

Benjamin E. Zehnder LLC

62 Route 6A, Suite B
Orleans, Massachusetts 02653

Benjamin E. Zehnder, Esq.

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Tel: (508) 255-7766

October 23, 2023

Town Clerk Emily Mitchell
Harwich Town Hall
732 Main Street
Harwich, MA 02645

Via hand delivery

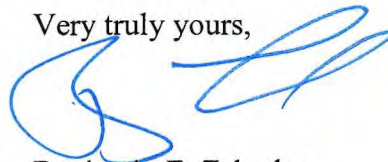
Re: New Zoning Board of Appeals special permit application
481 Depot Street (Map 36, Parcel B1)

Dear Ms. Mitchell:

On behalf of the Rowoliver Nominee Trust please find enclosed one original and 11 copies of a new application to the Zoning Board of Appeals seeking a special permit for the property at 481 Depot Street, as well as payment in the amount of \$315.00 for the application filing fee.

Thank you for your assistance. I am –

Very truly yours,



Benjamin E. Zehnder

Enc.

cc. via email only:

client

Shelagh Delaney

Jack Mead

John O'Reilly



Case # _____

TOWN OF HARWICH
732 Main Street, Harwich, Massachusetts 02645

ZONING BOARD OF APPEALS

Notice of Appeal/Application and Petition for Public Hearing, ("APPLICATION")

This Application *does not* apply to Comprehensive Permits.

Please refer to the Rules and Regulations of the Town of Harwich Board of Appeals for documentation requirements.

This original completed and signed notice ("Application"), along with a certified abutters list and twelve (12) copies of all plans, sketches, statements, site plans or other supporting documents per the attached checklist must be presented to the Building Department prior to being filed with the Town Clerk. The required documentation, **ALL** of which must be submitted on the date of filing, is listed on this Application. **THE RULES AND REGULATIONS ("RULES") OF THE TOWN OF HARWICH BOARD OF APPEALS APPLY TO ALL APPEALS AND APPLICATIONS AND SHOULD BE CONSULTED BEFORE FILING AN APPEAL OR APPLICATION TO ENSURE COMPLIANCE WITH THEM.**

To the Zoning Board of Appeals, Harwich, MA:

(We, I) hereby petition your Board for a public hearing on the request for action checked below:

- Appeal from decision of or refusal of permit application by the Building Inspector, Selectmen or Planning Board or other administrative officer or officers.
- Application for a Variance from requirements of the Harwich Zoning By-Law.
- Application for a Special Permit that is subject to Board of Appeals approval.

I/we am/are the owner[s]/agent of the property involved in this petition, which is located in Harwich, MA at the following address:

_____ 481 Depot Street _____ Said property is further described on

Assessor's Map # 36 and Parcel # B1 located in the IL, RR Zoning District as shown on the attached plan.

Describe

Petition/Appeal: Applicant proposes alteration of existing dwelling and construction of storage units. Please see narrative.

Relief requested - Cite specific Bylaw Section(s):

Special permits pursuant to Bylaw ss. 325-51.Q, 325-2, 325-8, and Table of Use Regulations Use 39 (self storage).

Signature of Owner (or Agent) _____

Date October 23, 2023

(Written authorization by the owner must accompany an Application signed by agent.)

Owner Name Rowoliver Nominee Trust

Phone No. (774) 836-5799

Mailing Address: 481 Depot Street, Harwich, MA 02645

Agent Name: Benjamin E. Zehnder

Phone No. (508) 255-7766

Mailing Address: 62 Route 6A, Suite B, Orleans, MA 02653

Has a petition previously been submitted for this property (Y/N) N

If yes, the date of original hearing _____ Petition No. _____ Decision _____

For Appeal Only:

Reason for Denial: _____

Denial From: _____

Date of Denial: _____

Within 14 days following any Board decision, the Board will file its decision with the Town Clerk. A building permit will not be issued during the appeals period, until 21 days after the Board of Appeals decision has been filed with the Town Clerk or if an appeal to that decision has been filed during that time. It is the **applicant's responsibility** to have the decision recorded at the Barnstable County Registry of Deeds or Land Court, whichever may be applicable, and to present copies of that recording to the Town Clerk and to the Building Department with all Building Permit application requirements.

Please be advised that an incomplete Application may result in a delay in processing your Application and **may result in a denial by the Board** without consideration of the merits of the Application. **IT IS YOUR RESPONSIBILITY TO REVIEW THE RULES THAT APPLY TO YOUR APPEAL/APPLICATION AND TO MAKE SURE BEFORE FILING THAT YOUR APPLICATION/APPEAL COMPLIES WITH THOSE RULES.** The burden of proof is on the petitioner, not on the Town. If you do not understand the criteria, legal counsel should be sought. Either the petitioner or his/her agent is required to appear at the hearing to present the Application.

All applicants for hearing before the Board of Appeals must complete the Application and submit along with it the supporting documentation listed herein to the Building Department for review and subsequent filing with the Town Clerk. The Building Department accepts Applications during posted hours. You are strongly encouraged to submit your Application to the Building Department well in advance of the filing deadline to allow adequate time for staff review for completeness. **All information, including the applicable fee made payable to the Town of Harwich, must be submitted with the Application.**

Please submit the following, sorted and grouped into **twelve (12) packets along with one (1) Certified Abutters List** (Available from the Assessors Department. A separate application and fee is required):

- X **The original Application (additional stamped copies can be provided at a nominal fee):**
 - Signed by the owner or agent.
 - If signed by an agent, a letter of authorization signed by the owner must also be included.

- X **A typewritten narrative to explain the project , the purpose for this Application and the relief requested, with citations to the applicable provisions of the MGL and the Harwich Zoning Bylaw.**

- X **The original and eleven (11) copies of a Certified Plot Plan with topographical information plan (not septic plans) not more than five (5) years old (total of 12 copies):**
 - 8½" x 11" or larger. *Larger plans must be folded.*
 - Scale no greater than 1" = 50'
 - Original stamped and signed by a Professional Engineer (as allowed by law), or a Professional Land Surveyor.
 - Certified Plot Plan **must** indicate:
 - the locus;
 - the parcel or parcels of land involved;
 - the existing building or buildings;
 - the proposed building or buildings and/or additions to, or alterations of existing buildings with all dimensions set forth;
 - the location of the septic;
 - the Town of Harwich zoning requirements applicable to the property, as well as existing and proposed dimensions for: frontage, front, sides, and rear setback distances, building height(s), building stories, building and site coverage and parking requirements (if any);
 - all perimeter dimensions (existing and proposed);
 - location and width of abutting and on-site street and drives, parking, existing topography;
 - a grading plan, areas of proposed and retained vegetation, distinction between upland and wetland.
 - Building Plans drawn to scale:
 - Floor layout (for existing structure and proposed additions and/or alterations)
 - Proposed front, side, and rear elevations

- X **Certified Abutters List**

- X **Check made payable to "Town of Harwich" for \$315.00.**

Name of Applicant: Rowoliver Nominee Trust

Address of Property: 481 Depot Street, Harwich, MA 02645

Zoning District: IL & RR

Is the property Located in any Special District(s)/Overlay District(s) established by the Town of Harwich or the State of Massachusetts: Yes No

If Yes, specify District(s): _____

Year Structure(s) Built: 1817

Name/Address of Engineer/Architect: John M. O'Reilly P.O. Box 1773, Brewster, MA 02631

Name/Address of Attorney: Benjamin E. Zehnder 62 Route 6A, Suite B, Orleans, MA 02653

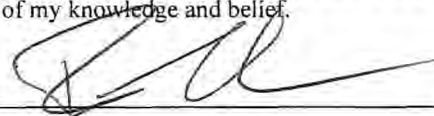
Subject	Existing	Required	Proposed
Lot Area (square feet)			
Frontage (linear feet)		*** Property is located in two different zoning districts with different dimensional requirements. Please see charts of existing, required, and proposed calculations for each district included on site plan.	
Front Yard Setback (feet)			
Side yard Setback (feet)			
Rear Yard Setback (feet)			
Any Yard Setback - Specify which:			
Building Coverage (%)			
Site Coverage (%) (see 325-2)			
Building Height (see 325-2 & 325-108)*			
If this is an Application for an Accessory Apartment, in addition to the above:			
A. Net Floor Area of the Principal Dwelling			
B. Net Floor Area of the proposed Accessory Apartment			
* Building height calculation(s) must be shown on plan for all zones per the Harwich Zoning By-laws Section 325-2. See Article XVII - Floodplain Regulations Section 325-108.			

Form of Relief Requested: Please see project narrative for relief requests.

If the Applicant is requesting a Variance, state the hardship which the Applicant believes justifies this form of relief in accordance with MGL Chapter 40 and the Harwich Zoning Bylaw:

By signing and submitting this Application, you hereby authorize the members of the Board of Appeals, or its agent, to conduct a site visit of the exterior of your property for an inspection of the property involved in this petition, should they deem it appropriate.

The Board of Appeals is entitled to rely on the information contained in this Application. Therefore, the undersigned certifies that the information provided in this Application, and all submitted plans and other documentation, is true and accurate to the best of my knowledge and belief.

Agent's Signature:  Date: 10/23/2023

Owner's Signature: _____ Date: _____

Project Narrative
for Planning Board Site Plan Review and Zoning Board of Appeals Special Permit
481 Depot Street
Map 36, Parcel B1



Rowoliver Nominee Trust

October 23, 2023

Prepared by Benjamin E. Zehnder LLC

A. Overview:

Applicant Rowoliver Nominee Trust owns a developed parcel of land in West Harwich near the Dennis town line across from Center Street. The applicant seeks Planning Board site plan review and a Planning Board special permit, as well as Zoning Board of Appeals special permits, in order to develop a portion of the property as a self-storage facility and renovate an existing two-family dwelling house as a multifamily dwelling.

Planning Board site plan review is triggered under Bylaw § 325-55.C(1) – (4) (Planning Board site plan approval is required for development activities which expand floor area or exterior space for a commercial use, expand or reconfigure a parking lot or driveway in connection with a commercial use, or establish a new commercial use), and § 325-51.Q(2) (site plan review required for multifamily special permit).

A Planning Board multifamily special permit pursuant to Bylaw § 325-51.Q is required for the proposed conversion of the existing two-family dwelling into four apartment units.

A Zoning Board of Appeals special permit is required pursuant to Bylaw § 325-54.A(2) for the proposed alterations to the pre-existing, non-conforming two-family dwelling on a pre-existing, non-conforming lot.

Finally, the applicant requests a Zoning Board of Appeals special permit to extend self-storage use, which is permitted in the Industrial Limited district, into the part of the property in a residential zoning district. The bases for relief are Bylaw §§ 325-2 and 325-8. Section 325-8 provides that a building, structure, or lot may be used for any purpose authorized by the Use Regulations in the zoning district where the land is located. Section 325-2 construes the word ‘land’ as being followed by the words “or any portion thereof.”

Because part of the applicant’s land is in the Industrial Limited district, the entire lot may therefore be used for any purpose authorized under the Use Regulations, including self-storage use. Although a special permit is not required to benefit from these provisions, the applicant has included a request for one because the Bylaw does not explicitly state that a use may be extended to an entire property in two zoning districts.

B. Locus:

Locus is a 34,890 parcel of land in the Industrial Limited (“IL”) and Residential Rural Estate (“RR”) zoning districts. The lot was created by deed description in the 1800s and is improved with a 2,400 s.f. dwelling built in 1817, as well as a barn. The property has 267' of frontage along Depot Street. It is not within any overlay district. The property is adjacent to a cranberry bog.

The existing house and barn are located on the northerly portion of the lot in the IL district. The house is used as a two-family dwelling containing two apartment units.

C. IL and RR Areas of Locus and Zoning Non-Conformities:

The lot predates the adoption of zoning in Harwich and was in existence when the IL and RR zoning districts were created. The district line divides the property just south of the end of Center Street. Approximately 20,690 s.f. of lot area and 267' of frontage in are in the IL district and 14,200 s.f. and 109' are in the RR district.

Under the Bylaw Area Regulations lots in the IL district require a minimum lot area of 20,000 s.f., 100' of frontage, and 25' front and side and 50' rear yard setbacks. Lots in the RR district require 40,000 s.f. of area, 150' of frontage, and 25' front and 20' side and rear yard setbacks.

If treated as a single lot the property is non-conforming under the RR district lot area requirement but conforming as to the IL district. If treated as separate lots in the respective districts, the IL portion would be conforming and the RR Portion would be non-conforming as to area. The existing dwelling structure is pre-existing, non-conforming under either district's respective minimum front and (northerly) side (northerly) yard requirements.

Maximum allowable building and site coverages are 40% and 70%, respectively, in the IL district, and 15% and 25% in the RR district. If treated as a single lot the property is conforming under either district's requirements. If treated as separate lots in the respective districts, the IL portion would be conforming under the building and site coverage requirements, and the RR portion would be conforming under the building coverage but non-conforming under the site coverage requirements.

D. Proposed Site and Use Changes and Required Relief:

The applicant proposes demolishing the existing barn and renovating and reconfiguring the existing two-family dwelling on the northerly portion of the property. The structure is currently divided into two dwellings: a three-bedroom dwelling in the southerly part of the house, and a one-bedroom apartment in the northerly part.

The proposed changes reconfigure the space into four apartments: a two-bedroom apartment (Apt. #1) and a one-bedroom apartment (Apt. #2) on the first floor, a three-bedroom apartment (Apt. #3) on the second floor, and a studio apartment (Apt. #4) in the basement. The proposed construction includes installation of a new second floor exterior staircase and two fire escapes, new interior walls, a new floor system on the second floor (where there is currently a cathedral ceiling above the first floor), removal of an existing internal staircase, new partition walls, and construction of a new entryway over the current bulkhead staircase to the basement level. In connection with these changes the applicant proposes engineering and installation of a new seven-bedroom septic system.

The changes to the dwelling and its use require three forms of relief. First, a Planning Board special permit is required to convert the existing two-family use into multifamily use pursuant to Bylaw § 325-51.Q. The applicant's multifamily special permit criteria responses are provided in a later section of this narrative. Second, conversion under that section triggers Planning Board site plan review pursuant to Bylaw § 325-55. Finally, a Zoning Board of Appeals special permit is required pursuant to Bylaw § 325-54.A(2) to alter a non-conforming two-family residential structure. The applicant's responses to that section's special permit criteria are also provided in a later section of this narrative.

The applicant also proposes demolishing the existing barn and erecting three new self-storage use buildings, with associated site work, on the southerly portion of the property. The proposed buildings are one-story tall metal buildings on slab foundations. Two of the buildings would be 30' x 70' (2,100 sq. ft. each) and the third 12' x 60' (720 sq. ft.), for 5,020 s.f. of new floor area. The northerly 2,100 sq. ft. building would be located entirely in the IL district while the other two buildings would be entirely in the RR district. The building areas will be surrounded by a driveway providing access to individual units and parking for customers and will be screened with a row of staggered evergreen trees pursuant. This area will be staffed and accessible weekdays between 9 A.M. and 5 P.M. via a key-coded gate. The units will be lit by fully shielded downward fixtures detailed on the attached lighting specification sheets and will conform to the outdoor lighting requirements.

Self-storage use is allowed by-right in the IL district but prohibited in the RR district. Under Harwich Zoning Bylaw § 325-8 lots may be used or occupied for any purpose authorized by the Use Regulations in the zoning district where the land is located, and under § 325-2 the 'land' is construed to be followed by the words "or any portion thereof."

Because self-storage use is allowed in the IL district, and a portion of the applicant's land is in that district, the entire lot may be used for that purpose. The applicant requests a Zoning Board of Appeals special permit confirming this extension of the self-storage use into the RR portion of the property.

E. Planning Board Multifamily Special Permit Criteria Responses:

- (1) *The Planning Board shall serve as the special permit granting authority for multifamily developments, including conversion of existing structures/uses to multifamily and/or new construction:*

The applicant is filing this request with the Planning Board.

- (2) *A site plan review special permit pursuant to § 325-55 is also required:*

The applicant has requested site plan review, which is also required for the proposed self-storage development.

- (3) *All multifamily dwellings must be connected to a municipal water system:*

The dwelling is connected to the Harwich Water System.

- (4) *A habitable room in a multifamily dwelling unit shall have a minimum floor area of not less than 120 square feet and shall have no major width or length dimension less than 10 feet. Closets, storage spaces, bathrooms and kitchens are not habitable rooms for the purpose of these minimum area and dimension requirements:*

Please see proposed floor plans filed herewith. All habitable rooms in the dwelling will have more than 120 s.f. and will not have any major width or length dimension less than 10 feet.

- (5) *The number of multifamily dwelling units shall be determined by the ability to place an adequately sized septic system for the number of bedrooms; and required parking per number of units and landscaping on the site pursuant to Article IX, Off-Street Parking and Loading Requirements:*

Please see site plan filed herewith. The applicant proposes a new seven-bedroom septic system which will provide adequate flow for the proposed seven-bedroom dwelling.

The existing northerly driveway, with parking for two vehicles, will be retained and six new parking spaces will be created, with three at the end of the driveway and two next to the house and accessible from the driveway leading to the storage unit area (one of the three spaces next to the house will be for an employee of the storage unit business and will not be available for dwelling residents). In total there will be seven dedicated parking spaces for the house.

No new landscaping is proposed surrounding the dwelling.

- (6) *All outside entrances to multifamily dwellings shall provide protection to the immediate area in front of said entrance from the weather:*

Please see proposed floor plans filed herewith.

- (7) *Whenever the land upon which a multifamily dwelling is to be erected is located partially within a Drinking Water Resource Protection District, maximum possible use of the area outside the Drinking Water Resource Protection District will be made for the disposal of stormwater runoff and sewage:*

N/A

- (8) *Recreation areas. Where appropriate to the topography and natural features of the site, the Planning Board may require that at least 10% of the open space or two acres (whichever is less) shall be of a shape, slope, location and condition to provide an informal field for group recreation or community gardens for the residents of the multifamily development:*

The applicant submits that a recreation area is not appropriate at the site and requests that the Board not impose this requirement.

