



TOWN OF HARWICH
732 Main Street, Harwich, Massachusetts 02645

Case # _____

ZONING BOARD OF APPEALS
Notice of Appeal/Application and Petition for Public Hearing, ("APPLICATION")

This Application *does not* apply to Comprehensive Permits.

Please refer to the Rules and Regulations of the Town of Harwich Board of Appeals for documentation requirements.

This original completed and signed notice ("Application"), along with a certified abutters list and twelve (12) copies of all plans, sketches, statements, site plans or other supporting documents per the attached checklist must be presented to the Building Department prior to being filed with the Town Clerk. The required documentation, *ALL* of which must be submitted on the date of filing, is listed on this Application. **THE RULES AND REGULATIONS ("RULES") OF THE TOWN OF HARWICH BOARD OF APPEALS APPLY TO ALL APPEALS AND APPLICATIONS AND SHOULD BE CONSULTED BEFORE FILING AN APPEAL OR APPLICATION TO ENSURE COMPLIANCE WITH THEM.**

To the Zoning Board of Appeals, Harwich, MA:

(We, I) hereby petition your Board for a public hearing on the request for action checked below:

- (X) Appeal from decision of or refusal of permit application by the Building Inspector, Selectmen or Planning Board or other administrative officer or officers.
- (X) Application for a Variance from requirements of the Harwich Zoning By-Law.
- (X) Application for a Special Permit that is subject to Board of Appeals approval.

I/we am/are the owner[s]/agent of the property involved in this petition, which is located in Harwich, MA at the following address:

41 Zylpha Road, Harwich Port, MA 02646. Said property is further described on

Assessor's Map #13 and Parcel # Y9-1-0 located in the RH-2 Zoning District as shown on the attached plan.

Describe Petition/Appeal: See attached

Relief requested - Cite specific Bylaw Section(s): Section 325-54 and M.G.L. 40A § 6.

Signature of Owner (or Agent) [Signature] Date 4/17/23
(Written authorization by the owner must accompany an Application signed by agent.)

Owner Name Michael C. Fleming & Meghan E. Muenzberg, Trustees of The Fleming Family Irrevocable Trust

Phone No. 508-432-1643

Mailing Address: 32 Etre Drive, Worcester, MA 01604

Agent Name: William D. Crowell, Esq. Phone No. 508-432-1643

Mailing Address: 466 Main Street, Harwich Port, MA 02646

Has a petition previously been submitted for this property (Y/N) (N)

If yes, the date of original hearing _____ Petition No. _____ Decision _____

For Appeal Only:

Reason for Denial: _____

Denial From: _____ Date of Denial: _____

Within 14 days following any Board decision, the Board will file its decision with the Town Clerk. A building permit will not be issued during the appeals period, until 21 days after the Board of Appeals decision has been filed with the Town Clerk or if an appeal to that decision has been filed during that time. It is the **applicant's responsibility** to have the decision recorded at the Barnstable County Registry of Deeds or Land Court, whichever may be applicable, and to present copies of that recording to the Town Clerk and to the Building Department with all Building Permit application requirements.

Please be advised that an incomplete Application may result in a delay in processing your Application and **may result in a denial by the Board** without consideration of the merits of the Application. **IT IS YOUR RESPONSIBILITY TO REVIEW THE RULES THAT APPLY TO YOUR APPEAL/APPLICATION AND TO MAKE SURE BEFORE FILING THAT YOUR APPLICATION/APPEAL COMPLIES WITH THOSE RULES.** The burden of proof is on the petitioner, not on the Town. If you do not understand the criteria, legal counsel should be sought. Either the petitioner or his/her agent is required to appear at the hearing to present the Application.

All applicants for hearing before the Board of Appeals must complete the Application and submit along with it the supporting documentation listed herein to the Building Department for review and subsequent filing with the Town Clerk. The Building Department accepts Applications during posted hours. You are strongly encouraged to submit your Application to the Building Department well in advance of the filing deadline to allow adequate time for staff review for completeness. **All information, including the applicable fee made payable to the Town of Harwich, must be submitted with the Application.**

Please submit the following, sorted and grouped into **twelve (12) packets along with one (1) Certified Abutters List** (Available from the Assessors Department. A separate application and fee is required):

- The original Application (additional stamped copies can be provided at a nominal fee):**
 - Signed by the owner or agent.
 - If signed by an agent, a letter of authorization signed by the owner must also be included.
- A typewritten narrative to explain the project, the purpose for this Application and the relief requested, with citations to the applicable provisions of the MGL and the Harwich Zoning Bylaw.**
- The original and eleven (11) copies of a Certified Plot Plan with topographical information plan (not septic plans) not more than five (5) years old (total of 12 copies):**
 - 8½" x 11" or larger. *Larger plans must be folded.*
 - Scale no greater than 1" = 50'
 - Original stamped and signed by a Professional Engineer (as allowed by law), or a Professional Land Surveyor.
 - Certified Plot Plan must indicate:
 - the locus;
 - the parcel or parcels of land involved;
 - the existing building or buildings;
 - the proposed building or buildings and/or additions to, or alterations of existing buildings with all dimensions set forth;
 - the location of the septic;
 - the Town of Harwich zoning requirements applicable to the property, as well as existing and proposed dimensions for: frontage, front, sides, and rear setback distances, building height(s), building stories, building and site coverage and parking requirements (if any);
 - all perimeter dimensions (existing and proposed);
 - location and width of abutting and on-site street and drives, parking, existing topography;
 - a grading plan, areas of proposed and retained vegetation, distinction between upland and wetland.
 - Building Plans drawn to scale:
 - Floor layout (for existing structure and proposed additions and/or alterations)
 - Proposed front, side, and rear elevations
- Certified Abutters List**
- Check made payable to "Town of Harwich" for \$315.00.**

Name of Applicant: **Michael C. Fleming & Meghan E. Muenzberg, Trustees of The Fleming Family Irrevocable Trust**

Address of Property: **41 Zylpha Road, Harwich Port, MA 02646**

Zoning District: **RH-2**

Is the property Located in any Special District(s)/Overlay District(s) established by the Town of Harwich or the State of Massachusetts: Yes _____ No **X**

If Yes, specify District(s): _____

Year Structure(s) Built: **1950**

Name/Address of Engineer/Architect: **n/a**

Name/Address of Attorney: **William D. Crowell, Esq., 466 Main Street, Harwich Port, MA 02646**

	Required by Bylaw	Existing	Proposed
Lot Area	40,000 S.F.	5,278 ± S.F.	5,278± S.F.
Frontage	150'	98.65'	98.65'
Front Yard Setback	25'	15.9'±	7.9'±
Side yard Setback	20'	12.8'±	11.2'± (6.5' Bulkhead)
2 nd Side Yard Setback	20'	17.4'±	17.4'±
Rear Yard Setback	20'	13.8'±	20.9'±
Building Coverage	30%	21.3±%	29.8±%
Site Coverage	35%	44.0±0%	37.3±%
Building Height	<30'	<30'	<30'
If this is an Application for an Accessory Apartment, in addition to the above:			
A. Net Floor Area of the Principal Dwelling			
B. Net Floor Area of the proposed Accessory Apartment			

Form of Relief Requested: **Special Permit**

If the Applicant is requesting a Variance, state the hardship which the Applicant believes justifies this form of relief in accordance with MGL Chapter 40 and the Harwich Zoning Bylaw:

By signing and submitting this Application, you hereby authorize the members of the Board of Appeals, or its agent, to conduct a site visit of the exterior of your property for an inspection of the property involved in this petition, should they deem it appropriate.

The Board of Appeals is entitled to rely on the information contained in this Application. Therefore, the undersigned certifies that the information provided in this Application, and all submitted plans and other documentation, is true and accurate to the best of my knowledge and belief.

Agent's Signature: _____ Date: **11/16/23**

Owner's Signature: _____ Date: _____

TOWN OF HARWICH
Building Department
732 Main Street
Harwich, MA 02645



Telephone: (508) 430-7506

By First Class Mail

November 13, 2023

FLEMING MICHAEL C TRS ET A
32 ETRE DR
WORCESTER, MA 01604

Re: Zoning Relief Required
41 Zylpha Rd, Harwich Port, MA (Parcel ID 13-Y9-1)
Zoning District RH-2

Dear Edward Fleming

Please be advised that as a condition to issuance of the above-referenced building permit as submitted, shown on a plan prepared by Dan A. Speakman Construction, dated October 17, 2023, and revised November 9, 2023, we cannot issue without relief listed below.

Harwich Zoning Bylaw §325-54(5) & (6) "Nonconforming Structures and Uses."
Harwich Zoning Bylaw §325 – Attachment 2, Table 2, Area regulations
Harwich Zoning Bylaw §325 – Attachment 3, Table 3, Height and Bulk Regulations

Should you desire to proceed with the project, you must first apply for the foregoing relief; this letter shall serve as a referral to the Board for the same. Copies of the necessary zoning forms and applications are available in the offices of the Town's Building and Planning Departments.

