

# Benjamin E. Zehnder LLC

62 Route 6A, Suite B  
Orleans, Massachusetts 02653

Benjamin E. Zehnder, Esq.  
[bzehnder@zehnderllc.com](mailto:bzehnder@zehnderllc.com)  
Tel: (508) 255-7766

January 25, 2024

Town Clerk Emily Mitchell  
Harwich Town Hall  
732 Main Street  
Harwich, MA 02645

Via hand delivery

Re: New Zoning Board of Appeals special permit application  
481 Depot Street (Map 36, Parcel B1)

Dear Ms. Mitchell:

On behalf of the Rowoliver Nominee Trust please find enclosed one original and 11 copies of a new application to the Zoning Board of Appeals seeking two use variances and a special permit for the property at 481 Depot Street.

Please note that this application replaces my earlier application in Case No. ZBA2023-36. In connection with that case the Board waived the application filing fee requirement for this new application. I will ask Board to allow the earlier application to be withdrawn without prejudice at the next hearing.

Thank you for your assistance. I am –

Very truly yours,



Benjamin E. Zehnder

Enc.  
cc. via email only:  
client  
Shelagh Delaney  
Jack Mee  
John O'Reilly  
Rachel Lohr



Case # \_\_\_\_\_

**TOWN OF HARWICH**  
732 Main Street, Harwich, Massachusetts 02645

**ZONING BOARD OF APPEALS**  
**Notice of Appeal/Application and Petition for Public Hearing, ("APPLICATION")**

**This Application does not apply to Comprehensive Permits.**

**Please refer to the Rules and Regulations of the Town of Harwich Board of Appeals for documentation requirements.**

This original completed and signed notice ("Application"), along with a certified abutters list and twelve (12) copies of all plans, sketches, statements, site plans or other supporting documents per the attached checklist must be presented to the Building Department prior to being filed with the Town Clerk. The required documentation, **ALL** of which must be submitted on the date of filing, is listed on this Application. **THE RULES AND REGULATIONS ("RULES") OF THE TOWN OF HARWICH BOARD OF APPEALS APPLY TO ALL APPEALS AND APPLICATIONS AND SHOULD BE CONSULTED BEFORE FILING AN APPEAL OR APPLICATION TO ENSURE COMPLIANCE WITH THEM.**

To the Zoning Board of Appeals, Harwich, MA:

(We, I) hereby petition your Board for a public hearing on the request for action checked below:

- ( ) Appeal from decision of or refusal of permit application by the Building Inspector, Selectmen or Planning Board or other administrative officer or officers.
- (X) Application for a Variance from requirements of the Harwich Zoning By-Law.
- (X) Application for a Special Permit that is subject to Board of Appeals approval.

I/we am/are the owner[s]/agent of the property involved in this petition, which is located in Harwich, MA at the following address:

481 Depot Street Said property is further described on

Assessor's Map # 36 and Parcel # B1 located in the IL, RR Zoning District as shown on the attached plan.

Describe

Petition/Appeal: Applicant proposes alteration of existing dwelling and construction of storage units.

Relief requested - Cite specific Bylaw Section(s):

Please see Application Addendum.

Signature of Owner (or Agent) [Signature]

Date 1/25/24

(Written authorization by the owner must accompany an Application signed by agent.)

Owner Name Rowoliver Nominee Trust

Phone No. (774) 836-5799

Mailing Address: 481 Depot Street, Harwich, MA 02645

Agent Name: Benjamin E. Zehnder

Phone No. (508) 255-7766

Mailing Address: 62 Route 6A, Suite B, Orleans, MA 02653

Has a petition previously been submitted for this property (Y/N) Y

If yes, the date of original hearing 11/29/2023; 12/27/2023 Petition No. Case No. 2023-36 Decision (continued)

**For Appeal Only:**

Reason for Denial: \_\_\_\_\_

Denial From: \_\_\_\_\_

Date of Denial: \_\_\_\_\_

Within 14 days following any Board decision, the Board will file its decision with the Town Clerk. A building permit will not be issued during the appeals period, until 21 days after the Board of Appeals decision has been filed with the Town Clerk or if an appeal to that decision has been filed during that time. It is the **applicant's responsibility** to have the decision recorded at the Barnstable County Registry of Deeds or Land Court, whichever may be applicable, and to present copies of that recording to the Town Clerk and to the Building Department with all Building Permit application requirements.

Please be advised that an incomplete Application may result in a delay in processing your Application and **may result in a denial by the Board** without consideration of the merits of the Application. **IT IS YOUR RESPONSIBILITY TO REVIEW THE RULES THAT APPLY TO YOUR APPEAL/APPLICATION AND TO MAKE SURE BEFORE FILING THAT YOUR APPLICATION/APPEAL COMPLIES WITH THOSE RULES.** The burden of proof is on the petitioner, not on the Town. If you do not understand the criteria, legal counsel should be sought. Either the petitioner or his/her agent is required to appear at the hearing to present the Application.

All applicants for hearing before the Board of Appeals must complete the Application and submit along with it the supporting documentation listed herein to the Building Department for review and subsequent filing with the Town Clerk. The Building Department accepts Applications during posted hours. You are strongly encouraged to submit your Application to the Building Department well in advance of the filing deadline to allow adequate time for staff review for completeness. **All information, including the applicable fee made payable to the Town of Harwich, must be submitted with the Application.**

Please submit the following, sorted and grouped into **twelve (12) packets along with one (1) Certified Abutters List** (Available from the Assessors Department. A separate application and fee is required):

X     **The original Application (additional stamped copies can be provided at a nominal fee):**

- Signed by the owner or agent.
- If signed by an agent, a letter of authorization signed by the owner must also be included.

X     **A typewritten narrative to explain the project , the purpose for this Application and the relief requested, with citations to the applicable provisions of the MGL and the Harwich Zoning Bylaw.**

X     **The original and eleven (11) copies of a Certified Plot Plan with topographical information plan (not septic plans) not more than five (5) years old (total of 12 copies):**

- 8½” x 11” or larger. *Larger plans must be folded.*
- Scale no greater than 1” = 50’
- Original stamped and signed by a Professional Engineer (as allowed by law), or a Professional Land Surveyor.
- Certified Plot Plan **must** indicate:
  - the locus;
  - the parcel or parcels of land involved;
  - the existing building or buildings;
  - the proposed building or buildings and/or additions to, or alterations of existing buildings with all dimensions set forth;
  - the location of the septic;
  - the Town of Harwich zoning requirements applicable to the property, as well as existing and proposed dimensions for: frontage, front, sides, and rear setback distances, building height(s), building stories, building and site coverage and parking requirements (if any);
  - all perimeter dimensions (existing and proposed);
  - location and width of abutting and on-site street and drives, parking, existing topography;
  - a grading plan, areas of proposed and retained vegetation, distinction between upland and wetland.
- Building Plans drawn to scale:
  - Floor layout (for existing structure and proposed additions and/or alterations)
  - Proposed front, side, and rear elevations

X     **Certified Abutters List**

\*     **Check made payable to “Town of Harwich” for \$315.00.**

\*     The Board of Appeals waived the filing requirement for this application.

Name of Applicant: Rowoliver Nominee Trust

Address of Property: 481 Depot Street, Harwich, MA 02645

Zoning District: IL & RR

Is the property Located in any Special District(s)/Overlay District(s) established by the Town of Harwich or the State of Massachusetts: Yes  No

If Yes, specify District(s): \_\_\_\_\_

Year Structure(s) Built: 1809

Name/Address of Engineer/Architect: John M. O'Reilly P.O. Box 1773, Brewster, MA 02631

Name/Address of Attorney: Benjamin E. Zehnder 62 Rte. 6A, Ste. B, Orleans, MA 02653

Subject	Existing	Required	Proposed
Lot Area (square feet)			
Frontage (linear feet)			
Front Yard Setback (feet)			
Side yard Setback (feet)			
Rear Yard Setback (feet)			
Any Yard Setback - <b>Specify which:</b>			
Building Coverage (%)			
Site Coverage (%) (see 325-2)			
Building Height (see 325-2 & 325-108)*			
<b>If this is an Application for an Accessory Apartment, in addition to the above:</b>			
A. Net Floor Area of the Principal Dwelling			
B. Net Floor Area of the proposed Accessory Apartment			
* Building height calculation(s) must be shown on plan for all zones per the Harwich Zoning By-laws Section 325-2. See Article XVII - Floodplain Regulations Section 325-108.			

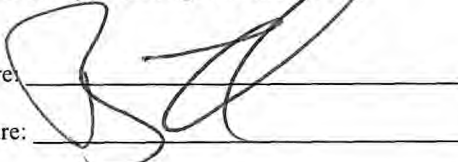
\*\*\* Property is located in two different zoning districts with different dimensional requirements. Please see charts of existing, required, and proposed calculations for each district on site plan filed herewith.

Form of Relief Requested: Please see Project Narrative.

If the Applicant is requesting a Variance, state the hardship which the Applicant believes justifies this form of relief in accordance with MGL Chapter 40 and the Harwich Zoning Bylaw:  
Please see Project Narrative.

By signing and submitting this Application, you hereby authorize the members of the Board of Appeals, or its agent, to conduct a site visit of the exterior of your property for an inspection of the property involved in this petition, should they deem it appropriate.

The Board of Appeals is entitled to rely on the information contained in this Application. Therefore, the undersigned certifies that the information provided in this Application, and all submitted plans and other documentation, is true and accurate to the best of my knowledge and belief.

Agent's Signature:  Date: 01/25/14  
Owner's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Project Narrative  
Zoning Board of Appeals  
Variance and Special Permit Application



481 Depot Street  
Map 36, Parcel B1

Rowoliver Nominee Trust

*January 25, 2024*

*Prepared by Benjamin E. Zehnder LLC*

Applicant Rowoliver Nominee Trust owns a developed 34,890 square foot parcel of land at 481 Depot Street in West Harwich near the Dennis town line. The northerly portion of the property is in the IL (Industrial - Limited) zoning district, and the southerly portion is in the RR (Residential - Rural Estate) zoning district. This is an application for zoning relief necessary for conversion of an existing two-family dwelling in the IL portion of the property to four-apartment multifamily dwelling use, and to construct a single self storage building straddling the IL and RR districts.

This project is presently under review by the Harwich Planning Board in Case No. PB2023-35 for site plan review of a mixed use under Harwich Zoning Bylaw § 325-55.C(1) – (4), and for a multifamily special permit under Harwich Zoning Bylaw § 325-51.Q.

Following hearings on November 29, 2023 and December 27, 2023 in Board of Appeals Case No. 2023-36, opinions from Town Counsel on the forms of relief required for the proposal, and comments from abutters on the project, the applicant and the Board agreed that the applicant would revise its proposal and submit a new application requesting the required relief and incorporating changes suggested by the Board and abutters. The Planning Board case is continued until the ZBA matters are finished.

The revised proposal removes one of the three proposed storage buildings and combines the other two into a single structure, increasing the property line setback and reducing total building and site coverage. The new layout includes a 3-4' high earthen berm on the southeast side of the lot planted with 3-4' Leland cypress trees in order to provide requested screening for the abutters.

