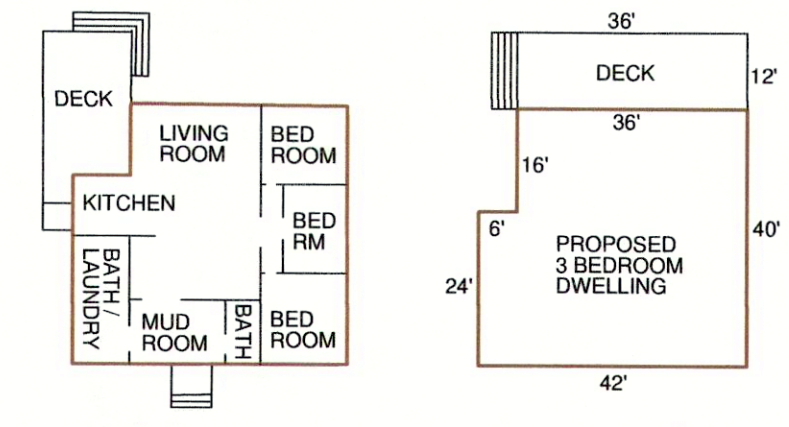
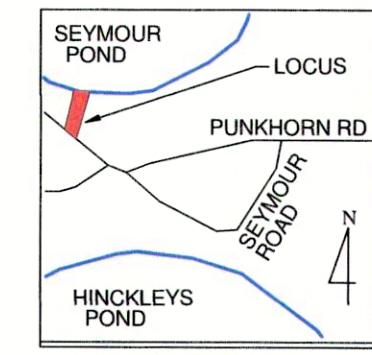


TEST HOLE LOGS

ENGINEER: THOMAS McLELLAN, P.E.
 WITNESS: CARRIE SCHOENER
 DATE: 2-22-22
 PERCOLATION RATE: < 2 MIN/IN

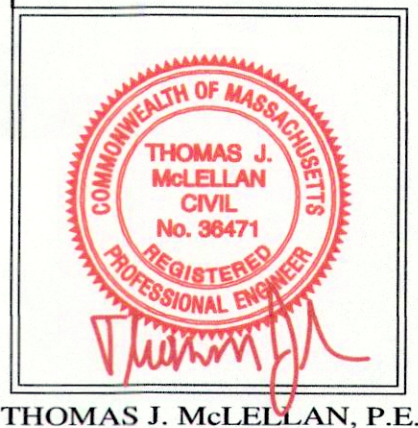
TH-1	63.0	TH-2	63.0	TH-3	62.0	TH-4	62.0
ELEV.		ELEV.		ELEV.		ELEV.	
O/A HORIZON LOAMY SAND 10YR 4/1	62.7	O/A HORIZON LOAMY SAND 10YR 4/1	62.6	O/A HORIZON LOAMY SAND 10YR 4/1	61.6	O/A HORIZON LOAMY SAND 10YR 4/1	61.5
B HORIZON LOAMY SAND 10YR 6/8	61.0	B HORIZON LOAMY SAND 10YR 6/8	61.0	B HORIZON LOAMY SAND 10YR 6/8	59.5	B HORIZON LOAMY SAND 10YR 6/8	59.0
C HORIZON MEDIUM SAND 2.5Y 7/6	52.0	C HORIZON MEDIUM SAND 2.5Y 7/6	52.0	C HORIZON MEDIUM SAND 2.5Y 7/6	51.0	C HORIZON MEDIUM SAND 2.5Y 7/6	51.0
132"		132"		132"		132"	
		← PERC AT 48"				← PERC AT 54"	

NO GROUND WATER ENCOUNTERED



NOTES:

1. VERTICAL DATUM: NAVD88
2. MUNICIPAL WATER IS NOT AVAILABLE.
3. THE SEPTIC SYSTEM HAS NOT BEEN DESIGNED TO ACCOMMODATE THE USE OF A GARBAGE DISPOSAL.
4. CONTRACTOR TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION.
5. FIELD SURVEY PROVIDED BY TERRY A. WARNER, P.L.S., HARWICH, MA.
6. THIS PLAN REQUIRES THE REVIEW AND APPROVAL OF ONE OR MORE TOWN DEPARTMENTS AND IS SUBJECT TO CHANGE UNTIL SUCH TIME.
7. WETLAND DELINEATION BY HAMLYN CONSULTING, BREWSTER, MA.
8. ROOF RUN-OFF TO BE DIRECTED TO DRYWELLS OR STONE TRENCHES AT DRIP LINE.
9. WORK LIMIT LINE TO BE SET PRIOR TO CONSTRUCTION. LINE TO CONSIST OF SILTATION FENCE SECURED AT THE BASE WITH STAKED COIR LOGS.
10. DISTURBED AREAS BEYOND THE BEACH AND WITHIN CONSERVATION COMMISSION JURISDICTION ARE TO BE SEEDED WITH A CONSERVATION MIX SUCH AS COLONIAL SEED "HARMONY".



SITE PLAN

LOCATION:
91 PUNKHORN RD., HARWICH, MA
 PREPARED FOR:
PATRIOT BUILDERS

DATE: 5-16-22 SCALE: 1" = 30'

BASS RIVER ENGINEERING
 P.O. BOX 1163, EAST DENNIS, MA 02641
 508-364-9048



SOUTH ELEVATION

1/4" = 1'-0"

BUILDING HEIGHT CALCULATIONS:
 HIGHEST/LOWEST ADJACENT GRADE: 32.0'
 $32' + 30' = 62'$ MAX RIDGE ELEVATION
 $62' \text{ MAX RIDGE} - 34.5' \text{ T.O.F} = 27.5'$
 $27.5' \text{ MAX RIDGE HEIGHT FROM T.O.F.}$
 $26.5' \text{ PROPOSED RIDGE HEIGHT FROM T.O.F.}$
 $29' \text{ PROPOSED BUILDING HEIGHT (ELEV. 61.0')}$



EAST SIDE ELEVATION

1/4" = 1'-0"

PATRIOT BUILDERS, INC.

