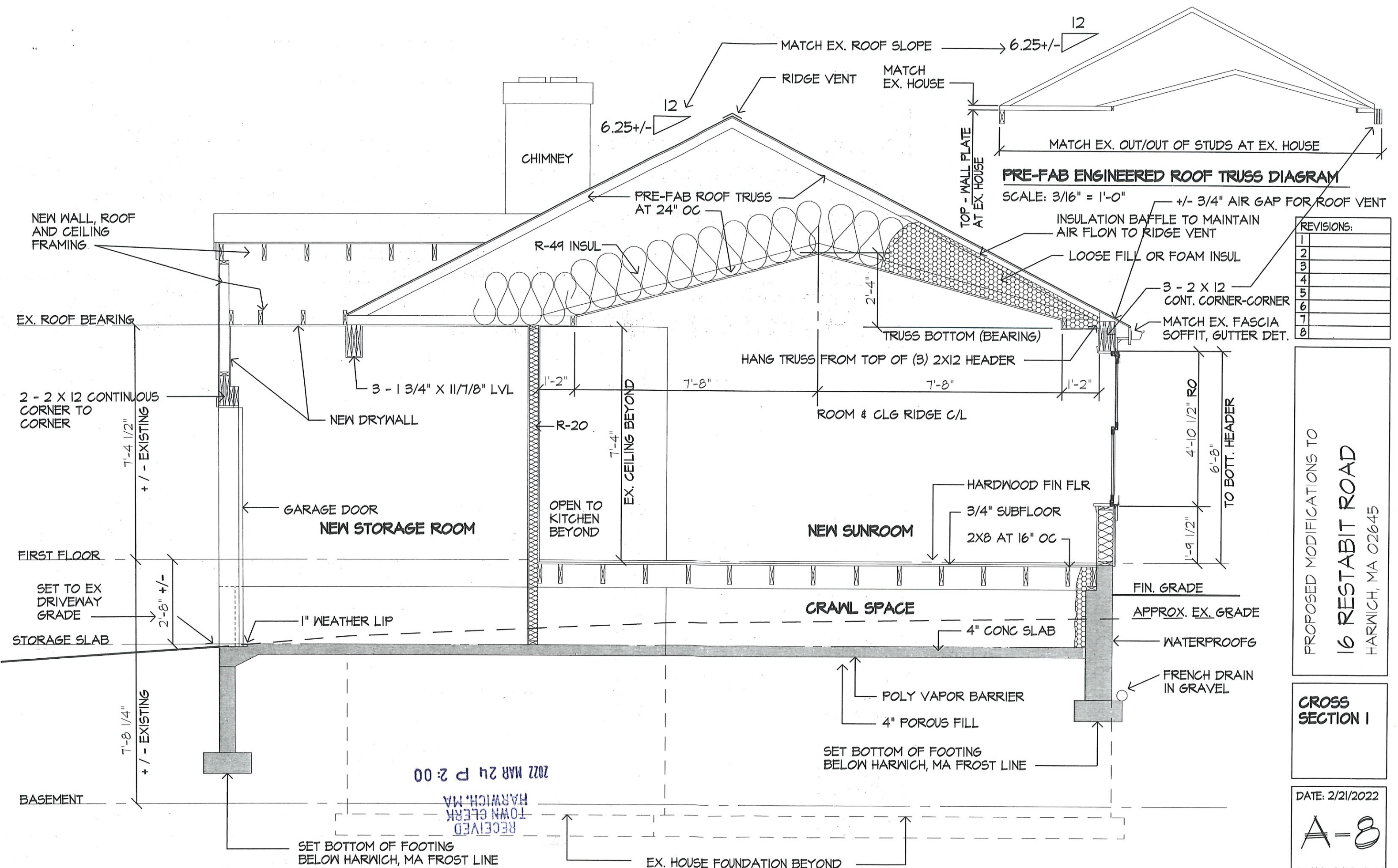


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PROPOSED MODIFICATIONS TO
16 RESTABIT ROAD
HARWICH, MA 02645

SIDE ELEVATION

DATE: 2/19/2022

 SCALE: 3/16"=1'-0"



PRE-FAB ENGINEERED ROOF TRUSS DIAGRAM

SCALE: 3/16" = 1'-0"

- +/- 3/4" AIR GAP FOR ROOF VENT
- INSULATION Baffle TO MAINTAIN AIR FLOW TO RIDGE VENT
- LOOSE FILL OR FOAM INSUL
- 3 - 2 X 12 CONT. CORNER-CORNER
- MATCH EX. FASCIA SOFFIT, GUTTER DET.