The applicant requests the following zoning relief:

1. a special permit pursuant to Bylaw § 325-54.A(2), or in the alternative a use variance pursuant to Bylaw § 325-52 from Bylaw Table 1, Use Regulations for a new non-conforming use in the RR district (Use 39: Self-Storage) (for the portion of the proposed self-storage use in the RR district);
2. a special permit pursuant to Bylaw § 325-54.A(2), or in the alternative a use variance pursuant to Bylaw § 325-52 from Bylaw

Table 1, Use Regulations to change a pre-existing, non-conforming use in the IL district (Use 9: Single-Family Dwelling) to a new non-conforming use (Use 8: Multifamily Dwelling) (to convert the existing two-family dwelling into four apartment units);

3. a special permit pursuant to Bylaw § 325-51 or in the alternative a dimensional variance from Bylaw Table 3, Height and Bulk Regulations, to increase the existing non-conforming site coverage on the RR portion of the property from 27.5% to 41.2% where the maximum permitted site coverage is 25%.

A. Locus:

The lot was created by deed description in the 1800s and is improved with a 2,400 s.f. dwelling built in 1809, as well as a barn. The property has 267' of frontage along Depot Street. The lot is conforming as to street frontage in both districts where 100 feet is required in the IL district and 150 feet is required in the RR district. The lot is conforming as to area in the IL district where 20,000 square feet is required and is nonconforming in the RR district where 40,000 square feet is required. The lot is not within any overlay district. The property is adjacent to a cranberry bog. The existing house and barn are located on the northerly portion of the lot in the IL district. The house is used as a two-family dwelling containing two apartment units.

B. Proposal:

The proposal is to: (1) reconfigure the interior floor plan of the existing two-family dwelling to convert it into a four-apartment multifamily dwelling, and (2) demolish the existing barn and construct a self-storage building and associated site improvements on both the IL and RR portions of the property.

The house will be reconfigured into four apartments: a two-bedroom apartment (Apt. #1) and a one-bedroom apartment (Apt. #2) on the first floor; a three-bedroom apartment (Apt. #3) on the second floor; and a studio apartment (Apt. #4) in the basement. The construction includes installation of a new exterior staircase and two fire escapes, new interior walls, a new floor system on the second floor, removal of an internal staircase, new partition walls, and construction of a new entryway over the current bulkhead. The applicant proposes a new seven-bedroom septic system.

The remainder of the property will be redeveloped as a self-storage facility. The barn will be demolished and a new one-story steel storage building will be constructed on a slab foundation on areas of the lot in both the IL and RR districts. The building will have a surrounding paved driveway for access and customer parking. The facility will be enclosed by fencing and be staffed and accessible weekdays between 9 A.M. and 5 P.M. via a key-coded gate. Lighting will be fully shielded downward facing fixtures conforming to the outdoor lighting requirements. A concrete pad and dumpster will be provided for trash disposal. A drainage system is proposed for the paved areas with leaching facilities, a rip rap spillway, and a 3' wide vegetated channel with a bio-retention

swale. A 3' to 4' high earthen berm is proposed along the entire south property line and approximately 100' of the southwesterly property line, to be planted with a line of 37 3' to 4' tall Emerald Green Arborvitae trees at 5' on center. This planting is provided in order to provide screening for the abutting property at the request of the owners of that property. This planting is also provided in order to comply with Bylaw § 325-18(I) which requires screening of activities in IL district from adjoining properties in the RR district.

C. Use Variance Requests:

Bylaw § 325-52 specifically provides that the *“Board of Appeals shall have the power to... .. grant a variance authorizing a use or activity not otherwise permitted in the district in which the land or structure is located...”* The Bylaw exempts from this power to grant use variances only variances *“to allow food sales with drive-up or drive-through facilities.”* Therefore, the Board is authorized to grant the within variance requests.

Section 325-52 requires that the Board make the findings required by the Zoning Act, or M.G.L. c. 40A, § 10. This statute provides that a board may grant a zoning variance where, *“owing to circumstances relating to the soil conditions, shape or topography especially affecting the land or structures, but not the zoning district generally, a literal enforcement of the bylaw would involve substantial hardship to the applicant, provided relief may be granted without substantial detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the bylaw.”*

The explicit Bylaw authorization to grant use variances, and the statutory requirement that hardship be owing to circumstances relating to soil conditions, shape or topography are intrinsically irreconcilable. These factors relate to and dictate dimensional concerns such as structure placement, structure height, etc. Therefore, in order to make such authorized use variances available in any instance, some relaxation of the statutory requirements must have been contemplated by the Bylaw. This is supported by Massachusetts case law.

In Cavanaugh v. DiFlumera, 9 Mass. App.Ct. 396 (1980) , the Appeals Court upheld the grant of a use variance in Agawam for a general store in a residential zoning district:

*The requirement of substantial derogation recognizes that the "effect of a variance is to give a landowner a license or permit to use his property in a manner otherwise violative of the zoning ordinance," and that a use variance in particular "permits a use which the ordinance prohibits." Because of this, some derogation from the by-law's purpose is anticipated by every variance. Otherwise, the denial of relief on the basis of a slight or insubstantial departure from the*

*goals of the by-law would prohibit the grant of any variance... ” Cavanaugh v. DiFlumera, 9 Mass. App. CT. 396 (1980) (internal citations omitted).*

Locus has an unusual lot shape and is unique in being located in both the IL and RR districts. The lot shape resulted from the topography of the abutting cranberry bog and the layout of Depot Street, which angle towards one another and cause the lot to narrow significantly at its southerly end (the bog property abuts Depot Street immediately south of locus). The IL / RR division line bisects the property north of that end, leaving a small portion of the lot zoned residentially, despite it being contiguous to the industrial district. Furthermore, the IL northerly part of the lot is where the existing residential use is located. The applicant could not locate any other parcels in Harwich that have comparable circumstances. This lot location is not only completely unique, it directly relates to the ability of the applicant to use it for economically viable purposes, since uses that are permitted in one portion are not permitted in the other, and vice versa. This forces the applicant to make separate uses co-exist on the property, or else to leave substantial portions of the property unused.

Under a literal enforcement of the Bylaw the existing dwelling on the IL portion cannot be converted to multifamily use, although the building has been used as a house since it was built in the 1809 and can easily be converted to apartments. Likewise, under a literal enforcement of the Bylaw the proposed storage building could not extend onto any of the RR portion of the property. Locating a building large enough to justify the storage business on just the IL portion of the lot would require moving the existing dwelling to the residential southerly end of the property. The significant expense of this option would certainly make the project infeasible and that section of property unusable except for accessory uses and would constitute a substantial economic hardship for the applicant. Moreover, relocation would reduce the historic significance of the house in its original location.

In order to make storage use economically feasible given the high costs of land preparation and construction, as well as the costs of labor and management, the storage facility must be of at least a minimal size and number of units. The applicant has undertaken a minimal encroachment of the building extending into the RR district in order to make the project feasible. The structure meets all dimensional setbacks and building coverage limits in both districts. The only dimensional excess being intensified is site coverage in the RR district at 41.2% where 25% is the maximum permitted. This excess is offset by the fact that site coverage in the IL portion of the lot is 54.1% where 70% is permitted.

The requested use variances can be granted without harming the public good or derogating from the purposes of the use regulations. Aerial photographs show the existing neighborhood industrial and residential developments surrounding locus, and that the property is contiguous with industrial uses north of it along Depot Street. Self-storage and multifamily dwelling uses are each allowed in the respective zoning districts, on the opposite sides of the division line from where they are proposed. This shows that self-storage use and multifamily dwelling use are both appropriate in the neighborhood



and will not harm the public good. Additionally, there is already residential use on the IL part of the property and thus continued residential use there will not cause any new harms.

D. Special Permit Request:

Under Bylaw § 325-51 the Board of Appeals may hear and decide applications to change, alter, or extend a non-conforming structure or use requiring a special permit, upon findings that the use will not adversely affect the neighborhood, the site is appropriate, there will be no nuisance or serious hazard to vehicles or pedestrians, and that adequate and appropriate facilities will be provided for the use.

The applicant requests a special permit for its proposal to increase the existing non-conforming site coverage on the RR portion of the property from 27.5% to 41.2%, for the area of the proposed storage building located there, and responds to the Bylaw § 325-51(A)(1)(a) – (d) special permit criteria as follows:

(a) *The use as developed will not adversely affect the neighborhood:*

Self-storage is a very low intensity use. Customers who lease storage units typically store their belongings at the beginning of a lease period and access their units infrequently or only at the end of the lease. Day-to-day business operations do not require equipment or vehicles, do not generate noise, waste, or odor, and are run with only one employee on site. The applicant submits that the proposed development will not adversely affect the surrounding neighborhood.

(b) *The specific site is an appropriate location for such a use, structure or condition:*

Locus is an appropriate location for the proposed self-storage use and buildings. The section of Depot Street between Great Western Road and the Harwich / Dennis town line is part of an industrially zoned and developed area, with nearby industrial and commercial uses including two self-storage businesses, automobile salvage, lawn maintenance, lumber and stone yards, carpentry shops, and commercial cranberry bogs. The applicant's property is physically and visually contiguous with this industrial section of town. The area is easily accessible from both the center of town and the highway and is in a neighborhood where residents go for similar types of business, including the self-storage facilities on Great Western Road and a storage facility on Depot Road which also includes residential use in the form of 2<sup>nd</sup> floor apartments. The applicant submits that the property is an appropriate location for the proposed buildings and use.

(c) *There will be no nuisance or serious hazard to vehicles or pedestrians:*

The proposal will not result in any nuisance or hazard to vehicles or pedestrians. The proposed self-storage will result in few vehicle trips to or from the property. The

existing southerly driveway is proposed for removal and replacement with a larger driveway, with a wider curb cut to Depot Street.

- (d) *Adequate and appropriate facilities will be provided for the proper operation of the proposed use. This includes the provision of appropriate sewage treatment facilities which provide for denitrification, when the permit granting authority deems such facilities necessary for protection of drinking water supply wells, ponds or saltwater embayments:*

The applicant has designed the new septic system for the dwelling at the property with sufficient additional flow for one employee in the office. Lessees access storage units infrequently for short periods of time and do not need bathrooms facilities.

E. Miscellaneous Zoning Compliance Table Items:

- **Building Height:** Please see building plans filed herewith. Maximum allowable building heights in the RR and IL districts are 30' and 40', respectively. The residential structure will not change in its exterior configuration or height. The storage building has a very shallow roof pitch of ½" over 12" and the framing height is 9'6" (See building plans sheet A3).
- **Interior Landscaping:** The applicant proposes a row of new 3'-4' tall Arborvitae trees planted 5' on center on top of a 3'-4' berm next to the southerly, and a portion of the southeasterly, property lines, to screen the storage buildings, as well as a new vegetated channel along the easterly side. This will comply with Bylaw Section 325-18(I) requirement of such plantings being more than 5' in height.
- **Number of Parking Spaces:** Parking sufficient for the proposed multifamily dwelling (8 spaces) plus one employee of the self-storage business will be provided as noted and shown on the plan. Self-storage customers do not require dedicated parking spaces as they will park in front of their units during loading or unloading.