F. Zoning Board of Appeals Special Permit Criteria Responses:

The applicant responds to the Bylaw § 325-51(A)(1)(a) – (d) special permit criteria as follows:

- (a) *The use as developed will not adversely affect the neighborhood:*

Self-storage is a very low intensity use. Customers who lease storage units typically store their belongings at the beginning of a lease period and access their units infrequently or only at the end of the lease. Day-to-day business operations do not require equipment or vehicles, do not generate noise, waste, or odor, and are run with only one employee on site. The applicant submits that the proposed development will not adversely affect the surrounding neighborhood.

- (b) *The specific site is an appropriate location for such a use, structure or condition:*

Locus is an appropriate location for the proposed self-storage use and buildings. The section of Depot Street between Great Western Road and the Harwich / Dennis town line is part of an industrially zoned and developed area, with nearby industrial and commercial uses including automobile salvage, lawn maintenance, lumber and stone yards, carpentry shops, and commercial cranberry bogs. The applicant's property is physically and visually contiguous with this industrial section of town, due to the layout

of Depot Road and the large bog to the immediate east of locus, which ends just past the property. The area is easily accessible from both the center of town and the highway and is in a neighborhood where residents go for similar types of business, including the self-storage facilities on Great Western Road. The applicant submits that the property is an appropriate location for the proposed buildings and use.

(c) *There will be no nuisance or serious hazard to vehicles or pedestrians:*

The proposal will not result in any nuisance or hazard to vehicles or pedestrians. The proposed self-storage will result in few vehicle trips to or from the property. The existing southerly driveway is proposed for removal and replacement with a larger driveway, with a wider curb cut to Depot Street.

(d) *Adequate and appropriate facilities will be provided for the proper operation of the proposed use. This includes the provision of appropriate sewage treatment facilities which provide for denitrification, when the permit granting authority deems such facilities necessary for protection of drinking water supply wells, ponds or saltwater embayments:*

The applicant has designed the new septic system for the dwelling at the property with sufficient additional flow for one employee in the office. Lessees access storage units infrequently for short periods of time and do not need bathrooms facilities.

G. Miscellaneous Zoning Compliance Table Items:

The applicant responds to the Bylaw § 325-51(A)(1)(a) – (d) special permit criteria as follows:

- **Building Height:** Please see building plans filed herewith. Maximum allowable building heights in the RR and IL districts are 30' and 40', respectively. Neither the existing dwelling nor the proposed storage buildings are more than 30' high.
- **Interior Landscaping:** The applicant proposes a row of new arborvitae trees planted 5' on center next to the southerly, and a portion of the southeasterly, property lines, to screen the storage buildings, as well as a new vegetated channel along the easterly side.
- **Number of Parking Spaces:** Parking sufficient for the proposed multifamily dwelling plus one employee of the self-storage business will be provided as noted previously. Self-storage customers do not require dedicated parking spaces as they will park in front of their unit during loading or unloading.

Authorization

April 25, 2023

We, David M. Crosbie and Steven Farnsworth, as the Trustees of the Rowoliver Nominee Trust u/d/t dated December 6, 2018, hereby authorize Benjamin E. Zehnder to file an application and other materials, on the trust's behalf, with the Town of Harwich, relative to real property owned by the trust located at 481 Depot Street, Assessor's Map 36, Parcel B1.

ROWOLIVER NOMINEE TRUST, by:



David M. Crosbie, Trustee

Steven Farnsworth, Trustee


Authorization

April __, 2023

We, David M. Crosbie and Steven Farnsworth, as the Trustees of the Rowoliver Nominee Trust u/d/t dated December 6, 2018, hereby authorize Benjamin E. Zehnder to file an application and other materials, on the trust's behalf, with the Town of Harwich, relative to real property owned by the trust located at 481 Depot Street, Assessor's Map 36, Parcel B1.

ROWOLIVER NOMINEE TRUST, by:

David M. Crosbie, Trustee



Steven Farnsworth, Trustee

Key: 4022

Town of HARWICH - Fiscal Year 2023

12/21/2022 7:21 pm SEQ #: 3.471

LEGALS

CURRENT OWNER				PARCEL ID				LOCATION				
CROSBIE DAVID M TRS ET AL FARNSWORTH STEVEN TRS 481 DEPOT ST HARWICH, MA 02645				36-B1-0				481 DEPOT ST				
TRANSFER HISTORY				DOS	T	SALE PRICE	BK-PG (Cert)					
CROSBIE DAVID M TRS ET AL				12/19/2018	F	1	31737-23					
CROSBIE DAVID M				04/23/2008	S	312,000	22853-309					
DEUTSCH BANK NATIONAL TRU				09/25/2006	L	1	21375-124					

CLASS	CLASS%	DESCRIPTION			BN ID	BN	CARD	
1040	100	TWO FAMILY				1	1 of 1	
PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st	%
155	07/27/2018	53	ALTER -NO GR	7,500	08/26/2019	TCK	100	100
79	08/13/2012	53	ALTER -NO GR	1,800	07/15/2013	DS	100	100
340	06/06/2011	51	NEW CONST-NO	1,500		DS	100	100
423	09/03/2009	2	ADDITIONS	4,200	07/15/2013	DS	100	100
		6	CYCL GROWTH		06/10/2008	MO	100	100

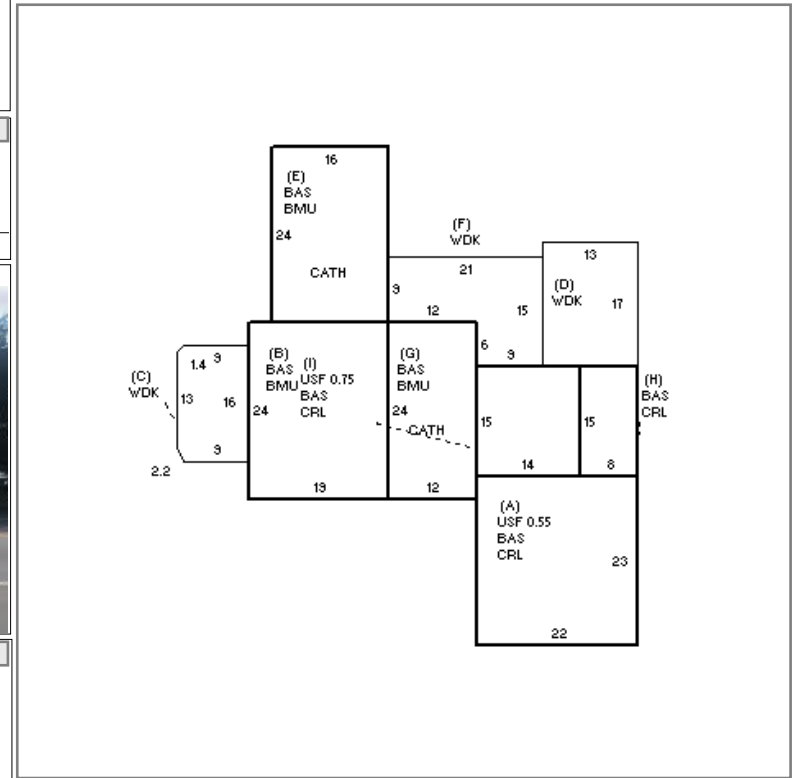
LAND

CD	T	AC/SF/UN	Ngh	Inf1	Inf2	ADJ BASE	SAF	Topo	Lpi	VC	CREDIT AMT	ADJ VALUE
100	S	35,719 3	1.00	1	1.00	219,600	1.04	100	1.00	2	0.90	187,490

TOTAL	35,719 SF	ZONING	FRNT	0	ASSESSED	CURRENT	PREVIOUS
Ngh	NGH 3	NOTE			LAND	187,500	163,100
Inf1	NONE		BUILDING	384,500	296,700		
Inf2	FACTOR 100		DETACHED	25,400	23,000		
			OTHER	0	0		
					TOTAL	597,400	482,800

DETAILED

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
FBN	A	1.00 A	0.75 30'x27		810	33.19	20,200
SHF	A	1.00 G	0.90 8 X 12	2007	96	19.17	1,700
ASH	A	1.00 A	0.75 10 X 27		270	17.28	3,500



BUILDING

BUILDING	CD	ADJ	DESC	MEASURE	7/15/2013	DS
MODEL	1		RESIDENTIAL	LIST	7/23/2012	DM
STYLE	7	1.35	OLD STYLE [100%]	REVIEW	9/18/2019	MR
QUALITY	+	1.15	GOOD-AVE+ [100%]	TOTAL REHAB 1982.		
FRAME	1	1.00	WOOD FRAME [100%]			

LOADING

YEAR BLT	1817	SIZE ADJ	0.960	ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	526,680
NET AREA	2,400	DETAIL ADJ	1.005	FOUNDATION	3	CONTIN WALL	1.00	+	CRL	N	CRAWL SPACE	836		0.00			
\$NLA(RCN)	\$219	OVERALL	1.165	EXT. COVER	2	CLAPBOARD	1.00	+	BAS	L	BAS AREA	1,292	1817	186.97	241,567		
				ROOF SHAPE	1	GABLE	1.00	+	USF	L	UP-STRY FIN	436	1817	159.96	69,742		
				ROOF COVER	1	ASPHALT SHINGLE	1.00	+	BMU	N	BSMT UNFINISHED	1,128		51.33	57,897		
				FLOOR COVER	2	SOFTWOOD	1.00	+	WDK	N	ATT WOOD DECK	623		33.57	20,913		
				INT. FINISH	1	PLASTER	1.00	E	BAS	L	BAS AREA	384	2002	186.97	71,797		
				HEATING/COOLING	2	HOT WATER	1.02	G	BAS	L	BAS AREA	288	1817	186.97	53,848		
				FUEL SOURCE	1	OIL	1.00		ODS	O	OUT DOOR SHOWER	1		2,596.80	2,597		
				USE	0		1.00										
																CONDITION ELEM	CD
																EXTERIOR	
																INTERIOR	
																KITCHEN	
																BATHS	
																HEAT/ELEC	
																EFF.YR/AGE	1977 / 44
																COND	27 27 %
																FUNC	0
																ECON	0
																DEPR	27 % GD 73
																RCNLD	\$384,500



B3-1
0.8 Ac

#493 **S5**
0.25 Ac

B3-2
0.6 Ac

T1
4.9 Ac

T2
0.55 Ac

#484 **B2**
0.37 Ac

#481

B1
0.82 Ac

B4
0.13 Ac

T6
11.92 Ac

T5
0.92 Ac

DENNIS

DEPOT STREET

COPY



**TOWN OF HARWICH
ASSESSORS OFFICE**

732 MAIN STREET
HARWICH, MASSACHUSETTS 02645

** Please email all Abutters Requests to assessing@harwich-ma.gov

APR 27

ASSESSORS OFFICE

TOWN OF HARWICH

OFFICE OF
BOARD OF ASSESSORS
Tel: 508-430-7503
Fax: 508-430-7086

APR 27 2023

ABUTTERS REQUEST FORM

ASSESSORS OFFICE

Board Requesting Action: Zoning Board of Appeals

Date Submitted: April 25, 2023

Applicant's Name: Rowoliver Nominee Trust

Assessors Map(s) & Parcel(s): 36-B1

Property Location: 481 Depot Street

Owner(s): Rowoliver Nominee Trust

Contact Person: Benjamin E. Zehnder; Charlie Zehnder

E-mail Address: bzehnder@zehnderllc.com; czehnder@zehnderllc.com

Telephone #: (508) 255-7766

Type of Petition: Special Permit

Assessors Approval By: *[Signature]* 4/27/23

I hereby certify that the names and addresses on the attached or preceding sheet (a) are of the owners as they appear in the assessing departments most recent computerized tax list

INVOICE

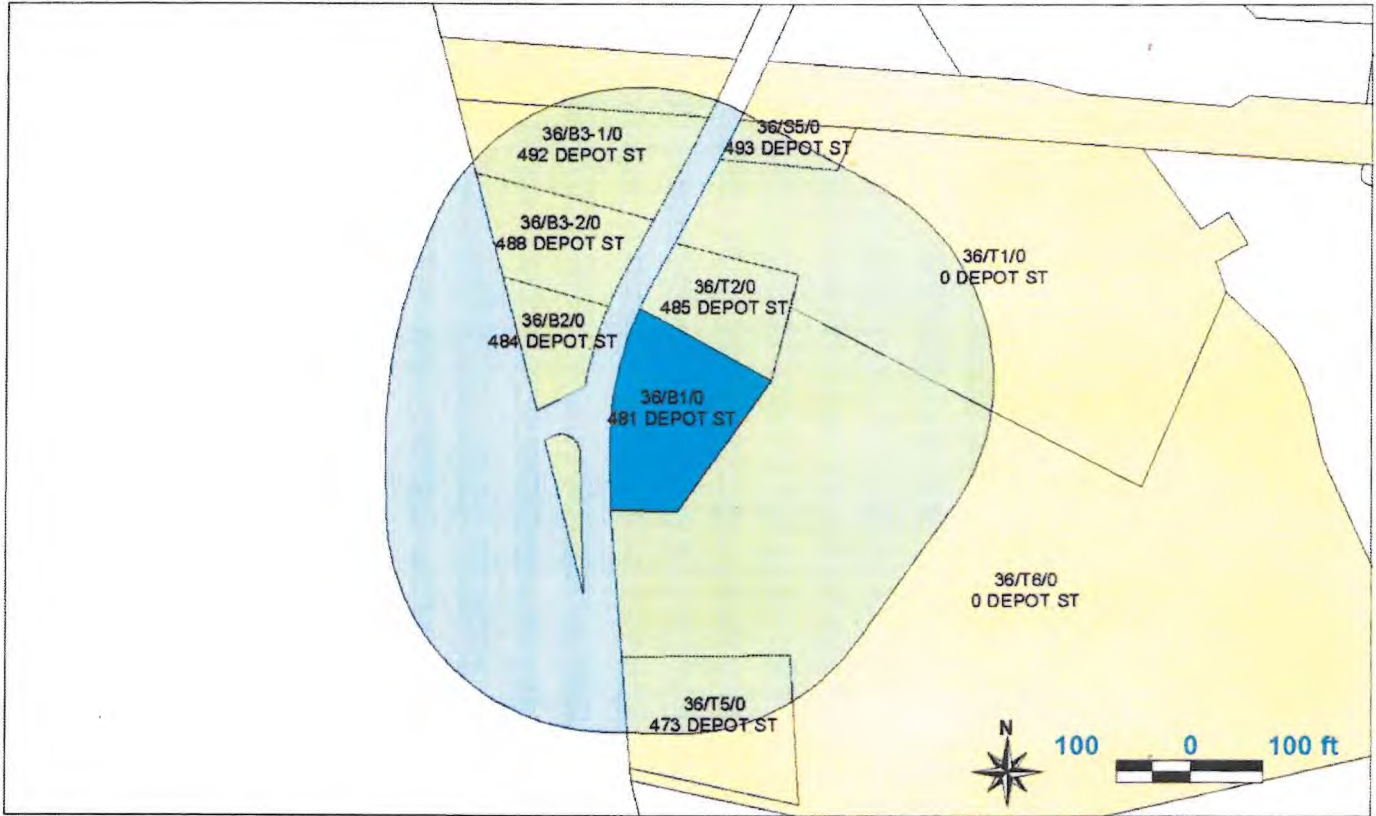
This cover sheet is also your invoice.

		<u>Date</u>	<u>Paid</u>	<u>Ck #</u>
Abutters Fee	\$50.00	4/27/23		001184

Make checks payable to: Town of Harwich

TOWN OF HARWICH, MA
 BOARD OF ASSESSORS
 732 Main Street, Harwich, MA 02645

Abutters List Within 300 feet of Parcel 36/B1/0



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
4022	36-B1-0-R	CROSBIE DAVID M TRS ET AL FARNSWORTH STEVEN TRS	481 DEPOT ST	481 DEPOT ST	HARWICH	MA	02645
4023	36-B2-0-R	MCNAMARA CHRISTOPHER P TR MCNAMARA REALTY TRUST	484 DEPOT ST	492 DEPOT ST	HARWICH	MA	02645
7828	36-B3-1-0-R	MCNAMARA CHRISTOPHER P TR MCNAMARA REALTY TRUST	492 DEPOT ST	492 DEPOT ST	HARWICH	MA	02645
4024	36-B3-2-0-R	MCNAMARA CHRISTOPHER P TR MCNAMARA REALTY TRUST	488 DEPOT ST	492 DEPOT ST	HARWICH	MA	02645
25672	36-B4-0-E	FISHTAIL VILLAGE CONDOMINIUM	0 DEPOT ST	549 CENTER ST	DENNIS PORT	MA	02639
10644	36-S5-0-E	MASSACHUSETTS COMMONWEALTH OF DEPT OF ENVIRONMENTAL MANAGEME	493 DEPOT ST	100 CAMBRIDGE ST	BOSTON	MA	02202
27266	36-T1-0-R	HALL ARTHUR H SR ESTATE OF	0 DEPOT ST	453 DEPOT ST	HARWICH	MA	02645
27267	36-T2-0-R	HALL ARTHUR H SR ESTATE OF	485 DEPOT ST	453 DEPOT ST	HARWICH	MA	02645
27269	36-T5-0-R	HALL ALAN J & HALL MAURA A	473 DEPOT ST	473 DEPOT ST	HARWICH	MA	02645
27270	36-T6-0-R	HALL ARTHUR H SR	0 DEPOT ST	453 DEPOT ST	HARWICH	MA	02645
10651	39-K4-0-E	MASSACHUSETTS COMMONWEALTH OF DEPT OF ENVIRONMENTAL MANAGEME	0 BIKE PTH	100 CAMBRIDGE ST	BOSTON	MA	02202

36-B1-0-R

CROSBIE DAVID M TRS ET AL
FARNSWORTH STEVEN TRS
481 DEPOT ST
HARWICH, MA 02645

36-B2-0-R

MCNAMARA CHRISTOPHER P TR
MCNAMARA REALTY TRUST
492 DEPOT ST
HARWICH, MA 02645

36-B3-1-0-R

MCNAMARA CHRISTOPHER P TR
MCNAMARA REALTY TRUST
492 DEPOT ST
HARWICH, MA 02645

36-B3-2-0-R

MCNAMARA CHRISTOPHER P TR
MCNAMARA REALTY TRUST
492 DEPOT ST
HARWICH, MA 02645

36-B4-0-E

FISHTAIL VILLAGE CONDOMINIUM
549 CENTER ST
DENNIS PORT, MA 02639

36-S5-0-E

MASSACHUSETTS COMMONWEALTH OF
DEPT OF ENVIRONMENTAL MANAGEME
100 CAMBRIDGE ST
BOSTON, MA 02202

36-T1-0-R

HALL ARTHUR H SR ESTATE OF
453 DEPOT ST
HARWICH, MA 02645

36-T2-0-R

HALL ARTHUR H SR ESTATE OF
453 DEPOT ST
HARWICH, MA 02645

36-T5-0-R

HALL ALAN J &
HALL MAURA A
473 DEPOT ST
HARWICH, MA 02645

36-T6-0-R

HALL ARTHUR H SR
453 DEPOT ST
HARWICH, MA 02645

39-K4-0-E

MASSACHUSETTS COMMONWEALTH OF
DEPT OF ENVIRONMENTAL MANAGEME
100 CAMBRIDGE ST
BOSTON, MA 02202

QUITCLAIM DEED

I, David M. Crosbie, an unmarried man, of 481 Depot Street, Harwich, Barnstable County, Massachusetts 02645, in consideration of estate planning grant to David M. Crosbie, of 481 Depot Street, Harwich, Barnstable County, Massachusetts 02645, and ~~Matt Armstrong, of 16 Matheson Road, Brewster, Barnstable County, Massachusetts 02631~~*, Trustees of the Rowoliver Nominee Trust, under Declaration of Trust dated December 6, 2018, which said Trust is recorded herewith in the Barnstable County Registry of Deeds in Book 31737, Page 18

with **quitclaim covenants**

the land, together with the buildings thereon, situated in Harwich in the County of Barnstable and Commonwealth of Massachusetts, bounded and described as follows:

- ON THE WEST SIDE by County Road;
- ON THE NORTH by land now or formerly of Freeman Rogers;
- ON THE EAST by Cranberry Swamp, now or formerly of Cyrus Nickerson and Cranberry Swamp now or formerly of Nathan Kelly; and
- ON THE SOUTH by land now or formerly of Nathan Kelly.