In the meantime, your building permit application shall be deemed 'incomplete' and the period to review and issue such permit suspended until such time as you apply for and obtain the special permit; the special permit decision issues and is filed with the Town Clerk; the applicable appeal period elapses; and you provide the Building Department a copy of the special permit decision as recorded with the Barnstable Registry of Deeds or, as applicable, the Barnstable Registry District.

The Town reserve the right, should you not expeditiously and continuously proceed with obtaining the required zoning relief or otherwise withdraw the building permit application, to deny the building permit application for incompleteness, or inconsistency with zoning, or both.

TOWN OF HARWICH

Building Department

732 Main Street

Harwich, MA 02645



Telephone: (508) 430-7506

Further, be advised that, subject to obtaining the required permits and after construction, you will be required to submit a final as-built plan to the Building Department certifying that the project complies with the approved plans and all applicable dimensional requirements under town zoning.

This correspondence also serves as a zoning determination under Section 7 of Massachusetts General Laws Chapter 40A, which may be appealed by a 'person aggrieved' under Sections 8 & 15 of Massachusetts General Laws Chapter 40A.

Please feel free to contact the Building Department to discuss this further, as necessary.

Respectfully,

Jack Mee

Harwich Building Commissioner

wcrowell.office1@comcast.net

From: Mike Fleming <jeepmikey@gmail.com>
Sent: Monday, November 13, 2023 8:44 AM
To: wcrowell.office1@comcast.net
Subject: Fleming- 41 Zylpha Rd

I, Michael C. Fleming, Trustee of The Fleming Family Irrevocable Trust, u/d/t dated June 2, 2023 and owner of 41 Zylpha Road, Harwich, hereby authorize Attorney William D. Crowell to represent me before the Town of Harwich Zoning Board of Appeals regarding the same.

Michael C. Fleming, Trustee

Sent from my iPhone

From: Meghan Muenzberg <meghanmuenzberg@gmail.com>
Sent: Monday, November 13, 2023 8:36 AM
To: Ed Fleming
Cc: Mike Fleming; Carol Fleming; Bill Crowell
Subject: Re: 41 Zylpha Rd., Harpt

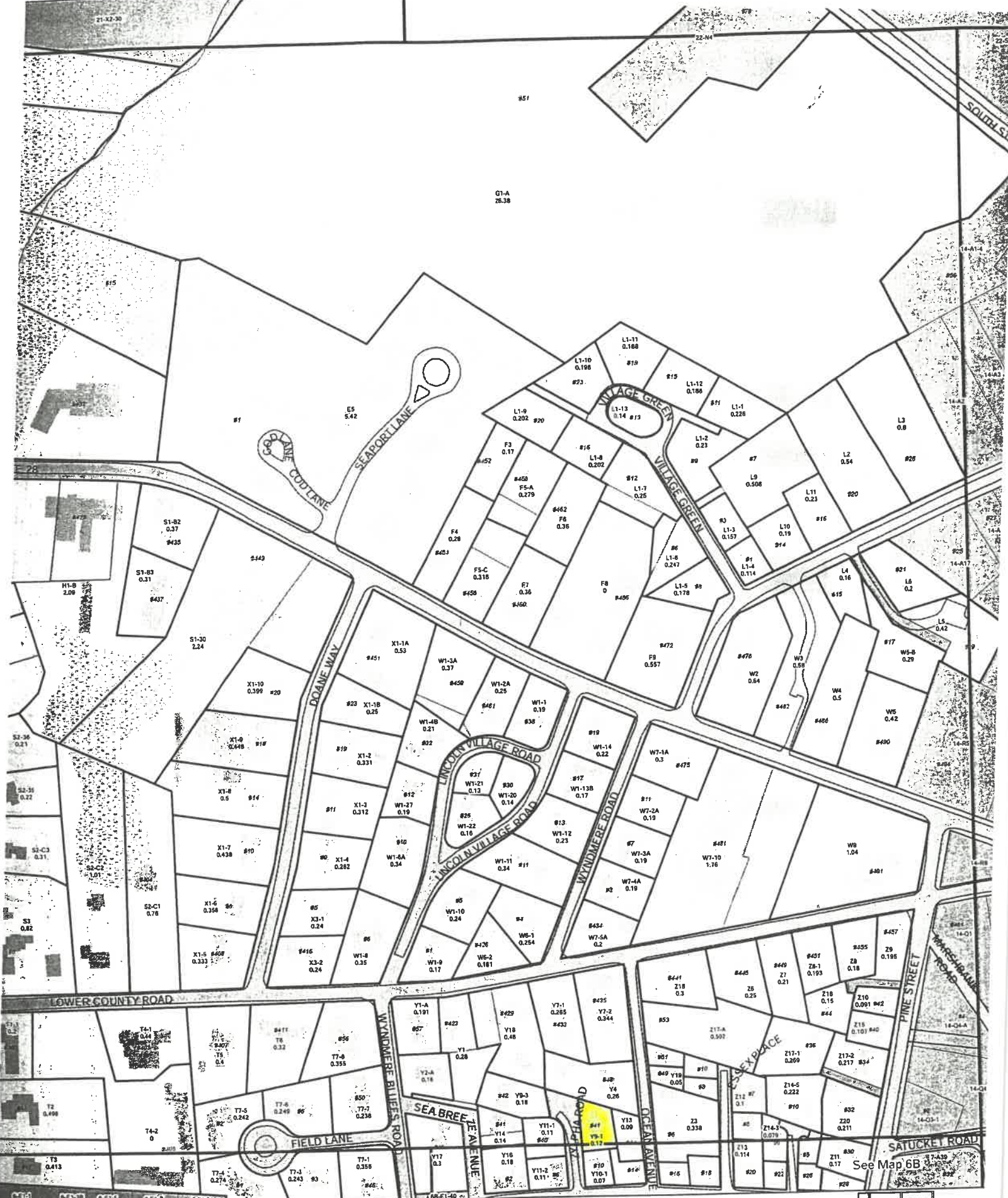
I, Meghan E. Muenzberg, Trustee of The Fleming Family Irrevocable Trust, u/d/t dated June 2, 2023 and owner of 41 Zylpha Road, Harwich, hereby authorize Attorney William D. Crowell to represent me before the Town of Harwich Zoning Board of Appeals regarding the same.

Meghan E. Muenzberg, Trustee

On Nov 13, 2023, at 8:30 AM, Ed Fleming <ej.fleming@charter.net> wrote:

I, Meghan E. Muenzberg, Trustee of The Fleming Family Irrevocable Trust, u/d/t dated June 2, 2023 and owner of 41 Zylpha Road, Harwich, hereby authorize Attorney William D. Crowell to represent me before the Town of Harwich Zoning Board of Appeals regarding the same.

Meghan E. Muenzberg, Trustee



TOWN OF HARWICH ASSESSORS MAP

January 2022

100 Feet

21	22	
12	13	14
5	6	7

See Map 6B

Fleming – 41 Zylpha Road, Harwich, MA 02645

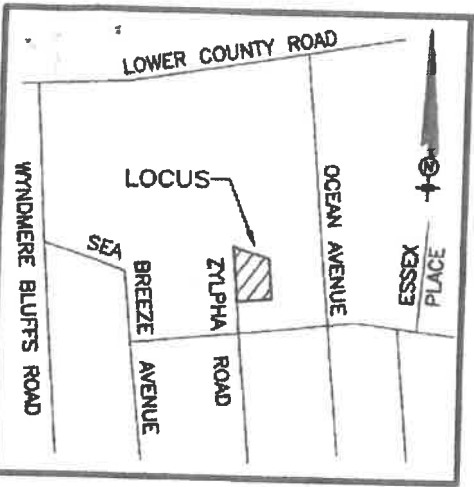
The Petitioners seek a Special Permit to demolish and replace the pre-existing, non-conforming single-family residence as per the Existing Conditions Plan dated June 28, 2023 and the Proposed Site Plan dated October 17, 2023, both revised November 9, 2023, by Dan A. Speakman and the Building and Elevation Plans dated October 18, 2023 by TPC Architecture and Planning.

The existing northeasterly setback is non-conforming at 12.8 and will be reduced slightly to 11.2 (bulkhead at 6.5). The existing easterly setback is non-conforming at 13.8 but will become conforming at 20.9. The southerly setback is presently non-conforming at 17.4 and will not change. The westerly setback from Zylpha Road is presently non-conforming at 15.9 (25 required) and will be reduced further to 7.9 to accommodate a three-season porch. However, Zylpha Road is a dead-end at that point adjacent to the subject lot and the proposed porch, therefore, it will not interfere with the Site Line.