- END -



TOWN OF HARWICH  
ASSESSORS OFFICE

732 MAIN STREET  
HARWICH, MASSACHUSETTS 02645

Town of Harwich

IAN 18 2024

**\*\* Please email all Abutters Requests to [assessing@harwich-ma.gov](mailto:assessing@harwich-ma.gov)**

Assessors Office

OFFICE OF  
BOARD OF ASSESSORS  
Tel: 508-430-7503  
Fax: 508-430-7086

**ABUTTERS REQUEST FORM**

**Board Requesting Action:** Zoning Board of Appeals

**Date Submitted:** January 17, 2024

**Applicant's Name:** Rowoliver Nominee Trust

**Assessors Map(s) & Parcel(s):** 36-B1

**Property Location:** 481 Depot Street

**Owner(s):** Rowoliver Nominee Trust

**Contact Person:** Benjamin E. Zehnder; Charlie Zehnder

**E-mail Address:** bzehnder@zehnderllc.com; czehnder@zehnderllc.com

**Telephone #:** (508) 255-7766

**Type of Petition:** Two (2) use variances and one (1) special permit

**I hereby certify that the names and addresses on the attached or preceding sheet (s) are of the owners as they appear in the assessing departments most recent computerized tax list**

**Assessors Approval By:** *[Signature]* 1/18/24

**INVOICE**

*This cover sheet is also your invoice.*

		<u>Date</u>	<u>Ck #</u>
		<u>Paid</u>	
Abutters Fee	\$50.00	1/22/24	1214

**Make checks payable to: Town of Harwich**

TOWN OF HARWICH, MA  
 BOARD OF ASSESSORS  
 732 Main Street, Harwich, MA 02645

Town of HARWICH Abutters Within 300 feet of Parcel 36/B1/0



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
10644	36-S5-0-E	MASSACHUSETTS COMMONWEALTH OF DEPT OF ENVIRONMENTAL MANAGEME	493 DEPOT ST	100 CAMBRIDGE ST	BOSTON	MA	02202
10651	39-K4-0-E	MASSACHUSETTS COMMONWEALTH OF DEPT OF ENVIRONMENTAL MANAGEME	0 BIKE PTH	100 CAMBRIDGE ST	BOSTON	MA	02202
25672	36-B4-0-E	FISHTAIL VILLAGE CONDOMINIUM	0 DEPOT ST	549 CENTER ST	DENNIS PORT	MA	02639
27266	36-T1-0-R	HALL ARTHUR H SR ESTATE OF	0 DEPOT ST	453 DEPOT ST	HARWICH	MA	02645
27267	36-T2-0-R	HALL ARTHUR H SR ESTATE OF	485 DEPOT ST	453 DEPOT ST	HARWICH	MA	02645
27269	36-T5-0-R	HALL ALAN J & HALL MAURA A	473 DEPOT ST	473 DEPOT ST	HARWICH	MA	02645
27270	36-T6-0-R	HALL ARTHUR H SR	0 DEPOT ST	453 DEPOT ST	HARWICH	MA	02645
4022	36-B1-0-R	CROSBIE DAVID M TRS ET AL FARNSWORTH STEVEN TRS	481 DEPOT ST	481 DEPOT ST	HARWICH	MA	02645
4023	36-B2-0-R	MCNAMARA CHRISTOPHER P TR MCNAMARA REALTY TRUST	484 DEPOT ST	492 DEPOT ST	HARWICH	MA	02645
4024	36-B3-2-0-R	MCNAMARA CHRISTOPHER P TR MCNAMARA REALTY TRUST	488 DEPOT ST	492 DEPOT ST	HARWICH	MA	02645
7828	36-B3-1-0-R	MCNAMARA CHRISTOPHER P TR MCNAMARA REALTY TRUST	492 DEPOT ST	492 DEPOT ST	HARWICH	MA	02645

36-S5-0-E

MASSACHUSETTS COMMONWEALTH OF  
DEPT OF ENVIRONMENTAL MANAGEMEN  
100 CAMBRIDGE ST  
BOSTON, MA 02202

39-K4-0-E

MASSACHUSETTS COMMONWEALTH OF  
DEPT OF ENVIRONMENTAL MANAGEMEN  
100 CAMBRIDGE ST  
BOSTON, MA 02202

36-B4-0-E

FISHTAIL VILLAGE CONDOMINIUM  
549 CENTER ST  
DENNIS PORT, MA 02639

36-T1-0-R

HALL ARTHUR H SR ESTATE OF  
453 DEPOT ST  
HARWICH, MA 02645

36-T2-0-R

HALL ARTHUR H SR ESTATE OF  
453 DEPOT ST  
HARWICH, MA 02645

36-T5-0-R

HALL ALAN J &  
HALL MAURA  
473 DEPOT ST  
HARWICH, MA 02645

36-T6-0-R

HALL ARTHUR H SR  
453 DEPOT ST  
HARWICH, MA 02645

36-B1-0-R

CROSBIE DAVID M TRS ET AL  
FARNSWORTH STEVEN TRS  
481 DEPOT ST  
HARWICH, MA 02645

36-B2-0-R

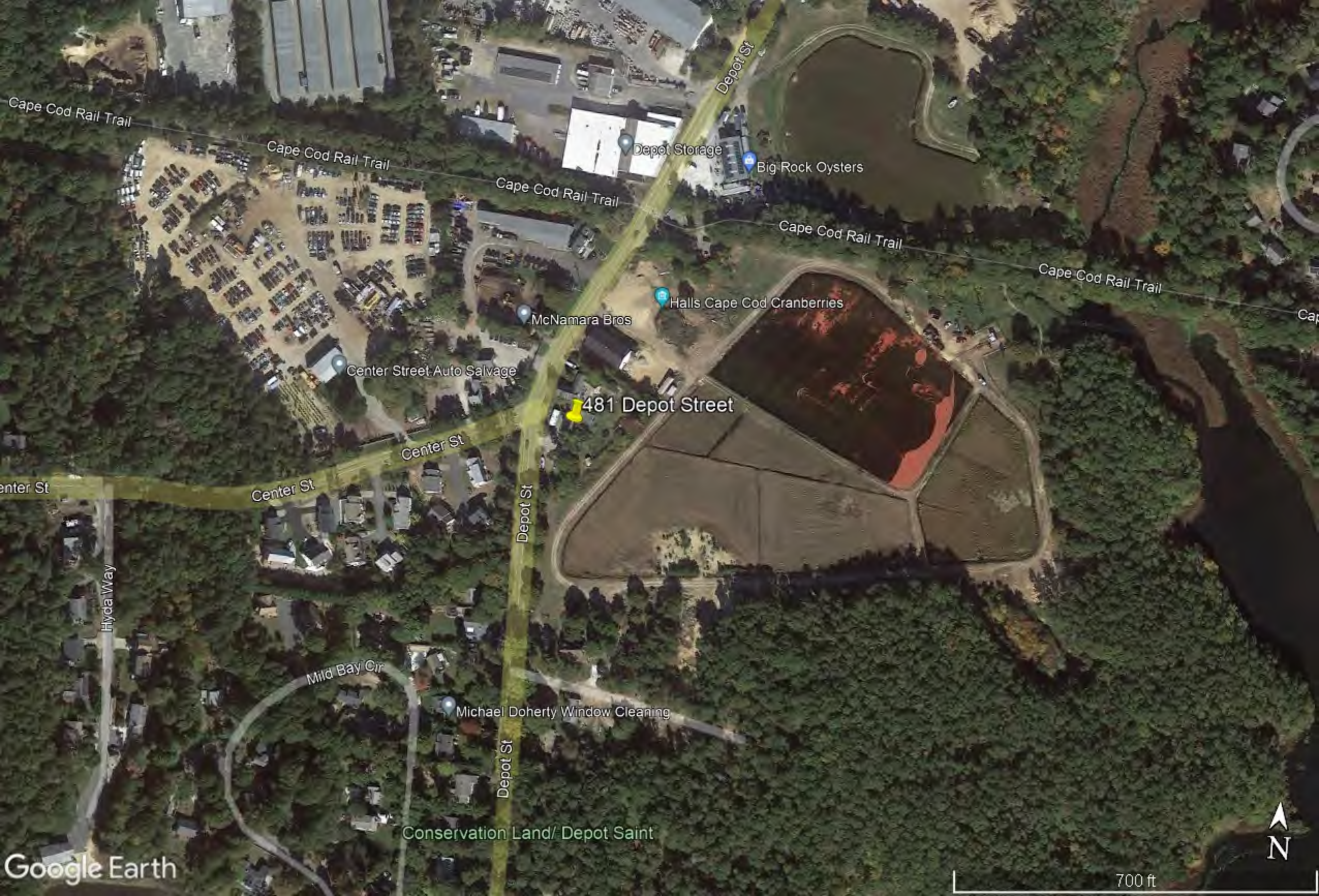
MCNAMARA CHRISTOPHER P TR  
MCNAMARA REALTY TRUST  
492 DEPOT ST  
HARWICH, MA 02645

36-B3-2-0-R

MCNAMARA CHRISTOPHER P TR  
MCNAMARA REALTY TRUST  
492 DEPOT ST  
HARWICH, MA 02645

36-B3-1-0-R

MCNAMARA CHRISTOPHER P TR  
MCNAMARA REALTY TRUST  
492 DEPOT ST  
HARWICH, MA 02645



Depot St

Depot Storage

Big Rock Oysters

Cape Cod Rail Trail

Cape Cod Rail Trail

Cape Cod Rail Trail

Halls Cape Cod Cranberries

McNamara Bros

Center Street Auto Salvage

481 Depot Street

Center St

Depot St

Center St

Hyda Way

Mild Bay Cir

Michael Doherty Window Cleaning

Conservation Land/ Depot Saint

Google Earth



700 ft

Authorization

April 25, 2023

We, David M. Crosbie and Steven Farnsworth, as the Trustees of the Rowoliver Nominee Trust u/d/t dated December 6, 2018, hereby authorize Benjamin E. Zehnder to file an application and other materials, on the trust's behalf, with the Town of Harwich, relative to real property owned by the trust located at 481 Depot Street, Assessor's Map 36, Parcel B1.

ROWOLIVER NOMINEE TRUST, by:



\_\_\_\_\_  
David M. Crosbie, Trustee

\_\_\_\_\_  
Steven Farnsworth, Trustee


Authorization

April \_\_, 2023

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ROWOLIVER NOMINEE TRUST, by:

\_\_\_\_\_  
David M. Crosbie, Trustee

  
\_\_\_\_\_  
Steven Farnsworth, Trustee



Key: 4022

Town of HARWICH - Fiscal Year 2023

12/21/2022 7:21 pm SEQ #: 3.471

LEGALS

CURRENT OWNER				PARCEL ID				LOCATION			
CROSBIE DAVID M TRS ET AL FARNSWORTH STEVEN TRS 481 DEPOT ST HARWICH, MA 02645				36-B1-0				481 DEPOT ST			
TRANSFER HISTORY				DOS	T	SALE PRICE	BK-PG (Cert)				
CROSBIE DAVID M TRS ET AL				12/19/2018	F	1	31737-23				
CROSBIE DAVID M				04/23/2008	S	312,000	22853-309				
DEUTSCH BANK NATIONAL TRU				09/25/2006	L	1	21375-124				

CLASS	CLASS%	DESCRIPTION			BN ID	BN	CARD	
1040	100	TWO FAMILY				1	1 of 1	
PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st	%
155	07/27/2018	53	ALTER -NO GR	7,500	08/26/2019	TCK	100	100
79	08/13/2012	53	ALTER -NO GR	1,800	07/15/2013	DS	100	100
340	06/06/2011	51	NEW CONST-NO	1,500		DS	100	100
423	09/03/2009	2	ADDITIONS	4,200	07/15/2013	DS	100	100
		6	CYCL GROWTH		06/10/2008	MO	100	100