Containing one acre, more or less.

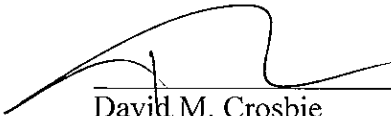
Property Address:
481 Depot Street, Harwich, Massachusetts 02645

For grantor's title, see deed of Deutsche Bank National Trust Company, Trustee, to David M. Crosbie, individually, dated March 19, 2008, and recorded April 23, 2008 with the Barnstable County Registry of Deeds in Book 22853, Page 309.

* Steven Farnsworth, of 305 SW 3rd Street, Boynton Beach, Palm Beach County, Florida

Grantor releases any and all homestead rights to the within premises, whether created by declaration or operation of law, and further states under the penalties of perjury that there are not other individuals entitled homestead rights to the property being conveyed herein.

Executed as a sealed instrument this 6th day of December, 2018.

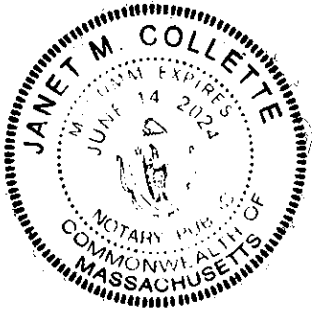



David M. Crosbie

COMMONWEALTH OF MASSACHUSETTS

Barnstable, ss

On this 6th day of December, 2018, before me, the undersigned notary public, personally appeared David M. Crosbie, proved to me through satisfactory evidence, which was personal knowledge, to be the person whose name is signed on the preceding Quitclaim Deed, and who swore and affirmed to me that the contents of the document is truthful and accurate to the best of his knowledge and belief, and acknowledged to me that he signed it voluntarily for its stated purpose.





Notary Public
My Commission Expires: 06/14/2024



S



W



W



W

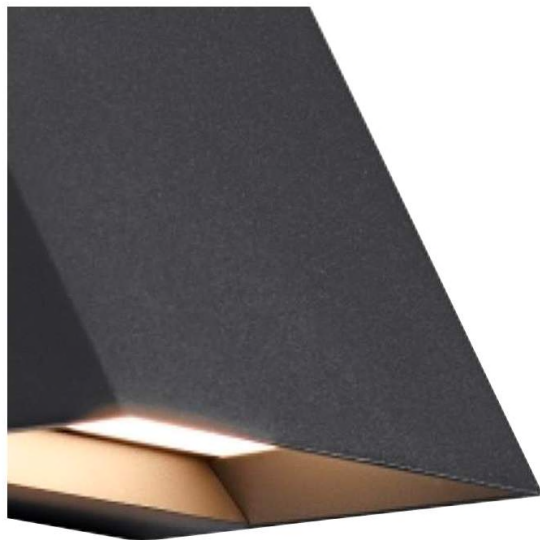


N





E



Tech Lighting Pitch 5" High Black LED Outdoor Wall Light

\$230.00

Pay in 4 interest-free payments of \$57.50 with [PayPal](#). [Learn more](#)

FREE SHIPPING & **FREE RETURNS*** | [Price Matching Policy](#)

In Stock - [Ships in 3 to 5 Days](#)

1

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DESIGN CHAT

VIEW IN YOUR ROOM

Product Details

LED

Powerful illumination emanates from this modern outdoor LED wall light with an angular profile.

Additional Info:

Steeply pitched like a classic architectural roofline, this modern outdoor LED wall light is a designer addition from Tech Lighting. It boasts a black powder-coated finish over die cast construction and delivers lovely indirect illumination perfect for stairs or walkways. This ADA-compliant, 3000K design must be installed with the light down, and is suitable for wet locations.



- 5" high x 5" wide. Extends 4" from the wall. Weighs 1.2 lbs.
- Built-in dimmable 26.2 watt LED module: 822.6 lumen light output, comparable to a 60 watt incandescent. 3000K color temperature. 80 CRI.
- Modern metal ADA energy-efficient LED outdoor wall light from the Pitch collection by Tech Lighting.
- Powder-coated black finish over die-cast aluminum construction. Stainless steel hardware.
- Can only be installed with lights pointing down.
- Dimmable with electronic low voltage dimmer.

Chat

- LEDs average 70,000 hours at 3 hours per day.
- Universal 120 volt - 277 volt.
- Wet listed and IP65 rated indicating resistance to dust and water. Suitable for wet location when facing down.
- Can be used for both indoor or outdoor.
- ADA compliant.

Specifications

Product Attributes

Finish	Black
Style	Contemporary
LED	Yes

Technical Specifications

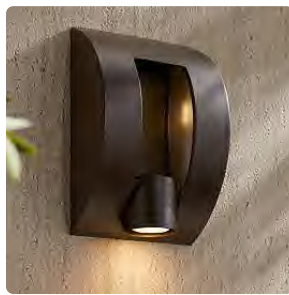
Height	5.00 inches
Width	3.90 inches
Weight	1.66 pounds

More You May Like | [View All](#)



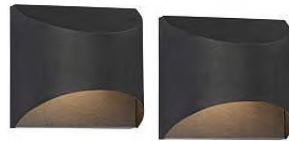
Possini Euro Xane 11" Wide Bronze Dark Sky LED Wall Light

\$179.99



Framed Slate 12" High Bronze 3-Light Outdoor Wall Light

\$199.99



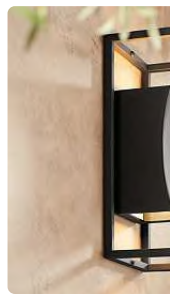
Possini Euro Ratner 5 1/2" High Black LED Outdoor Wall Light...

\$259.98



Possini Euro Xane 11" Wide Bronze Finish Modern Dark Sky...

\$129.95 Sale



Kell 14" High Textured LED Up and Down

\$159.99



Related Videos



LED Buying Basics

LED Buying Guide



Contemporary Style Tips

Contemporary Style Tips and Ideas



Mid-Century Style Tips

Mid Century Modern Style Tips and Ideas



Mid-Century Modern Style

How to Style Mid Century Modern

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[Chat](#)



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02125

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Internet # 304852041 Model # DG12LOND-HD Store SKU # 1004159851

Top Rated



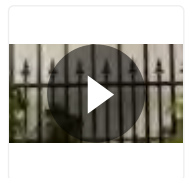
ALEKO

London Style 12 ft. x 6 ft. Black Steel Dual Swing Driveway Fence Gate

★★★★★ (15) Questions & Answers (17)

Live Chat


Feedback



Hover Image to Zoom

\$2399⁰⁰ /box



\$400.00 /mo* suggested payments with 6 months* financing [Apply Now](#) 

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85 available

FREE

Delivery

Oct 3 - Oct 10

85 available

- 1 +

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Product Details 

Are you seeking high quality ornamental wrought iron gates without the high price? We have the perfect alternative for you. We offer designs you will not find anywhere else! All of our gates capture the classic elegance of wrought iron gate designs and offer

Additional Resources

From the Manufacturer

affordable prices. Our quality gates are all powder coated and galvanized for years of trouble free good looks and security. 2 Posts and 4 Hinges Included! Replacement warranty 10 years. We use Duplex System when make our gates: Galvanized Steel and Powder Coated Paint. When powder paint is applied to galvanized steel, this is referred to as the Duplex System. The Duplex System is the best process used today to protect against any weathering affects of our environment on steel. The powder coating actually increases the life of the galvanized steel. The paint slows the process of at which the zinc is being consumed. Galvanized Steel is iron that has been through a chemical process that protects the steel from rust and corrosion. The steel is submerged in molted zinc at temperatures greater than 800 degrees F. This process known as galvanizing, permanently bonds the zinc to the steel. The zinc is now a shield for the iron. Powder coating is the technique of applying dry paint to an item. The item(s) are then placed in an stove and heated in temperatures that range from 300 to 400 degrees F (depending on the powder). Unlike conventional paints, powder coated paints will not peel, chip or crack.

 Live Chat

 Feedback

Specifications



Dimensions

Assembled Height (in.)	75 in
Assembled Width (in.)	152 in
Gate Height (in.)	75
Gate opening width (in.)	144

Gate thickness (in.)	3
Gate Width (in.)	144
Nominal gate height (ft.)	6
Nominal gate width (ft.)	12
Picket Length (ft.)	6
Picket Spacing (in.)	5
Picket Thickness (in.)	1
Picket Width (in.)	1
Rail length (in.)	72
Rail thickness (in.)	1.5
Rail width (in.)	1

 Live Chat

 Feedback

Details

Color Family	Black
Color/Finish	Black
Features	Galvanized
Includes	Hardware, Posts
Material	Metal
Number of rails for panels	5
Panel Assembly	Assembled Panel
Panel Design	Spaced Picket
Panel Top Shape	Arched
Picket Top Style	Pointed

Product Weight (lb.)	378 lb
Returnable	90-Day
Structure Type	Ornamental, Permanent

Warranty / Certifications

Manufacturer Warranty	Replacement warranty 10 years
-----------------------	-------------------------------

How can we improve our product information? Provide feedback.

Questions & Answers

17 Questions

Customer Reviews

4.5 out of 5 ★★★★★ (15)

Live Chat

Feedback

Frequently Bought Together

✓ Select

This Item

✓ Select

✓ Select

Top Rated



ALEKO

London Style 12 ft. x 6 ft. Black Steel Dual Swing Driveway...

★★★★★ (15)

Mighty Mule

Light Duty Dual Swing Gate Opener Solar Capable

★★★★★ (44)

Barrette Outdoor Living

4.562 in. x 2.312 in. Black Gravity Latch

★★★★★ (39)



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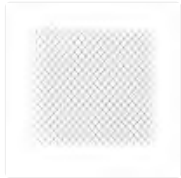
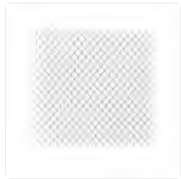
Internet # 319315110 Model # CLFB9.5G6X50-HD Store SKU # 1007266257



ALEKO (Brand Rating: 3.4/5)

6 ft. x 50 ft. 9.5-Gauge Galvanized Black Chain Link Fabric

★ ★ ★ ★ ★ (1) Questions & Answers (6)



Hover Image to Zoom

Live Chat



Feedback



Product Details



This Chain Link Fence Fabric provides an economical and low maintenance boundary for your home or business. Stretching 50 ft. L, this fence fabric has been galvanized prior to weaving to eliminate sharp surfaces and burrs that could cut or scrape. The durable 9.5 AW gauge galvanized steel inner wire helps protect from weathering, corrosion, rust and UV radiation, making it suitable for long-term outdoor use. The black coating adds an attractive finish to any residential or commercial property. A 2 in. diamond mesh opening allows for easy visibility through the fence, while deterring intruders and small animals from entering the property. Largely versatile, this fence fabric can be used to secure the perimeter of your property or as an animal enclosure in the form of dog kennels, chicken coops or hen houses. Regardless of how you use it, the Roll-Out design allows for easy and straight-forward installation.

Additional Resources

From the Manufacturer

 Live Chat

 Feedback

Specifications



Dimensions

Mesh Size (in.)	2 in
Nominal Product Height (ft.)	6 ft
Nominal Product Length (ft.)	50 ft
Product Height (in.)	60 in

Product Thickness (in.)	0.3 in
Product Width (in.)	600 in

Details

Chain Link Type	Garden
Color Family	Black
Features	Galvanized, Water Resistant
Fencing Installation Type	Free Standing
Gauge	9.5
Material	Metal
Product Weight (lb.)	71 lb
Returnable	90-Day

Live Chat

Feedback

Warranty / Certifications

Manufacturer Warranty	90 days limited
-----------------------	-----------------

How can we improve our product information? Provide feedback.

Questions & Answers

6 Questions



Customer Reviews

1 out of 5 (1)



Frequently Bought Together



Regency Storage Systems
7631 Shaffer Parkway - Suite C
Littleton, CO 80127

September 11, 2023

RE: David Crosbie
481 Depot St
Chatham, MA 02633

Subject: Job # 23-52391-CL4

Bldg. 52391 30' x 70' x 9'-6"
Bldg. 52392 12' x 60' x 8'-0" L.S.

This letter is to certify the above referenced building will be designed in accordance with the applicable sections of the American Institute of Steel Construction (AISC) and the American Iron and Steel Institute (AISI) design procedures and good engineering practices for the following loads.

Design Loads:

Building Code:	IBC 2021, Chapter 16		
Risk Category	II		
Dead Load:	Metal Building Structure Only		
Live Load:	20 psf (Non-Reduced)		
Ground Snow Load	25 psf		
Roof Snow:	21.0 psf	Ce = 1.00	Ct = 1.20 Is = 1.00
	Unheated		
Collateral Load:	6.0 psf		
Wind Speed:	139 mph (basic design wind speed)	Exp = C	

Porosity condition of building 52391 is: Enclosed
Porosity condition of building 52392 is: Enclosed

Seismic Data

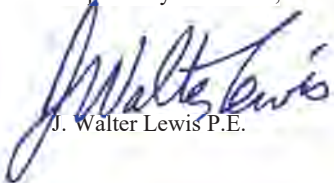
Design Category	B		
Seismic Importance Factor:	1.00		
Spectral Response Coefficients:	Ss = 0.136	S1 = 0.052	
	Sds = 0.145	Sd1 = 0.083	
Site Class (assumed):	D		
Basic Seismic Force Resisting System:	Laterally =	Not Detailed for Seismic Resistance	R = 3.00
	Longitudinally =	Not Detailed for Seismic Resistance	R = 3.00
Analysis Procedure:	Simplified Analysis Procedure		

The buyer is responsible for ensuring all specified loads are in compliance with local regulatory authorities. This letter of certification applies solely to the steel building system and its component parts and especially excludes any foundation, masonry, general contract work, or parts supplied by anyone other than Regency Storage Systems

Building is to be erected in accordance with "FOR CONSTRUCTION" erection drawings sealed by J. Walter Lewis, PE.

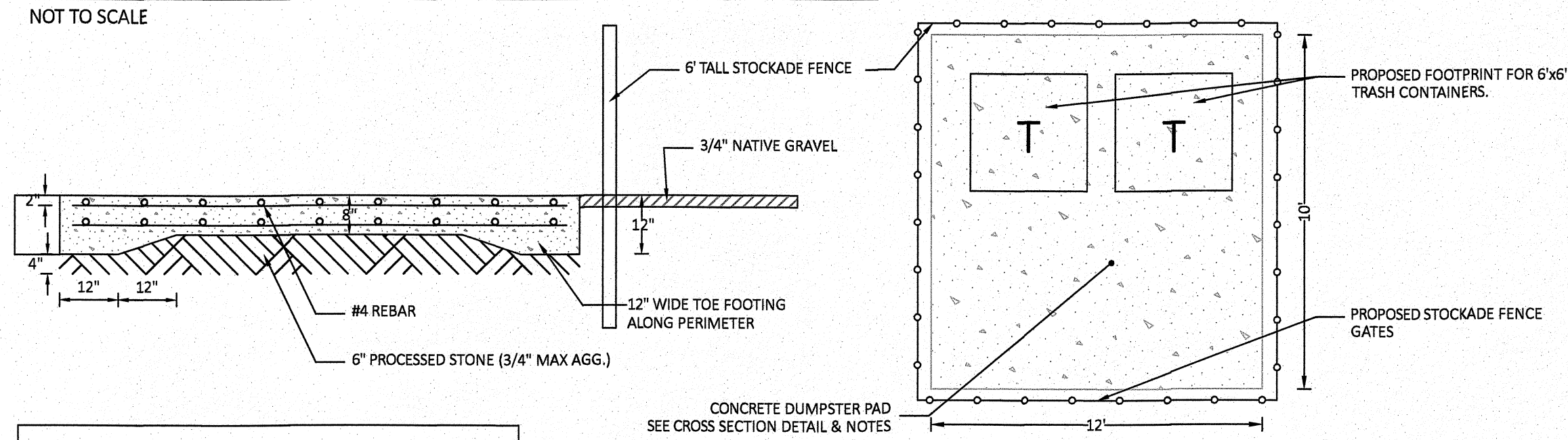
The undersigned is the metal building engineer and not the engineer of record for the overall project.

