

MEMORANDUM

Date: March 21, 2022 Project No. C19754.00

To: Town of Harwich
Planning Department
732 Main Street
Harwich, MA 02645

From: Bryan Weiner, P.E., Coastal Engineering Co. (CEC)

cc: Christopher W. Raber, S.V.P./Chief Real Estate Officer, The Cape Cod Five Cents Savings Bank

Sean Riley, P.E., CFM, Chief Operations Officer (CEC)

RE: Narrative for Planning Board Application, Site Plan Review

The Cape Cod Five Cents Savings Bank — 129 Route 137, Harwich

Proposed Site Improvements

Coastal Engineering Co., Inc. (CEC) completed a Proposed Site Improvements Plan and Site Details for The Cape Cod Five Cents Savings Bank at 129 Route 137 in Harwich. The proposed project site improvements provide reconfiguration at the drive thru/atm. A new third lane access is proposed which will improve circulation to help with vehicles backed up in the cue.

We are also concurrently proposing to relocate an existing ADA stall to a new location that provides improved ADA access. We are proposing to move the ADA stall from the north side of the building to the west side of the building.

There is no change to the number of parking spaces and there is no change in use for the property. There are no wetlands or flood zone on the property. The proposed grading along the existing retention/detention basin side slopes will result in no net change by increasing the surface area at each elevation and associated volume, which improves upon and exceeds the existing condition. There is no proposed work for the building structure.

We are submitting in accordance with the Harwich Zoning Bylaw Section 325-55.F Waiver of Site Plan, because the proposed site improvements do not substantially change the relationship of the structure to the site and to abutting properties and structures.

Enclosures:

- (1). C1.2.1 Limited Existing Conditions Plan
- (2). C2.1.1 Proposed Site Improvements
- (3). C2.4.1 Site Detail

TOWN OF HARWICH PLANNING DEPARTMENT

PLANNING BOARD APPLICATION

SPECIAL PERMITS & SITE PLAN REVIEW

FORM A

TO THE TOWN CLERK, HARWICH, MA

DATE 3/17/2022

PART A – APPLICANT IN	FORMATION/AUTHORIZATION
Applicant Name(s)	Cape Cod Five Cents Savings Bank
Representative/Organization (Who will serve as the primary contact responsible for facilitating this application?)	Bryan J. Weiner, P.E. Coastal Engineering Co., Inc.
Mailing address	260 Cranberry Highway
Town, ST, Zip	Orleans, MA 02653
Phone	508-255-6511
Fax	508-255-6700
E-mail	BWeiner@coastalengineeringcompany.com
☐ Tenant* ☐ Other**Written permission of the owner(s) and a murequired.	tepresentative for Owner/Tenant/Buyer* unicipal lien certificate (where applicable) is the Harwich Code Chapter 400, Rules and Regulations
application is true and accurate; that you agree laws and the terms and conditions of any approperty for the duration of the consideration of the considerat	your knowledge, that the information submitted in this to fully comply with the Town of Harwich Zoning Bybroval of this application by the Planning Board; and and/or Town Staff to visit and enter upon the subjection his application.
	HE OFFICER C CAPE GOD 5
Owner(s) – Authorization must accompany applic	
Official use only:	
PLANNING DEPARTMENT	TOWN CLERK

Case #

PART B - PROJECT LOCATION

Legal Street Address	129 Route 137	Village/Zip Code East Harwich/02645
Title Book/Page or L.C.C. #	Cert # 119032 / LCP 397	74 ^H
Map(s) / Parcel(s)	87 / U3-67	
Zoning & Overlay Districts	C-H-2, Zone II	*Historic? N/A
Frontage (linear feet)	479	
Total land area (s.f.)	63,619 SF +/-	
Upland (s.f.)	63,619 SF +/-	Wetlands (s.f.) No Wetlands