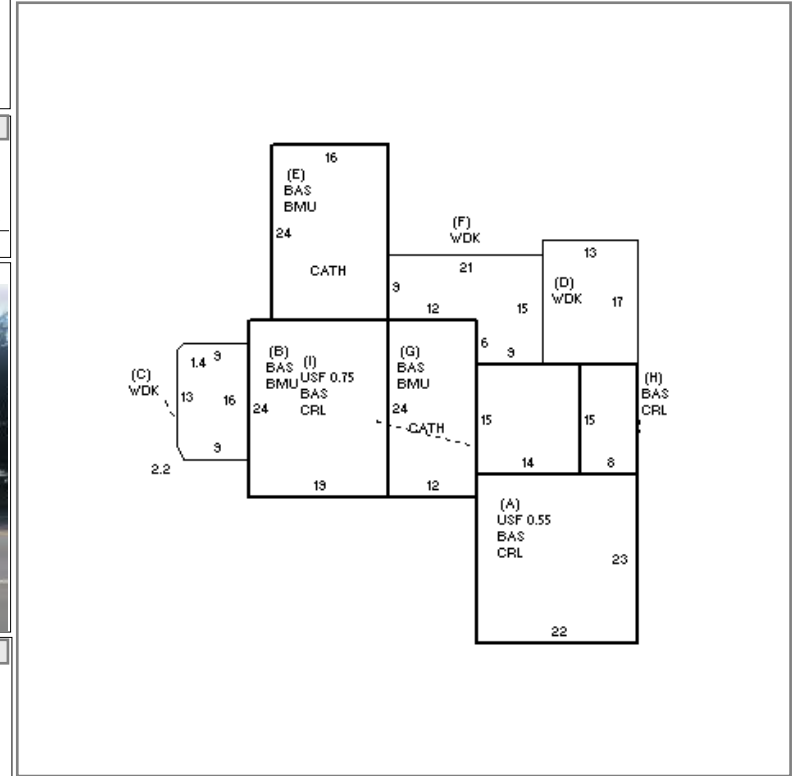
LAND

CD	T	AC/SF/UN	Ngh	Inf1	Inf2	ADJ BASE	SAF	Topo	Lpi	VC	CREDIT AMT	ADJ VALUE
100	S	35,719	3	1.00	1.00	219,600	1.04	100	1.00	2	0.90	187,490

TOTAL	35,719 SF	ZONING	FRNT	0	ASSESSED	CURRENT	PREVIOUS
Ngh	NGH 3	NOTE			LAND	187,500	163,100
Inf1	NONE		BUILDING	384,500	296,700		
Inf2	FACTOR 100		DETACHED	25,400	23,000		
			OTHER	0	0		
					<b>TOTAL</b>	<b>597,400</b>	<b>482,800</b>

DETAILED

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
FBN	A	1.00	A 0.75 30'x27		810	33.19	20,200
SHF	A	1.00	G 0.90 8 X 12	2007	96	19.17	1,700
ASH	A	1.00	A 0.75 10 X 27		270	17.28	3,500



BUILDING

BUILDING	CD	ADJ	DESC	MEASURE	7/15/2013	DS
MODEL	1		RESIDENTIAL	LIST	7/23/2012	DM
STYLE	7	1.35	OLD STYLE [100%]	REVIEW	9/18/2019	MR
QUALITY	+	1.15	GOOD-AVE+ [100%]			
FRAME	1	1.00	WOOD FRAME [100%]			

BLDG COMMENTS

TOTAL REHAB 1982.

LOADING

YEAR BLT	1817	SIZE ADJ	0.960	ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	526,680
NET AREA	2,400	DETAIL ADJ	1.005	FOUNDATION	3	CONTIN WALL	1.00	+	CRL	N	CRAWL SPACE	836		0.00			
\$NLA(RCN)	\$219	OVERALL	1.165	EXT. COVER	2	CLAPBOARD	1.00	+	BAS	L	BAS AREA	1,292	1817	186.97	241,567		
				ROOF SHAPE	1	GABLE	1.00	+	USF	L	UP-STRY FIN	436	1817	159.96	69,742		
				ROOF COVER	1	ASPHALT SHINGLE	1.00	+	BMU	N	BSMT UNFINISHED	1,128		51.33	57,897		
				FLOOR COVER	2	SOFTWOOD	1.00	+	WDK	N	ATT WOOD DECK	623		33.57	20,913		
				INT. FINISH	1	PLASTER	1.00	E	BAS	L	BAS AREA	384	2002	186.97	71,797		
				HEATING/COOLING	2	HOT WATER	1.02	G	BAS	L	BAS AREA	288	1817	186.97	53,848		
				FUEL SOURCE	1	OIL	1.00		ODS	O	OUT DOOR SHOWER	1		2,596.80	2,597		
				USE	0		1.00										
																CONDITION ELEM	CD
																EXTERIOR	
																INTERIOR	
																KITCHEN	
																BATHS	
																HEAT/ELEC	
																EFF.YR/AGE	1977 / 44
																COND	27 27 %
																FUNC	0
																ECON	0
																DEPR	27 % GD 73
																RCNLD	\$384,500



**B3-1**  
0.8 Ac

**#493 S5**  
0.25 Ac

**B3-2**  
0.6 Ac

**T1**  
4.9 Ac

**#484 B2**  
0.37 Ac

**T2**  
0.55 Ac

**#481**

**B1**  
0.82 Ac

**B4**  
0.13 Ac

**DENNIS**

**DEPOT STREET**

**T5**  
0.92 Ac

**T6**  
11.92 Ac

## QUITCLAIM DEED

I, David M. Crosbie, an unmarried man, of 481 Depot Street, Harwich, Barnstable County, Massachusetts 02645, in consideration of estate planning grant to David M. Crosbie, of 481 Depot Street, Harwich, Barnstable County, Massachusetts 02645, and ~~Matt Armstrong, of 16 Matheson Road, Brewster, Barnstable County, Massachusetts 02631~~\*, Trustees of the Rowoliver Nominee Trust, under Declaration of Trust dated December 6, 2018, which said Trust is recorded herewith in the Barnstable County Registry of Deeds in Book 31737, Page 18

with **quitclaim covenants**

the land, together with the buildings thereon, situated in Harwich in the County of Barnstable and Commonwealth of Massachusetts, bounded and described as follows:

- ON THE WEST SIDE        by County Road;
- ON THE NORTH            by land now or formerly of Freeman Rogers;
- ON THE EAST             by Cranberry Swamp, now or formerly of Cyrus Nickerson and Cranberry Swamp now or formerly of Nathan Kelly; and
- ON THE SOUTH            by land now or formerly of Nathan Kelly.

Containing one acre, more or less.

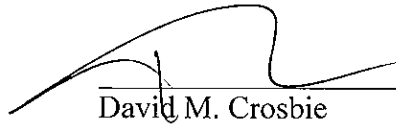
**Property Address:**  
**481 Depot Street, Harwich, Massachusetts 02645**

For grantor's title, see deed of Deutsche Bank National Trust Company, Trustee, to David M. Crosbie, individually, dated March 19, 2008, and recorded April 23, 2008 with the Barnstable County Registry of Deeds in Book 22853, Page 309.

\* Steven Farnsworth, of 305 SW 3<sup>rd</sup> Street, Boynton Beach, Palm Beach County, Florida

Grantor releases any and all homestead rights to the within premises, whether created by declaration or operation of law, and further states under the penalties of perjury that there are not other individuals entitled homestead rights to the property being conveyed herein.

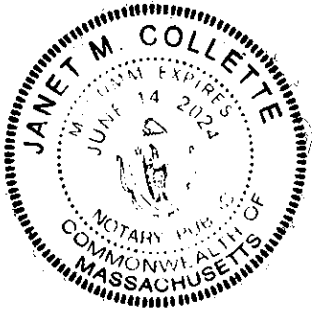
Executed as a sealed instrument this 6<sup>th</sup> day of December, 2018.

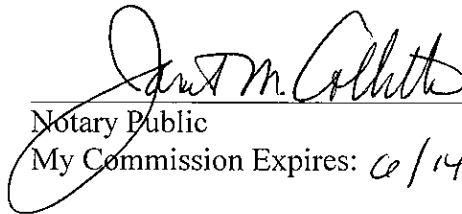
  
David M. Crosbie

COMMONWEALTH OF MASSACHUSETTS

Barnstable, ss

On this 6<sup>th</sup> day of December, 2018, before me, the undersigned notary public, personally appeared David M. Crosbie, proved to me through satisfactory evidence, which was personal knowledge, to be the person whose name is signed on the preceding Quitclaim Deed, and who swore and affirmed to me that the contents of the document is truthful and accurate to the best of his knowledge and belief, and acknowledged to me that he signed it voluntarily for its stated purpose.



  
Notary Public  
My Commission Expires: 06/14/2024



S





W



W



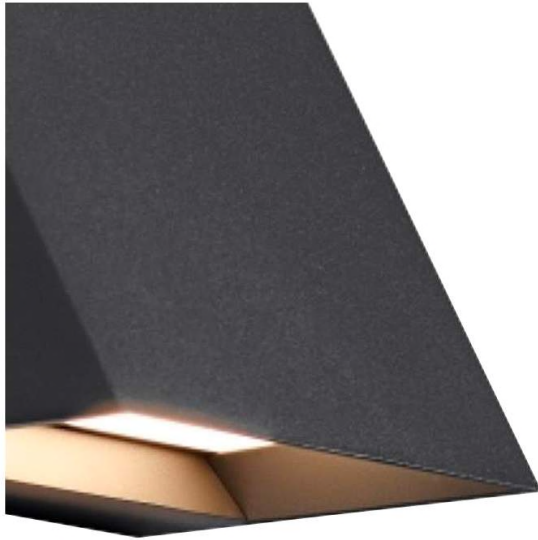




N



E



## Tech Lighting Pitch 5" High Black LED Outdoor Wall Light

**\$230.00**

Pay in 4 interest-free payments of \$57.50 with [PayPal](#). [Learn more](#)

FREE SHIPPING & **FREE RETURNS\*** | [Price Matching Policy](#)

In Stock - [Ships in 3 to 5 Days](#)

1

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DESIGN CHAT

VIEW IN YOUR ROOM

## Product Details

LED

Powerful illumination emanates from this modern outdoor LED wall light with an angular profile.

### Additional Info:

Steeply pitched like a classic architectural roofline, this modern outdoor LED wall light is a designer addition from Tech Lighting. It boasts a black powder-coated finish over die cast construction and delivers lovely indirect illumination perfect for stairs or walkways. This ADA-compliant, 3000K design must be installed with the light down, and is suitable for wet locations.



- 5" high x 5" wide. Extends 4" from the wall. Weighs 1.2 lbs.
- Built-in dimmable 26.2 watt LED module: 822.6 lumen light output, comparable to a 60 watt incandescent. 3000K color temperature. 80 CRI.
- Modern metal ADA energy-efficient LED outdoor wall light from the Pitch collection by Tech Lighting.
- Powder-coated black finish over die-cast aluminum construction. Stainless steel hardware.
- Can only be installed with lights pointing down.
- Dimmable with electronic low voltage dimmer.

Chat

- LEDs average 70,000 hours at 3 hours per day.
- Universal 120 volt - 277 volt.
- Wet listed and IP65 rated indicating resistance to dust and water. Suitable for wet location when facing down.
- Can be used for both indoor or outdoor.
- ADA compliant.