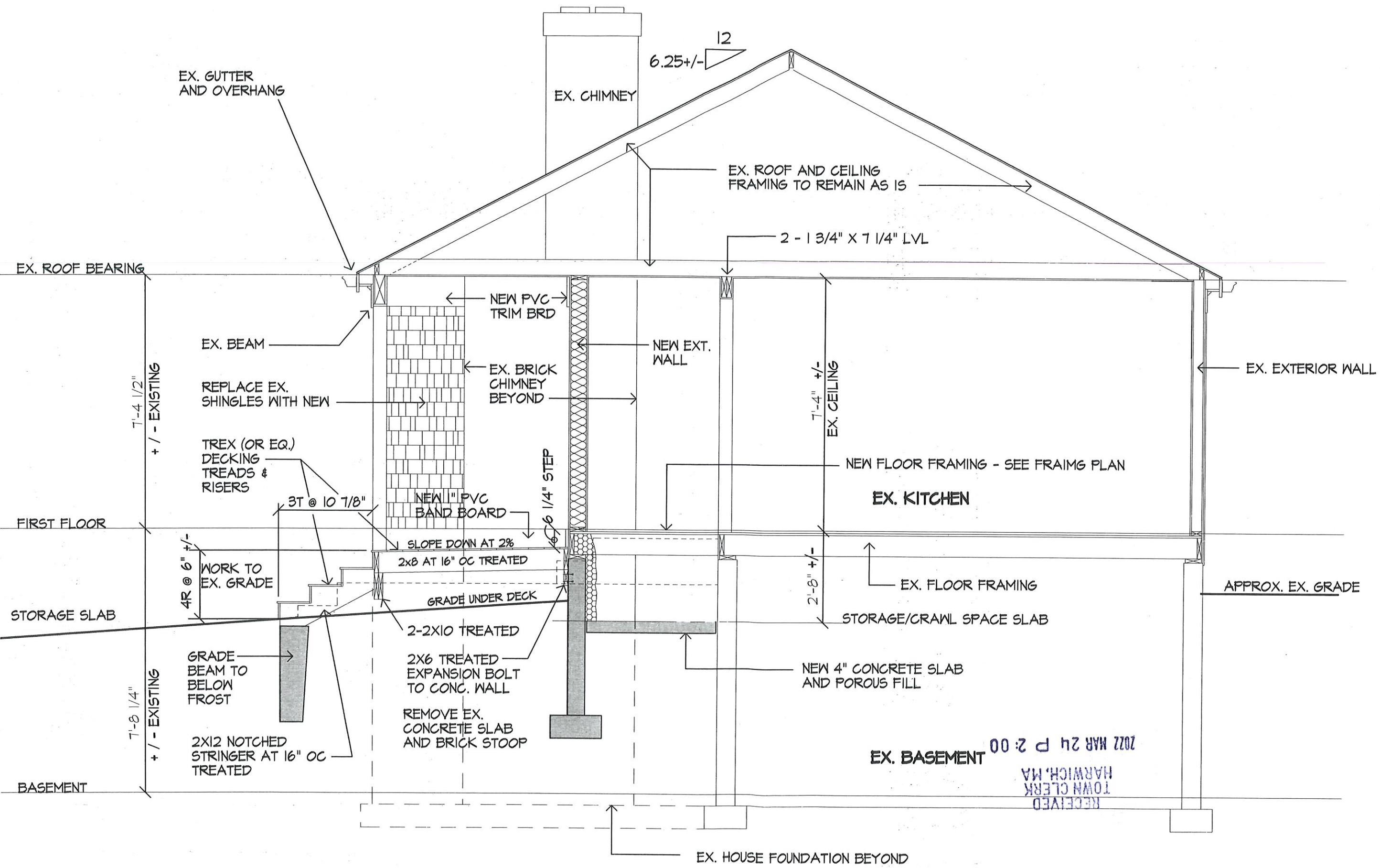
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PROPOSED MODIFICATIONS TO
16 RESTABIT ROAD
 HARWICH, MA 02645