PART C – PROJECT DESCRIPTION

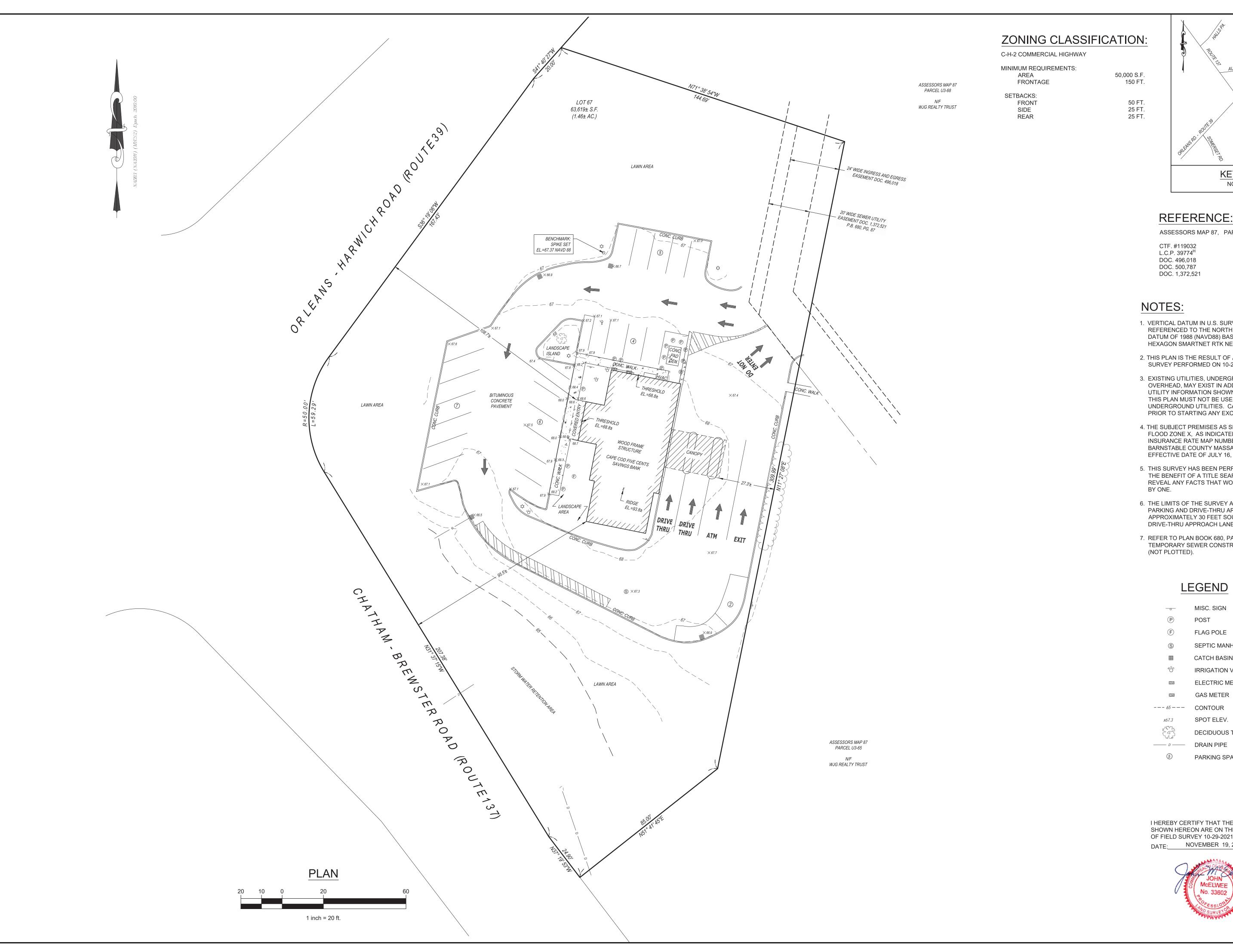
Existing Floor Area in Sq. Ft	Gross: Existing Building	Net: Existing Building
Proposed Floor Area in Sq. Ft	Gross: No Change	Net: No Change
Change in Sq. Ft + / -	Gross: No Change	Net: No Change
Existing # of parking spaces	24 Proposed # of	parking spaces: 24
Existing Use(s)	Bank/Financial Services	
Proposed Use(s)		
Attach a separate narrative if necessary.	See attached narrative	

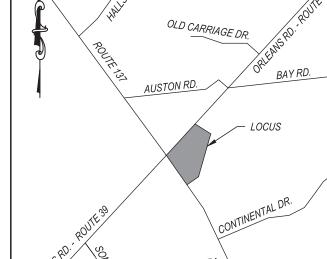
The undersign hereby files an application with the Harwich Planning Board for the following special permits as proposed under the provisions of the Harwich Zoning Code: (check all that apply)

Site Plan Review	§	325-	55	:
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☐Any floor area expansion of any structure or expansion of exterior space, other than parking,
serving any of the following: commercial, industrial, multi-family or educational use or personal wireless
service facility or the creation of a drive-up or drive-through window
□Expansion or reconfiguration of an existing parking lot and/or driveway(s) serving said parking lot.
☐ Establishment of any new commercial, industrial, multi-family, educational, fast food/take out
restaurant or personal wireless service facility.
☐ Establishment of any new retail use(s) in the Industrial (IL) Zone.
☑ Waiver of Site Plan § 325-55.F
Article V, Use Regulations:
☐ Paragraph, sub-paragraph # ☐ Paragraph, sub-paragraph #
☐ Paragraph, sub-paragraph #, supplemental regulation # § 325-14
Article X, Special Permits:
☐ Structures w/ gross floor area of 7,500+ s.f. § 325-51
☐ Structures requiring 20 or more new parking spaces § 325-51
☐ Accessory Apt./Shared Elderly Housing § 325-51.H ☐ Mixed Use § 325-51.M
☐ Drinking Water Resource Protection § 325-51.C ☐ Two Family § 325-51.N
☐ Village Commercial, Harwich Port § 325-51.L ☐ *Harwich Center Overlay § 325-51.O
☐ Signage § 325-27.F Additional Cluster, Excess SF, Non-entry Facades
Other Special Permits:
☐ Six Ponds Special District - Article XVI
☐ Wind Energy Systems - Article XVIII ☐ Large Scale Wind Generation – Article XIX
☐ Other (i.e. Alternate Access § 325-18.P, Special Cases § 325-44.B)
☐ Repetitive Petition (MGL Ch 40A, §16): Proposed project evolved from a previously denied plan
submitted to the Planning Board onYear/Case #

^{*}Note: Projects within the Harwich Center Overlay District may also be within the Harwich Center Historic District. This requires separate filing with the Historic District and Historical Commission. Please inquire for forms and instructions.