537 Route 28 - Harwich Port, MA 20646
* Phone (508)-430-0771 * Fax (508)-432-7789

DATE: 5/27/21

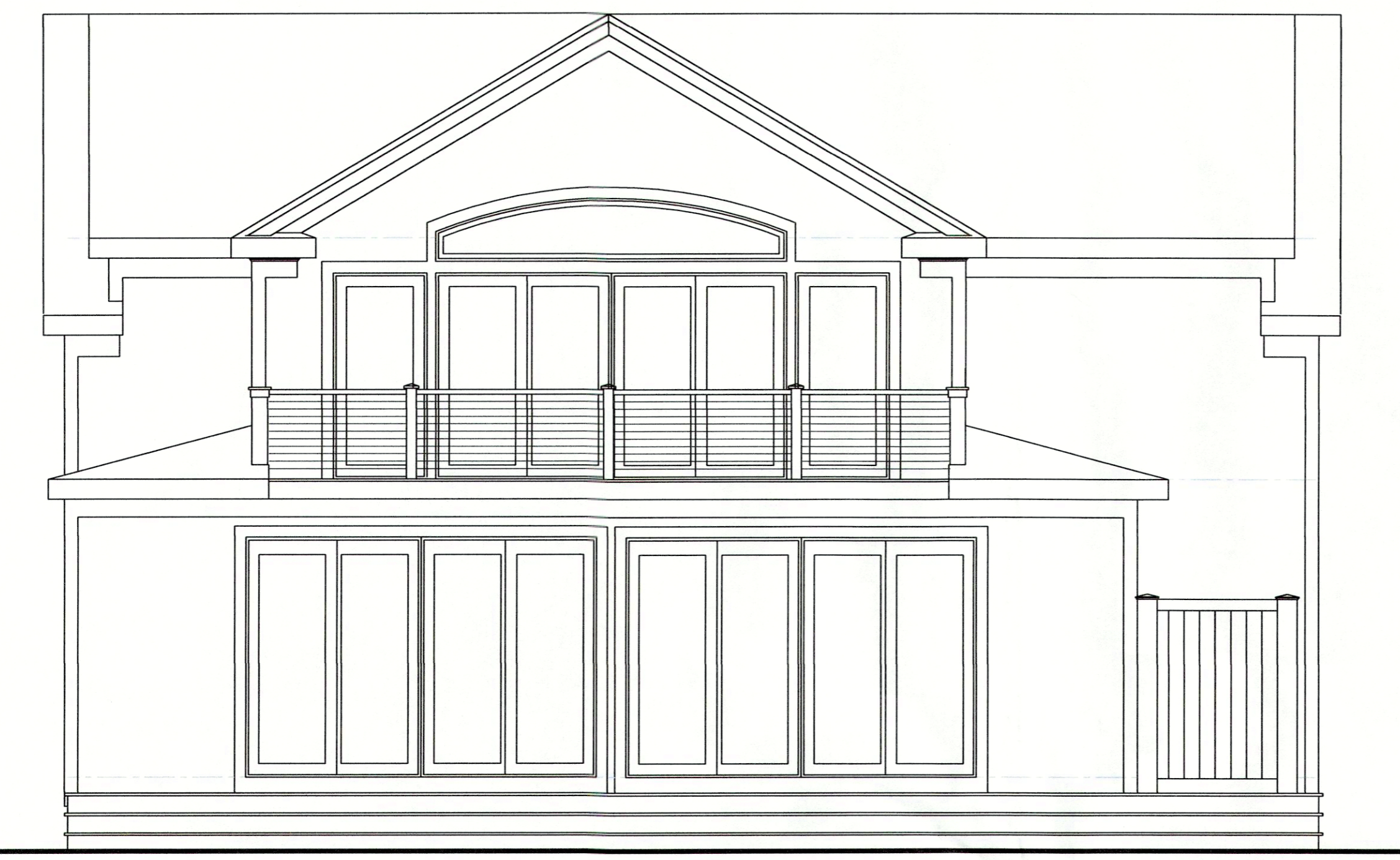
REVISIONS:

BUILDING HEIGHT
ADDED: 2/27/23

CAFARELLA RESIDENCE
91 PUNKHORN ROAD - HARWICH, MA

DRAWING NO.

A1



NORTH ELEVATION

1/4" = 1'-0"



WEST SIDE ELEVATION

1/4" = 1'-0"

PATRIOT BUILDERS, INC.
537 Route 28 - Harwich Port, MA 02646
* Phone (508)-430-0771 * Fax (508)-432-7789