CROSS SECTION I

DATE: 2/21/2022
 A-8
 SCALE: 3/8"=1'-0"

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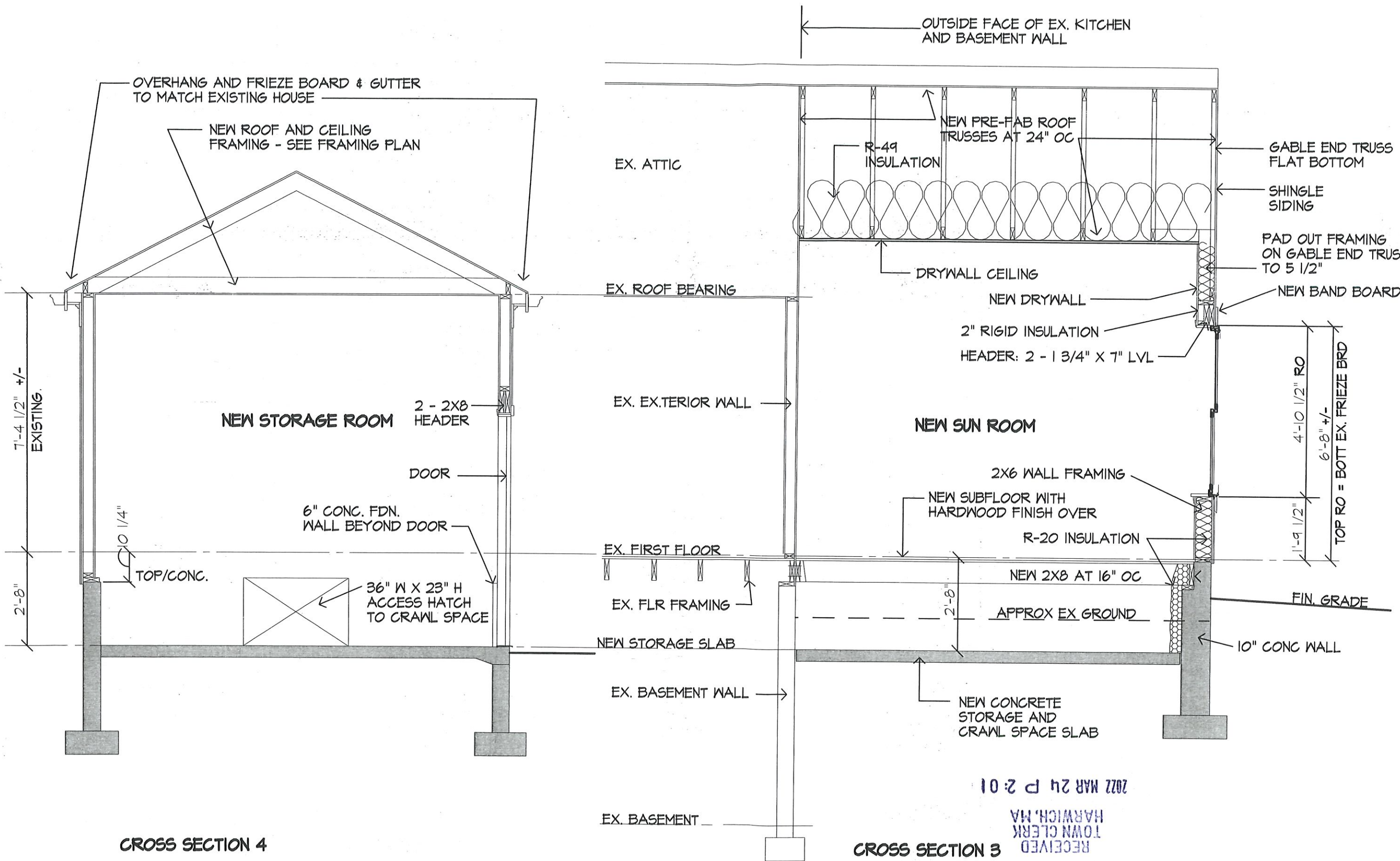
PROPOSED MODIFICATIONS TO
16 RESTABIT ROAD
 HARNICH, MA 02645