KEY MAP NO SCALE

REFERENCE:

ASSESSORS MAP 87, PARCEL U3-67

- 1. VERTICAL DATUM IN U.S. SURVEY FEET REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BASED UPON THE HEXAGON SMARTNET RTK NETWORK.
- 2. THIS PLAN IS THE RESULT OF AN INSTRUMENT SURVEY PERFORMED ON 10-29-2021.
- 3. EXISTING UTILITIES, UNDERGROUND AND OVERHEAD, MAY EXIST IN ADDITION TO THE UTILITY INFORMATION SHOWN ON THESE PLANS. THIS PLAN MUST NOT BE USED TO LOCATE UNDERGROUND UTILITIES. CALL DIG SAFE AT 811 PRIOR TO STARTING ANY EXCAVATION.
- 4. THE SUBJECT PREMISES AS SHOWN LIES WITHIN FLOOD ZONE X, AS INDICATED ON FLOOD INSURANCE RATE MAP NUMBER 25001C0609J FOR BARNSTABLE COUNTY MASSACHUSETTS WITH AN EFFECTIVE DATE OF JULY 16, 2014.
- 5. THIS SURVEY HAS BEEN PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH AND MAY NOT REVEAL ANY FACTS THAT WOULD BE DISCLOSED
- 6. THE LIMITS OF THE SURVEY ARE WITHIN THE PARKING AND DRIVE-THRU AREA AND APPROXIMATELY 30 FEET SOUTH OF THE DRIVE-THRU APPROACH LANE.
- 7. REFER TO PLAN BOOK 680, PAGE 87 FOR TEMPORARY SEWER CONSTRUCTION EASEMENTS

LEGEND

MISC. SIGN

POST

FLAG POLE

SEPTIC MANHOLE CATCH BASIN

IRRIGATION VALVE

ELECTRIC METER

--- 65 --- CONTOUR

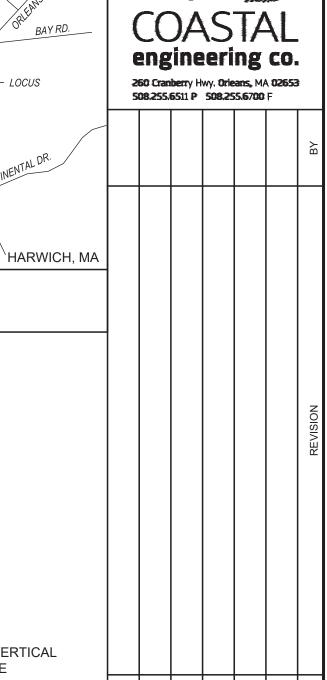
SPOT ELEV. DECIDUOUS TREE

DRAIN PIPE

PARKING SPACE COUNT

I HEREBY CERTIFY THAT THE CONDITIONS SHOWN HEREON ARE ON THE GROUND AS OF FIELD SURVEY 10-29-2021. DATE:_____NOVEMBER 19, 2021