## Specifications

### Product Attributes

Finish	Black
Style	Contemporary
LED	Yes

### Technical Specifications

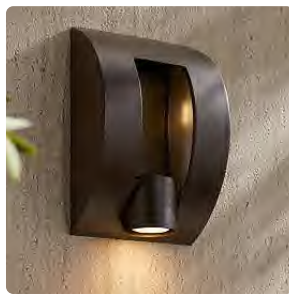
Height	5.00 inches
Width	3.90 inches
Weight	1.66 pounds

### More You May Like | [View All](#)



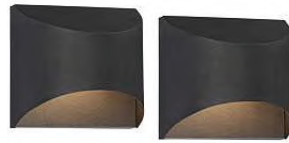
Possini Euro Xane 11" Wide Bronze Dark Sky LED Wall Light

**\$179.99**



Framed Slate 12" High Bronze 3-Light Outdoor Wall Light

**\$199.99**



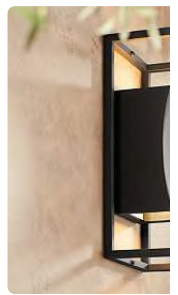
Possini Euro Ratner 5 1/2" High Black LED Outdoor Wall Light...

**\$259.98**



Possini Euro Xane 11" Wide Bronze Finish Modern Dark Sky...

**\$129.95 Sale**



Kell 14" High Textured LED Up and Down

**\$159.99**



### Related Videos



LED Buying Guide



Contemporary Style Tips and Ideas



Mid Century Modern Style Tips and Ideas



How to Style Mid Century Modern

[↑ BACK TO TOP](#)





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Internet # 304852041 Model # DG12LOND-HD Store SKU # 1004159851

Top Rated



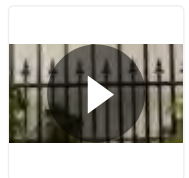
ALEKO

# London Style 12 ft. x 6 ft. Black Steel Dual Swing Driveway Fence Gate

★★★★★ (15) Questions & Answers (17)

Live Chat

Feedback



Hover Image to Zoom

**\$2399<sup>00</sup>** /box



**\$400.00** /mo\* suggested payments with 6 months\* financing [Apply Now](#)

Live Chat  
Feedback

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Sep 29 - Oct 4

85 available

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**Delivery**

Oct 3 - Oct 10

85 available

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**Product Details**

Are you seeking high quality ornamental wrought iron gates without the high price? We have the perfect alternative for you. We offer designs you will not find anywhere else! All of our gates capture the classic elegance of wrought iron gate designs and offer

**Additional Resources**

**From the Manufacturer**

affordable prices. Our quality gates are all powder coated and galvanized for years of trouble free good looks and security. 2 Posts and 4 Hinges Included! Replacement warranty 10 years. We use Duplex System when make our gates: Galvanized Steel and Powder Coated Paint. When powder paint is applied to galvanized steel, this is referred to as the Duplex System. The Duplex System is the best process used today to protect against any weathering affects of our environment on steel. The powder coating actually increases the life of the galvanized steel. The paint slows the process of at which the zinc is being consumed. Galvanized Steel is iron that has been through a chemical process that protects the steel from rust and corrosion. The steel is submerged in molted zinc at temperatures greater than 800 degrees F. This process known as galvanizing, permanently bonds the zinc to the steel. The zinc is now a shield for the iron. Powder coating is the technique of applying dry paint to an item. The item(s) are then placed in an stove and heated in temperatures that range from 300 to 400 degrees F (depending on the powder). Unlike conventional paints, powder coated paints will not peel, chip or crack.



---

## Specifications



### Dimensions

Assembled Height (in.)	75 in
Assembled Width (in.)	152 in
Gate Height (in.)	75
Gate opening width (in.)	144



Gate thickness (in.)	3
Gate Width (in.)	144
Nominal gate height (ft.)	6
Nominal gate width (ft.)	12
Picket Length (ft.)	6
Picket Spacing (in.)	5
Picket Thickness (in.)	1
Picket Width (in.)	1
Rail length (in.)	72
Rail thickness (in.)	1.5
Rail width (in.)	1

 Live Chat

 Feedback

## Details

Color Family	Black
Color/Finish	Black
Features	Galvanized
Includes	Hardware, Posts
Material	Metal
Number of rails for panels	5
Panel Assembly	Assembled Panel
Panel Design	Spaced Picket
Panel Top Shape	Arched
Picket Top Style	Pointed

Product Weight (lb.)	378 lb
Returnable	90-Day
Structure Type	Ornamental, Permanent

## Warranty / Certifications

Manufacturer Warranty	Replacement warranty 10 years
-----------------------	-------------------------------

How can we improve our product information? Provide feedback.

## Questions & Answers

17 Questions

## Customer Reviews

4.5 out of 5 ★★★★★ (15)

Live Chat

Feedback

## Frequently Bought Together

✓ Select

This Item

✓ Select

✓ Select

Top Rated



### ALEKO

London Style 12 ft. x 6 ft. Black Steel Dual Swing Driveway...

★★★★★ (15)

### Mighty Mule

Light Duty Dual Swing Gate Opener Solar Capable

★★★★★ (44)

### Barrette Outdoor Living

4.562 in. x 2.312 in. Black Gravity Latch

★★★★★ (39)



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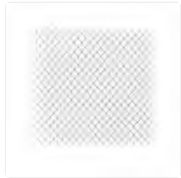
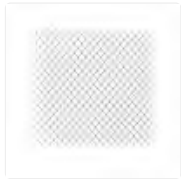
Internet # 319315110 Model # CLFB9.5G6X50-HD Store SKU # 1007266257



ALEKO (Brand Rating: 3.4/5)

## 6 ft. x 50 ft. 9.5-Gauge Galvanized Black Chain Link Fabric

★ ★ ★ ★ ★ (1) Questions & Answers (6)



Hover Image to Zoom

Live Chat



Feedback



## Product Details



This Chain Link Fence Fabric provides an economical and low maintenance boundary for your home or business. Stretching 50 ft. L, this fence fabric has been galvanized prior to weaving to eliminate sharp surfaces and burrs that could cut or scrape. The durable 9.5 AW gauge galvanized steel inner wire helps protect from weathering, corrosion, rust and UV radiation, making it suitable for long-term outdoor use. The black coating adds an attractive finish to any residential or commercial property. A 2 in. diamond mesh opening allows for easy visibility through the fence, while deterring intruders and small animals from entering the property. Largely versatile, this fence fabric can be used to secure the perimeter of your property or as an animal enclosure in the form of dog kennels, chicken coops or hen houses. Regardless of how you use it, the Roll-Out design allows for easy and straight-forward installation.

### Additional Resources

From the Manufacturer

 Live Chat

 Feedback

## Specifications



### Dimensions

Mesh Size (in.)	2 in
Nominal Product Height (ft.)	6 ft
Nominal Product Length (ft.)	50 ft
Product Height (in.)	60 in

Product Thickness (in.)	0.3 in
Product Width (in.)	600 in

## Details

Chain Link Type	Garden
Color Family	Black
Features	Galvanized, Water Resistant
Fencing Installation Type	Free Standing
Gauge	9.5
Material	Metal
Product Weight (lb.)	71 lb
Returnable	90-Day

 Live Chat

 Feedback

## Warranty / Certifications

Manufacturer Warranty	90 days limited
-----------------------	-----------------

How can we improve our product information? Provide feedback.

## Questions & Answers

6 Questions



## Customer Reviews

1 out of 5      (1)



## Frequently Bought Together



Regency Storage Systems  
7631 Shaffer Parkway - Suite C  
Littleton, CO 80127

September 11, 2023

RE: David Crosbie  
481 Depot St  
Chatham, MA 02633

Subject: Job # 23-52391-CL4

Bldg. 52391 30' x 70' x 9'-6"  
Bldg. 52392 12' x 60' x 8'-0" L.S.

This letter is to certify the above referenced building will be designed in accordance with the applicable sections of the American Institute of Steel Construction (AISC) and the American Iron and Steel Institute (AISI) design procedures and good engineering practices for the following loads.

Design Loads:

Building Code:	IBC 2021, Chapter 16		
Risk Category	II		
Dead Load:	Metal Building Structure Only		
Live Load:	20 psf (Non-Reduced)		
Ground Snow Load	25 psf		
Roof Snow:	21.0 psf	Ce = 1.00	Ct = 1.20 Is = 1.00
	Unheated		
Collateral Load:	6.0 psf		
Wind Speed:	139 mph (basic design wind speed)	Exp = C	

Porosity condition of building 52391 is: Enclosed  
Porosity condition of building 52392 is: Enclosed

Seismic Data

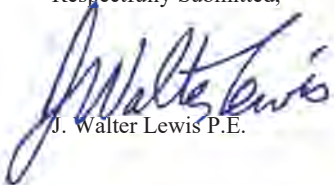
Design Category	B		
Seismic Importance Factor:	1.00		
Spectral Response Coefficients:	Ss = 0.136	S1 = 0.052	
	Sds = 0.145	Sd1 = 0.083	
Site Class (assumed):	D		
Basic Seismic Force Resisting System:	Laterally =	Not Detailed for Seismic Resistance	R = 3.00
	Longitudinally =	Not Detailed for Seismic Resistance	R = 3.00
Analysis Procedure:	Simplified Analysis Procedure		

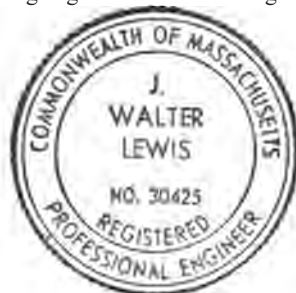
The buyer is responsible for ensuring all specified loads are in compliance with local regulatory authorities. This letter of certification applies solely to the steel building system and its component parts and especially excludes any foundation, masonry, general contract work, or parts supplied by anyone other than Regency Storage Systems

Building is to be erected in accordance with "FOR CONSTRUCTION" erection drawings sealed by J. Walter Lewis, PE.

The undersigned is the metal building engineer and not the engineer of record for the overall project.

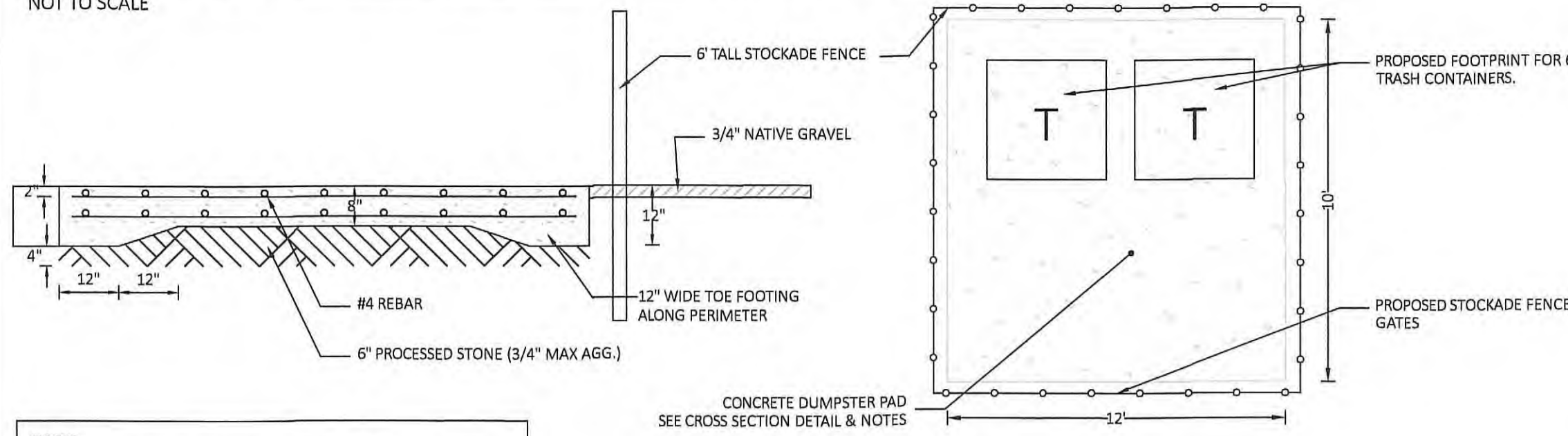
Respectfully Submitted,

  
J. Walter Lewis P.E.



**CONCRETE DUMPSTER PAD PLAN VIEW & CROSS-SECTION:**

NOT TO SCALE



- NOTES:**
- CONTRACTOR SHALL USE 5,000 PSI CONCRETE, 8" THICK.
  - CONCRETE PAD SHALL HAVE A 12" THICK, 12" WIDE TOE FOOTING ALONG THE ENTIRE PERIMETER.
  - INSTALL TWO ROWS OF #4 REBAR SPACED 12" ON-CENTER IN BOTH DIRECTIONS. REBAR SHALL MAINTAIN 2" MINIMUM CLEARANCE FROM TOP AND BOTTOM OF CONCRETE POUR.
  - CONCRETE SHALL BE UNDERLAID WITH A MINIMUM OF 8" BASE MATERIAL (3/4" MAX PROCESSED STONE OR APPROVED EQUAL).