CROSS SECTION 2

DATE: 2/19/2022

 SCALE: 3/8" = 1'-0"

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 2022 MAR 24 P 2:00



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PROPOSED MODIFICATIONS TO
16 RESTABIT ROAD
 HARNICH, MA 02645

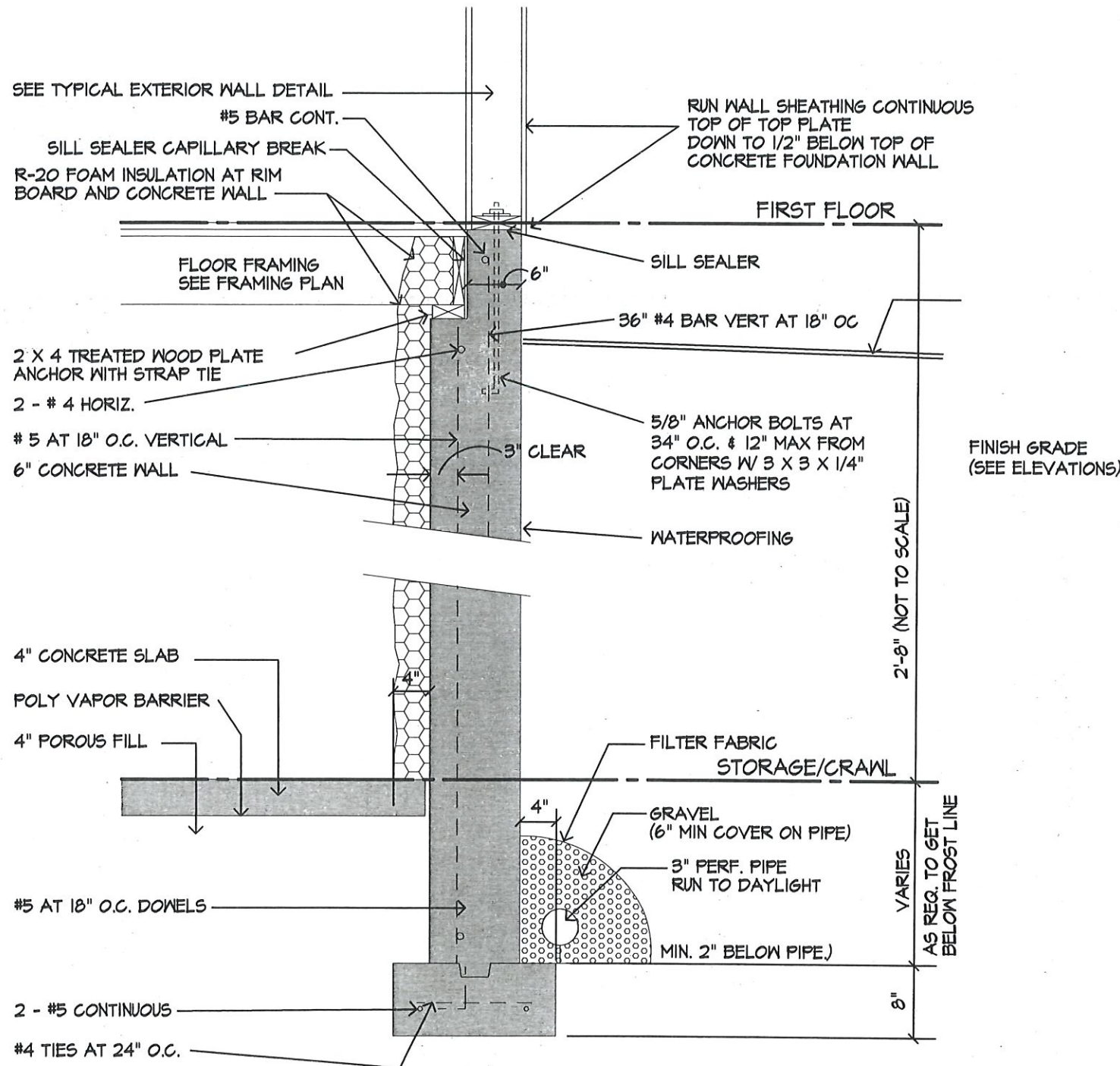
CROSS SECTION 3 AND 4

DATE: 2/19/2022

A=10

SCALE: 3/8"=1'-0"

RECEIVED
 TOWN CLERK
 HARNICH, MA
 2022 MAR 24 P 2:01



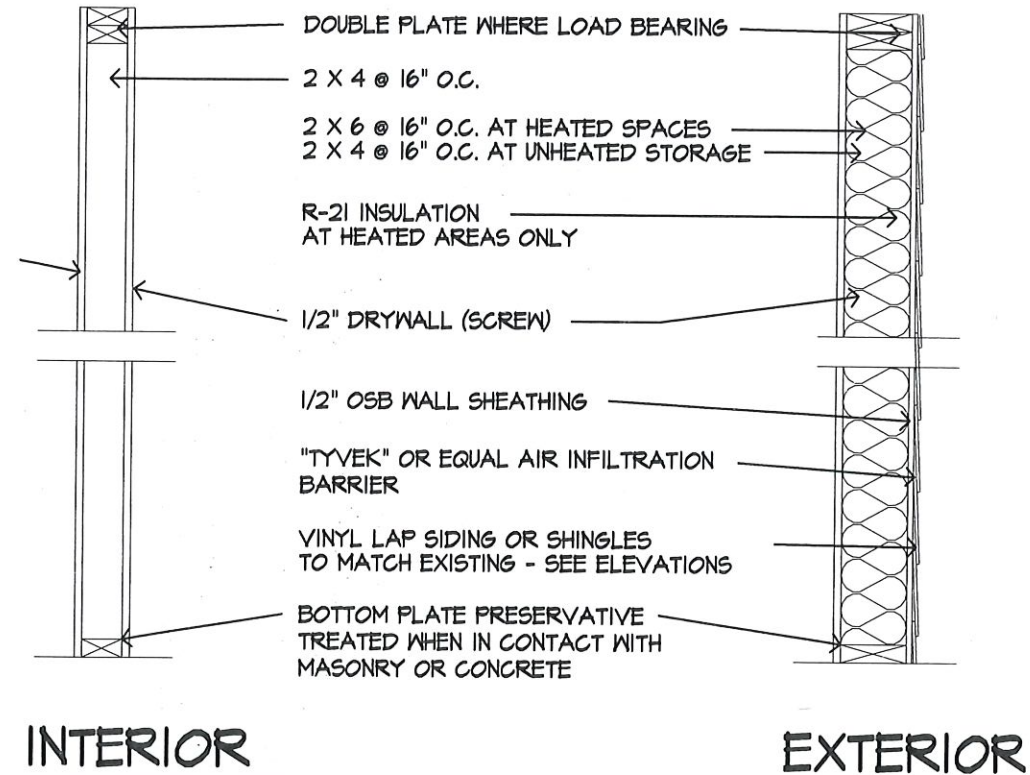
TYPICAL FOUNDATION WALL AT HEATED CRAWL SPACE

1
A-II

SCALE: 3/4" = 1'-0"

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2022 MAR 24 P 02:24



INTERIOR

EXTERIOR

2 TYPICAL WALL DETAILS

2
A-II

SCALE: 3/4" = 1'-0"

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PROPOSED MODIFICATIONS TO
16 RESTABIT ROAD
HARWICH, MA 02645

TYPICAL DETAILS

DATE: 2/19/2022

A=|||

SCALE: 3/8"=1'-0"

ADDITION 16 RESTABIT RD. HARWICH, MA

SUMMARY OF CONSTRUCTION REQUIREMENTS

STANDARD FRAMING CONNECTION REQUIREMENTS:
FOLLOW REQUIREMENTS OF TABLE 2 FROM WFCM MANUAL.