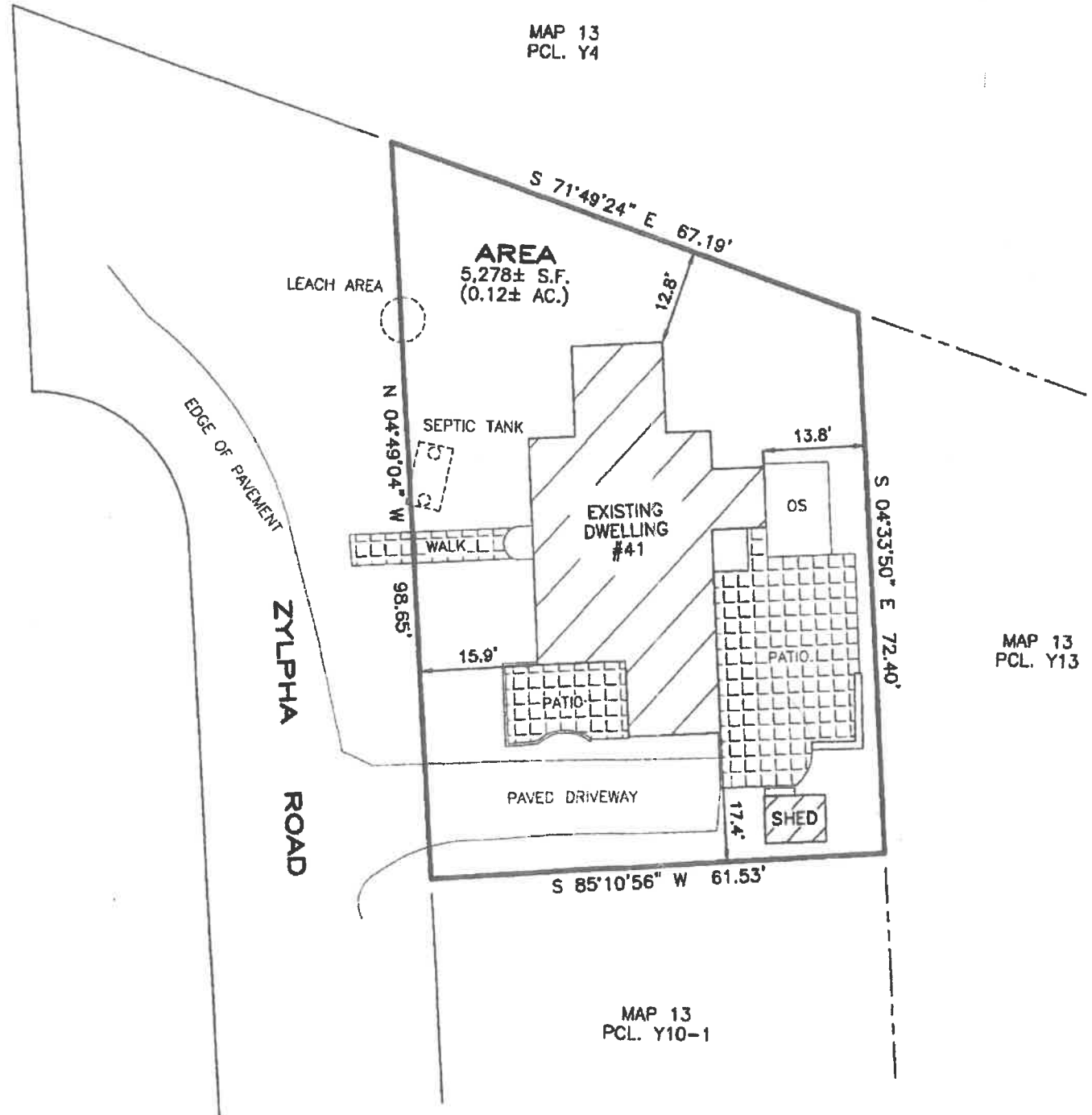
There will be no change in the number of bedrooms between the existing and the proposed dwelling. The existing building coverage is 21.3 and will remain conforming at 29.8 (30% maximum). The existing site coverage is non-conforming at 44% (35% maximum) and will be reduced to 37.3% to make it less non-conforming.

Since the new dwelling will create additional habitable space within the 20 foot set-back on the northerly, southerly and westerly sides, as shown on said Plan, such will constitute an intensification of existing non-conformities. However, in accordance with the findings of the Gale Case this Board may issue a Special Permit for the same upon a finding that the new dwelling will not constitute a substantial detriment to the entire neighborhood.

In the alternative, the Petitioners request a Variance for the proposed dwelling.



LOCATION MAP



ZONING DISTRICT: RH-2	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	40,000 S.F.	5,278± S.F.	5,278± S.F.
MIN. LOT FRONTAGE	150'	98.65'	98.65'
FRONT SETBACK	25'	15.9'±	
SIDE SETBACK	20'	12.8'±	
REAR SETBACK	20'	13.8'±	
BUILDING COVERAGE	30%	21.3±%	
SITE COVERAGE	35%	44.0±%	

OWNER OF RECORD:
EDWARD J. & CAROL FLEMING
33 HARVEST CIRCLE
HOLDEN, MA 01520

REFERENCES:
CERTIFICATE #151119
DEED BOOK 11884 PAGE 338
LAND COURT PLAN #30320-B
PLAN BOOK 79 PAGE 33
ASSESSORS MAP 13 PARCEL Y9-1
THE SEPTIC SYSTEM SHOWN IS AN APPROXIMATE LOCATION BASED ON BOARD OF HEALTH RECORDS.

**EXISTING CONDITIONS
SITE PLAN
41 ZYLPHA ROAD
HARWICH, MA**

PREPARED FOR:
**EDWARD & CAROL
FLEMING** *REV. 11/9/23*

SCALE: 1" = 20' JUNE 28, 2023
GRAPHIC SCALE IN FEET

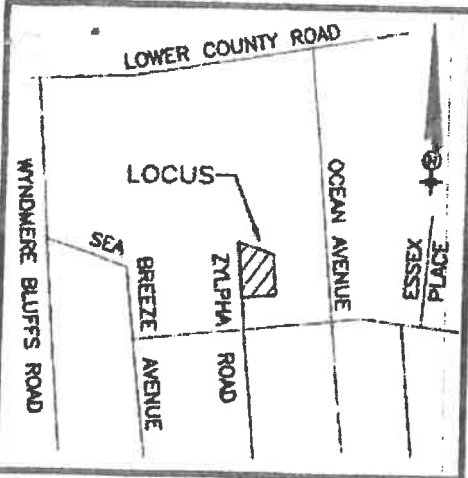


DAN A. SPEAKMAN CONSTRUCTION
LAND SURVEYING & TITLE V ENGINEERING DIV.
15 SPEAK WAY
NORTH HARWICH, MA 02645
508-432-5565



10/18/23
DATE

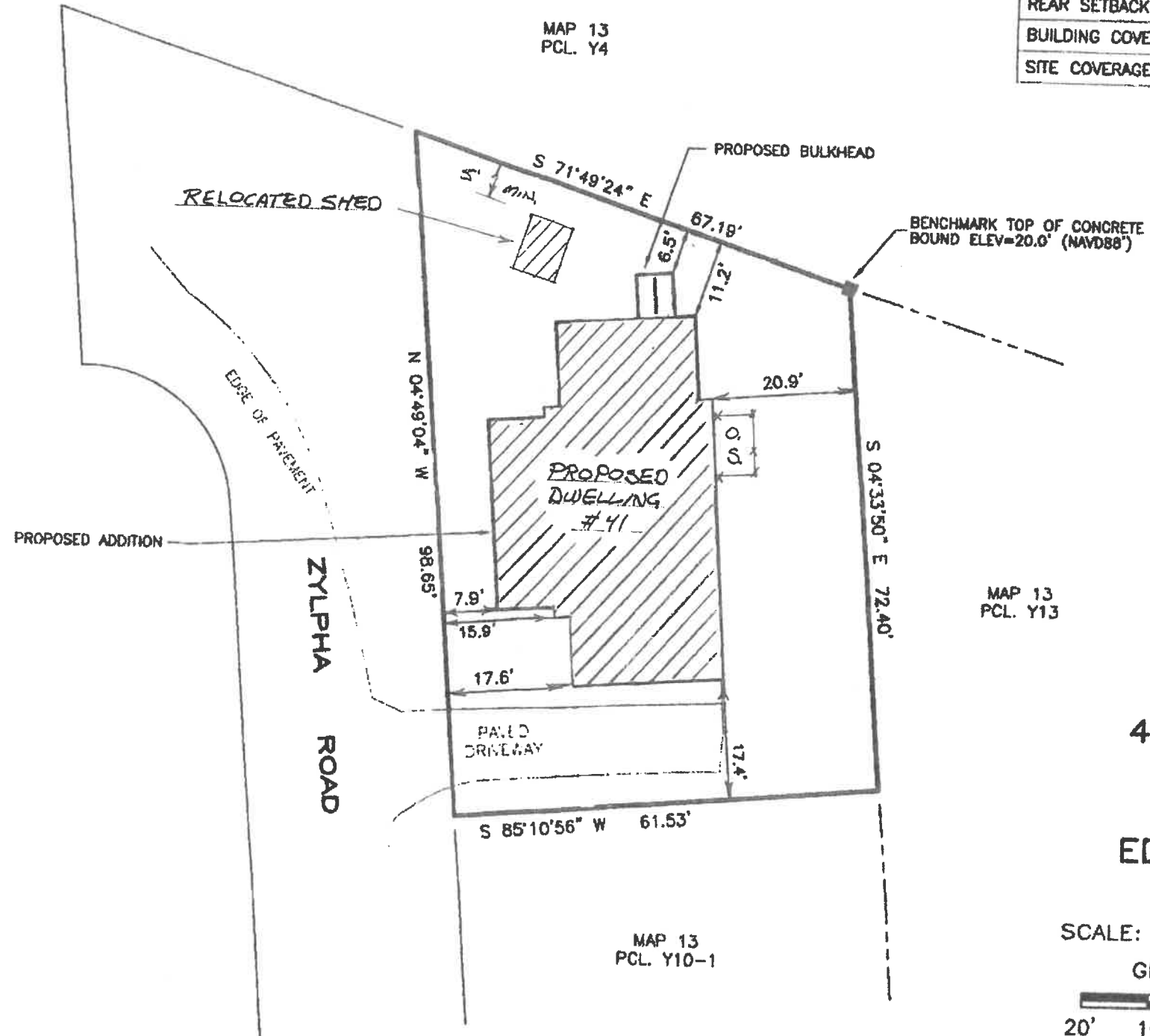
Dan A. Speakman
PROFESSIONAL LAND SURVEYOR