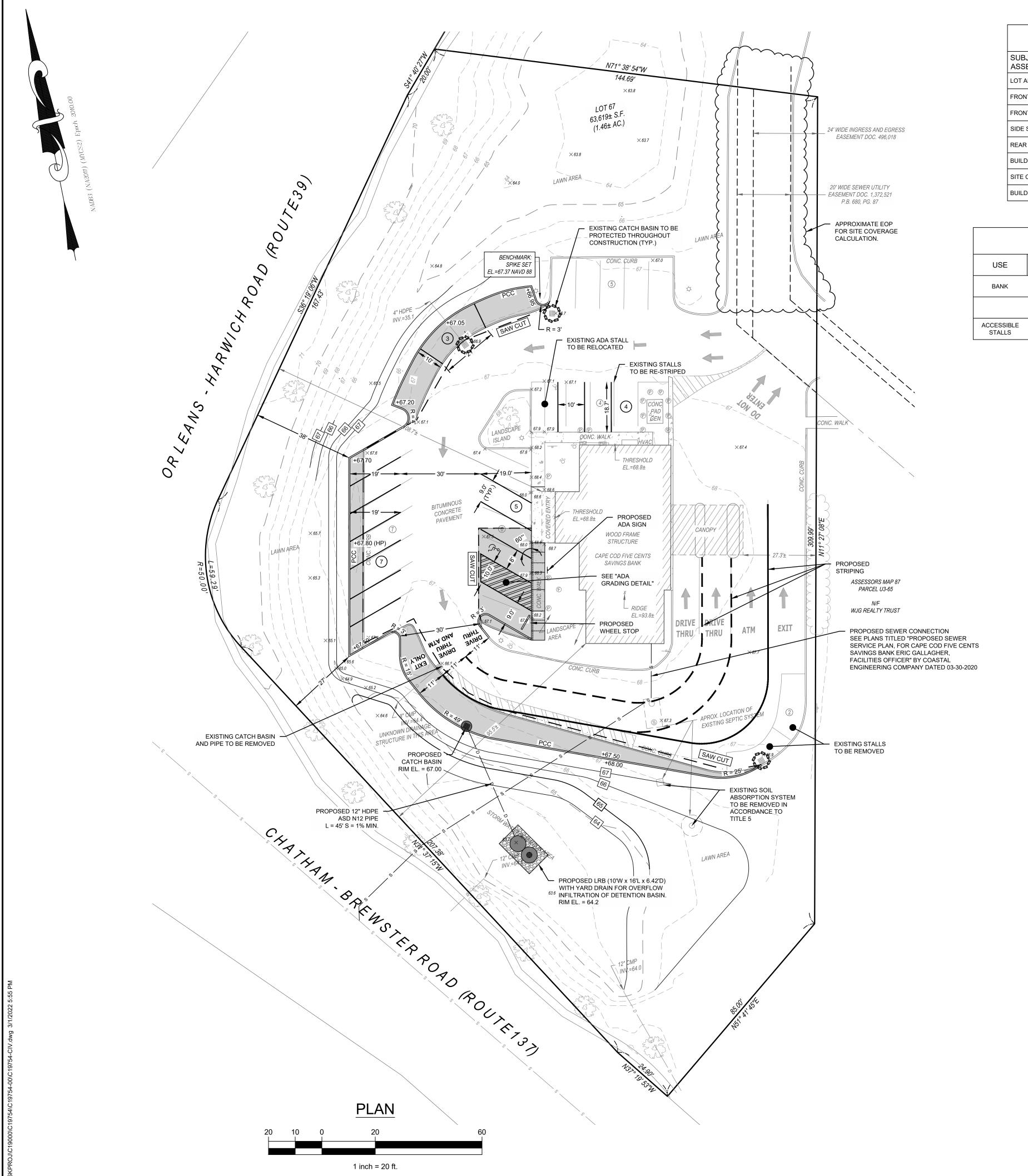


CONDTIONS E COD FIVE CENT SAVINGS BANK XISTING

1"=20' DRAWING FILE C19754-ExCon.dwg

12-2-2021 DRAWN BY MAF CHECKED BY

 $\frac{1}{}$ OF $\frac{1}{}$ SHEETS PROJECT NO. C19754.00

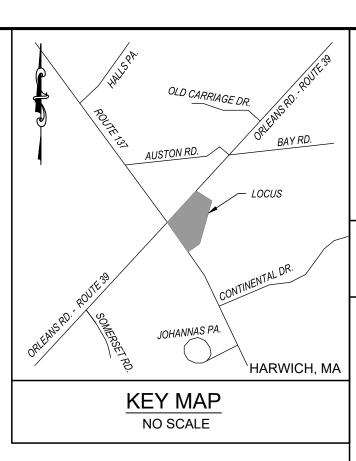


ZONING TABLE - CH-2			
SUBJECT: ASSESSORS MAP 87 PARCEL U3-67	REQUIRED	EXISTING	PROPOSED
LOT AREA	50,000 S.F.	63,619± S.F.	NO CHANGE
FRONTAGE	150 FT.	479 FT.	NO CHANGE
FRONT SETBACK	50 FT.	95.5± FT.	NO CHANGE
SIDE SETBACK	25 FT.	119.2± FT.	NO CHANGE
REAR SETBACK	25 FT.	27.3± FT.	NO CHANGE
BUILDING COVERAGE	30%	5% (3,227± S.F.)	NO CHANGE
SITE COVERAGE	70%	41% (25,855± S.F.)	44% (28,023± S.F.)
BUILDING HEIGHT	2½ STORY OR 30 FT.	25.4± FT.	NO CHANGE

PARKING TABLE				
USE	REQUIRED USE	EXISTING USE	PROPOSED USE	MIN. REQUIRED STALLS
BANK	1 PER EMPLOYEE 1 PER 250 S.F. FLOOR AREA	8 EMPLOYEES 2,625 S.F. FLOOR AREA	NO CHANGE	19 SPACES
				PROVIDED STALLS
ACCESSIBLE STALLS	PER 15-25 STALLS 1 MIN OR 5% OF TOTAL			24 TOTAL (INCLUDING 1 VAN ACCESSIBLE STALL)

RETENTION POND AREA BY ELEVATION					
ELEVATION (FT)	EXISTING	PROPOSED	CHANGE		
64	3,311± S.F.	4,420± S.F.	1,109± S.F.		
65	8,323± S.F.	8,330± S.F.	7± S.F.		
66	13,601± S.F.	13,807± S.F.	206± S.F.		
CUMULATIVE AREA	25,235± S.F.	26,557± S.F.	1,322± S.F.		

RETENTION POND VOLUME BY ELEVATION				
ELEVATION (FT)	EXISTING	PROPOSED	CHANGE	
64	0± C.F.	0± C.F.	0± C.F.	
65	5,817± C.F.	6,375± C.F.	558± C.F.	
66	10,962± C.F.	11,069± C.F.	107± C.F.	
CUMULATIVE VOLUME	16,779± C.F.	17,444± C.F.	665± C.F.	



REFERENCE:

ASSESSORS MAP 87, PARCEL U3-67

CTF. #119032 L.C.P. 39774^H DOC. 496,018

DOC. 500,787 DOC. 1,372,521

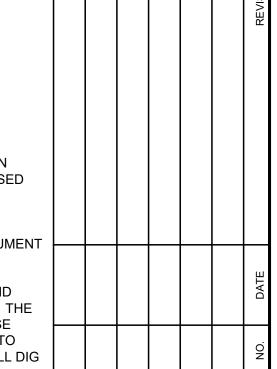
NOTES:

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- 7. REFER TO PLAN BOOK 680, PAGE 87 FOR TEMPORARY SEWER CONSTRUCTION EASEMENTS (NOT PLOTTED).

LEGEND

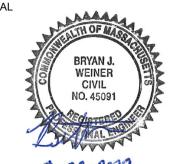
EXISTING		PROPOSED	
	MISC. SIGN	- o -	MISC. SIGN
P	POST	S	SEPTIC MANHOLE
F	FLAG POLE		CATCH BASIN
<u>S</u>	SEPTIC MANHOLE	65	MAJOR CONTOUR
	CATCH BASIN	66	MINOR CONTOUR
4 ² S°	IRRIGATION VALVE	+67.50	SPOT ELEV.
EM	ELECTRIC METER	—— D ——	DRAIN PIPE
GM	GAS METER	—— s ——	SEWER PIPE
- — 65 — –	CONTOUR	5	PARKING SPACE COUNT
x67.3	SPOT ELEV.		EROSION CONTROL
	DECIDUOUS TREE	CC	CONCRETE CURB
D	DRAIN PIPE	VCC	VERTICAL CONCRETE CURE
(5)	PARKING SPACE COUNT	FCC	FLUSH CONCRETE CURB
			SAW CUT

ISSUED FOR PERMITING ONLY NOT FOR CONSTRUCTION



engineering co.

