



MEMORANDUM

Date: March 21, 2022

Project No. C19754.00

To: Town of Harwich
Planning Department
732 Main Street
Harwich, MA 02645

From: Bryan Weiner, P.E., Coastal Engineering Co. (CEC)

cc: Christopher W. Raber, S.V.P./Chief Real Estate Officer, The Cape Cod Five Cents Savings Bank
Sean Riley, P.E., CFM, Chief Operations Officer (CEC)

**RE: Narrative for Planning Board Application, Site Plan Review
The Cape Cod Five Cents Savings Bank – 129 Route 137, Harwich
Proposed Site Improvements**

Coastal Engineering Co., Inc. (CEC) completed a Proposed Site Improvements Plan and Site Details for The Cape Cod Five Cents Savings Bank at 129 Route 137 in Harwich. The proposed project site improvements provide reconfiguration at the drive thru/atm. A new third lane access is proposed which will improve circulation to help with vehicles backed up in the cue.

We are also concurrently proposing to relocate an existing ADA stall to a new location that provides improved ADA access. We are proposing to move the ADA stall from the north side of the building to the west side of the building.

There is no change to the number of parking spaces and there is no change in use for the property. There are no wetlands or flood zone on the property. The proposed grading along the existing retention/detention basin side slopes will result in no net change by increasing the surface area at each elevation and associated volume, which improves upon and exceeds the existing condition. There is no proposed work for the building structure.

We are submitting in accordance with the Harwich Zoning Bylaw Section 325-55.F Waiver of Site Plan, because the proposed site improvements do not substantially change the relationship of the structure to the site and to abutting properties and structures.

Enclosures:

- (1). C1.2.1 Limited Existing Conditions Plan
- (2). C2.1.1 Proposed Site Improvements
- (3). C2.4.1 Site Detail

PART B – PROJECT LOCATION

Legal Street Address	129 Route 137	Village/Zip Code	East Harwich/02645
Title Book/Page or L.C.C. #	Cert # 119032 / LCP 39774^H		
Map(s) / Parcel(s)	87 / U3-67		
Zoning & Overlay Districts	C-H-2, Zone II	*Historic?	N/A
Frontage (linear feet)	479		
Total land area (s.f.)	63,619 SF +/-		
Upland (s.f.)	63,619 SF +/-	Wetlands (s.f.)	No Wetlands

PART C – PROJECT DESCRIPTION

Existing Floor Area in Sq. Ft	Gross: Existing Building	Net: Existing Building
Proposed Floor Area in Sq. Ft	Gross: No Change	Net: No Change
Change in Sq. Ft + / -	Gross: No Change	Net: No Change
Existing # of parking spaces	24	Proposed # of parking spaces: 24
Existing Use(s)	Bank/Financial Services	
Proposed Use(s)	See attached narrative	
<i>Attach a separate narrative if necessary.</i>		

The undersign hereby files an application with the Harwich Planning Board for the following special permits as proposed under the provisions of the Harwich Zoning Code: **(check all that apply)**

Site Plan Review § 325-55:

- Any floor area expansion of any structure or expansion of exterior space, other than parking, serving any of the following: commercial, industrial, multi-family or educational use or personal wireless service facility or the creation of a drive-up or drive-through window
- Expansion or reconfiguration of an existing parking lot and/or driveway(s) serving said parking lot.
- Establishment of any new commercial, industrial, multi-family, educational, fast food/take out restaurant or personal wireless service facility.
- Establishment of any new retail use(s) in the Industrial (IL) Zone.
- Waiver of Site Plan § 325-55.F

Article V, Use Regulations:

- Paragraph____, sub-paragraph #____
- Paragraph____, sub-paragraph #____
- Paragraph____, sub-paragraph #____, supplemental regulation #____ § 325-14