FLOOR CONSTRUCTION REQUIREMENTS:
FIRST TWO JOIST BAYS OF THE FLOOR FRAMING FROM EACH GABLE END TO BE BLOCKED WITH 2x4 BLOCKING OR 2x LUMBER 4-IN ON CENTER FOR THE LENGTH OF THE JOIST. SHEATHING TO BE NAILED IN ACCORDANCE WITH TABLE 2 (8 IN NAILS, 6" SPACING AT THE EDGES AND 12" SPACING IN THE FIELD).

EXTERIOR WALL REQUIREMENTS:
ALL EXTERIOR WALL STUDS TO BE 2x6 AT 16" ON CENTER. THE DOUBLE TOP PLATES ON THE EXTERIOR WALLS TO HAVE A MINIMUM SPLICE LENGTH OF 2 FEET AND SPLICES TO BE NAILED WITH 8-16d NAILS IN ACCORDANCE WITH TABLE 6 IN THE WFCM I10/8 BOOKLET.

ROOF FRAMING REQUIREMENTS:
RAFTER CONNECTION TO THE TOP PLATE REQUIRES SIMPSON HZ 9A HURRICANE CLIPS WITH 2x4 BLOCKING BETWEEN JOIST BAYS TO BE NAILED TO THE RAFTER AND TOP PLATE WITH 7-10d NAILS PER BAY. IF BLOCKING IS NOT DESIRED, SIMPSON H-10A OR H-10A HURRICANE CLIPS CAN BE SUBSTITUTED AND INSTALLED ON EVERY RAFTER WITHOUT BLOCKING. ALL CLIPS TO BE INSTALLED IN ACCORDANCE WITH SIMPSON REQUIREMENTS.
COLLAR TIES ARE REQUIRED IN THE UPPER THIRD OF THE ROOF RAFTERS AND ARE TO BE NAILED WITH (3) 10d NAILS PER SIDE OR USE SIMPSON L51A 1/2" STRAPS FROM RAFTER TO RAFTER OVER THE RIDGE BOARD.
ROOF SHEATHING TO BE NAILED USING 8d OR EQUIVALENT NAILS 6" ON CENTER AT THE EDGES, 6" ON CENTER IN THE FIELD. THE FIRST TWO BAYS BETWEEN RAFTERS ARE REQUIRED TO BE BLOCKED 4 FEET ON CENTER AT ALL GABLE ENDS PER THE WFCM.

LIMITATIONS AND CONTRACTOR RESPONSIBILITIES:
THE CONTRACTOR MUST REFER TO THE TABLES AND FIGURES WITHIN THE WFCM I10 HANDBOOK OR I8 BOOKLET FOR ILLUSTRATIONS AND REQUIREMENTS DISCUSSED WITHIN THIS SUMMARY. ALL CONNECTIONS AND NAILING MUST MEET THE REQUIREMENTS HEREIN AND AS ILLUSTRATED IN THE BOOKLET IN ORDER TO BE IN COMPLIANCE WITH THE BUILDING CODE. THE CONTRACTOR IS RESPONSIBLE TO ENSURE ALL CONNECTIONS, NAILING AND ANCHOR BOLTS ARE VISIBLE TO THE INSPECTOR AT THE TIME OF THE FRAMING INSPECTION/FOUNDATION INSPECTION. THE CONTRACTOR MUST REFER TO THE SIMPSON STRONG-TIE C-2014 CATALOG FOR ALL STRAP, HANGAR, AND TIE INSTALLATION REQUIREMENTS AND LIMITATIONS. THIS DOCUMENT AND THE ATTACHMENTS AS WELL AS A COPY OF THE WFCM BOOKLET MUST ACCOMPANY ALL SETS OF PLANS SUBMITTED TO THE BUILDING DEPARTMENT AND ISSUED TO THE CONTRACTOR/SUBCONTRACTORS UNLESS THE PLANS ARE UPDATED WITH NOTES AND DETAILS THAT REFLECT THE REQUIREMENTS STATED IN THIS DOCUMENT AND ATTACHMENTS.