Respectfully Submitted,


J. Walter Lewis P.E.



CONCRETE DUMPSTER PAD PLAN VIEW & CROSS-SECTION:



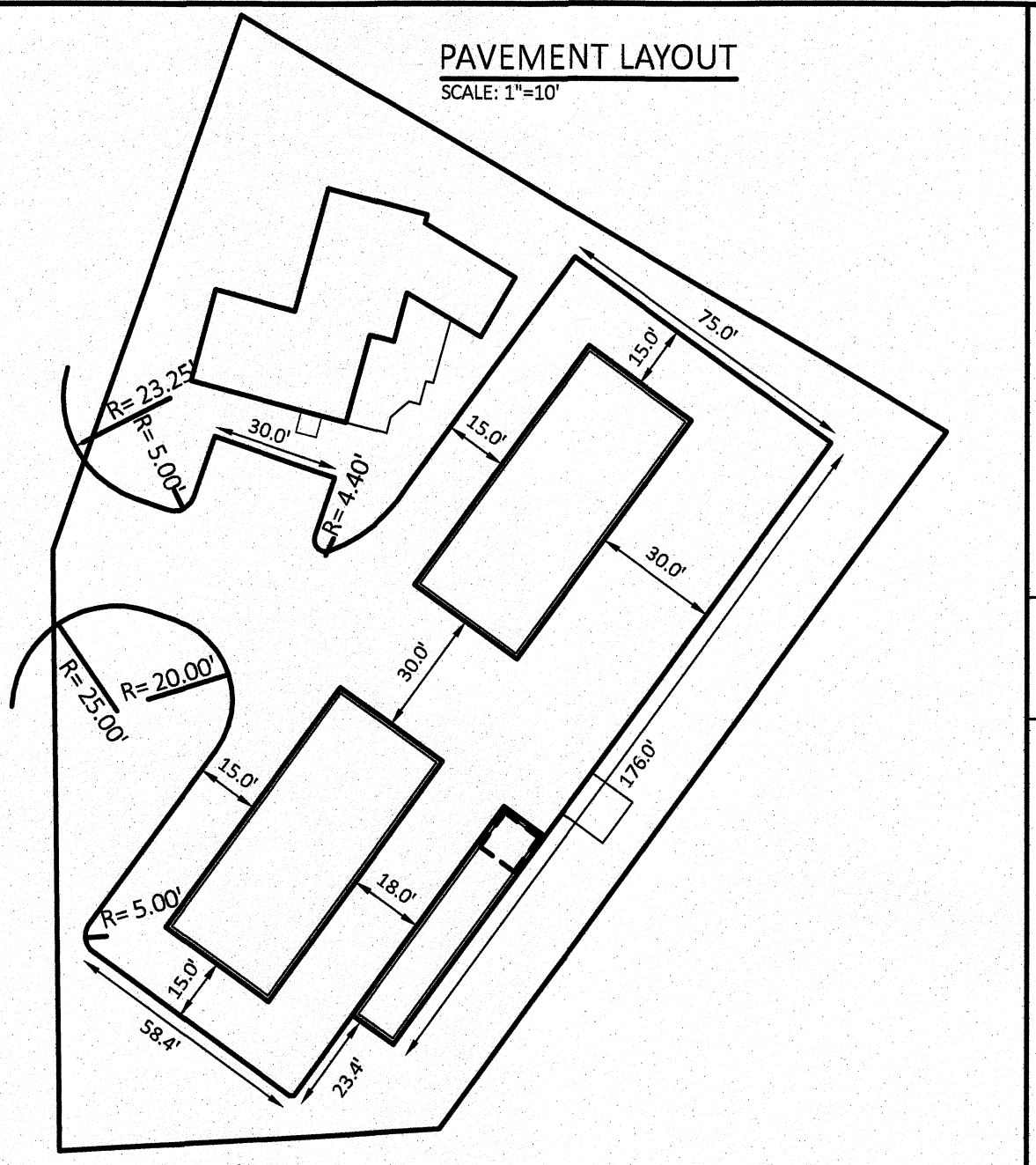
NOTES:
 CONTRACTOR SHALL USE 5,000 PSI CONCRETE, 8" THICK.
 CONCRETE PAD SHALL HAVE A 12" THICK, 12" WIDE TOE FOOTING ALONG THE ENTIRE PERIMETER.
 INSTALL TWO ROWS OF #4 REBAR SPACED 12" ON-CENTER IN BOTH DIRECTIONS. REBAR SHALL MAINTAIN 2" MINIMUM CLEARANCE FROM TOP AND BOTTOM OF CONCRETE POUR.
 CONCRETE SHALL BE UNDERLAID WITH A MINIMUM OF 8" BASE MATERIAL (3/4" MAX PROCESSED STONE OR APPROVED EQUAL).

ZONING COMPLIANCE TABLE
 ZONING DISTRICT: ZONE R-R

SUBJECT	EXISTING	REQUIRED	PROPOSED
LOT AREA (SF)	14,200	40,000	14,200
FRONTAGE (FT)	109	150	109
FRONT SETBACK (FT)	N/A	25	25.7
SIDE SETBACK (NORTH) (FT)	N/A	20	135.5
SIDE SETBACK (SOUTH) (FT)	N/A	20	20.5
REAR SETBACK (FT)	N/A	20	26.0
MIN. FRONT SETBACK PARKING	N/A	15	15.5
MIN. SIDE SETBACK PARKING	N/A	5	6
MIN. REAR SETBACK PARKING	N/A	5	8
BUILDING COVERAGE	0%	15%	19.9%
SITE COVERAGE	27.5%	30%	54.4%
BUILDING HEIGHT	N/A	30	SEE PROJECT NARRATIVE
INTERIOR LANDSCAPING	SEE PROJECT NARRATIVE		
NUMBER OF PARKING SPACES	N/A	SEE PROJECT NARRATIVE	8
DRIVEWAY WIDTH (FT)	21.3	24	N/A

ZONING COMPLIANCE TABLE
 ZONING DISTRICT: I-L ZONE

SUBJECT	EXISTING	REQUIRED	PROPOSED
LOT AREA (SF)	20,690	20,000	20,690
FRONTAGE (FT)	167	100	167
FRONT SETBACK (FT)	15.8	25	15.8
SIDE SETBACK (NORTH) (FT)	18.4	25	25.5
SIDE SETBACK (SOUTH) (FT)	115.6	25	113.9
REAR SETBACK (FT)	66.0	50	50.5
MIN. FRONT SETBACK PARKING	N/A	15	27.1
MIN. SIDE SETBACK PARKING	N/A	5	9.1
MIN. REAR SETBACK PARKING	N/A	5	20.5
BUILDING COVERAGE	17.3%	40%	21.9%
SITE COVERAGE	24.0%	70%	56.1%
BUILDING HEIGHT	SEE PROJECT NARRATIVE	40	SEE PROJECT NARRATIVE
INTERIOR LANDSCAPING	SEE PROJECT NARRATIVE		
NUMBER OF PARKING SPACES	2	2 (RESIDENCE)	1 (OFFICE SPACE)
DRIVEWAY WIDTH (FT)	N/A	24	24

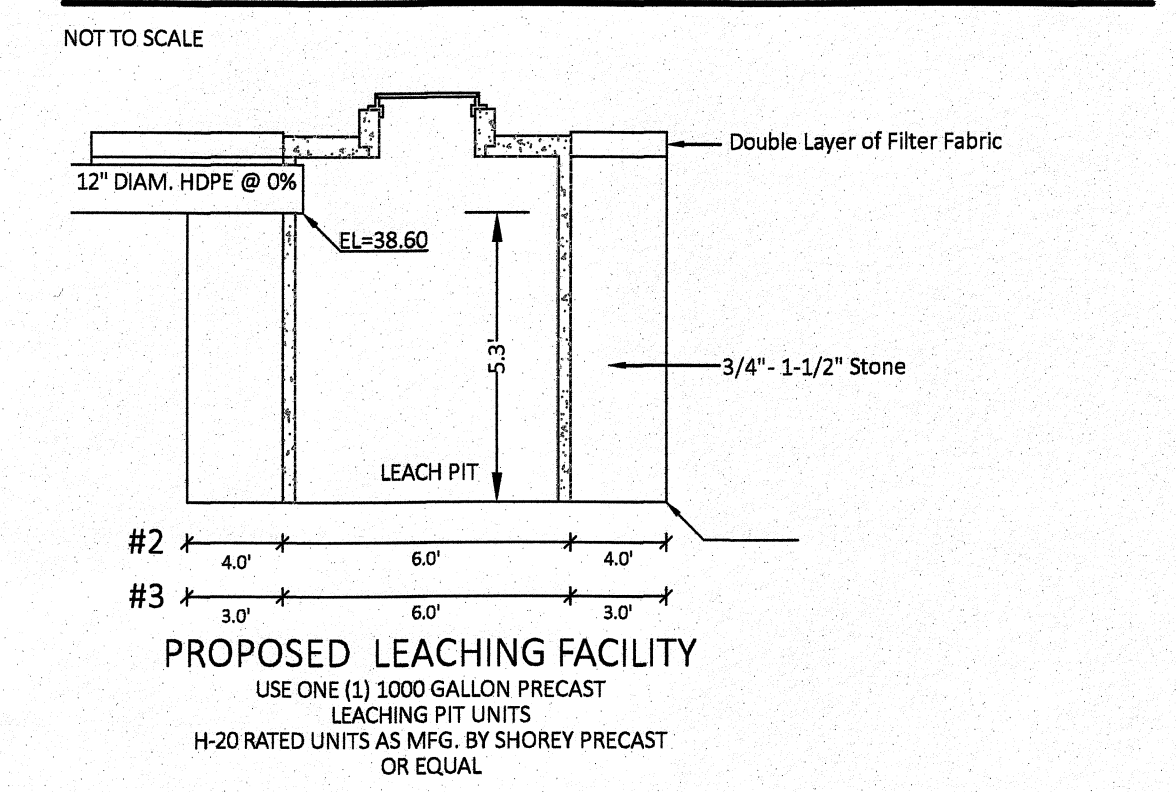


HARWICH, MA

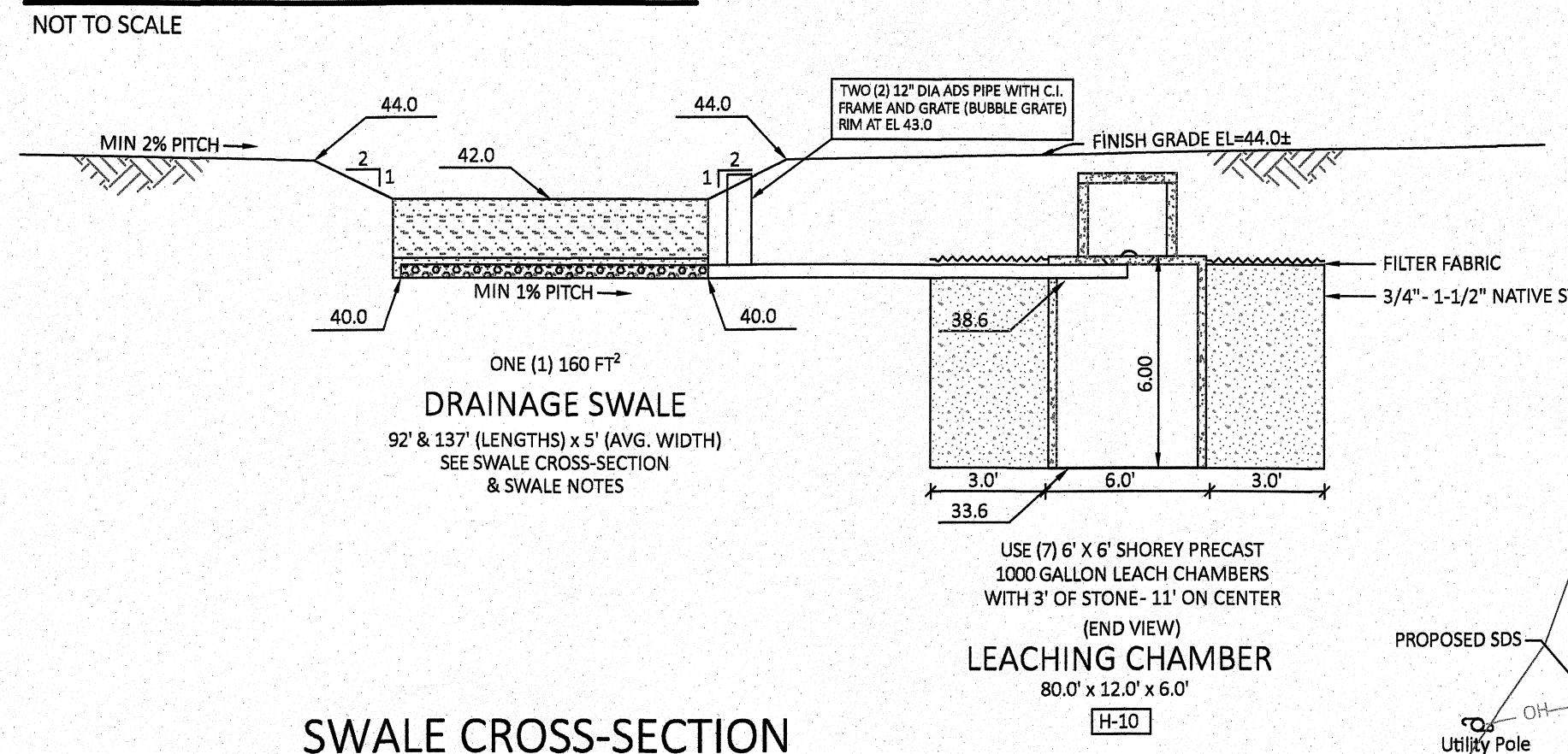
NOT TO SCALE

L.C. PLAN DEED BOOK 22853 ASSESSORS' MAP 36 #42160b PAGE 311 PARCEL B1

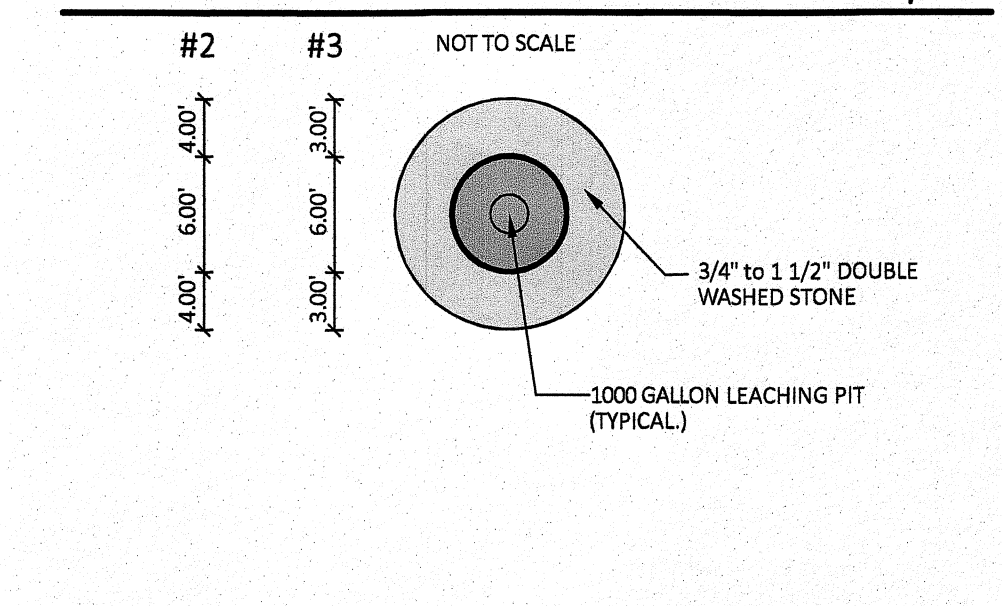
FLOW PROFILE OF DRAINAGE FACILITY #2/#3



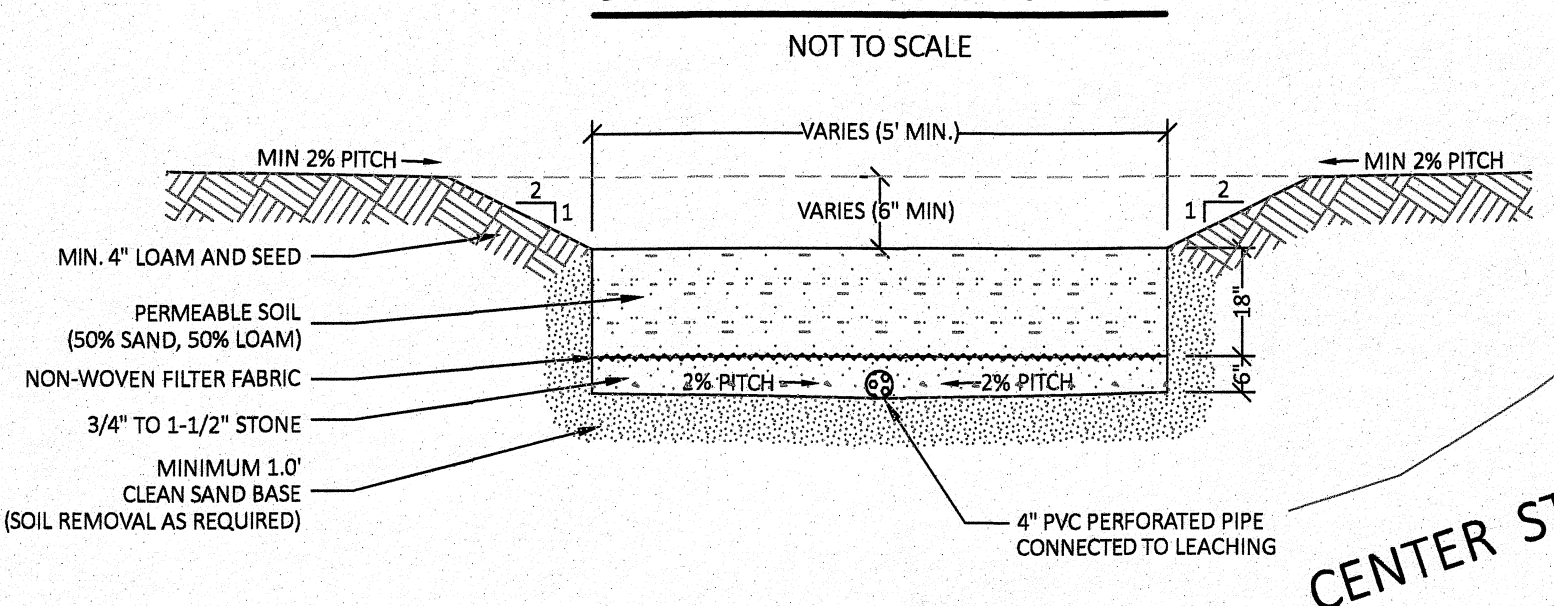
DRAINAGE FACILITY #1 PROFILE:



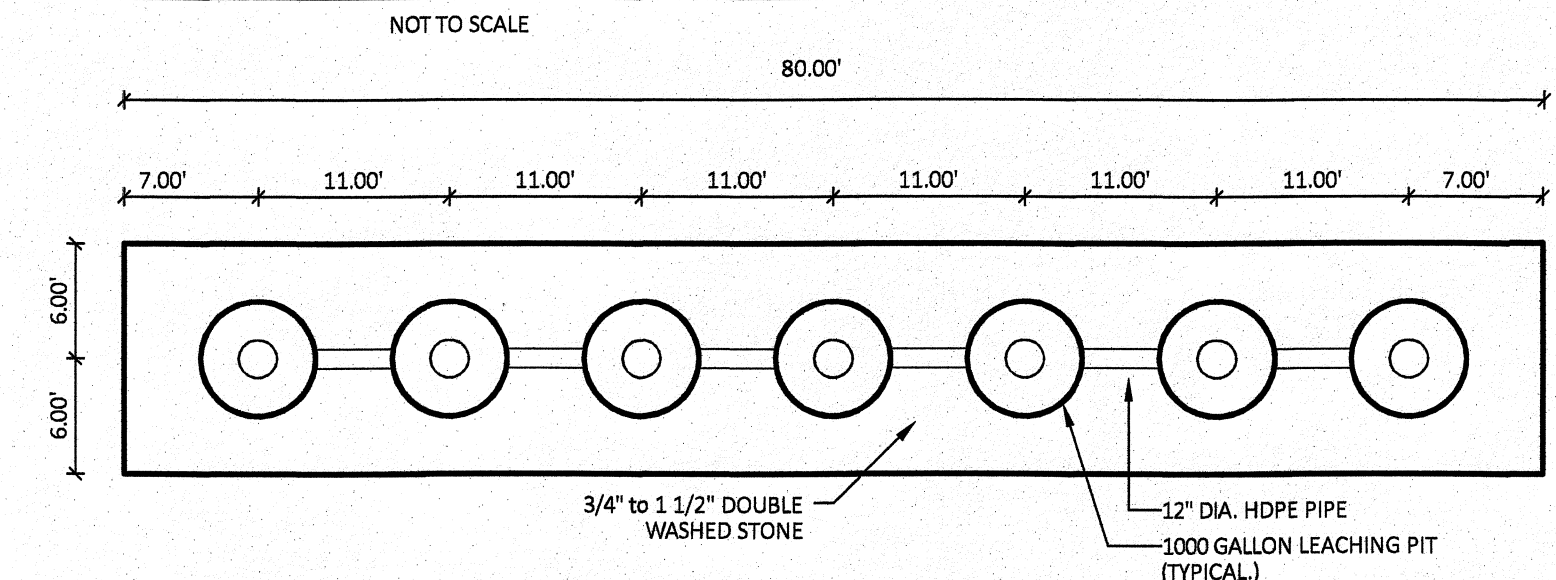
PLAN VIEW: LEACHING FACILITY #2/#3



SWALE CROSS-SECTION



PLAN VIEW: LEACHING FACILITY #1



SCREENING NOTES:

PROPOSED STORAGE UNIT:
 1) THE ENTIRE PERIMETER SHALL BE DELINEATED WITH A 6 FOOT HIGH CHAIN LINK FENCE, AS SHOWN ON THE PLAN VIEW.
 2) ALONG THE FENCE LINE, AS SHOWN ON THE PLAN VIEW, A ROW OF EMERALD GREEN ARBORVITAE SHALL BE PLANTED.
 3) THE ARBORVITAE SHALL BE 3 TO 4 FEET HIGH AND PLANTED AT 5 FEET ON CENTER. APPROXIMATELY 37 PLANTS ARE PROPOSED.

IRRIGATION:

4) ALL PLANTINGS SHALL BE IRRIGATED ON A REGULAR BASIS SO AS TO ENSURE SURVIVAL.
 5) IRRIGATION SYSTEM SHALL BE SOME SORT OF DRIP SYSTEM SO AS TO CONSERVE WATER.

TREE REPLACEMENT:

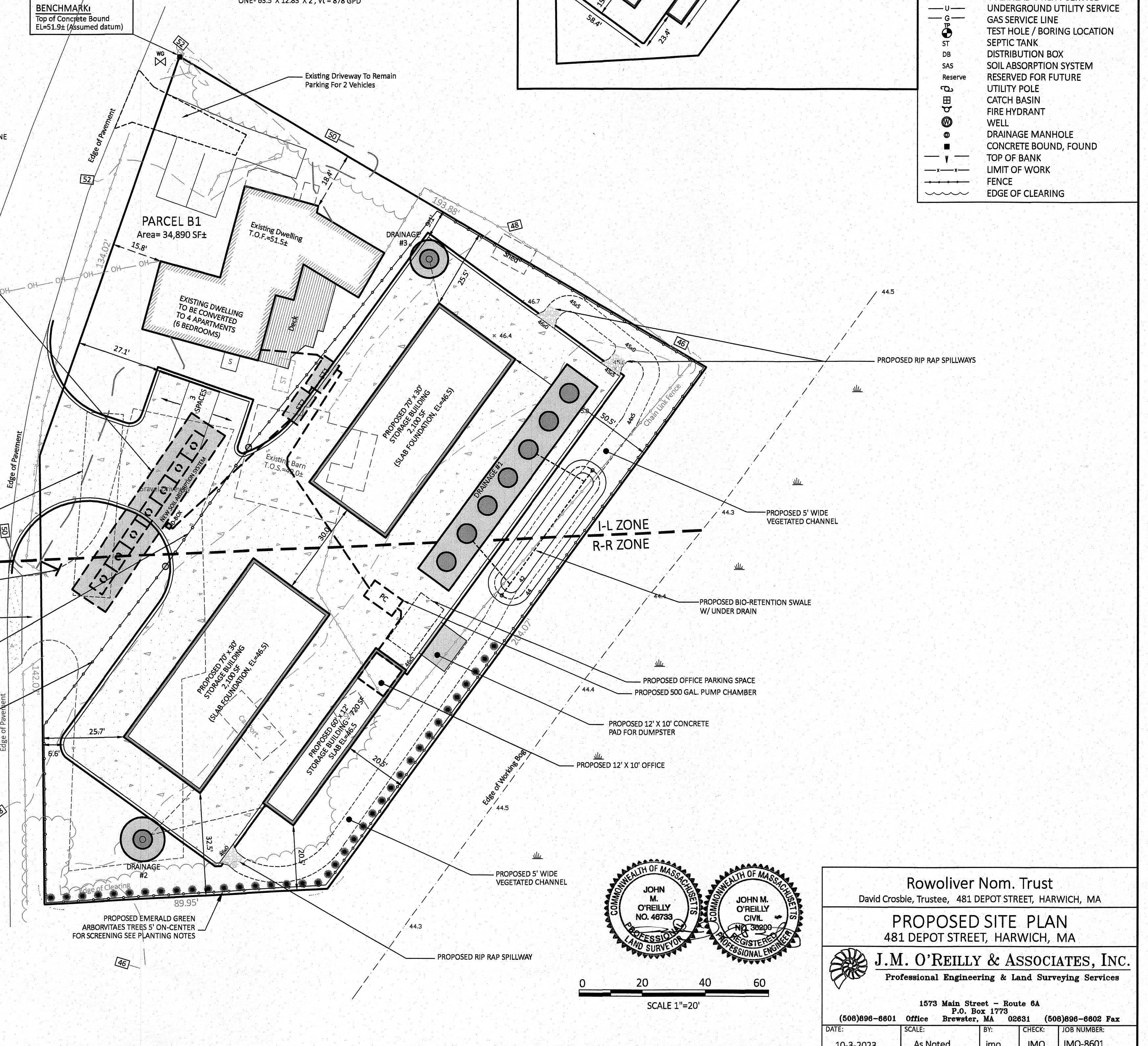
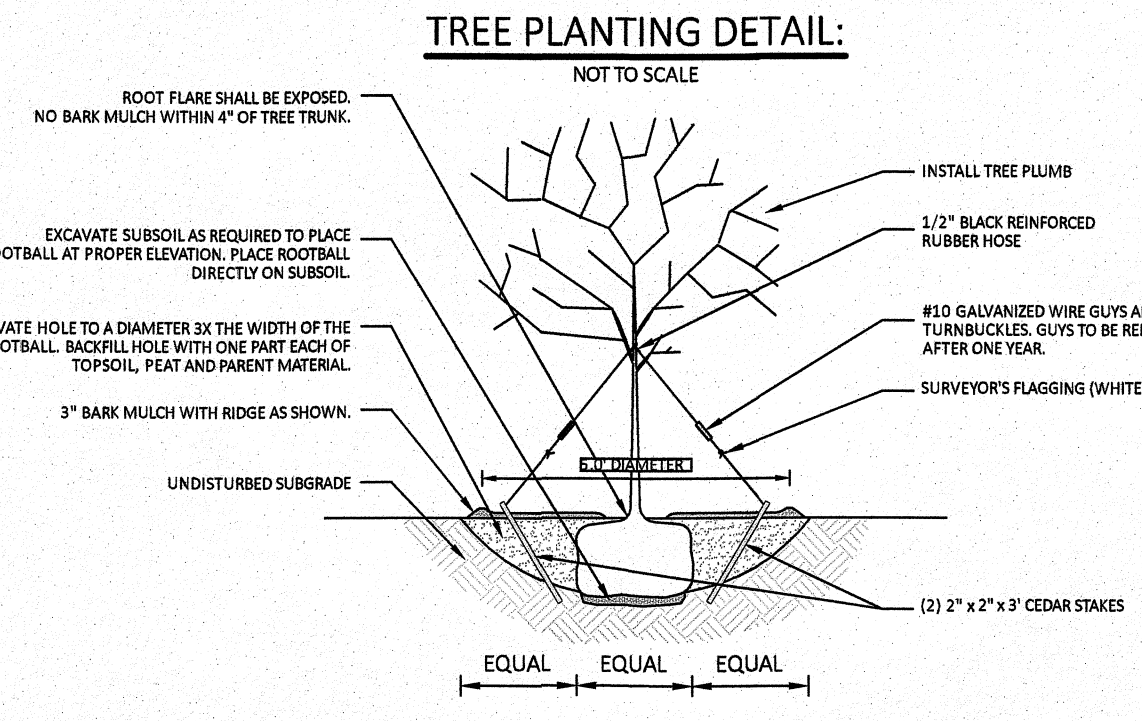
6) THE OWNER SHALL REPLACE ANY TREE WHICH DOES NOT SURVIVE FOR THE FIRST THREE YEARS AFTER PLANTING.

CHAIN LINK FENCE

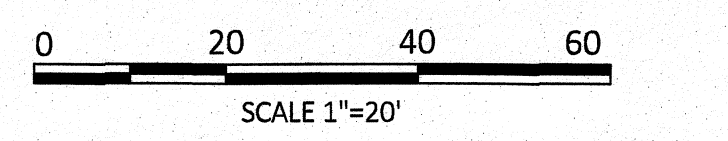
7) THE PROPOSED CHAIN LINK FENCING AROUND THE PROJECT SITE SHALL BE GALVANIZED (AFTER WEAVING-GBW) FENCING.
 8) FENCE POLES SHALL BE GALV. TUBING, 1-3/8" DIAMETER AND 0.065" (1.5mm) WALL THICKNESS.
 9) FENCE SHALL BE 11-1/2" GAUGE GALV. WITH 2-1/2" MESH

LIGHTING INFORMATION:

1) PROPOSED WALL MOUNTED "SLIM LED WALLPACKS, 37W.
 2) WALLPACKS SHALL BE MOUNTED 8 FEET ABOVE THE FINISH GRADE
 3) PROPOSED WALL MOUNTED UNITS ARE CONSISTENT WITH DARK-SKY REQUIREMENTS.



JOHN M. O'REILLY
 PROFESSIONAL LAND SURVEYOR
 JOHN M. O'REILLY
 CIVIL ENGINEER



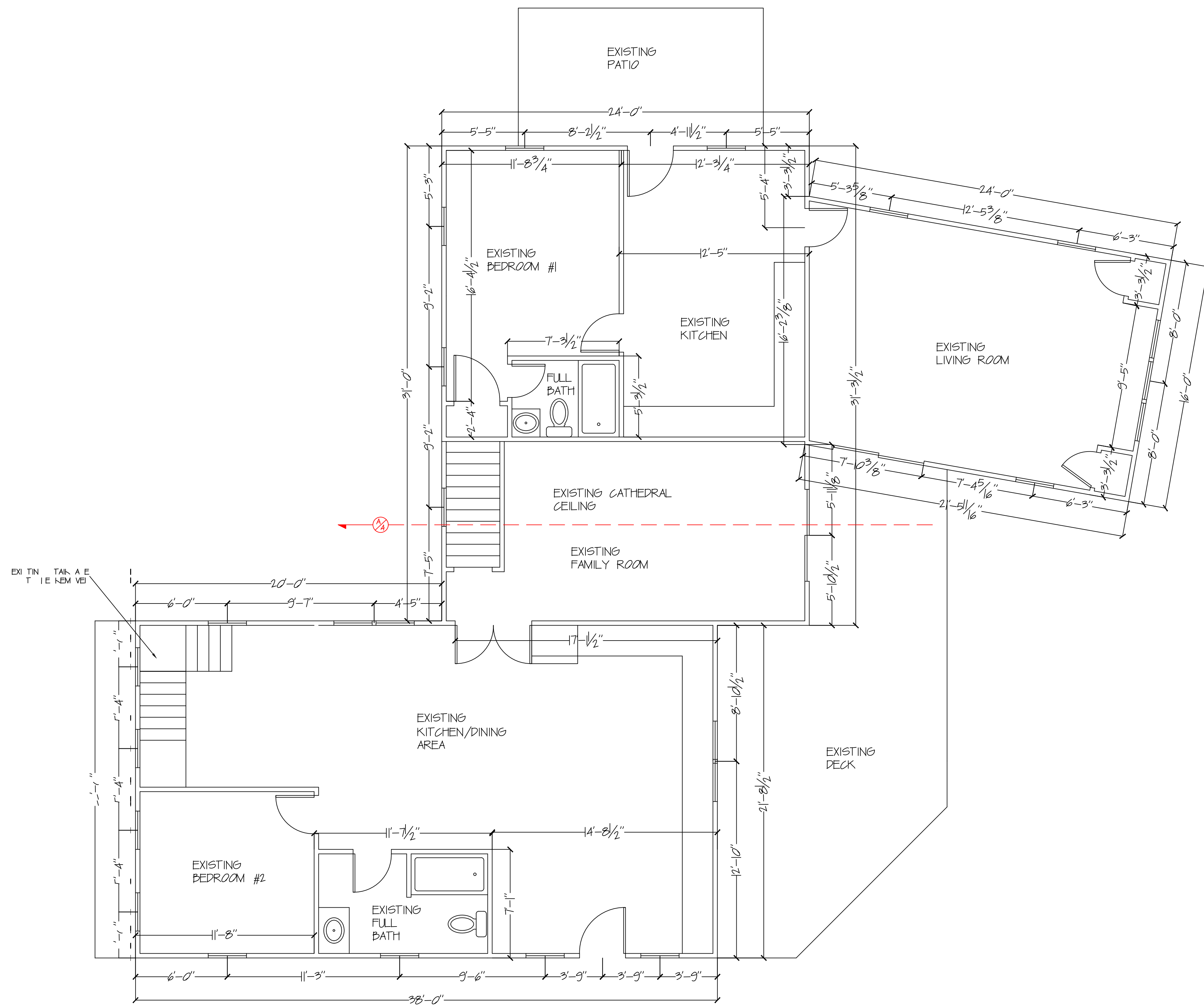
Rowlover Nom. Trust
 David Crosbie, Trustee, 481 DEPOT STREET, HARWICH, MA

PROPOSED SITE PLAN
 481 DEPOT STREET, HARWICH, MA

J.M. O'REILLY & ASSOCIATES, INC.
 Professional Engineering & Land Surveying Services