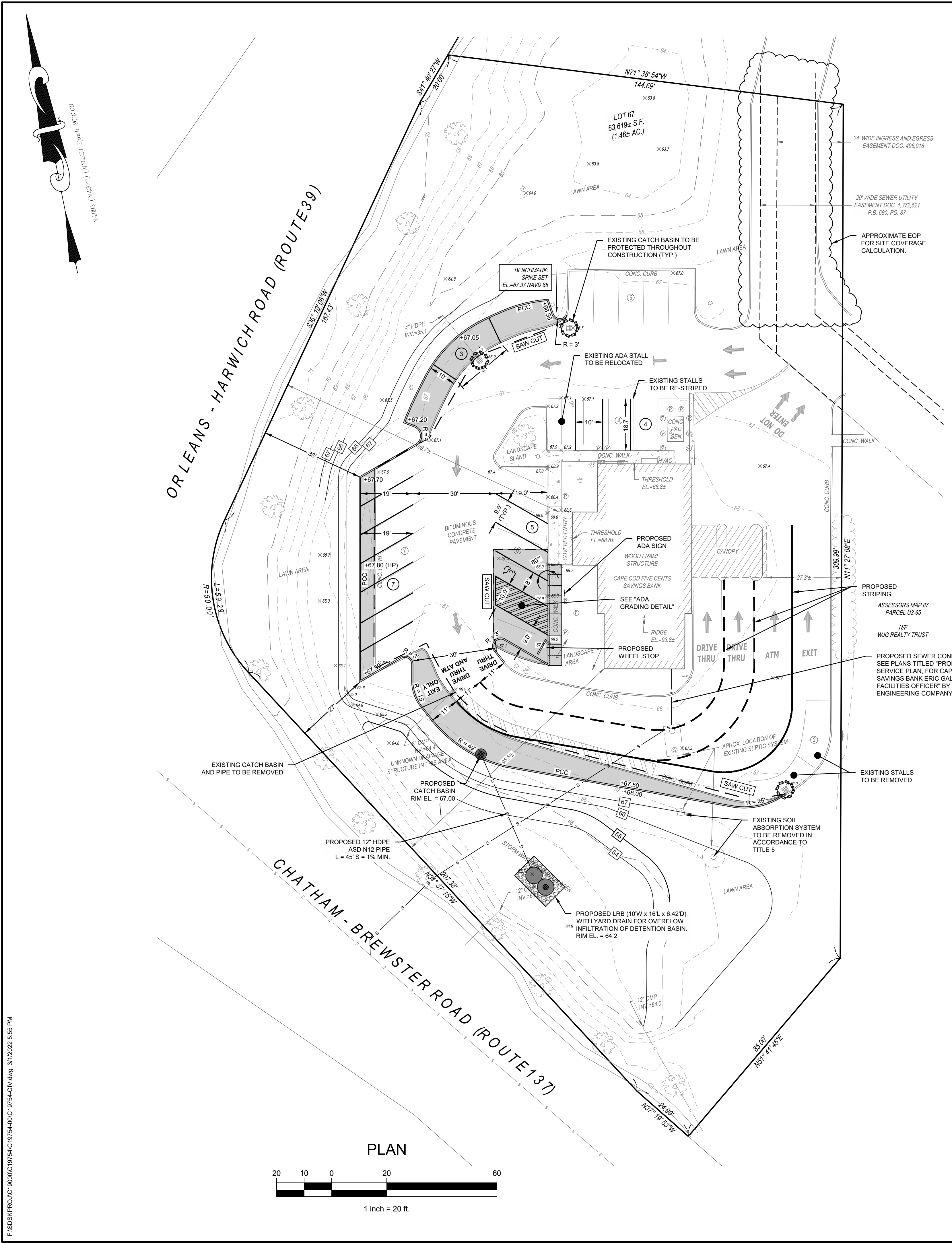
Article X, Special Permits:

- Structures w/ gross floor area of 7,500+ s.f. § 325-51
- Structures requiring 20 or more new parking spaces § 325-51
- Accessory Apt./Shared Elderly Housing § 325-51.H
- Mixed Use § 325-51.M
- Drinking Water Resource Protection § 325-51.C
- Two Family § 325-51.N
- Village Commercial, Harwich Port § 325-51.L
- *Harwich Center Overlay § 325-51.O
- Signage § 325-27.F Additional Cluster, Excess SF, Non-entry Facades

Other Special Permits:

- Six Ponds Special District - Article XVI
- Wind Energy Systems - Article XVIII
- Large Scale Wind Generation – Article XIX
- Other (i.e. Alternate Access § 325-18.P, Special Cases § 325-44.B) _____
- Repetitive Petition (MGL Ch 40A, §16): Proposed project evolved from a previously denied plan submitted to the Planning Board on _____ Year/Case # _____

**Note: Projects within the Harwich Center Overlay District may also be within the Harwich Center Historic District. This requires separate filing with the Historic District and Historical Commission. Please inquire for forms and instructions.*