AWC Guide to Wood Construction in High Wind Areas: 110 mph Wind Zone Massachusetts Checklist for Compliance (780 CMR 5301.2.1.1)

11 SCOPE	WIND SPEED (AS REQ.)	10 MPH	Y
	WIND EXPOSURE CATEGORY	B	Y
12 RFT. CLIP	MINOR OR 5' GUTS	1. STOKES S2 STOKES	Y
	POST FROM	1.5" x 12" x 12"	Y
	MIN. POST HEIGHT	12" R. S2"	Y
	POSTS ABOVE W	12" R. S2"	Y
	POSTS ABOVE L	2" x 4" x 4"	Y
	POSTS ABOVE R (1/2")	2" x 4" x 4"	Y
	NORMAL HEIGHT OF "ALLEST OPENING"	6" x 6"	Y
13 HEAVY CONNECTIONS	GENERAL CONNECTIONS WITH HEAVY CONNECTIONS		Y
21 JOIST/RAFTER	FOUNDATION WALLS NEET FLOOR OR 180 CMR 5404.1 CONCRETE		Y
22 ANCHORAGE TO FOUNDATION	5/8" ANCHOR BOLTS EMBEDDED 6" x 8" FROM FACE OF FOUNDATION. ANCHORS AS AN ALTERNATIVE IN CONCRETE ONLY		Y
	BOLT SPACING - GENERAL	24" ON C.	Y
	BOLT SPACING FROM END, JOINT OF PLATE	2" x 6" x 12"	Y
	SOLE PLATE - CONCRETE	2" x 2"	Y
	SOLE PLATE - CONCRETE	2" x 2" x 4"	Y
51 FLOORS	FLOOR FRAMING MEMBER SPAN CHECKED		Y
	MINIMUM FLOOR OPENING DIMENSION	0.8 x 12" R	Y
	FULL HEIGHT WALLS, LESS THAN FLOOR OPENINGS		Y
	LESS THAN 2' FROM EDGE OF WALL		Y
	MAX. FLOOR JOIST SPACING SUPPORTING	N/A R.S.	N/A
	LOAD BEARING OF BEAM WALLS		Y
	MAX. COLLARED JOIST SUPPORTING	N/A R.S.	N/A
	LOAD BEARING OF BEAM WALLS		Y
	FLOOR BEAMS AT EXTERIOR WALLS		Y
	FLOOR SHEATHING TIES		Y
	FLOOR SHEATHING BRACKETS	3/4"	Y
	FLOOR SHEATHING STRIPS		Y
	8" x 12" x 12" x 12" x 12"		Y
71 WALLS	WALL HEIGHT		Y
	LOAD BEARING WALLS	8" R. S2"	Y
	NON-LOAD BEARING WALLS	10" R. S2"	Y
	WALL STUD SPACING	16" x 16" x 16"	Y
	WALL STUD SPACING	16" x 16" x 16"	Y
81 EXTERIOR WALLS	WOOD STUDS		Y
	LOAD BEARING WALLS	2" x 6" x 7" R. S2"	Y
	NON-LOAD BEARING WALLS	2" x 6" x 7" R. S2"	Y
	CONCRETE WALL BRACKETS		Y
	FULL HEIGHT EXTERIOR WALLS		Y
	6" x 6" x 6" x 6"		Y
	1" x 3" COLLARS "STRIP STRIPS" 6" x 6" x 6" x 6" x 6" x 6"		Y
	3" COLLARS 4" x 4" SPACING FROM JOIST - MUST BE 6"		Y
	DOUBLE END JOINT		Y
	SOLE PLATE	2" R	Y
	SOLE PLATE	2" R	Y
	SPLICE CONNECTION (= 16d COMMON NAIL)		Y

THIS REVIEW WAS COMPLETED ON PLANS SUBMITTED BY SEANTHIEP AND WAS BASED ON THE FLOOR PLANS AND ELEVATIONS PROVIDED. ANY CHANGES TO THESE PLANS OR FIELD CHANGES MADE MAY RENDER THE REQUIREMENTS OUTLINED IN THIS DOCUMENT NULL AND VOID AND COULD RESULT IN NON-COMPLIANCE WITH THE REQUIREMENTS OF THE WIND DESIGN.