1673 Main Street - Route 6A
 P.O. Box 1773
 Brewer, MA 02831 (508)896-6802 Fax

DATE: 10-3-2023 SCALE: As Noted BY: jmo CHECK: JMO JOB NUMBER: JMO-8601



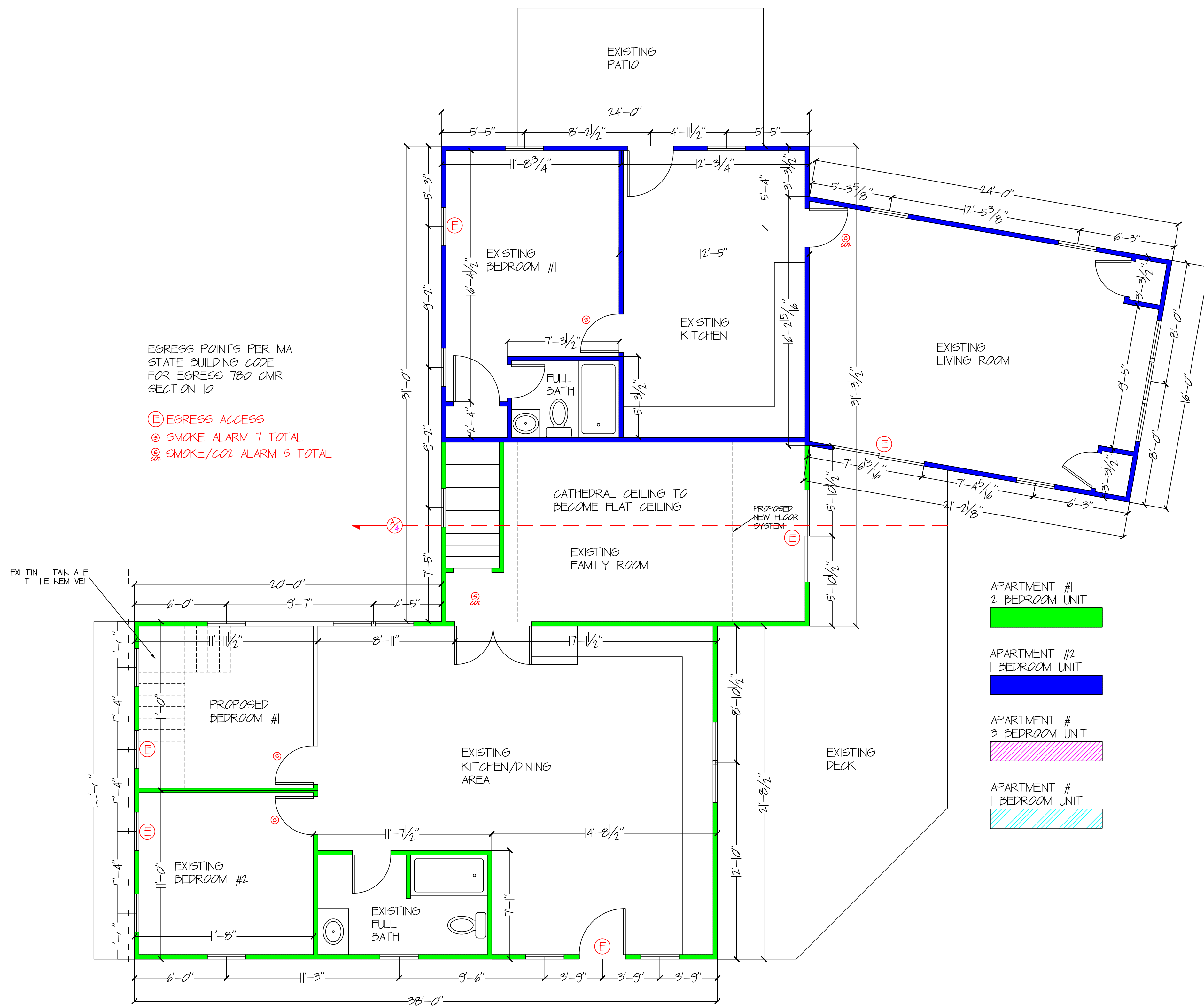
General Notes

No.	Revision/Issue	Date

Firm Name and Address
 GIOVANI HOME DESIGN
 26 COLLINS LANE
 MASHPEE, MA 02649

Project Name and Address
 CROSBIE RESIDENCE
 481 DEPOT ST.
 HARWICH, MA

Project	1A0	Sheet	A-1
Date	09/06/2023		
Scale	1/4" = 1'		



PROPOSED FIRST FLOOR PLAN

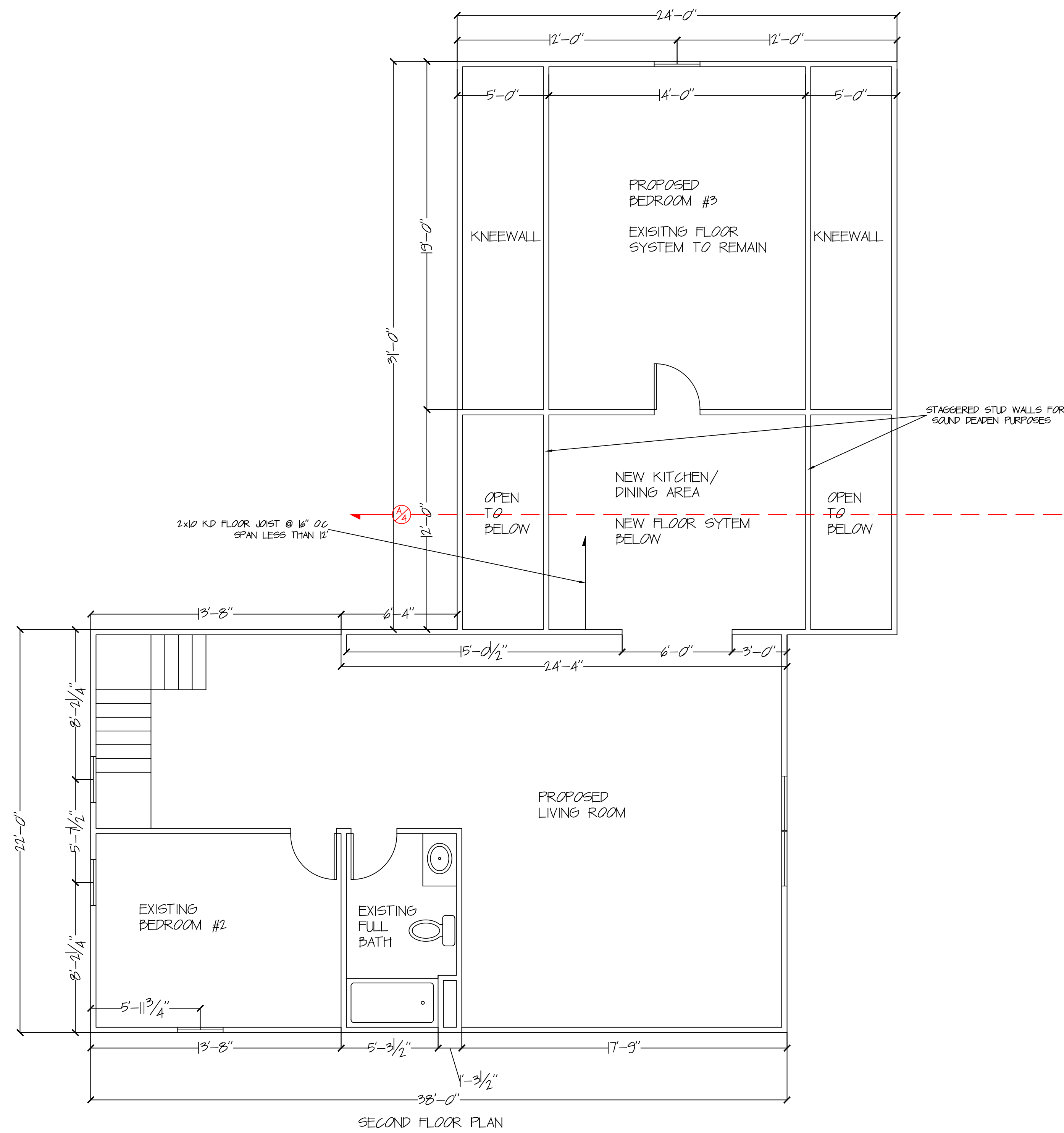
APARTMENT #1
APARTMENT #2

No.	Revision/Issue	Date

Firm Name and Address
 GOVONI HOME DESIGN
 26 COLLINS LANE
 MASHPEE, MA 02649

Project Name and Address
 CROSBIE RESIDENCE
 481 DEPOT ST.
 HARWICH, MA

Project	1A0	Sheet	A-2
Date	09/06/2023		
Scale	1/4" = 1'		



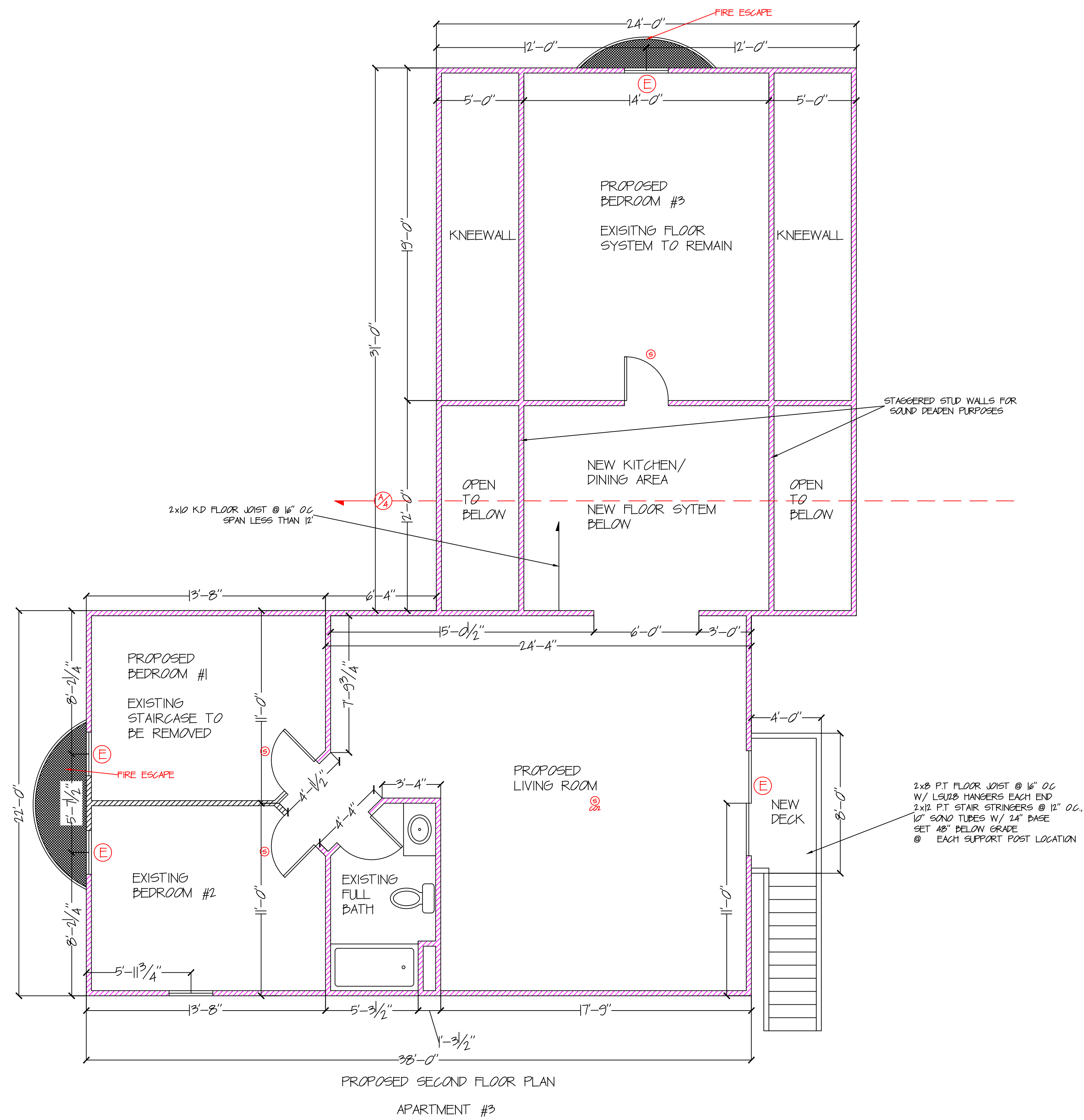
General Notes

No.	Revision/Issue	Date

Firm Name and Address
 GIOVANI HOME DESIGN
 26 COLLINS LANE
 MASHPEE, MA 02649

Project Name and Address
 CROSBIE RESIDENCE
 481 DEPOT ST.
 HARWICH, MA

Project	140	Sheet	A-3
Date	09/06/2023		
Scale	1/4" = 1'		



PROPOSED SECOND FLOOR PLAN
APARTMENT #3

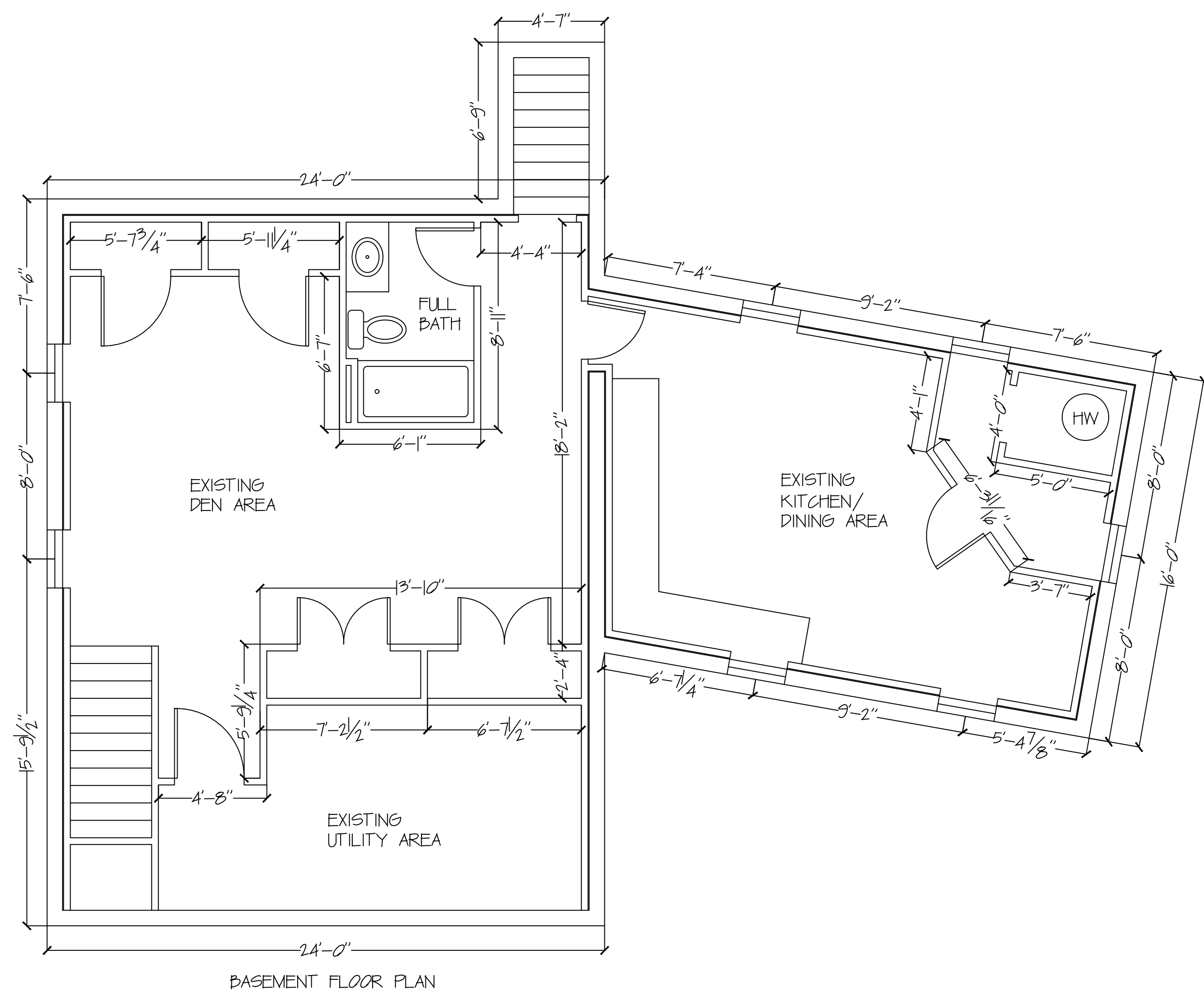
General Notes

No.	Revision/Issue	Date

Firm Name and Address
 GOVONI HOME DESIGN
 26 COLLINS LANE
 MASHPEE, MA 02649

Project Name and Address
 CROSBIE RESIDENCE
 481 DEPOT ST.
 HARWICH, MA

Project	1A0	Sheet	A-4
Date	09/06/2023		
Scale	1/4" = 1'		



BASEMENT FLOOR PLAN

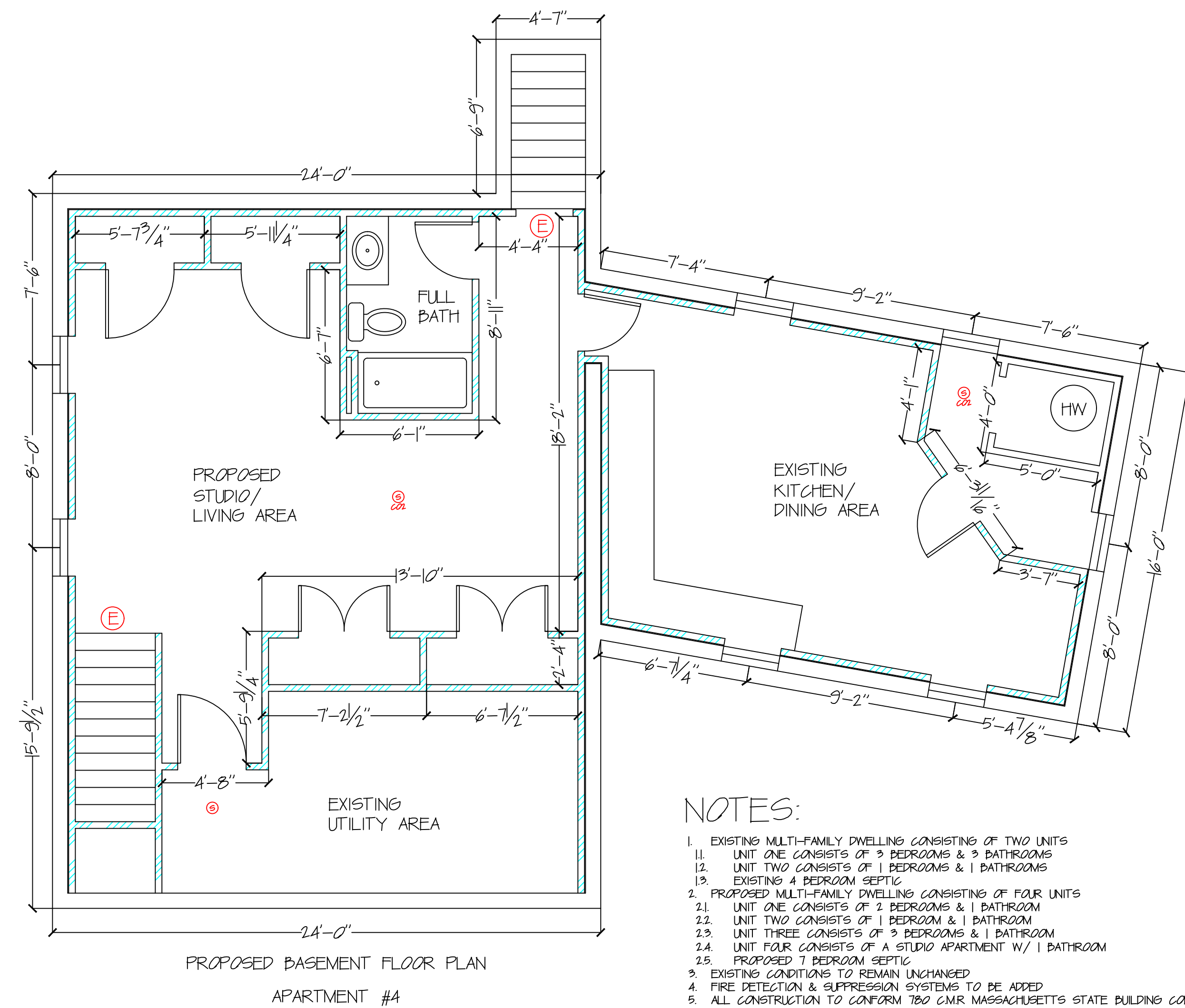
General Notes

No.	Revision/Issue	Date

Firm Name and Address
 GIOVANI HOME DESIGN
 26 COLLINS LANE
 MASHPEE, MA 02649

Project Name and Address
 CROSBIE RESIDENCE
 481 DEPOT ST.
 HARWICH, MA

Project	140	Sheet	A-5
Date	09/06/2023		
Scale	1/4" = 1'		