**ZONING COMPLIANCE TABLE**  
ZONING DISTRICT: ZONE R-R

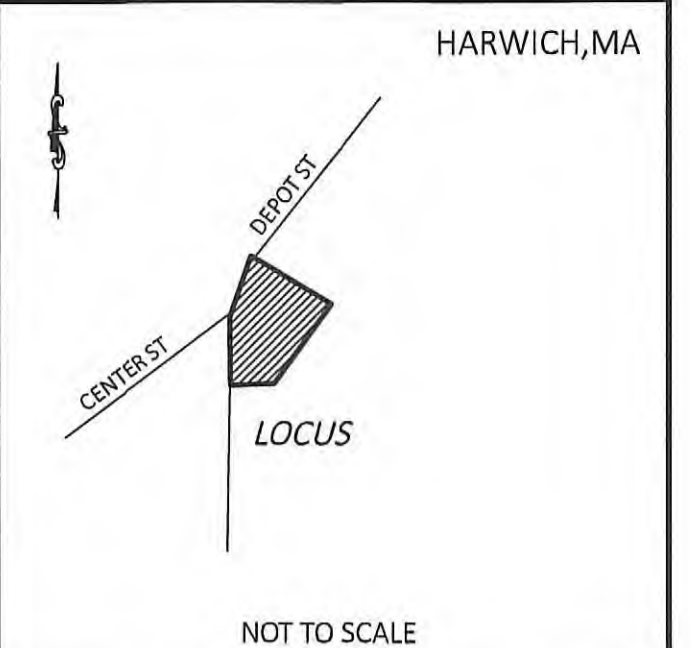
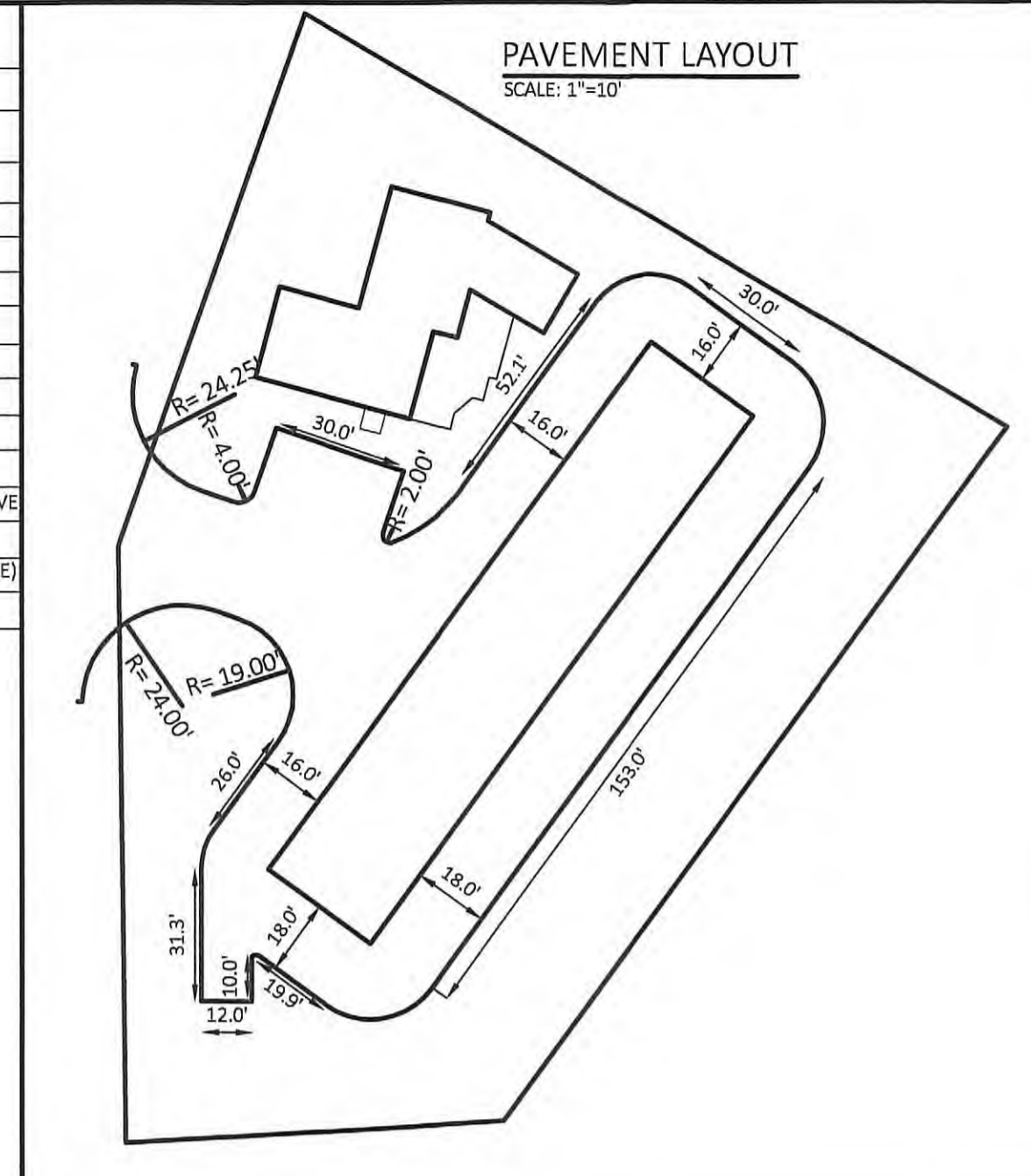
SUBJECT	EXISTING	REQUIRED	PROPOSED
FRONT SETBACK (FT)	N/A	25.7	25.7
SIDE SETBACK (NORTH) (FT)	N/A	20	135.5
SIDE SETBACK (SOUTH) (FT)	N/A	20.5	20.5
REAR SETBACK (FT)	N/A	20	26.0
MIN. FRONT SETBACK PARKING	N/A	15	15.5
MIN. SIDE SETBACK PARKING	N/A	5	6
MIN. REAR SETBACK PARKING	N/A	5	8
BUILDING COVERAGE	0%	15%	14.8%
SITE COVERAGE	27.5%	25%	41.2%
BUILDING HEIGHT	N/A	30	SEE PROJECT NARRATIVE
INTERIOR LANDSCAPING	SEE PROJECT NARRATIVE	SEE PROJECT NARRATIVE	SEE PROJECT NARRATIVE
NUMBER OF PARKING SPACES	N/A	SEE PROJECT NARRATIVE	8
DRIVEWAY WIDTH (FT)	21.3	24	N/A

**ZONING COMPLIANCE TABLE**  
ZONING DISTRICT: I-L ZONE

SUBJECT	EXISTING	REQUIRED	PROPOSED
FRONT SETBACK (FT)	15.8	25	15.8
SIDE SETBACK (NORTH) (FT)	18.4	25	25.5
SIDE SETBACK (SOUTH) (FT)	115.6	25	113.9
REAR SETBACK (FT)	66.0	50	50.5
MIN. FRONT SETBACK PARKING	N/A	15	27.1
MIN. SIDE SETBACK PARKING	N/A	5	9.1
MIN. REAR SETBACK PARKING	N/A	5	20.5
BUILDING COVERAGE	17.3%	40%	24.0%
SITE COVERAGE	24.0%	70%	54.1%
BUILDING HEIGHT	SEE PROJECT NARRATIVE	40	SEE PROJECT NARRATIVE
INTERIOR LANDSCAPING	SEE PROJECT NARRATIVE	SEE PROJECT NARRATIVE	SEE PROJECT NARRATIVE
NUMBER OF PARKING SPACES	2	2 (RESIDENCE)	1 (OFFICE SPACE)
DRIVEWAY WIDTH (FT)	N/A	24	24

EXISTING SITE COVERAGE: GRAVEL DRIVEWAY = 3,802 SF, BUILDING = 0 SF

EXISTING SITE COVERAGE: GRAVEL DRIVEWAY = 3,628 SF, BUILDING = 3,525 SF



L.C. PLAN DEED BOOK 22853 ASSESSORS' MAP 36 #42160b PAGE 311 PARCEL B1

**SYSTEM DESIGN CALCULATIONS:**

**SEWAGE DESIGN FLOW**  
 PROPOSED 7 BEDROOM DWELLING @ 110 GPD = 770 GPD  
 PROPOSED 1 EMPLOYEE (OFFICE) @ 20 GPD = 20 GPD  
**TOTAL FLOW = 790 GPD**

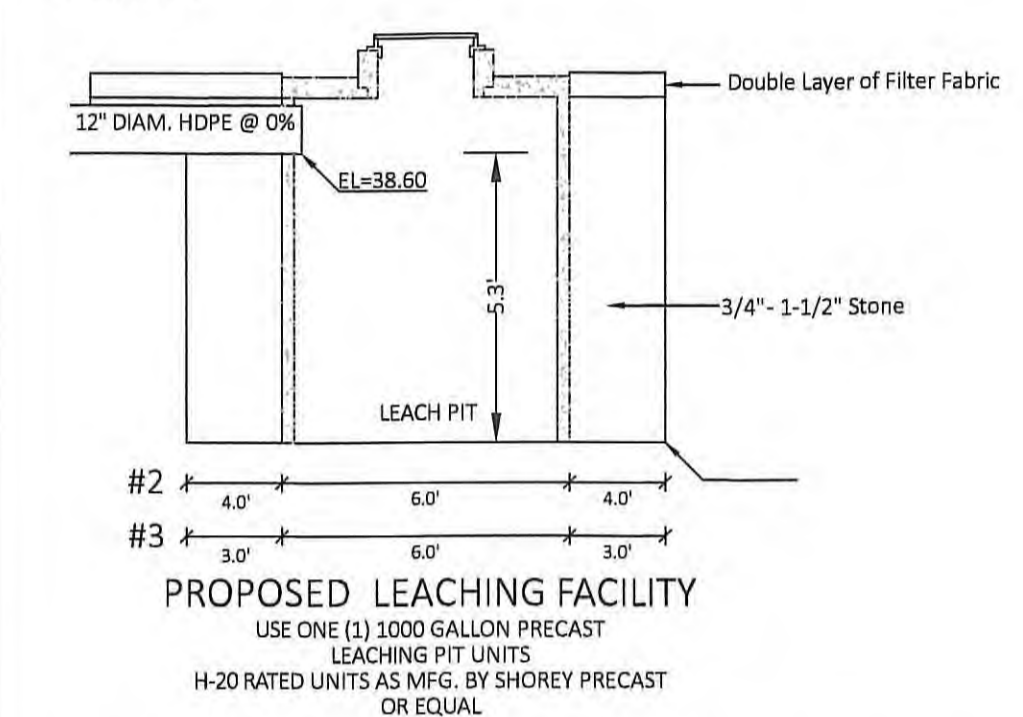
**INSTALL:**  
 ONE - 2000 GAL ST  
 ONE - 1000 GAL ST  
 ONE - 63.5' X 12.83' X 2', Vt = 878 GPD