LOCATION MAP



ZONING DISTRICT: RH-2	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	40,000 S.F.	5,278± S.F.	5,278± S.F.
MIN. LOT FRONTAGE	150'	98.65'	98.65'
FRONT SETBACK	25'	15.9'±	7.9'±
SIDE SETBACK	20'	12.8'±	6.5B4-11.2±
REAR SETBACK	20'	13.8'±	20.9'±
BUILDING COVERAGE	30%	21.3±%	29.8±%
SITE COVERAGE	35%	44.0±%	37.3±%



OWNER OF RECORD:
 EDWARD J. & CAROL FLEMING
 33 HARVEST CIRCLE
 HOLDEN, MA 01520

REFERENCES:
 CERTIFICATE #151119
 DEED BOOK 11884 PAGE 338
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 PLAN BOOK 79 PAGE 33
 ASSESSORS MAP 13 PARCEL Y9-1
 THE SEPTIC SYSTEM SHOWN IS AN APPROXIMATE LOCATION BASED ON BOARD OF HEALTH RECORDS.

**PROPOSED
 SITE PLAN
 41 ZYLPHA ROAD
 HARWICH, MA**

PREPARED FOR:
**EDWARD & CAROL
 FLEMING** REV. 11/9/23.

SCALE: 1" = 20' OCTOBER 17, 2023
 GRAPHIC SCALE IN FEET

DAN A. SPEAKMAN CONSTRUCTION
 LAND SURVEYING & TITLE V ENGINEERING DIV.
 15 SPEAK WAY
 NORTH HARWICH, MA 02645
 508-432-5565



10/18/23
 DATE

Dan A. Speakman
 PROFESSIONAL LAND SURVEYOR

PROPOSED NEW RESIDENCE
FOR

CAROL & ED FLEMING

41, ZYLPHA ROAD
HARWICH PORT, MA



DESIGN DEVELOPMENT
October 18th, 2023

TPC

THOMAS P. CARROLL, AIA
ARCHITECTURE & PLANNING
Thomas P. Carroll, AIA, LLC
110 Elm Avenue
Harwich Port, MA 02546
Tel: 978-437-4185
t.carroll@tpcarch.com

PROGRESS PRINT
NOT FOR CONSTRUCTION
OCTOBER 18th, 2023

ABBREVIATIONS	GENERAL NOTES	GENERAL CEILING NOTES	FINISH NOTES	ARCHITECTURAL SYMBOLS	LISTS OF DRAWINGS
1. CONTRACTOR TO NOTIFY ARCHITECT OF ANY INTERFERENCES WITH EXISTING UTILITIES IN THE PROJECT AND TO OBTAIN NECESSARY PERMITS FROM THE CITY OF BOSTON.	1. CONTRACTOR SHALL REVIEW THE ARCHITECT'S STAKE-BUILDING CODES WHICH ADOPT WITH MODIFICATIONS THE 2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.	1. ALL WORK SHALL COMPLY WITH THE 2018 MASSACHUSETTS STATE BUILDING CODE WHICH ADOPTS WITH MODIFICATIONS THE 2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.	1. EXTERIOR WALLS AND BEARING WALLS SHALL BE FINISHED WITH 1/2" THICK BRICK OR EQUIVALENT MASONRY WITH AN INTERIOR FINISH OF 5/8" THICK GYPSUM BOARD FINISHED WITH 1/2" THICK PLASTER OR EQUIVALENT FINISH.	1. CONCRETE SHALL BE FINISHED WITH A POLISHED CONCRETE FINISH OR EQUIVALENT FINISH.	1. CONCRETE SHALL BE FINISHED WITH A POLISHED CONCRETE FINISH OR EQUIVALENT FINISH.
2. CONTRACTOR SHALL VERIFY THE EXISTING FOUNDATION CONDITIONS AND PROPERLY NOTIFY THE ARCHITECT OF ANY UNACCEPTED CONDITIONS OF FOUNDATION BEFORE PROCEEDING WITH THE WORK.	2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING AND JOB SITE SAFETY RELATED TO ALL CONSTRUCTION PHASES AND METHODS.	2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING AND JOB SITE SAFETY RELATED TO ALL CONSTRUCTION PHASES AND METHODS.	2. CONTRACTOR SHALL VERIFY THE EXISTING FOUNDATION CONDITIONS AND PROPERLY NOTIFY THE ARCHITECT OF ANY UNACCEPTED CONDITIONS OF FOUNDATION BEFORE PROCEEDING WITH THE WORK.	2. CONTRACTOR SHALL VERIFY THE EXISTING FOUNDATION CONDITIONS AND PROPERLY NOTIFY THE ARCHITECT OF ANY UNACCEPTED CONDITIONS OF FOUNDATION BEFORE PROCEEDING WITH THE WORK.	2. CONTRACTOR SHALL VERIFY THE EXISTING FOUNDATION CONDITIONS AND PROPERLY NOTIFY THE ARCHITECT OF ANY UNACCEPTED CONDITIONS OF FOUNDATION BEFORE PROCEEDING WITH THE WORK.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING AND JOB SITE SAFETY RELATED TO ALL CONSTRUCTION PHASES AND METHODS.	3. CONTRACTOR SHALL VERIFY THE EXISTING FOUNDATION CONDITIONS AND PROPERLY NOTIFY THE ARCHITECT OF ANY UNACCEPTED CONDITIONS OF FOUNDATION BEFORE PROCEEDING WITH THE WORK.	3. CONTRACTOR SHALL VERIFY THE EXISTING FOUNDATION CONDITIONS AND PROPERLY NOTIFY THE ARCHITECT OF ANY UNACCEPTED CONDITIONS OF FOUNDATION BEFORE PROCEEDING WITH THE WORK.	3. CONTRACTOR SHALL VERIFY THE EXISTING FOUNDATION CONDITIONS AND PROPERLY NOTIFY THE ARCHITECT OF ANY UNACCEPTED CONDITIONS OF FOUNDATION BEFORE PROCEEDING WITH THE WORK.	3. CONTRACTOR SHALL VERIFY THE EXISTING FOUNDATION CONDITIONS AND PROPERLY NOTIFY THE ARCHITECT OF ANY UNACCEPTED CONDITIONS OF FOUNDATION BEFORE PROCEEDING WITH THE WORK.	3. CONTRACTOR SHALL VERIFY THE EXISTING FOUNDATION CONDITIONS AND PROPERLY NOTIFY THE ARCHITECT OF ANY UNACCEPTED CONDITIONS OF FOUNDATION BEFORE PROCEEDING WITH THE WORK.