- NOTES:**
1. EXISTING MULTI-FAMILY DWELLING CONSISTING OF TWO UNITS
 11. UNIT ONE CONSISTS OF 3 BEDROOMS & 3 BATHROOMS
 12. UNIT TWO CONSISTS OF 1 BEDROOMS & 1 BATHROOMS
 13. EXISTING 4 BEDROOM SEPTIC
 2. PROPOSED MULTI-FAMILY DWELLING CONSISTING OF FOUR UNITS
 21. UNIT ONE CONSISTS OF 2 BEDROOMS & 1 BATHROOM
 22. UNIT TWO CONSISTS OF 1 BEDROOM & 1 BATHROOM
 23. UNIT THREE CONSISTS OF 3 BEDROOMS & 1 BATHROOM
 24. UNIT FOUR CONSISTS OF A STUDIO APARTMENT W/ 1 BATHROOM
 25. PROPOSED 7 BEDROOM SEPTIC
 3. EXISTING CONDITIONS TO REMAIN UNCHANGED
 4. FIRE DETECTION & SUPPRESSION SYSTEMS TO BE ADDED
 5. ALL CONSTRUCTION TO CONFORM TO 800 CMR MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION AMENDMENT & IRC05.
 6. CONTRACTOR TO VERIFY ALL DIMENSION IN THE FIELD.
 7. CONTRACTOR TO VERIFY ALL INTERIOR & EXTERIOR MATERIALS, DETAILS, & FINISHES WITH OWNERS
 8. ROUGH OPENING HEAD HEIGHT OF DOORS AND WINDOWS TO BE 6'-10" FROM THE SUB-FLOOR.
 9. FOLLOW ALL REQUIREMENTS OF THE IECC2009 RESIDENTIAL ENERGY EFFICIENCY REQUIREMENTS & VERIFY ALL DETAILS WITH THE INSULATION INSTALLER/CONTRACTOR.
 10. VERIFY ALL PLUMBING, HVAC AND ELECTRICAL DETAILS W/ OWNERS ON THE SITE DURING FRAMING CONSTRUCTION.
 11. ALL WINDOWS & DOORS TO HAVE SILL PANS & ICE/WATER SHIELD FLASHING AROUND WINDOW PERIMETER.
 12. FOLLOW ALL MANUFACTURERS SPECIFICATIONS FOR INSTALLATION OF ALL WINDOWS AND DOORS.
 13. ALL PLYWOOD WALL SHEATHING TO BE INSTALLED VERTICAL OR HORIZONTAL W/ BLOCKING AT ALL EDGES, EDGES TO BE NAILED 3" & 12" IN THE FIELD.
 14. THIS STRUCTURE IS DESIGNED TO THE A/F&P WOOD FRAME CONSTRUCTION MANUAL FOR 110 MPH EXPOSURE "B" LOCATION PER SECTION R302111.
 15. TIMBER FRAMING TO BE SPRUCE/PINE/FIR NO. 2 GRADE, 200PSI MIN.
 16. INSTALL ALL ROOF TO WALL, CHIMNEY, & OTHER FLASHING PER MANUFACTURERS SPECIFICATIONS.

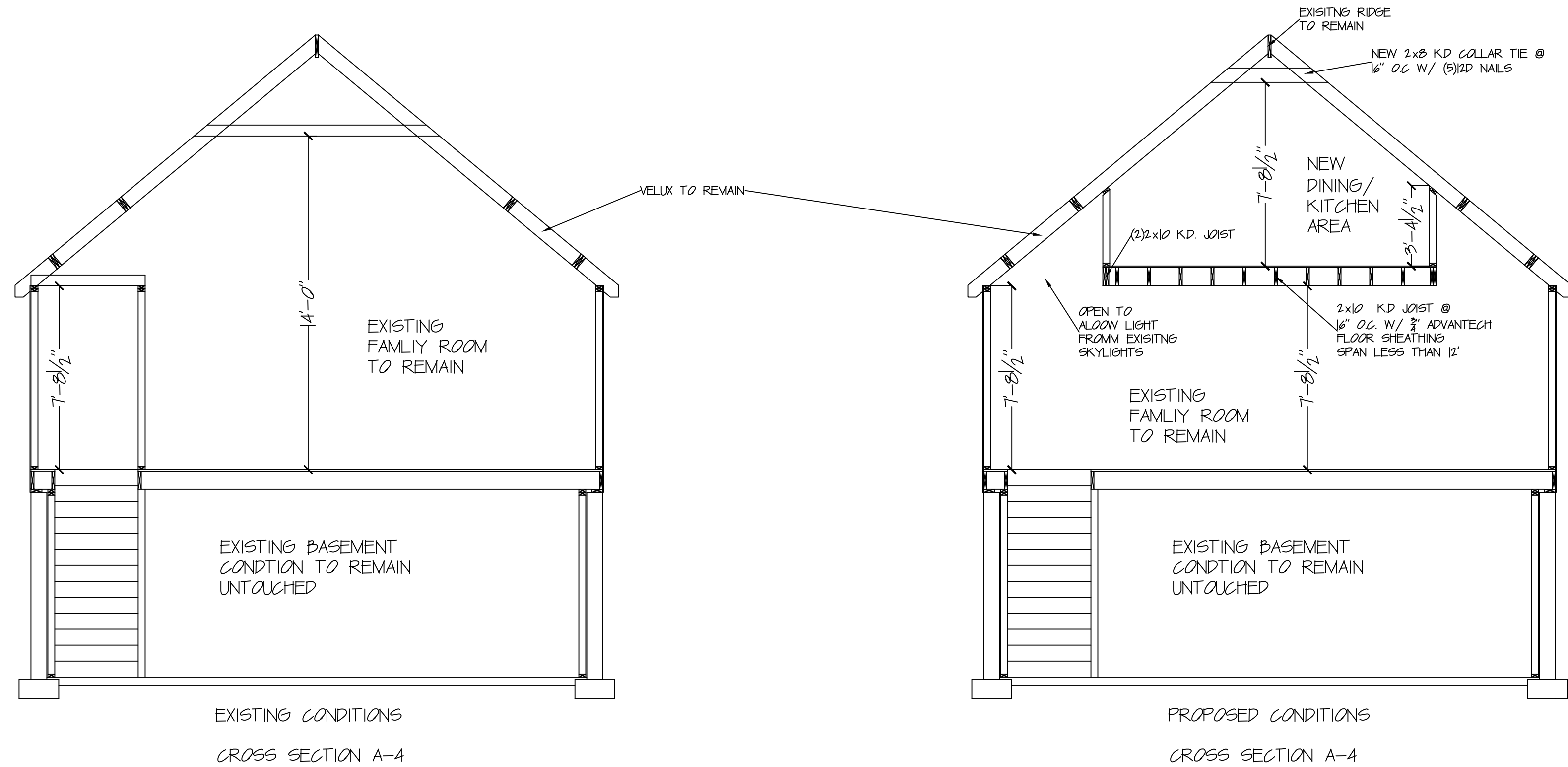
General Notes

No.	Revision/Issue	Date

Firm Name and Address
GOVONI HOME DESIGN
 26 COLLINS LANE
 MASHPEE, MA 02649

Project Name and Address
CROSBIE RESIDENCE
 481 DEPOT ST.
 HARWICH, MA

Project	140	Sheet	A-6
Date	09/06/2023		
Scale	1/4" = 1'		



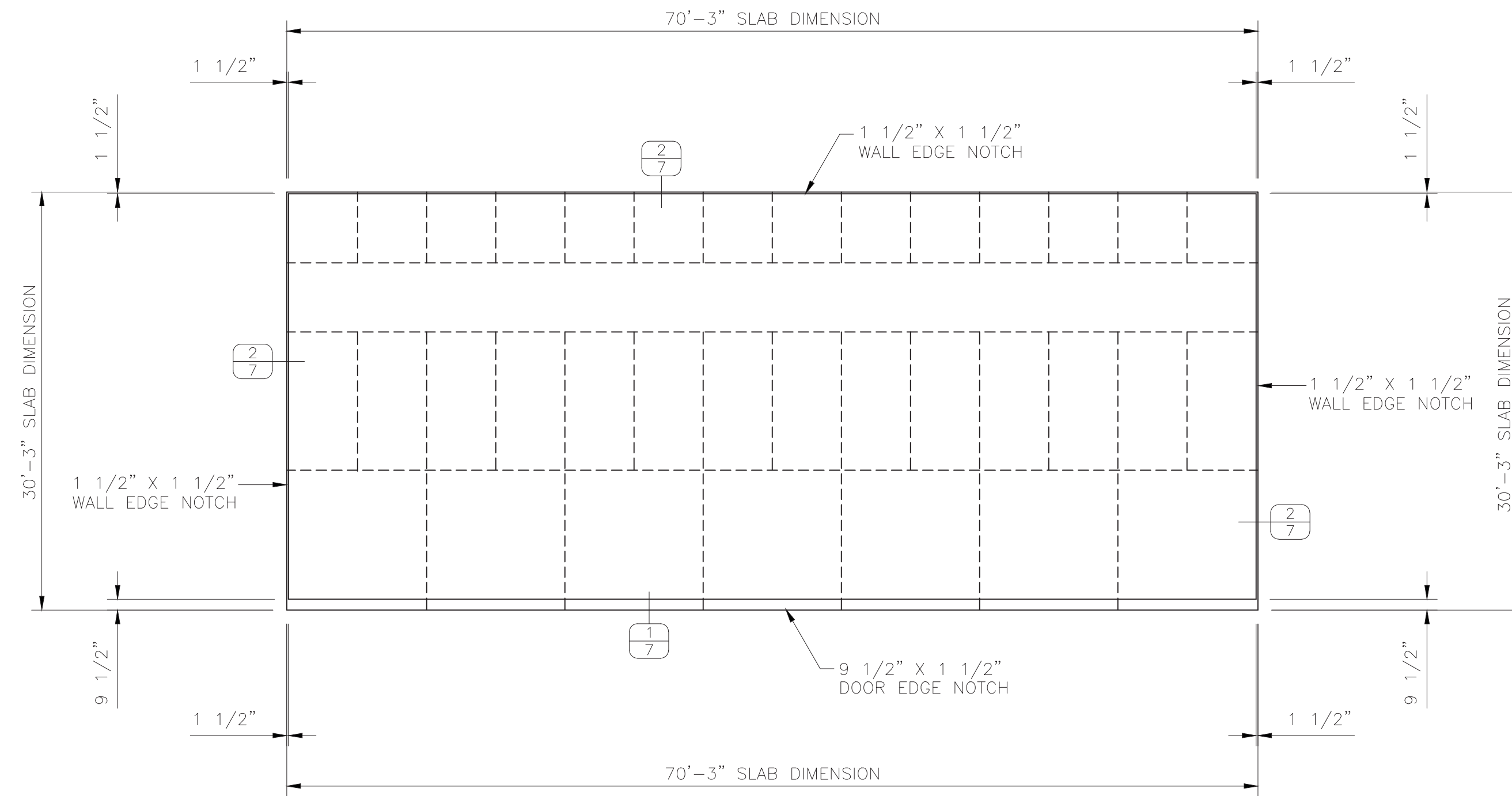
General Notes

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Firm Name and Address
 GIOVANI HOME DESIGN
 26 COLLINS LANE
 MASHPEE, MA 02649

Project Name and Address
 CROSBIE RESIDENCE
 481 DEPOT ST.
 HARWICH, MA

Project	140	Sheet	A-7
Date	09/06/2023		
Scale	1/4" = 1'		



SLAB PLAN
 scale - 1/8" = 1'-0"



09/11/2023

CONSTRUCTION	PSS	07/23/23
PRINTS ISSUED FOR	BY	DATE

CONFIDENTIAL AND PROPRIETARY INFORMATION
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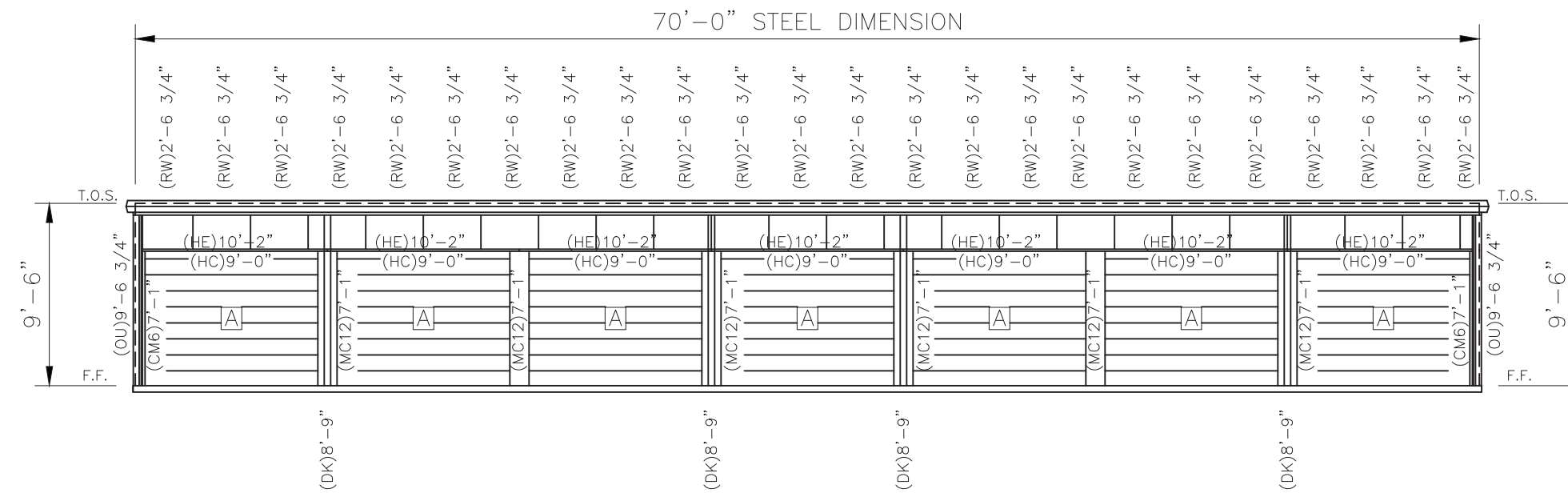
PROJECT:	30 x 70 x 9-6
LOCATION:	Chatham, MA 02633

REGENCY
 Storage Systems
 Mini Storage Units
 7631 Shaffer Parkway - Suite C
 Littleton, CO 80127
 Phone: 1-800-486-8415
www.ministoragebuilders.com