260 Cranberry Hwy. Orleans, MA 02653 508.255.6511 P 508.255.6700 F



3-22-2022

SITE IMPROVEMEN E COD FIVE CENT SAVINGS BANK

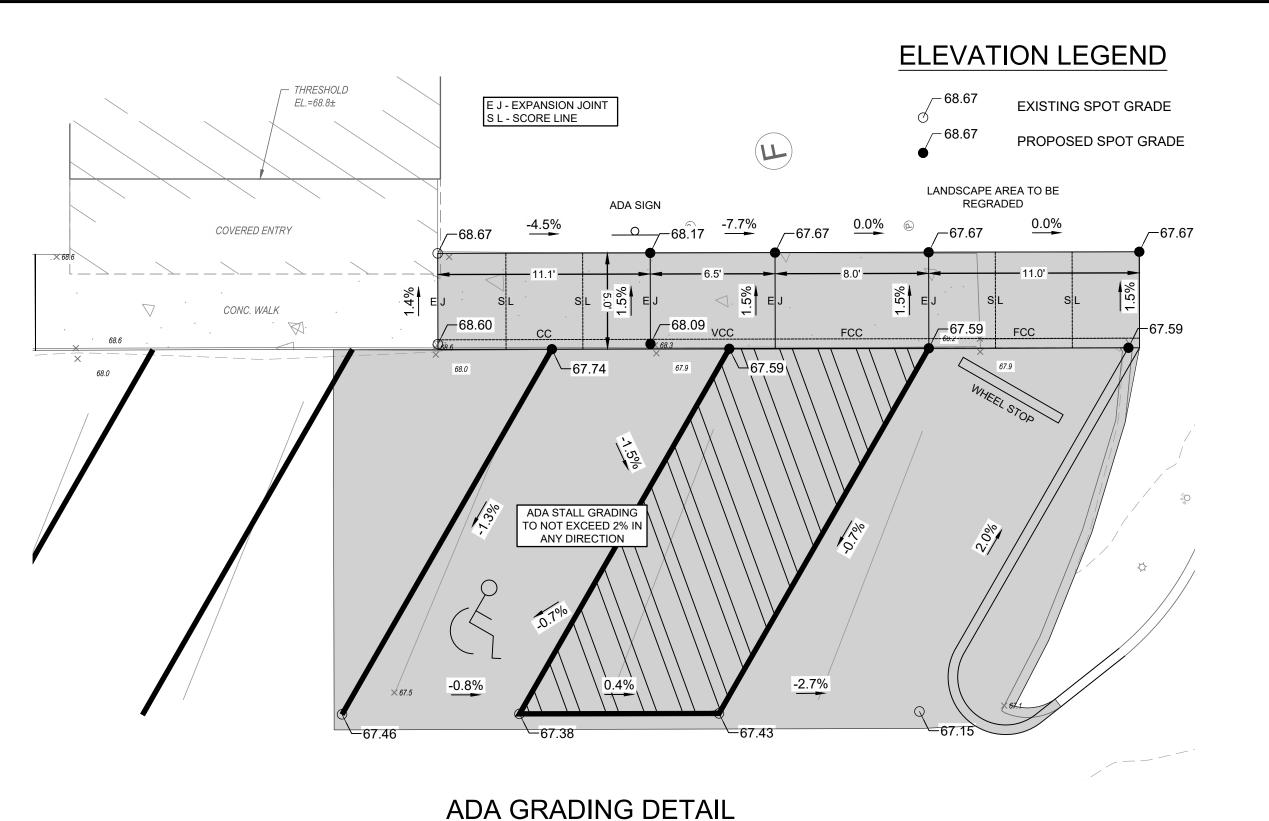
ROPOSE

1"=20' C19754-CIV.dwg

03-03-2022 SMR/BJW

C2.1.1

 $\frac{1}{2}$ OF $\frac{2}{3}$ SHEETS PROJECT NO. C19754.00



1 inch = 5 ft.

EROSION & SEDIMENTATION CONTROL NOTES

1. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL AND PROTECTION OF DRAINAGE STRUCTURES UNTIL COMPLETION OF SITEWORK AND ESTABLISHMENT OF VEGETATIVE GROUND COVER.