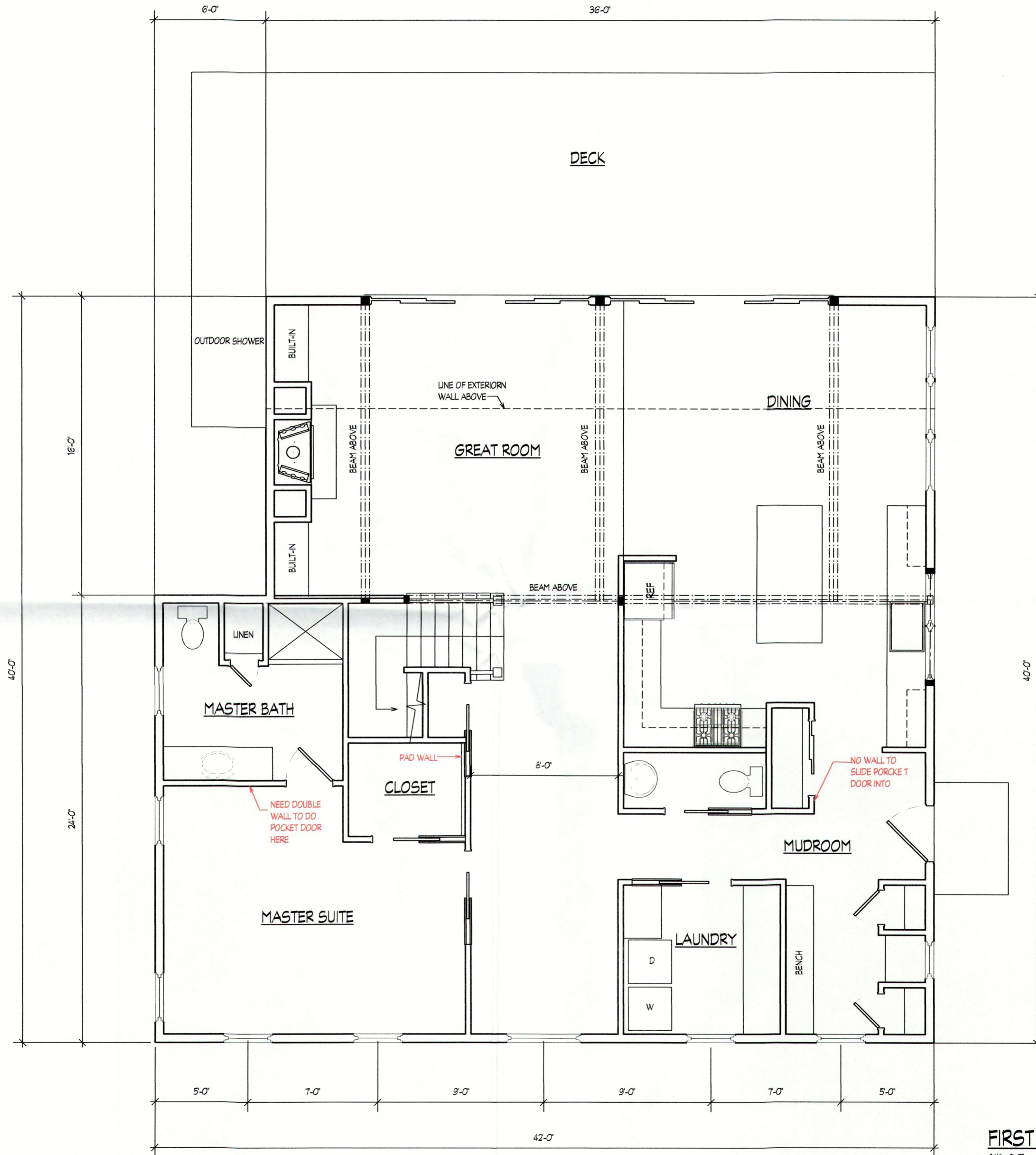
DATE: 5/27/21

REVISIONS:

CAFARELLA RESIDENCE
91 PUNKHORN ROAD - HARWICH, MA

DRAWING NO.

A2



FIRST FLOOR PLAN
1/4" = 1'-0"

PATRIOT BUILDERS, INC.
537 Route 28 - Harwich Port, MA 20646
* Phone (508)-430-0771 * Fax (508)-432-7789