**ZONING COMPLIANCE TABLE - ENTIRE LOT**

SUBJECT	EXISTING	REQUIRED (RR DISTRICT)	REQUIRED (IL DISTRICT)	PROPOSED
LOT AREA (SF)	34,890	40,000	20,000	34,890
FRONTAGE (FT)	276	150	100	276

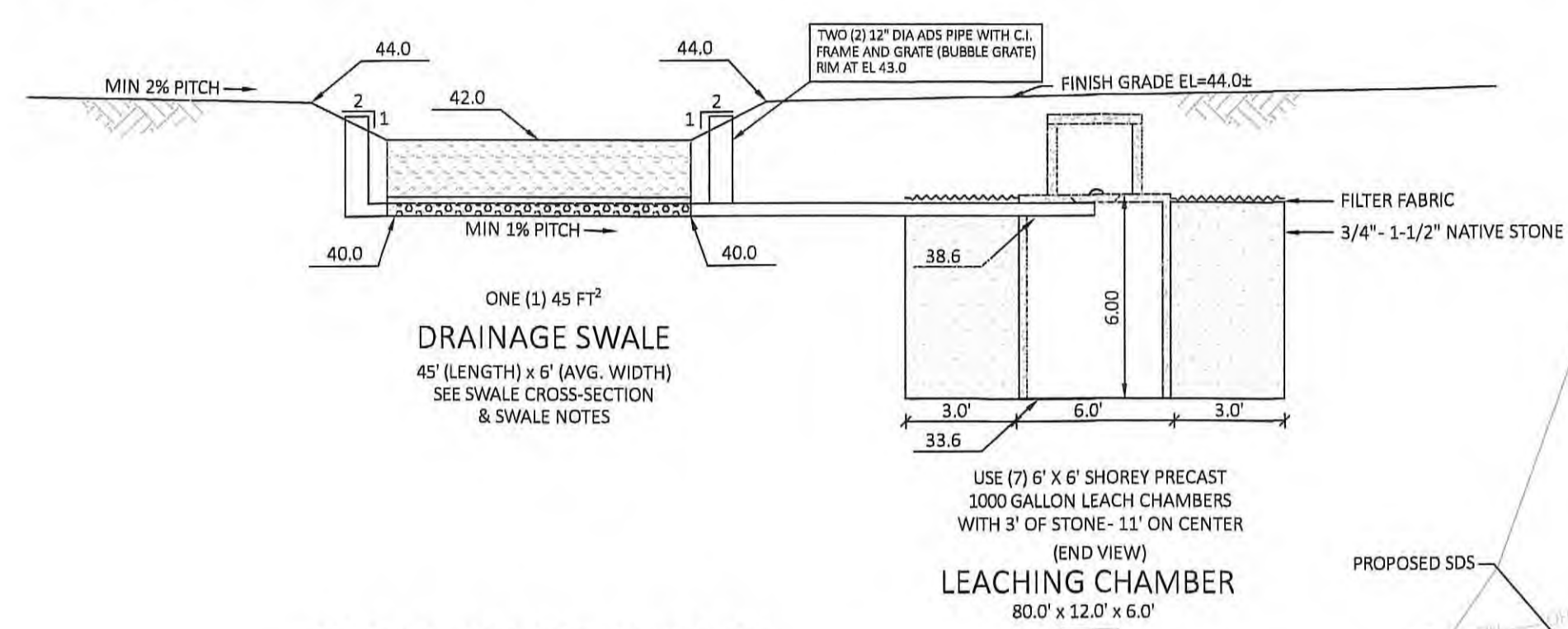
**FLOW PROFILE OF DRAINAGE FACILITY #2/#3**

NOT TO SCALE



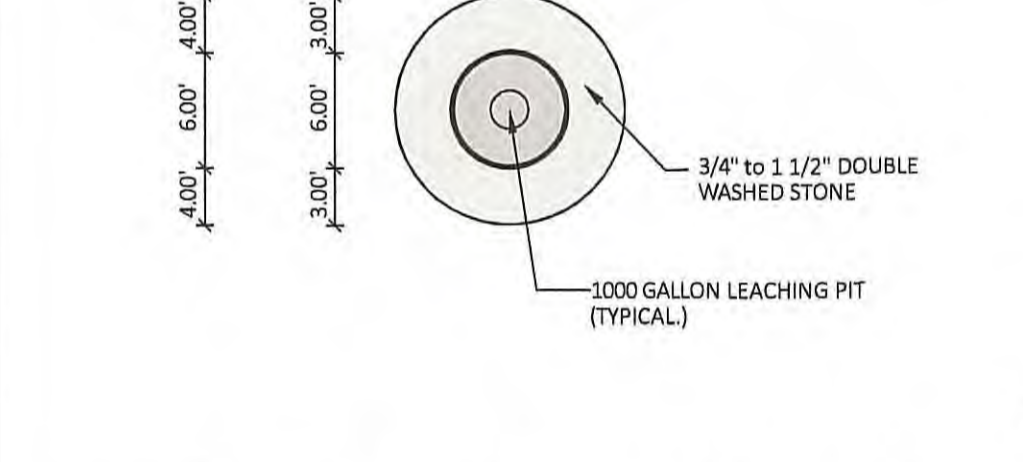
**DRAINAGE FACILITY #1 PROFILE:**

NOT TO SCALE



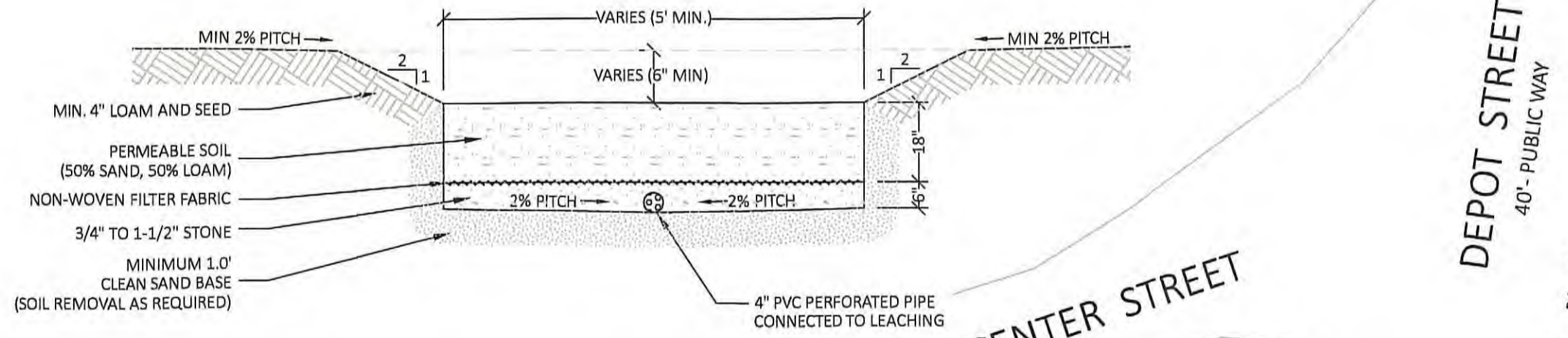
**PLAN VIEW: LEACHING FACILITY #2/#3**

NOT TO SCALE



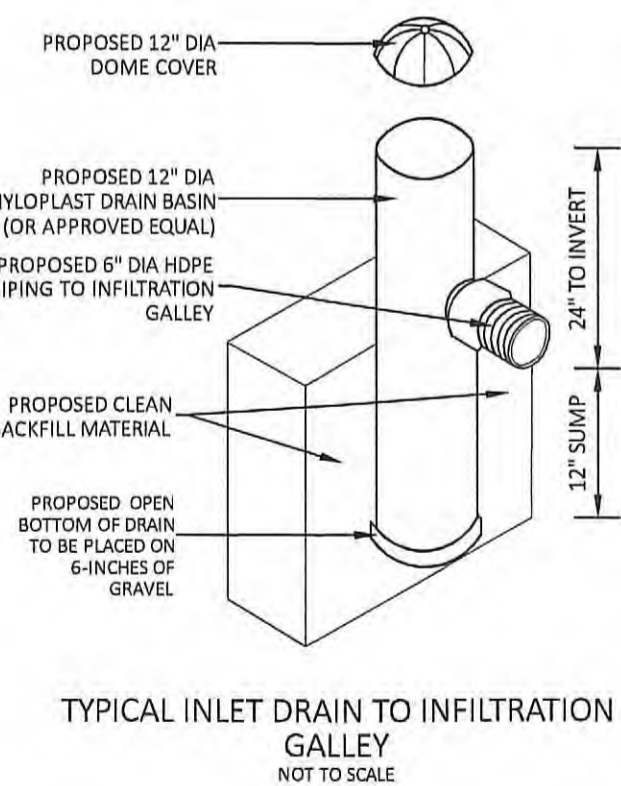
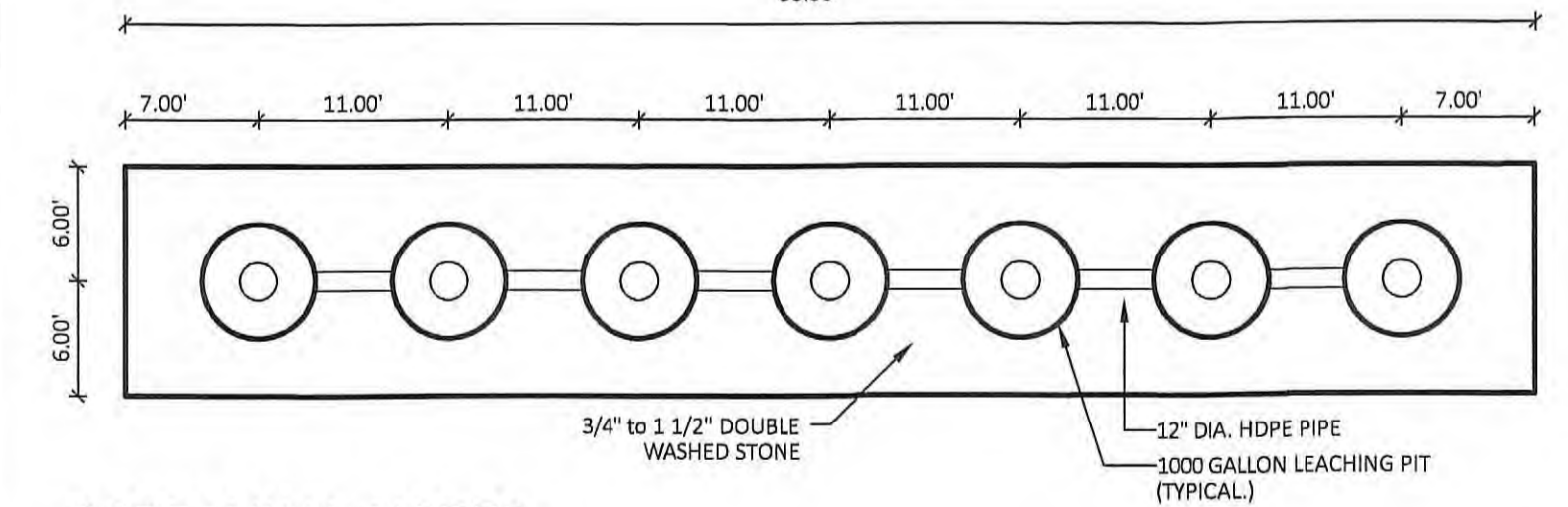
**SWALE CROSS-SECTION**