2. THE CONTRACTOR SHALL PRACTICE GOOD HOUSEKEEPING MEASURES DURING THE DAY TO DAY

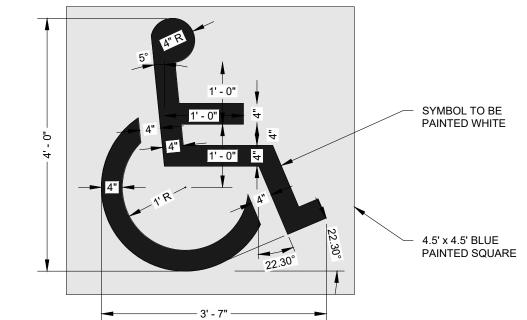
- OPERATION AT THE SITE. THE SITE SHOULD BE POLICED DAILY TO REMOVE ANY LITTER OR DEBRIS. 3. PRIOR TO CONSTRUCTION, INSTALL PERIMETER SEDIMENT BARRIER IN LOCATION(S) SHOWN ON PLAN.
- SEDIMENT BARRIER TO BE DOUBLE-STAKED STRAW BALES WITH SILT FENCE OR 12"Ø STAKED COIR LOGS. 4. TEMPORARY SOIL MATERIAL STOCKPILES SHALL BE SURROUNDED WITH SILTATION BARRIER ON THE
- DOWNGRADIENT SIDE TO PREVENT DISCHARGE OF SEDIMENT FROM SITE. MATERIAL STOCKPILES THAT ARE IN PLACE FOR AN EXTENDED PERIOD OF TIME SHALL BE STABILIZED WITH VEGETATION, MULCHING, EROSION CONTROL BLANKETS. AND OTHER MEASURES THAT ARE NECESSARY TO PREVENT THE DISCHARGE OF SEDIMENT FROM THE PROJECT SITE.
- 5. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE. OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.
- 6. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
- 7. EXCEPT AS PROVIDED BELOW, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
 - 7A. WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS
 - 7B. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED. AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- 8. FOR SLOPES LESS THAN OR EQUAL TO 2H/1V, IF EXPOSED SLOPES CAN NOT BE STABILIZED WITH HYDROSEEDING/VEGETATION, NORTH AMERICAN GREEN SCI50BN EROSION CONTROL BLANKETS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- 9. FOR SLOPES > 2H/1V, < 1.5H/1V, NORTH AMERICAN GREEN SC 150 BN. EROSION CONTROL BLANKETS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

PRECAST CONCRETE CATCH BASIN NOTES:

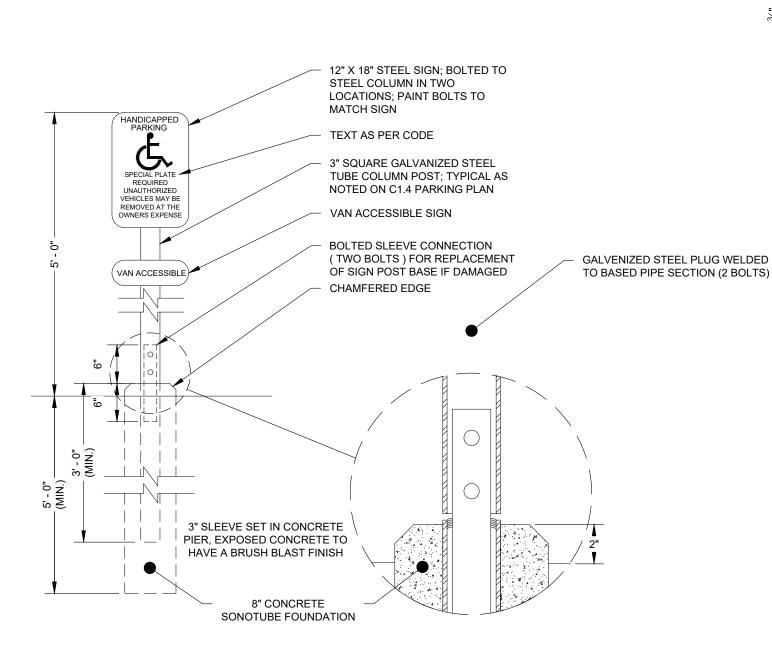
1. ALL REINFORCING STEEL MUST CONFORM TO THE LATEST ASTM A185 AND/OR A615 GRADE 60. SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENT. 2. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MIN. OF 0.12 SQ. IN/LINEAL FT. (BOTH

3. CATCH BASIN SPECS. CONFORM TO THE LATEST ASTM C478 SPEC. FOR "PRECAST REINFORCED CONCRETE

- MANHOLE SECTIONS". 4. MORTAR SHALL CONFORM TO SECTION M4.02.15 OF THE MASSACHUSETTS D.P.W. STANDARD SPECS. FOR HIGHWAYS AND BRIDGES.
- 5. PIPE TO CATCH BASIN CONNECTIONS SHALL BE MADE WITH NON-SHRINK GROUT OR HYDRAULIC CEMENT. 6. ONE POUR MONOLITHIC BASE SECTION. 7. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING
- ONLY. NO JACKHAMMERS, HAMMERS, CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED. 8. RED CLAY BRICK SHALL CONFORM WITH SECTION M4.05.2 CLAY BRICK OF MASSACHUSETTS D.P.W.
- STANDARD SPECS. FOR HIGHWAY AND BRIDGES. 9. FILTER FABRIC SHALL BE SET UNDER CATCH BASIN GRATES TO PREVENT SILTATION TO THE BASINS UNTIL SITE HAS BEEN STABILIZED.

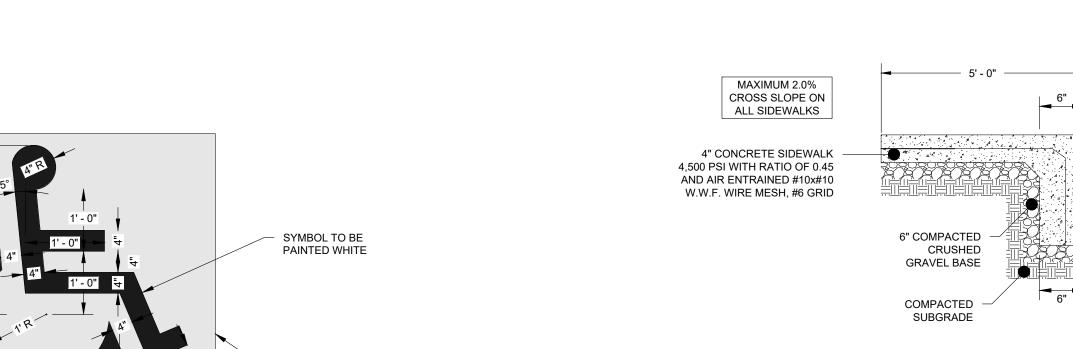


PAINTED SYMBOL OF ACCESIBILITY NOT TO SCALE



SYMBOL OF ACCESIBLITY SIGN (VAN ACCESSIBLE)