GENERAL STRUCTURAL NOTES	FLOOR FRAMING PLAN NOTES	WALL AND FOUNDATION SILL PLATE FRAMING NOTES
1. ALL WORK SHALL COMPLY WITH THE 2018 MASSACHUSETTS STATE BUILDING CODE WHICH ADOPTS WITH MODIFICATIONS THE 2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.	1. CONVENTIONAL FLOOR FRAMING UNDER SHALL BE SET (THE MAXIMUM MOISTURE CONTENT) 1/4" FOR OR DOUGLAS FIR LARCH No.2 GRADE OR BETTER WITH A BASIC FLEXURAL STRESS VALUE (F _b) = 1600 PSI.	1. WOOD FRAMING FOR SILL STUDS SHALL BE 1/4" THICK DOG EYE OR DOUGLAS FIR LARCH No.2 GRADE OR BETTER WITH MAXIMUM MOISTURE CONTENT OF 18%.
2. THE CONTRACTOR SHALL REVIEW THE DRAMAING AND EXISTING FIELD CONDITIONS AND PROPERLY NOTIFY THE ARCHITECT OF ANY UNACCEPTED CONDITIONS OF FOUNDATION BEFORE PROCEEDING WITH THE WORK.	2. PROVIDE PARALLEL STRAND LAMBER (PSL) LAMBER HAVING THE FOLLOWING GRADE AND DESIGN VALUES GRADE = 2.0A FLEXURE (F _b) = 1500 psi AND MODULUS OF ELASTICITY (E) = 1,800,000 psi, COMPRESSION PARALLEL TO GRAIN (F _c) = 2800 psi, AND COMPRESSION PERPENDICULAR TO GRAIN (F _c) = 1700 psi.	2. EXTERIOR WALLS AND BEARING WALLS SHALL BE FINISHED WITH 1/2" THICK BRICK OR EQUIVALENT MASONRY WITH AN INTERIOR FINISH OF 5/8" THICK GYPSUM BOARD FINISHED WITH 1/2" THICK PLASTER OR EQUIVALENT FINISH.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING AND JOB SITE SAFETY RELATED TO ALL CONSTRUCTION PHASES AND METHODS.	3. 1-JOIST FLOOR SYSTEM SHALL BE IN ACCORDANCE WITH THE CITY STATE BUILDING CODE AND ANY ADDITIONAL REQUIREMENTS SET FORTH BY THE MANUFACTURER'S CODE CHALLENGER REPORT, HOLDINGS AND SPACING OF 1-JOIST FLOOR SYSTEMS SHALL NOT BE FINISHED UNLESS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.	3. PROVIDE SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE IN ALL BEARING WALLS.
4. ALL NEW FOOTINGS SHALL BE NATURAL UNCONTAMINATED NON-ORGANIC SOIL OR SUITABLY IMPORTED COMPACTED GRANULAR FILL DO NOT PLACE CONCRETE OR PROTECT EARTH OR IN WATER. BOTTOM OF FOOTINGS SHALL BE MINIMUM 6" BELOW FINISHED GRADE EXCEPT FOR FOUNDATIONS ON BELL POINT AND PLACE A MINIMUM 1" LAYER OF 3/4" STONE BELOW FOOTINGS.	4. MINIMUM BRACING SUPPORT FOR BEAMS AND JOISTS SHALL BE ONE JOIST-STRAP UNLESS OTHERWISE NOTED ON PLAN. FULL BEAM BRACING IS REQUIRED. PROVIDE DOUBLE BRACING AS NECESSARY TO PROVIDE CONTINUOUS LOAD PATH THROUGH FLOOR FRAMING.	4. DOUBLE TOP PLATES SHALL BE SPACED 16" ON CENTER AND OVERLAPPED AT CORNERS AND INTERSECTIONS WITH OTHER EXTERIOR AND INTERIOR LOAD BEARING WALLS. MINIMUM WALL PLATES AT EACH CORNER AND AT INTERSECTIONS SHALL BE DOUBLE 2x6 PRESSURE TREATED DOUGLAS FIR.
5. MINIMUM FINISH PROTECTION FOR FOUNDATIONS SHALL BE 3"-6" BELOW FINISHED EXTERIOR GRADE.	5. JOISTS SHALL NOT EXCEED 16" IN THE SPAN AND SHALL NOT EXCEED IN THE MIDDLE THIRD OF THE SPAN. BORED HOLES SHALL NOT BE MORE THAN 1/3 OF JOIST DEPTH AND NOT EXCEED 1/2 THE DEPTH OF THE JOIST.	5. ANCHOR BOLT PLATES TO FOUNDATION WITH 2" DIA. ANCHOR BOLTS ENBEDDED 12" AND SPACED NO MORE THAN 4 FEET APART AND PLATES WITH 12 HOLES FROM CORNERS, SPACED AND SIZED BY THE LENGTHS OF ANCHOR PLATES BETWEEN 4 FEET AND 8 FEET LONG. A MINIMUM OF THREE ANCHOR BOLTS SHALL BE INSTALLED AND FOR LOCATING OF ANCHOR BOLTS USE ONE 1 FEET. A MINIMUM OF TWO ANCHOR BOLTS SHALL BE INSTALLED.
6. ALL CONCRETE SHALL BE 4000 PSI WITH A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS FOR FOUNDATION WALLS AND BEARING WALLS OR GRADE. AND SHALL BE CURED BY 48 HOURS FOR CONCRETE BEARING WALLS AND PILING.	6. INTERSECTIONS OF WALLS SHALL NOT EXCEED 16" IN THE SPAN AND SHALL NOT EXCEED IN THE MIDDLE THIRD OF THE SPAN. BORED HOLES SHALL NOT BE MORE THAN 1/3 OF JOIST DEPTH AND NOT EXCEED 1/2 THE DEPTH OF THE JOIST.	6. DRY JOISTS AND EXPANSION BOLTS SHALL COMPLY WITH AND BE INSTALLED IN ACCORDANCE WITH THEIR APPROVED EVALUATION REPORT AND MANUFACTURER'S INSTRUCTIONS.
7. ALL WINDOW SLABS ON GRADE SHALL BE 4" THICK AND REINFORCED WITH 3#4 REBAR WITH 6" SPACING AND 18" LONG. BOTTOM OF WINDOW SLABS SHALL BE 1" ABOVE FINISHED GRADE EXCEPT FOR FOUNDATIONS ON BELL POINT AND PLACE A MINIMUM 1" LAYER OF 3/4" STONE BELOW FOOTINGS.	7. PROVIDE DOUBLE JOIST UNDER WALLS PARALLEL TO JOIST. SET ARCHITECTURAL DRAMAING FOR LOCATIONS IN AREAS TO RECEIVE CEILING STRAP THE UNDERSIDE OF JOIST WITH 3" 2" SPACED SHIP STRAPPING TO PROVIDE A LEVEL CEILING.	
8. MINIMUM FINISH PROTECTION FOR FOUNDATIONS SHALL BE 3"-6" BELOW FINISHED EXTERIOR GRADE.	8. CONTRACTOR TO VERIFY THE EXISTING FOUNDATION CONDITIONS AND PROPERLY NOTIFY THE ARCHITECT OF ANY UNACCEPTED CONDITIONS OF FOUNDATION BEFORE PROCEEDING WITH THE WORK.	
9. ALL CONCRETE SHALL BE 4000 PSI WITH A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS FOR FOUNDATION WALLS AND BEARING WALLS OR GRADE. AND SHALL BE CURED BY 48 HOURS FOR CONCRETE BEARING WALLS AND PILING.	9. INTERSECTIONS OF WALLS SHALL NOT EXCEED 16" IN THE SPAN AND SHALL NOT EXCEED IN THE MIDDLE THIRD OF THE SPAN. BORED HOLES SHALL NOT BE MORE THAN 1/3 OF JOIST DEPTH AND NOT EXCEED 1/2 THE DEPTH OF THE JOIST.	
10. ALL WINDOW SLABS ON GRADE SHALL BE 4" THICK AND REINFORCED WITH 3#4 REBAR WITH 6" SPACING AND 18" LONG. BOTTOM OF WINDOW SLABS SHALL BE 1" ABOVE FINISHED GRADE EXCEPT FOR FOUNDATIONS ON BELL POINT AND PLACE A MINIMUM 1" LAYER OF 3/4" STONE BELOW FOOTINGS.	10. INTERSECTIONS OF WALLS SHALL NOT EXCEED 16" IN THE SPAN AND SHALL NOT EXCEED IN THE MIDDLE THIRD OF THE SPAN. BORED HOLES SHALL NOT BE MORE THAN 1/3 OF JOIST DEPTH AND NOT EXCEED 1/2 THE DEPTH OF THE JOIST.	
11. DO NOT BACKFILL AGAINST FOUNDATION WALLS UNLESS FLOOR FRAMING IS IN PLACE AND CONCRETE HAS ATTAINED DESIGN STRENGTH. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY TEMPORARY BRACING REQUIRED DURING CONSTRUCTION.	11. CONTRACTOR SHALL VERIFY THE EXISTING FOUNDATION CONDITIONS AND PROPERLY NOTIFY THE ARCHITECT OF ANY UNACCEPTED CONDITIONS OF FOUNDATION BEFORE PROCEEDING WITH THE WORK.	
12. CONTRACTOR SHALL VERIFY THE EXISTING FOUNDATION CONDITIONS AND PROPERLY NOTIFY THE ARCHITECT OF ANY UNACCEPTED CONDITIONS OF FOUNDATION BEFORE PROCEEDING WITH THE WORK.	12. INTERSECTIONS OF WALLS SHALL NOT EXCEED 16" IN THE SPAN AND SHALL NOT EXCEED IN THE MIDDLE THIRD OF THE SPAN. BORED HOLES SHALL NOT BE MORE THAN 1/3 OF JOIST DEPTH AND NOT EXCEED 1/2 THE DEPTH OF THE JOIST.	

TPC
THOMAS P. CATHOLELLI, ALL
ARCHITECTURAL & ENGINEERING, INC.