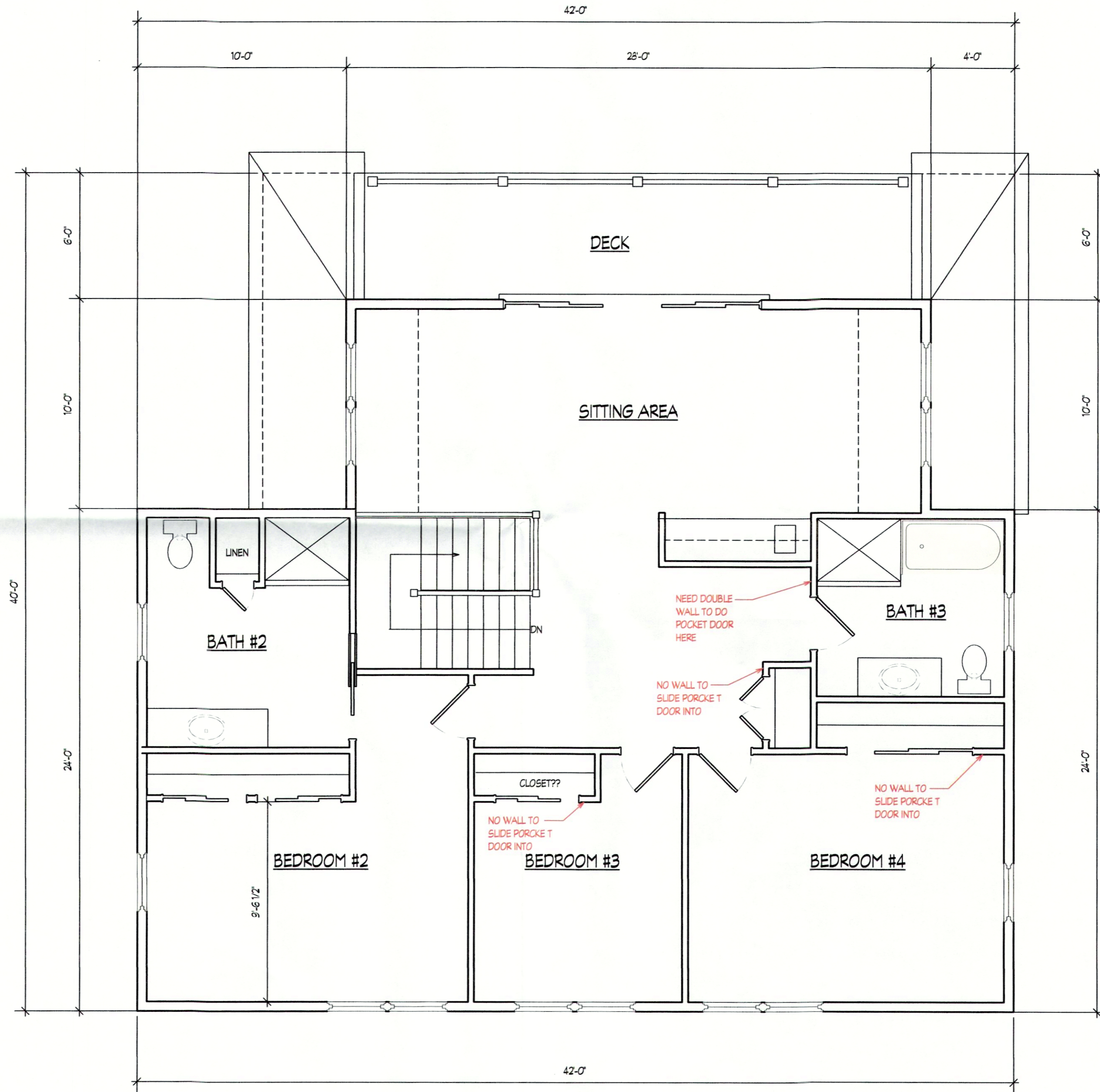
DATE: 5/27/21

REVISIONS:

CAFARELLA RESIDENCE
91 PUNKHORN ROAD - HARWICH, MA

DRAWING NO.

A4



SECOND FLOOR PLAN
1/4" = 1'-0"

PATRIOT BUILDERS, INC.

537 Route 28 - Harwich Port, MA 20646
* Phone (508)-430-0771 * Fax (508)-432-7789

DATE: 5/27/21

REVISIONS:

CAFARELLA RESIDENCE
91 PUNKHORN ROAD - HARWICH, MA

DRAWING NO.

A5