NOT TO SCALE



STAKE STRAW BALES (ALL SIDES)

9" STRAW

WATTLES

(ALL SIDES)

CONCRETE WALKWAY WITH CONCRETE CURB

- CATCH BASIN FRAME AND GRATE

CATCH BASIN

CATCH BASIN INLET PROTECTION DETAIL

1. ENCLOSE STRUCTURE WITH STRAW BALES OR RICE STRAW ROLLS IMMEDIATELY AFTER CATCH BASIN CONSTRUCTION. MAINTAIN UNTIL A PAVING BINDER COURSE IS COMPLETE OR A PERMANENT STAND OF

2. IF GRATE IS AGAINST EXISTING CURB THEN STRAW WATTLES ARE TO BE

3. IN PLACES WHERE EXISTING CATCH BASIN IS SURROUNDED BY PAVEMENT,

4. WATTLES SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS. REPAIR AND/OR REPLACEMENT SHALL BE PERFORMED

PLACED AROUND THREE SIDES OF GRATE ONLY. GRATE TO BE PLACED

A SILT SACK SEDIMENT FILTER IS TO BE PLACED UNDER CATCH BASIN

INLET PROTECTION NOTES

PROMPTLY IF NEEDED

GRASS HAS BEEN ESTABLISHED.

FILTER FABRIC MIRAFI 140

GEOSYNTHETICS, OR

APPROVED EQUAL

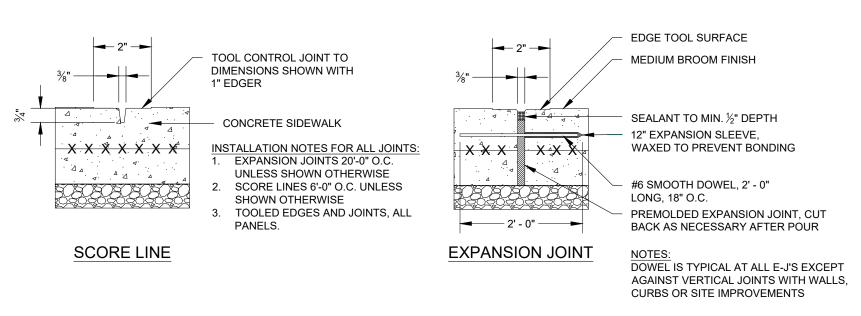
NL, US FABRICS US 90,ADS

STONE (ALL

VARIES

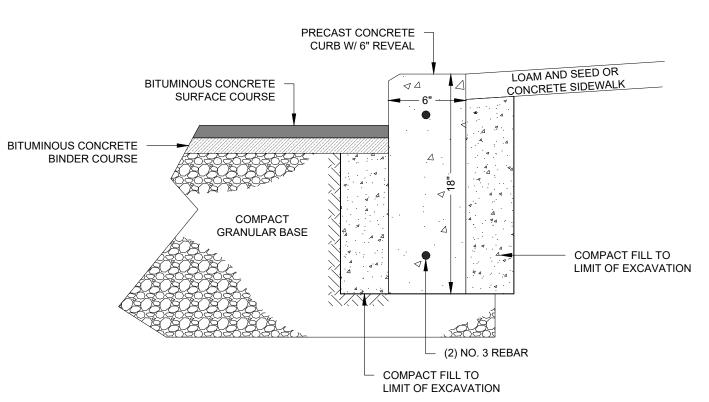
SILT SACK SEDIMENT FILTER

NOT TO SCALE



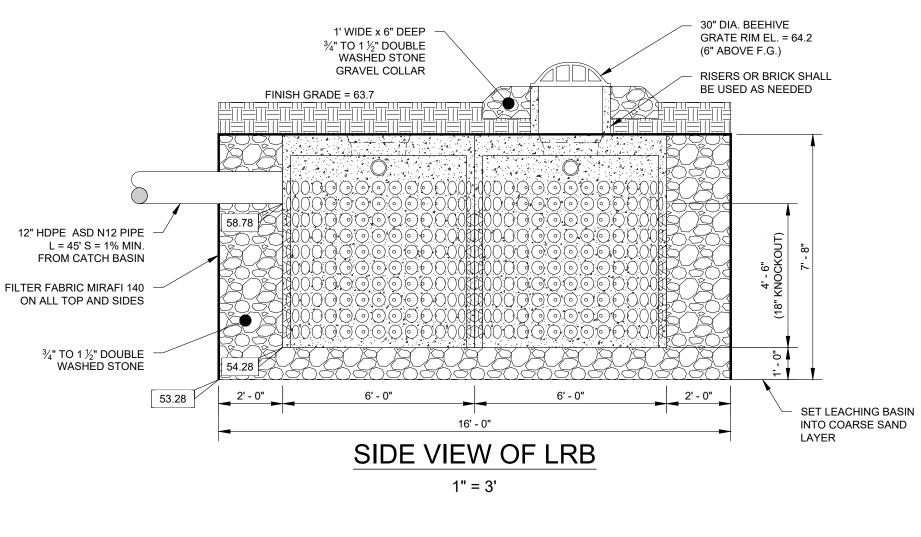
EXPANSION AND CONTROL JOINTS

NOT TO SCALE

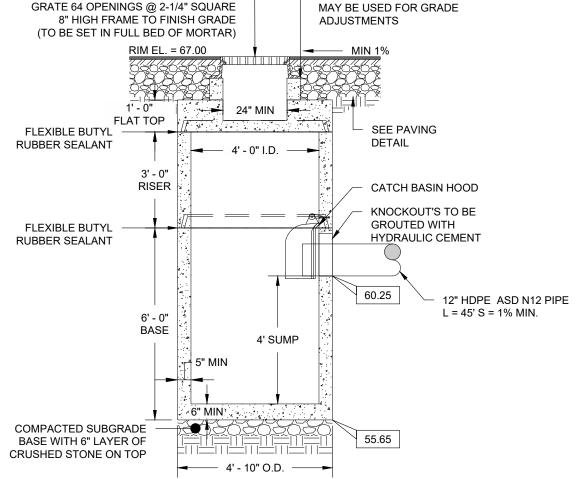


PRECAST CONCRETE CURB

NOT TO SCALE



24" SQUARE CAST IRON FRAME AND



BRICKS SET IN MORTAR

ACME-SHOREY MODEL: CB4SQFT **DEEP SUMP CATCH BASIN**

1.5" BITUMINOUS SURFACE COURSE CLASS 1, TYPE I-1 2" BITUMINOUS BINDER COURSE CLASS 1, TYPE I-1 COMPACT SUBGRADE 12" PROCESSED GRAVEL BASE COURSE (COMPACTED 95% DRY DENSITY AASHTO TEST METHOD C) (MASS. SPEC. M1.03.1)

BITUMINOUS CONCRETE PAVEMENT

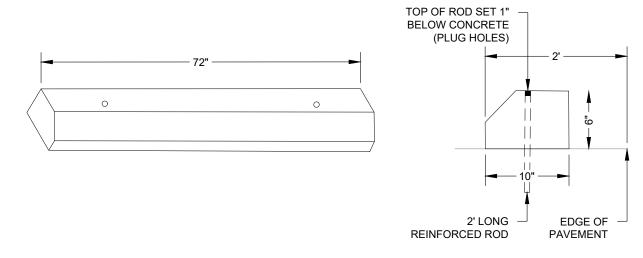
IN ALL AREAS OF PROPOSED PAVEMENT ALL UNSUITABLE MATERIAL

INCLUDING TOPSOIL SHALL BE REMOVED AND REPLACED WITH CLEAN SAND &

GRAVEL (TO SUBGRADE LEVEL) AND COMPACTED TO 95% OF MAXIMUM DRY