ZONING TABLE - CH-2

SUBJECT: ASSESSORS MAP 87 PARCEL U3-67	REQUIRED	EXISTING	PROPOSED
LOT AREA	50,000 S.F.	63,619± S.F.	NO CHANGE
FRONTAGE	150 FT.	479 FT.	NO CHANGE
FRONT SETBACK	50 FT.	95.5± FT.	NO CHANGE
SIDE SETBACK	25 FT.	119.2± FT.	NO CHANGE
REAR SETBACK	25 FT.	27.3± FT.	NO CHANGE
BUILDING COVERAGE	30%	5% (3,227± S.F.)	NO CHANGE
SITE COVERAGE	70%	41% (25,855± S.F.)	44% (28,023± S.F.)
BUILDING HEIGHT	2½ STORY OR 30 FT.	25.4± FT.	NO CHANGE

PARKING TABLE

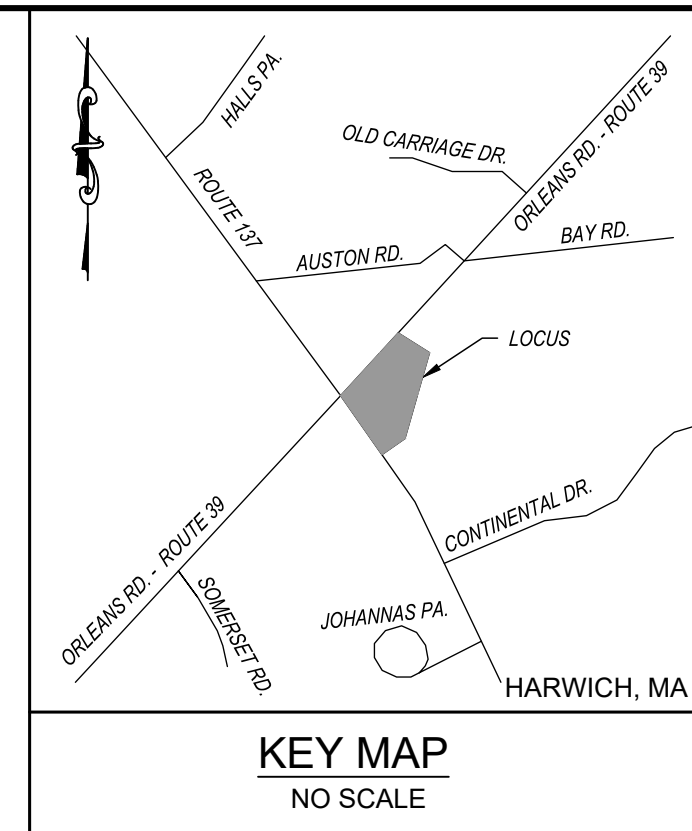
USE	REQUIRED USE	EXISTING USE	PROPOSED USE	MIN. REQUIRED STALLS
BANK	1 PER EMPLOYEE 1 PER 250 S.F. FLOOR AREA	8 EMPLOYEES 2,625 S.F. FLOOR AREA	NO CHANGE	19 SPACES
ACCESSIBLE STALLS	PER 15-25 STALLS 1 MIN OR 5% OF TOTAL			24 TOTAL (INCLUDING 1 VAN ACCESSIBLE STALL)

RETENTION POND AREA BY ELEVATION

ELEVATION (FT)	EXISTING	PROPOSED	CHANGE
64	3,311± S.F.	4,420± S.F.	1,109± S.F.
65	8,323± S.F.	8,330± S.F.	7± S.F.
66	13,601± S.F.	13,807± S.F.	206± S.F.
CUMULATIVE AREA	25,235± S.F.	26,557± S.F.	1,322± S.F.

RETENTION POND VOLUME BY ELEVATION

ELEVATION (FT)	EXISTING	PROPOSED	CHANGE
64	0± C.F.	0± C.F.	0± C.F.
65	5,817± C.F.	6,375± C.F.	558± C.F.
66	10,962± C.F.	11,069± C.F.	107± C.F.
CUMULATIVE VOLUME	16,779± C.F.	17,444± C.F.	665± C.F.