SHEARWALL PANEL NAILING SCHEDULE

6/12	1/2" x 16d WOOD NAIL WITH COMMON OR GALVANIZED POINT NAILS AT 6" O.C. AT THE EDGES AND 12" O.C. IN THE FIELD.
4/12	1/2" x 16d WOOD NAIL WITH COMMON OR GALVANIZED POINT NAILS AT 4" O.C. AT THE EDGES AND 12" O.C. IN THE FIELD.
5/12	1/2" x 16d WOOD NAIL WITH COMMON OR GALVANIZED POINT NAILS AT 5" O.C. AT THE EDGES AND 12" O.C. IN THE FIELD.

NOTE: 1. FOR FLUCCO SHEAR WALLS USE 8d COMMON OR GALVANIZED POINT NAILS AT 6" O.C. AT THE EDGES AND 12" O.C. IN THE FIELD. 2. FOR ALL OTHER SHEAR WALLS USE 16d COMMON OR GALVANIZED POINT NAILS AT 6" O.C. AT THE EDGES AND 12" O.C. IN THE FIELD. 3. ALL NAILS TO BE INSTALLED WITH 1/2" MIN. END DISTANCE AND 1/2" MIN. EDGE DISTANCE. 4. ALL NAILS TO BE INSTALLED WITH 1/2" MIN. END DISTANCE AND 1/2" MIN. EDGE DISTANCE.

SOLE PLATE CONNECTION SCHEDULE

CONNECTION TO FLOOR RIM BOARD

WALL TYPE	SOLE PLATE CONNECTION TO RIM BOARD
6/12	(3) - 16d COMMON NAILS PER 16"
4/12	(3) - 16d COMMON NAILS PER 16"
5/12	(4) - 16d COMMON NAILS PER 16"

CONNECTION TO CONCRETE FOUNDATION

FOUNDATION WALL PLATE CONNECTION TO CONCRETE

5/8" ANCHOR BOLTS AT 24" O.C.

NOTE: ALL ANCHOR BOLTS REFERENCED ABOVE TO BE 6" LONGER THAN THE MINIMUM REQUIRED LENGTH AND TO BE INSTALLED WITH 1/2" MIN. END DISTANCE AND 1/2" MIN. EDGE DISTANCE.

SHEARWALL CONSTRUCTION

- ALL SHEARWALLS TO HAVE DOUBLE TOP PLATES AND DOUBLE 2x6 STRIPS AT EACH END OF THE WALL.
- FACE-NAIL DOUBLE TOP PLATES WITH 16d NAILS AT 16" O.C.
- WELLS OF SHEARWALLS TO BE CONTINUED ABOVE AND BELOW ALL OPENINGS IN SHEARWALLS.
- MINIMUM DOUBLE 2x6 STRIPS AND FULL-FACE CORNER STUDS AT SHEARWALL ENDS WITH (2) 16d NAILS AT 6" O.C. FOR ALL SECOND FLOOR SHEARWALLS AND (2) 16d NAILS AT 4" O.C. STAGGERED JOISTS FOR FIRST FLOOR SHEARWALLS.

KING AND JACK STUD REQUIREMENTS

XX, X, X = # OF KING AND JACK STUDS AT OPENINGS. USE 2X, 1/2" IF NOT NOTED OTHERWISE.

CHECKLIST COVER SHEET

PROJECT: ADDITION

NO.	REVISION/ISSUE	DATE

PROJECT ADDRESS:
16 RESTABIT RD.
HARWICH, MA



McKENZIE ENGINEERING CONSULTANTS
P.O. BOX 1879
44 UNDERPASS RD UNIT 2
BRENTSTER, MA 02631
(774) 353-2144



238-22

JOB# 22-027	SHEET
DATE 02-10-2022	CS1.0
SCALE NONE	

RECEIVED
TOWN CLERK
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