SOIL REMOVAL NOTE:

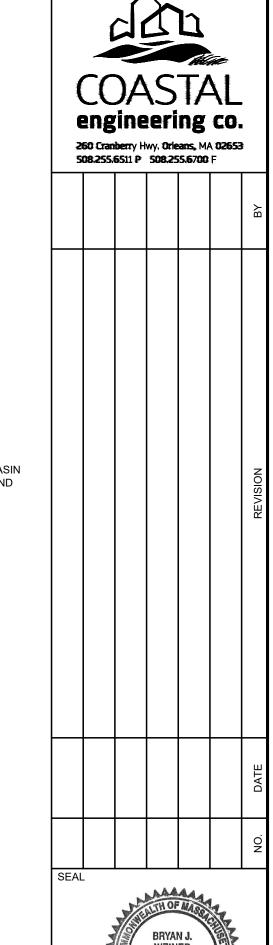
NOT TO SCALE

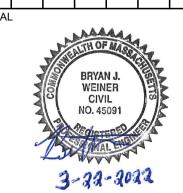


CONCRETE WHEEL STOP DETAIL

NOT TO SCALE

ISSUED FOR PERMITING ONLY NOT FOR CONSTRUCTION





COD

S

SEE DETAILS DRAWING FILE C19754-CIV.dwg

03-22-2022 DRAWN BY DA\ **CHECKED BY**

SMR/BJW

C2.4.1

 $\frac{2}{}$ OF $\frac{2}{}$ SHEETS PROJECT NO. C19754.00



March 23, 2022 Project #C19754.00

Town of Harwich Attn: Planning Board 732 Main Street Harwich, MA 02645

Re: <u>Waiver of Site Plan Review Request Filing Package</u>

Proposed Site Improvements Cape Cod Five Cents Savings Bank 129 Route 137 Harwich, MA

Map 87, Parcel U3-67

Dear Members of the Board,

On behalf of our client, Cape Cod Five Cents Savings Bank, we are submitting two (2) copies of a Site Plan Review Waiver Request Application Filing Package, an original check for municipal filing, and eleven (11) copies of the plan for the above referenced project. The following items are enclosed:

- Form A Site Plan Review Application (Waiver of Site Plan request)
- Project Narrative
- Municipal Lien Certificate
- Certified Abutters List
- Waiver of Site Plan Review filing fee in the amount of \$315.00
- Coastal Engineering Co., Inc. Limited Existing Conditions Plan, Dated 12/2/2021
- Coastal Engineering Co., Inc. Plan Showing Proposed Site Improvements, Sheets C2.1.1 and C2.4.1, Dated 03/22/2022

If you would, please schedule this for the next available Planning Board meeting. If you have any questions or require additional information, please give our office a call. Thank you.

Sincerely,

COASTAL ENGINEERING CO., INC.

Carla A. Davis

Enclosures: as stated

Carla a. Davis

cc: Chris Raber, Cape Cod Five Cents Savings Bank

Bryan J. Weiner, Project Manager