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OCTOBER 19th, 2023

REVISED / REVISIONS

NEW
RESIDENCE
FOR
**CAROL & ED
FLEMING**
41 Zephyrus Road
Harwich Port, MA

PROJECT NO. TPC-2023-037
SCALE: As Noted
DATE: OCTOBER 06th, 2023

INFO SHEET

A0.01

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 OCTOBER 18th, 2023

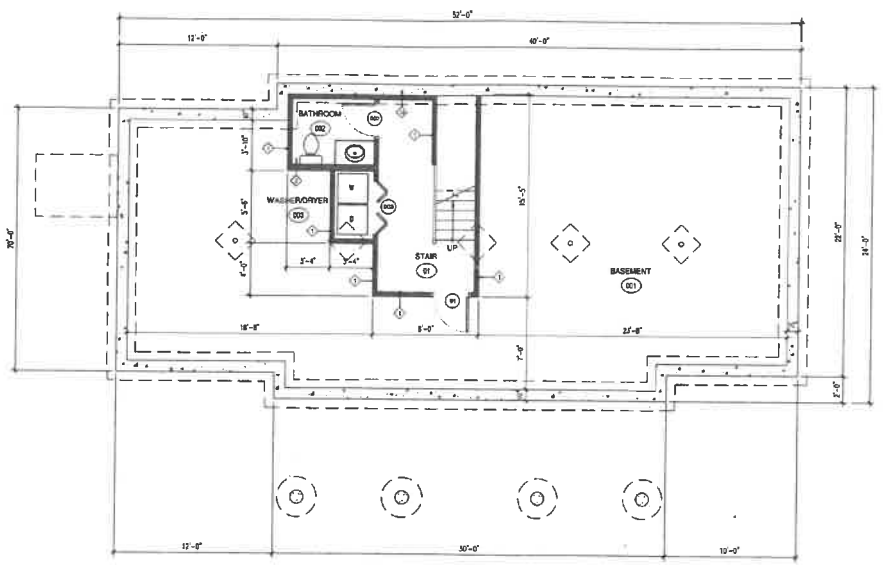
ISSUED / REVISED:

All Contract Documents by the
 Drawing is Prepared at Thomas F.
 Carlson, AIA, LLC & Associates
 Registered Professional Engineer
 No. 00000000000000000000
 Thomas F. Carlson, AIA, LLC

NEW
 RESIDENCE
 FOR
**CAROL & ED
 FLEMING**
 41 Zephyrus Road
 Harwich Port, MA

PROJECT NO: TFC-2023-027
 SCALE: 1/8"=1'-0"
 DATE: OCTOBER 18th, 2023

BASEMENT
 FLOOR PLAN
A101



1 BASEMENT LEVEL FLOOR PLAN
 SCALE: 1/8"=1'-0"

DOOR SCHEDULE

BASEMENT LEVEL FLOOR PLAN

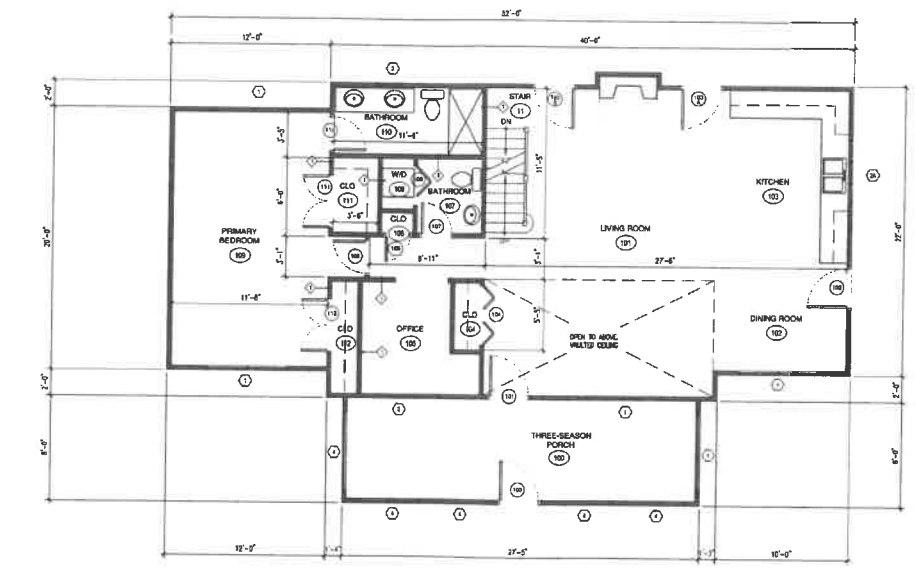
NO.	DOOR TYPE	SIZE	FINISH	REMARKS
01	ALUMINUM SLIDING GLASS DOOR	7'-0" x 6'-0"	NO-1	PAINTED
02	ALUMINUM SLIDING GLASS DOOR	7'-0" x 6'-0"	NO-1	PAINTED
03	ALUMINUM SLIDING GLASS DOOR	7'-0" x 6'-0"	NO-1	PAINTED FLOORING

LEGEND	CONSTRUCTION NOTES	GENERAL CONSTRUCTION NOTES
EXISTING WALL CONSTRUCTION	<p>1 FINISH WALL BEHIND THE WALL SHOULD BE ADAPTED TO CORRESPOND TO THE EXISTING WALL TO BE REMOVED.</p> <p>2 FINISH WALL BEHIND THE ALL NEW BEARING CONCRETE WALLS SHALL BE INSTALLED AFTER THE CONCRETE WALLS HAVE CURED AND SHOWN MANUFACTURER SPECIFICATIONS.</p>	<p>A. OBTAIN CONTRACTOR TO VERIFY ALL CONSTRUCTION AND CONDITIONS OF THE JOB AND NOTIFY ALL SUBMITTERS AND CONTRACTORS ON THE JOB AND SHALL BE HELD RESPONSIBLE FOR THE SAME.</p> <p>B. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. DIMENSIONS OF FRAMING AND OTHERS SHALL BE SHOWN ON THE DRAWING.</p>
PROPOSED WALL CONSTRUCTION		

IF A NEW BASIS OF WORK SPECIFICATIONS AND DRAWINGS TO CALL FOR AN IMPROVED THE IS COMPLETE IN EVERY RESPECT, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE BASIS OF WORK SPECIFICATIONS, IF IN ANY OF THESE IS FOUND TO BE INCOMPLETE, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY AND EXPEDITIOUSLY IN WRITING. A COMPLETE NOTIFICATION, WHICH SPECIFICALLY NOTIFIED OR NOT.

DOOR SCHEDULE				
MAIN LEVEL FLOOR PLAN				
MARK	DOOR TYPE	SIZE	FRAME	REMARKS
100	PREGLASS DOOR	3'-0" x 7'-0"	NO-1	
101	PREGLASS DOOR	3'-0" x 7'-0"	NO-1	
102	PREGLASS DOOR	3'-0" x 7'-0"	NO-1	
103A	PREGLASS DOOR	3'-0" x 7'-0"	NO-1	
103B	PREGLASS DOOR	3'-0" x 7'-0"	NO-1	
104	GLASS ALUM. PANEL (STYLE BY OWNER)	2'-0" x 8'-0"	NO-1	PAINTED FOLING DOORS
105	GLASS ALUM. PANEL (STYLE BY OWNER)	2'-0" x 8'-0"	NO-1	PAINTED
106	GLASS ALUM. PANEL (STYLE BY OWNER)	2'-0" x 8'-0"	NO-1	PAINTED
107	GLASS ALUM. PANEL (STYLE BY OWNER)	2'-0" x 8'-0"	NO-1	PAINTED
108	GLASS ALUM. PANEL (STYLE BY OWNER)	2'-0" x 8'-0"	NO-1	PAINTED FOLING DOORS
109	GLASS ALUM. PANEL (STYLE BY OWNER)	2'-0" x 8'-0"	NO-1	PAINTED
110	GLASS ALUM. PANEL (STYLE BY OWNER)	2'-0" x 8'-0"	NO-1	PAINTED
111	GLASS ALUM. PANEL (STYLE BY OWNER)	2'-0" x 8'-0"	NO-1	PAINTED
112	GLASS ALUM. PANEL (STYLE BY OWNER)	2'-0" x 8'-0"	NO-1	PAINTED

WINDOW SCHEDULE			
MAIN LEVEL FLOOR PLAN			
MARK	WINDOW TYPE	SIZE	REMARKS
1	DOUBLE HUNG	2'-0" x 4'-0"	
2	DOUBLE HUNG	3'-0" x 4'-0"	
3	CASSETT	2'-0" x 2'-0"	
4	CASSETT	3'-0" x 3'-0"	
5	SUNG	3'-0" x 4'-0"	
6	DOUBLE HUNG	3'-0" x 4'-0"	



1 MAIN LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"

LEGEND	CONSTRUCTION NOTES	GENERAL CONSTRUCTION NOTES
EXISTING WALL CONSTRUCTION	11 FINISH WOOD BEARING FOR WALL ANCHORS BY OWNER. COORDINATE LOCATION WITH BRACKET FROM INSTALLATION.	A. GENERAL CONTRACTOR TO VERIFY ALL WORK IS IN ACCORDANCE WITH THE DRAWINGS, EXISTING CONDITIONS OR THE PROPERLY CONTROLLED MEASUREMENTS.
PROPOSED WALL CONSTRUCTION	12 FINISH WOOD BEARING FOR ALL WOOD BEARING CHANGEOVER. FINISH WOOD IS TO BE INSTALLED AFTER THE CHANGEOVER WITH MANUFACTURER'S SPECIFICATIONS.	B. GENERAL CONTRACTOR TO USE AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL BE RESPONSIBLE FOR THE SAME.
WALL TYPE IDENTIFICATION		C. ALL DIMENSIONS ARE TO FACE OF MEMBER, FACE OF FINISH MATERIAL AND CENTERLINE OF STRUCTURAL STEEL COLUMN UNLESS OTHERWISE NOTED.
DOOR IDENTIFICATION		D. ALL NOTES AND DIMENSIONS BEGINNING WITH "TYP" OR "TYPICAL" APPLY TO ALL LIKE OR SIMILAR CONDITIONS UNLESS/OTHERWISE NOTED.
		E. FOR WALL TYPES REFER TO DRAWING A-102.
		F. ALL DOORS SHALL BE LOCATED WITH HANGING SIDE OF FRAME ON THE FINISHED WALL (IF CORNER CONDITIONS APPLICABLE) UNLESS OTHERWISE NOTED.