REFERENCE:
ASSESSORS MAP 87, PARCEL U3-67
CTF. #119032
L.C.P. 39774¹
DOC. 496.018
DOC. 500.787
DOC. 1,372,521

- NOTES:**
- VERTICAL DATUM IN U.S. SURVEY FEET REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BASED UPON THE HEXAGON SMARTNET RTK NETWORK.
 - THIS PLAN IS THE RESULT OF AN INSTRUMENT SURVEY PERFORMED ON 10-29-2021.
 - EXISTING UTILITIES, UNDERGROUND AND OVERHEAD, MAY EXIST IN ADDITION TO THE UTILITY INFORMATION SHOWN ON THESE PLANS. THIS PLAN MUST NOT BE USED TO LOCATE UNDERGROUND UTILITIES. CALL DIG SAFE AT 811 PRIOR TO STARTING ANY EXCAVATION.
 - THE SUBJECT PREMISES AS SHOWN LIES WITHIN FLOOD ZONE X, AS INDICATED ON FLOOD INSURANCE RATE MAP NUMBER 25001C0609J FOR BARNSTABLE COUNTY MASSACHUSETTS WITH AN EFFECTIVE DATE OF JULY 16, 2014.
 - THIS SURVEY HAS BEEN PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH AND MAY NOT REVEAL ANY FACTS THAT WOULD BE DISCLOSED BY ONE.
 - THE LIMITS OF THE SURVEY ARE WITHIN THE PARKING AND DRIVE-THRU AREA AND APPROXIMATELY 30 FEET SOUTH OF THE DRIVE-THRU APPROACH LANE.
 - REFER TO PLAN BOOK 680, PAGE 87 FOR TEMPORARY SEWER CONSTRUCTION EASEMENTS (NOT PLOTTED).

LEGEND

EXISTING	PROPOSED
(MISC. SIGN)	(MISC. SIGN)
(P) POST	(S) SEPTIC MANHOLE
(F) FLAG POLE	(CB) CATCH BASIN
(S) SEPTIC MANHOLE	(60) MAJOR CONTOUR
(CB) CATCH BASIN	(65) MINOR CONTOUR
(IV) IRRIGATION VALVE	(+67.50) SPOT ELEV.
(EM) ELECTRIC METER	(D) DRAIN PIPE
(GM) GAS METER	(S) SEWER PIPE
(65) CONTOUR	(5) PARKING SPACE COUNT
(+67.3) SPOT ELEV.	(E) EROSION CONTROL
(T) DECIDUOUS TREE	(CC) CONCRETE CURB
(D) DRAIN PIPE	(VCC) VERTICAL CONCRETE CURB
(5) PARKING SPACE COUNT	(FCC) FLUSH CONCRETE CURB
	(- - -) SAW CUT

260 Cranberry Hwy, Orleans, MA 02653
508-255-6511 P 508-255-6700 F

CAPE COD FIVE CENTS SAVINGS BANK

129 ROUTE 137
SHEET TITLE

PROPOSED SITE IMPROVEMENTS

SCALE 1"=20'

DRAWING FILE C19754-CIV.dwg

DATE 03-03-2022

DRAWN BY DAV

CHECKED BY SMR/BJW

C2.1.1

1 OF 2 SHEETS

PROJECT NO. C19754.00

ISSUED FOR PERMITTING ONLY
NOT FOR CONSTRUCTION

F:\SDSKPROJ\C19754\C19754-CIV.dwg 3/1/2022 5:55 PM



March 23, 2022

Project #C19754.00

Town of Harwich
Attn: Planning Board
732 Main Street
Harwich, MA 02645

Re: Waiver of Site Plan Review Request Filing Package
Proposed Site Improvements
Cape Cod Five Cents Savings Bank
129 Route 137
Harwich, MA
Map 87, Parcel U3-67

Dear Members of the Board,

On behalf of our client, Cape Cod Five Cents Savings Bank, we are submitting two (2) copies of a Site Plan Review Waiver Request Application Filing Package, an original check for municipal filing, and eleven (11) copies of the plan for the above referenced project. The following items are enclosed:

- Form A – Site Plan Review Application (Waiver of Site Plan request)
- Project Narrative
- Municipal Lien Certificate
- Certified Abutters List
- Waiver of Site Plan Review filing fee in the amount of \$315.00
- Coastal Engineering Co., Inc. Limited Existing Conditions Plan, Dated 12/2/2021
- Coastal Engineering Co., Inc. Plan Showing Proposed Site Improvements, Sheets C2.1.1 and C2.4.1, Dated 03/22/2022

If you would, please schedule this for the next available Planning Board meeting. If you have any questions or require additional information, please give our office a call. Thank you.

Sincerely,

COASTAL ENGINEERING CO., INC.

Carla A. Davis

Enclosures: as stated

cc: Chris Raber, Cape Cod Five Cents Savings Bank
Bryan J. Weiner, Project Manager