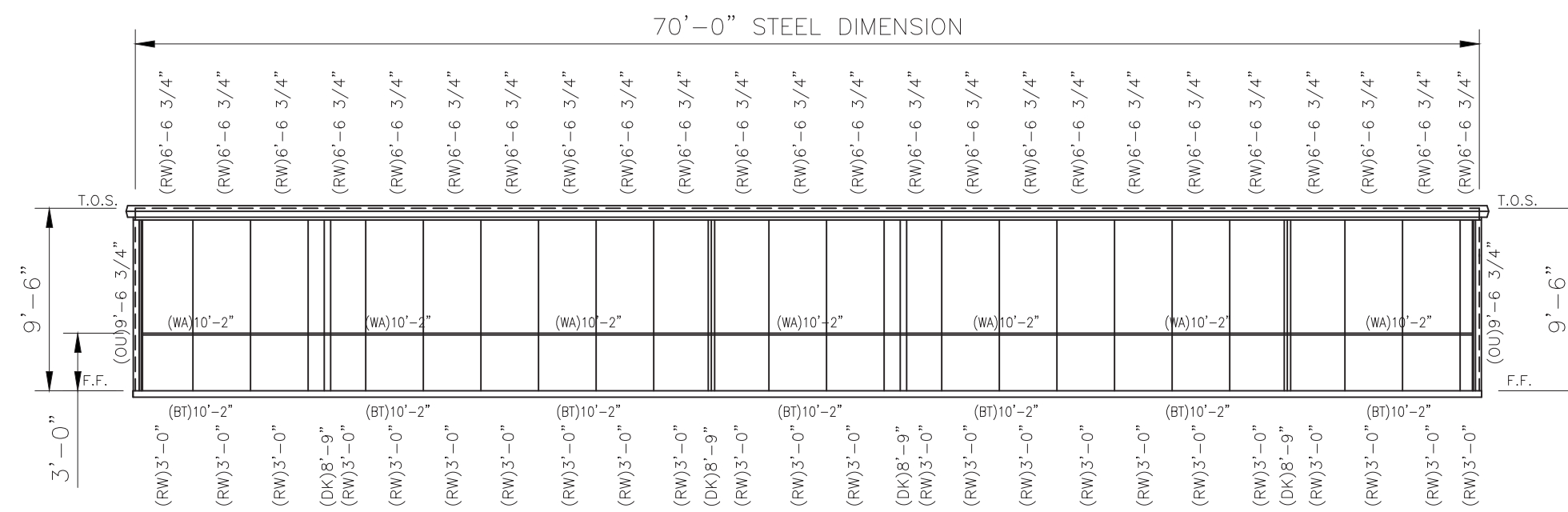
DWG #23-52391-CL4

Sheet

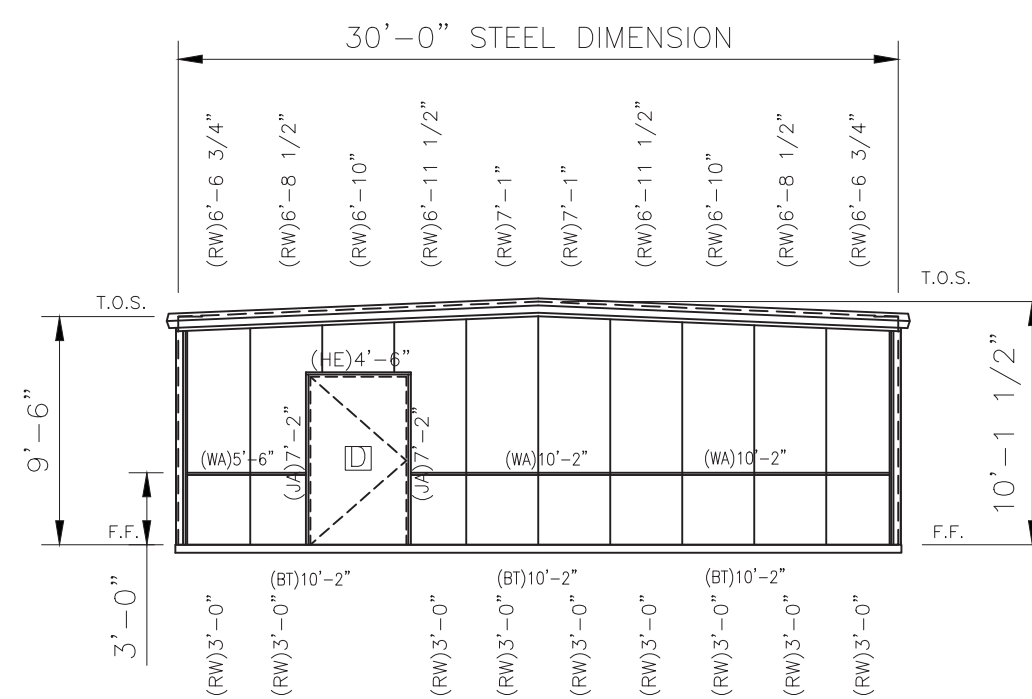
2 of 12



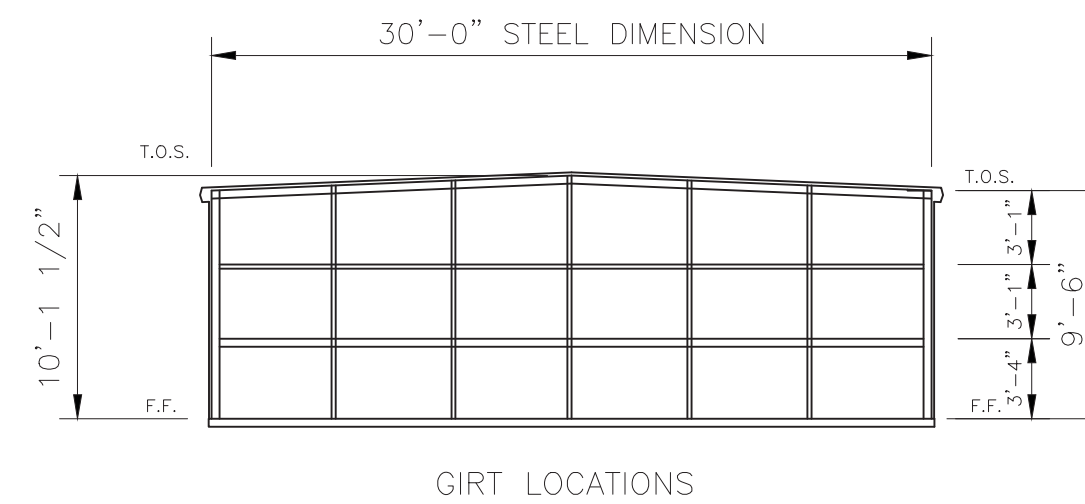
1 EXTERIOR FRONT ELEVATION
scale - 1/8" = 1'-0"



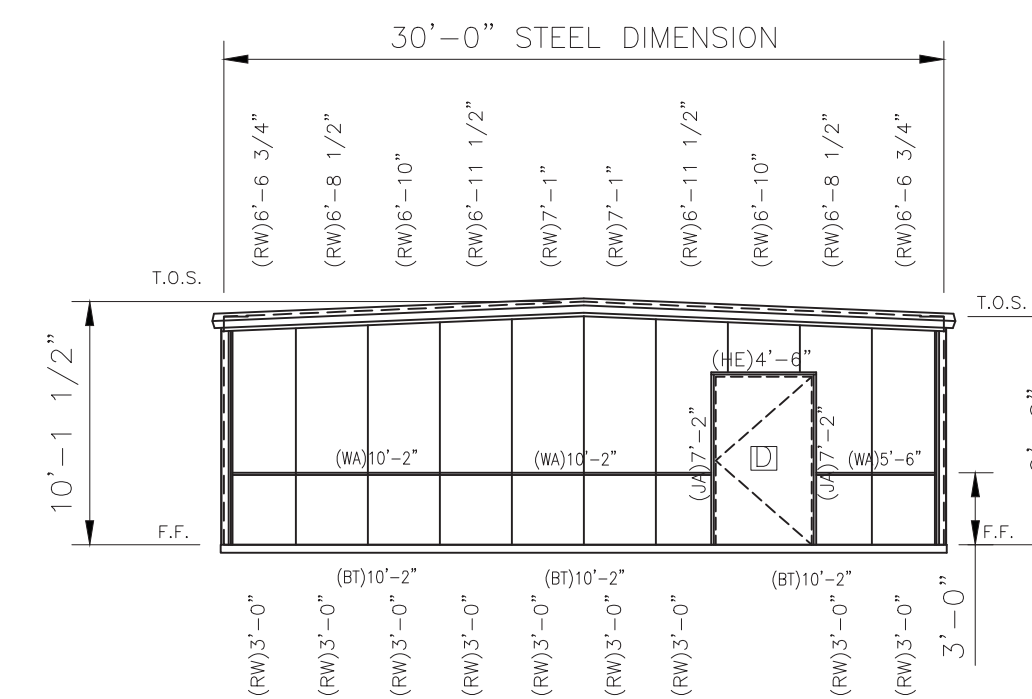
2 EXTERIOR REAR ELEVATION
scale - 1/8" = 1'-0"



3 EXTERIOR LEFT ENDWALL ELEVATION
scale - 1/8" = 1'-0"



GIRT LOCATIONS



4 EXTERIOR RIGHT ENDWALL ELEVATION
scale - 1/8" = 1'-0"



CONSTRUCTION	PSS	07/23/23
PRINTS ISSUED FOR	BY	DATE

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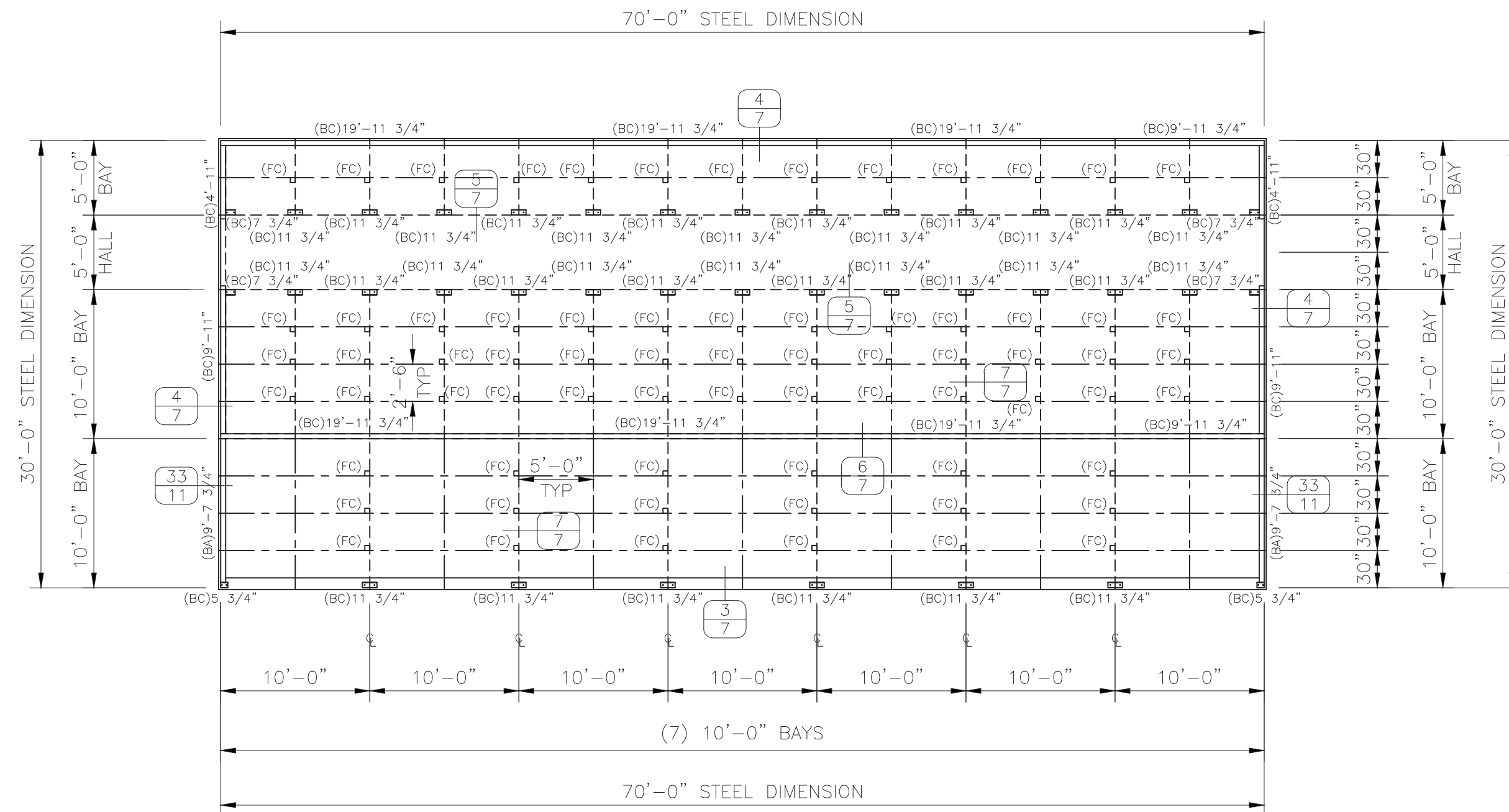
PROJECT:
30 x 70 x 9-6
LOCATION:
Chatham, MA 02633

REGENCY
Storage Systems
Mini Storage Units
7631 Shaffer Parkway - Suite C
Littleton, CO 80127
Phone: 1-800-486-8415
www.ministoragebuilders.com

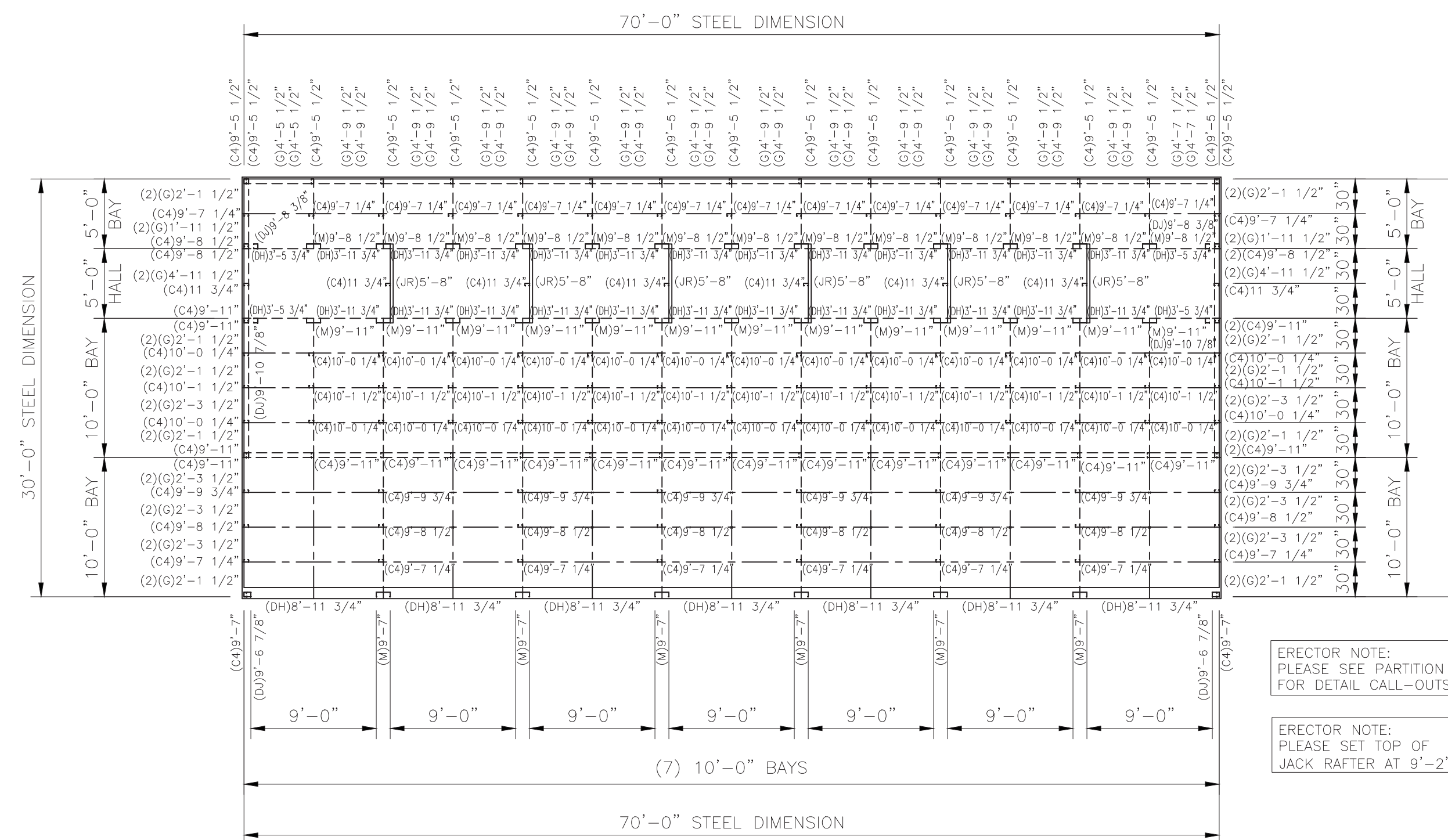
DWG #23-52391-CL4

Sheet

3 of 12



FLOOR PLAN
scale - 1/8" = 1'-0"



ERECTOR NOTE:
PLEASE SEE PARTITION PLAN
FOR DETAIL CALL-OUTS

ERECTOR NOTE:
PLEASE SET TOP OF
JACK RAFTER AT 9'-2" A.F.F.

FRAMING PLAN
scale - 1/8" = 1'-0"



DATE	07/23/23
BY	PSS
FOR	CONSTRUCTION
PRINTS	ISSUED

CONFIDENTIAL AND PROPRIETARY INFORMATION
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PROJECT:
30 x 70 x 9-6
LOCATION:
Chatham, MA 02633

REGENCY
Storage Systems
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7631 Shaffer Parkway - Suite C
Littleton, CO 80127
Phone: 1-800-486-8415
www.ministoragebuilders.com

DWG #23-52391-CL4

Sheet

5 of 12

TOWN OF HARWICH

Building Department
732 Main Street
Harwich, MA 02645



Telephone: (508) 430-7506

By First Class Mail

October 25, 2023

CROSBIE DAVID M TRS ET AL
FARNSWORTH STEVEN TRS
481 DEPOT ST
HARWICH, MA 02645

Re: Zoning Relief Required
481 Depot St, Harwich, MA (Parcel ID 36-B1-0)
Zoning District IL & R-R

Dear Benjamin E. Zehnder,

Please be advised that as a condition to issuance of the above-referenced building permit as submitted, shown on a plan prepared by J.M O'Reilly & Assoc. Inc., dated October 3, 2023, we cannot issue without relief listed below.

Harwich Zoning Bylaw §325-51Q "Multifamily Special Permit"
Harwich Zoning Bylaw §325-54A (2) "Nonconforming Structures and Uses."
Harwich Zoning Bylaw §325-2 "Word Uses and Definitions."
Harwich Zoning Bylaw §325-8 "Applicability of Use Regulations"
Harwich Zoning Bylaw §325 Table 1 "Table of Use Regulations" (use 39 self-storage)

Should you desire to proceed with the project, you must first apply for the foregoing relief; this letter shall serve as a referral to the Board for the same. Copies of the necessary zoning forms and applications are available in the offices of the Town's Building and Planning Departments.

In the meantime, your building permit application shall be deemed 'incomplete' and the period to review and issue such permit suspended until such time as you apply for and obtain the special permit; the special permit decision issues and is filed with the Town Clerk; the applicable appeal period elapses; and you provide the Building Department a copy of the special permit decision as recorded with the Barnstable Registry of Deeds or, as applicable, the Barnstable Registry District.

The Town reserve the right, should you not expeditiously and continuously proceed with obtaining the required zoning relief or otherwise withdraw the building permit application, to deny the building permit application for incompleteness, or inconsistency with zoning, or both.

TOWN OF HARWICH

Building Department
732 Main Street
Harwich, MA 02645



Telephone: (508) 430-7506

Further, be advised that, subject to obtaining the required permits and after construction, you will be required to submit a final as-built plan to the Building Department certifying that the project complies with the approved plans and all applicable dimensional requirements under town zoning.

This correspondence also serves as a zoning determination under Section 7 of Massachusetts General Laws Chapter 40A, which may be appealed by a 'person aggrieved' under Sections 8 & 15 of Massachusetts General Laws Chapter 40A.

Please feel free to contact the Building Department to discuss this further, as necessary.

Respectfully,

Jack Mee
Harwich Building Commissioner