TPC
THOMAS P. CARROLL, AIA
ARCHITECTURAL & INTERIORS
THOMAS P. CARROLL ARCHITECTS, LLC
100 STATE STREET
SUITE 200
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OCTOBER 18th, 2022

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NEW RESIDENCE FOR
CAROL & ED FLEMING
43 Zylpha Road
Hartwich, MA

PROJECT NO. TPC-2022-017
SCALE: 1/4"=1'-0"
DATE: OCTOBER 04th, 2022

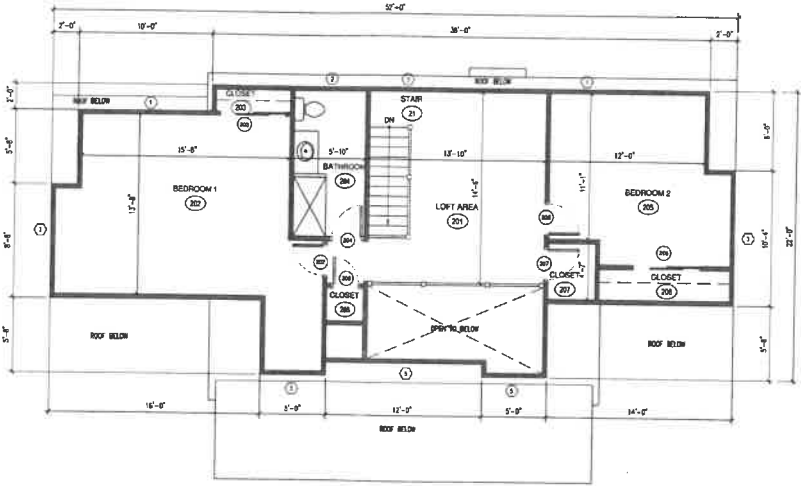
MAIN LEVEL FLOOR PLAN
A102



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DOOR SCHEDULE				
NO.	DOOR TYPE	SIZE	FINISH	REMARKS
202	ALUMINUM MT. PANEL (STYLE BY OWNER)	7'-0" x 6'-0"	NO-1	PAINTED
203	ALUMINUM MT. PANEL (STYLE BY OWNER)	7'-0" x 6'-0"	NO-1	PAINTED POCKET DOOR
204	ALUMINUM MT. PANEL (STYLE BY OWNER)	7'-0" x 6'-0"	NO-1	PAINTED
205	ALUMINUM MT. PANEL (STYLE BY OWNER)	7'-0" x 6'-0"	NO-1	PAINTED
206	ALUMINUM MT. PANEL (STYLE BY OWNER)	7'-0" x 6'-0"	NO-1	PAINTED POCKET DOOR

WINDOW SCHEDULE				
NO.	WINDOW TYPE	SIZE	FINISH	REMARKS
1	DOUBLE HUNG	2'-0" x 3'-0"		
2	DOUBLE HUNG	3'-0" x 4'-0"		
3	SLIDING	3'-0" x 3'-0"		
4	SLIDING	3'-0" x 3'-0"		
5	SLIDING	3'-0" x 4'-0"		
6	DOUBLE HUNG	3'-0" x 4'-0"		



1 SECOND LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND	CONSTRUCTION NOTES	GENERAL CONSTRUCTION NOTES
EXISTING WALL CONSTRUCTION PROPOSED WALL CONSTRUCTION WINDOW TYPE IDENTIFICATION WALL TYPE IDENTIFICATION DOOR IDENTIFICATION	11 FINISH FLOOR FINISHES FOR WALLS INDICATED BY NUMBER TO BE MAINTAINED UNLESS OTHERWISE NOTED. 12 FINISH FLOOR FINISHES FOR ALL NEW WALLS TO BE MAINTAINED UNLESS OTHERWISE NOTED. 13 FINISH FLOOR FINISHES FOR ALL NEW WALLS TO BE MAINTAINED UNLESS OTHERWISE NOTED.	A. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND TO REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. B. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF THE NEW STRUCTURE AND TO REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. C. ALL DIMENSIONS ARE BY FACE UNLESS OTHERWISE NOTED. D. ALL DIMENSIONS ARE BY FACE UNLESS OTHERWISE NOTED. E. ALL DIMENSIONS ARE BY FACE UNLESS OTHERWISE NOTED. F. ALL DIMENSIONS ARE BY FACE UNLESS OTHERWISE NOTED.

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THOMAS P. CARLSON, AIA, LLC
ARCHITECTS

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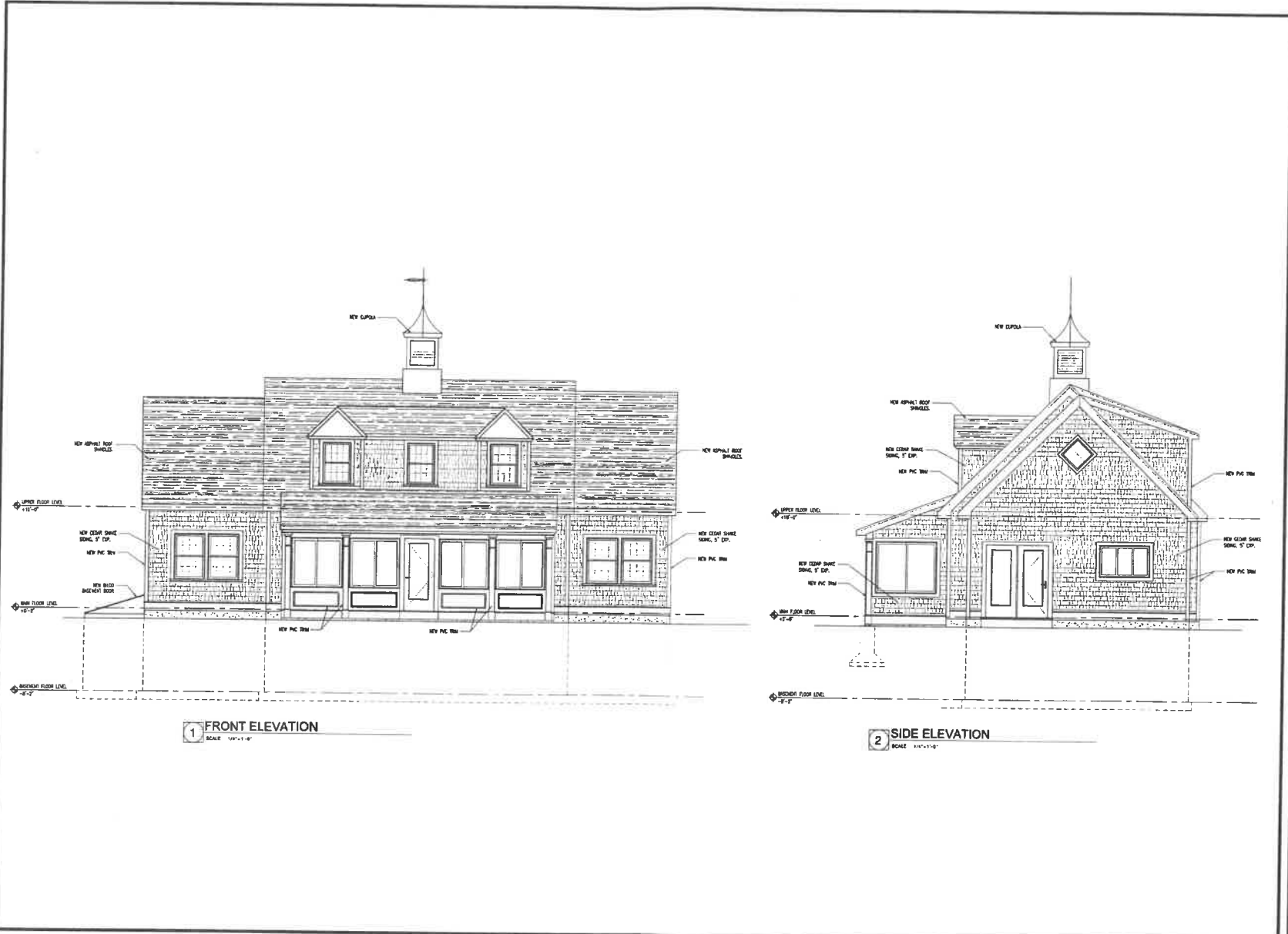
NEW RESIDENCE FOR
CAROL & ED FLEMING
41 Zylpha Road
Harwich Port, MA

PROJECT NO: TPC-2013-007
SCALE: 1/4" = 1'-0"
DATE: OCTOBER 08, 2013

SECOND LEVEL FLOOR PLAN
A103



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TPC

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RESIDENCE
FOR

**CAROL & ED
FLEMING**

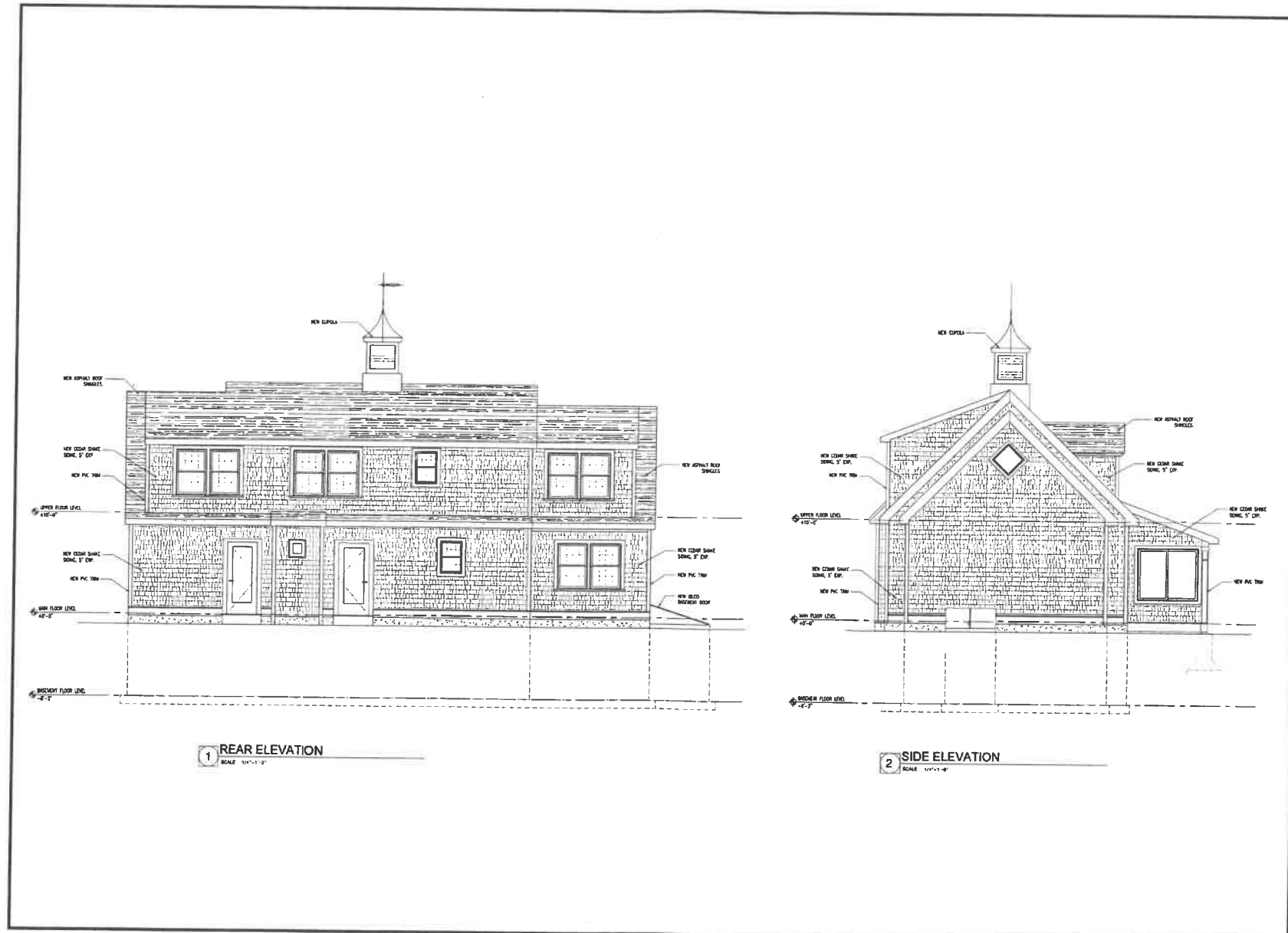
41 Zylpha Road
Harwich Port, MA

PROJECT NO. TPC-2023-033
SCALE: 1/8"=1'-0"
DATE: OCTOBER 18th, 2023

EXTERIOR
ELEVATIONS

A4.01

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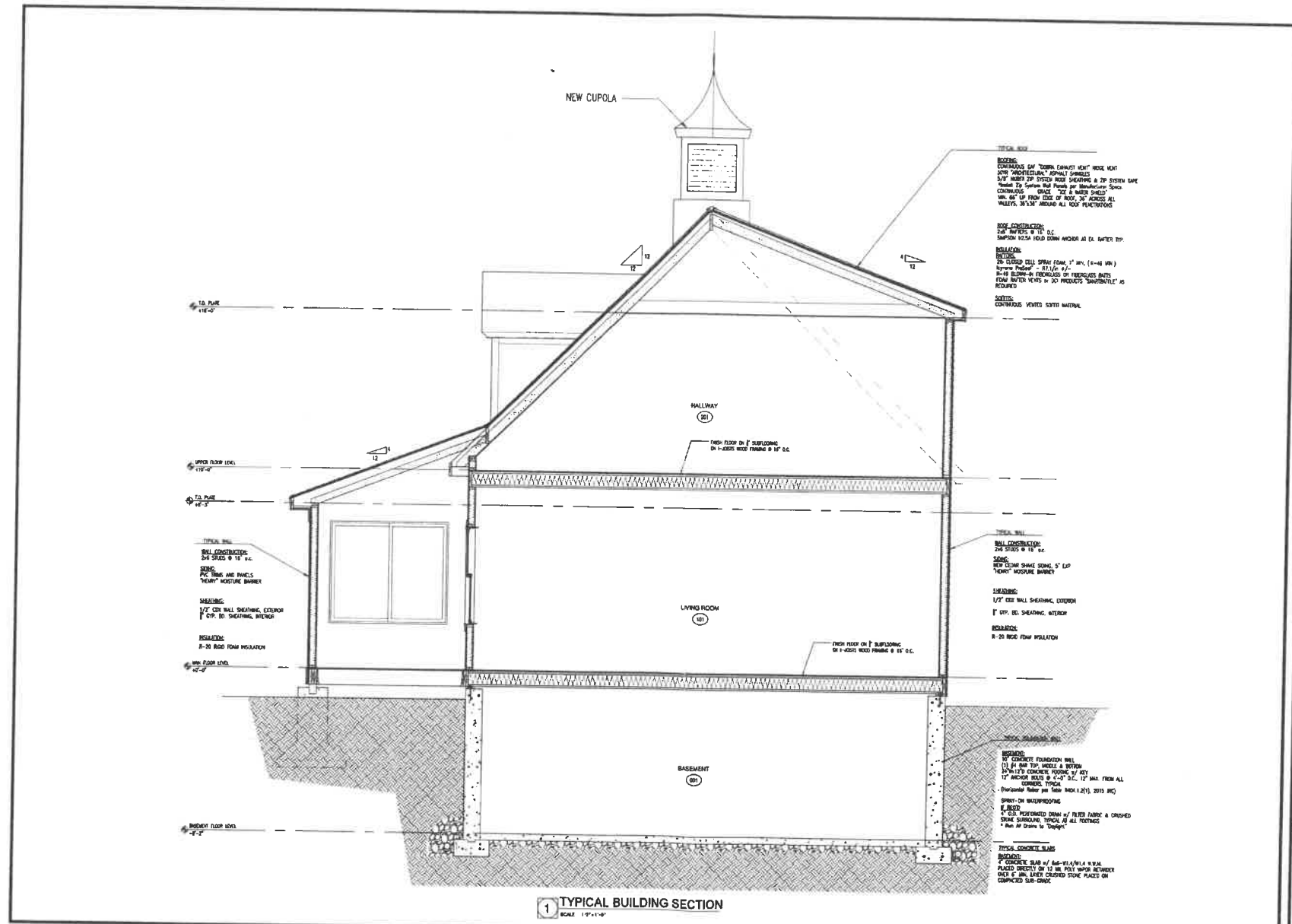
NEW RESIDENCE FOR
CAROL & ED FLEMING
41 Zylpha Road
Harwich Port, MA

PROJECT NO: TPC-2023-037
SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18th, 2023

EXTERIOR ELEVATIONS

A4.02

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1 TYPICAL BUILDING SECTION
SCALE: 1/4"=1'-0"

TPC

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NEW
RESIDENCE
FOR
**CAROL & ED
FLEMING**
41 Sylpha Road
Harwich Port, MA

PROJECT NO: TPC-2023-037
SCALE: 1/4"=1'-0"
DATE: OCTOBER 18th, 2023

WALL
SECTION

A5.01

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