NOT TO SCALE



**PLAN VIEW: LEACHING FACILITY #1**

NOT TO SCALE



**SCREENING NOTES:**

- PROPOSED STORAGE UNIT:**
- 1) THE ENTIRE PERIMETER SHALL BE DELINEATED WITH A 6 FOOT HIGH CHAIN LINK FENCE, AS SHOWN ON THE PLAN VIEW.
  - 2) ALONG THE FENCE LINE, AS SHOWN ON THE PLAN VIEW, A ROW OF EMERALD GREEN ARBORVITAE SHALL BE PLANTED.
  - 3) THE ARBORVITAE SHALL BE 3 TO 4 FEET HIGH AND PLANTED AT 5 FEET ON CENTER. APPROXIMATELY 37 PLANTS ARE PROPOSED.

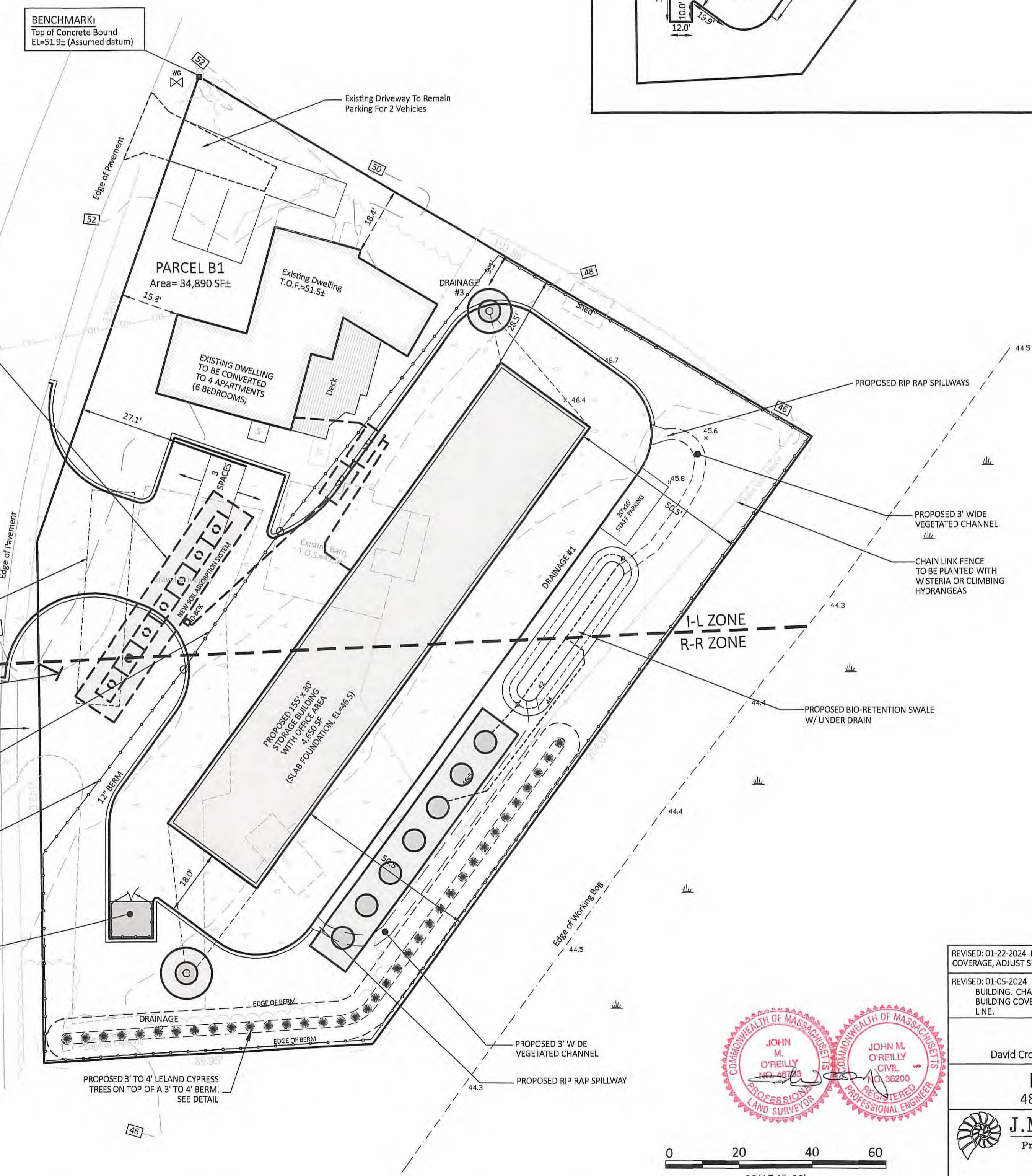
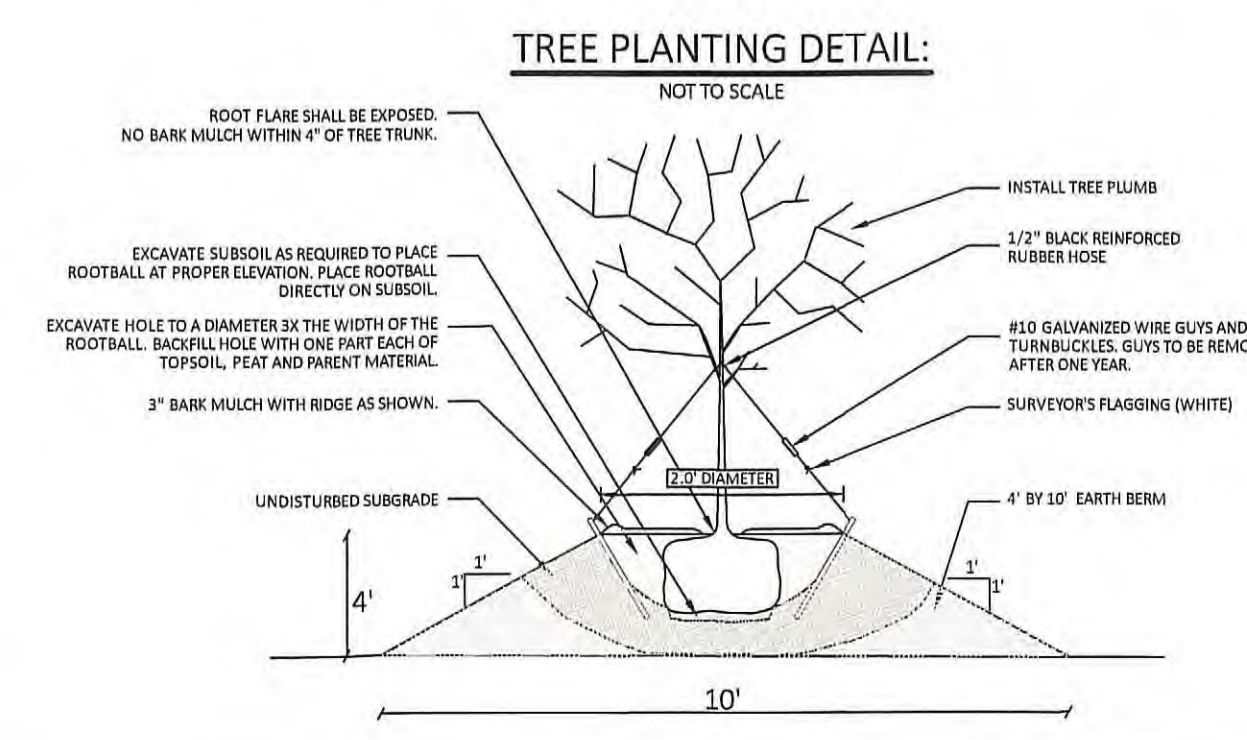
- IRRIGATION:**
- 4) ALL PLANTINGS SHALL BE IRRIGATED ON A REGULAR BASIS SO AS TO ENSURE SURVIVAL.
  - 5) IRRIGATION SYSTEM SHALL BE SOME SORT OF DRIP SYSTEM SO AS TO CONSERVE WATER.

- TREE REPLACEMENT:**
- 6) THE OWNER SHALL REPLACE ANY TREE WHICH DOES NOT SURVIVE FOR THE FIRST THREE YEARS AFTER PLANTING.

- CHAIN LINK FENCE**
- 7) THE PROPOSED CHAIN LINK FENCING AROUND THE PROJECT SITE SHALL BE GALVANIZED (AFTER WEAVING-GBW) FENCING.
  - 8) FENCE POLES SHALL BE GALV. TUBING, 1-3/8" DIAMETER AND 0.065" (1.5mm) WALL THICKNESS.
  - 9) FENCE SHALL BE 11-1/2" GAUGE GALV. WITH 2-1/2" MESH

**LIGHTING INFORMATION:**

- 1) PROPOSED WALL MOUNTED "SLIM LED WALLPACKS, 37W.
- 2) WALLPACKS SHALL BE MOUNTED 8 FEET ABOVE THE FINISH GRADE
- 3) PROPOSED WALL MOUNTED UNITS ARE CONSISTENT WITH DARK-SKY REQUIREMENTS.



- LEGEND**
- EXISTING CONTOUR
  - PROPOSED CONTOUR
  - EXISTING SPOT GRADE
  - PROPOSED SPOT GRADE
  - WATER SERVICE LINE
  - OVERHEAD UTILITY SERVICE
  - UNDERGROUND UTILITY SERVICE
  - GAS SERVICE LINE
  - SEPTIC TANK
  - TEST HOLE / BORING LOCATION
  - DISTRIBUTION BOX
  - SOIL ABSORPTION SYSTEM
  - RESERVED FOR FUTURE
  - UTILITY POLE
  - CATCH BASIN
  - FIRE HYDRANT
  - WELL
  - DRAINAGE MANHOLE
  - CONCRETE BOUND, FOUND
  - TOP OF BANK
  - LIMIT OF WORK
  - FENCE
  - EDGE OF CLEARING

REVISED: 01-22-2024 REDUCED THE BUILDING FOOTPRINT TO MEET THE 15% BUILDING COVERAGE, ADJUST SITE COVERAGE AS NECESSARY.

REVISED: 01-05-2024 COMBINE STORAGE BUILDINGS INTO ONE. REMOVE 60'X12' STORAGE BUILDING. CHANGE PROPOSED DRIVEWAY SIZE AND SHOW 12" BERM. ADJUST SITE AND BUILDING COVERAGES. ADD RAISED BERM TO SCREENING TREES ALONG THE PROPERTY LINE.

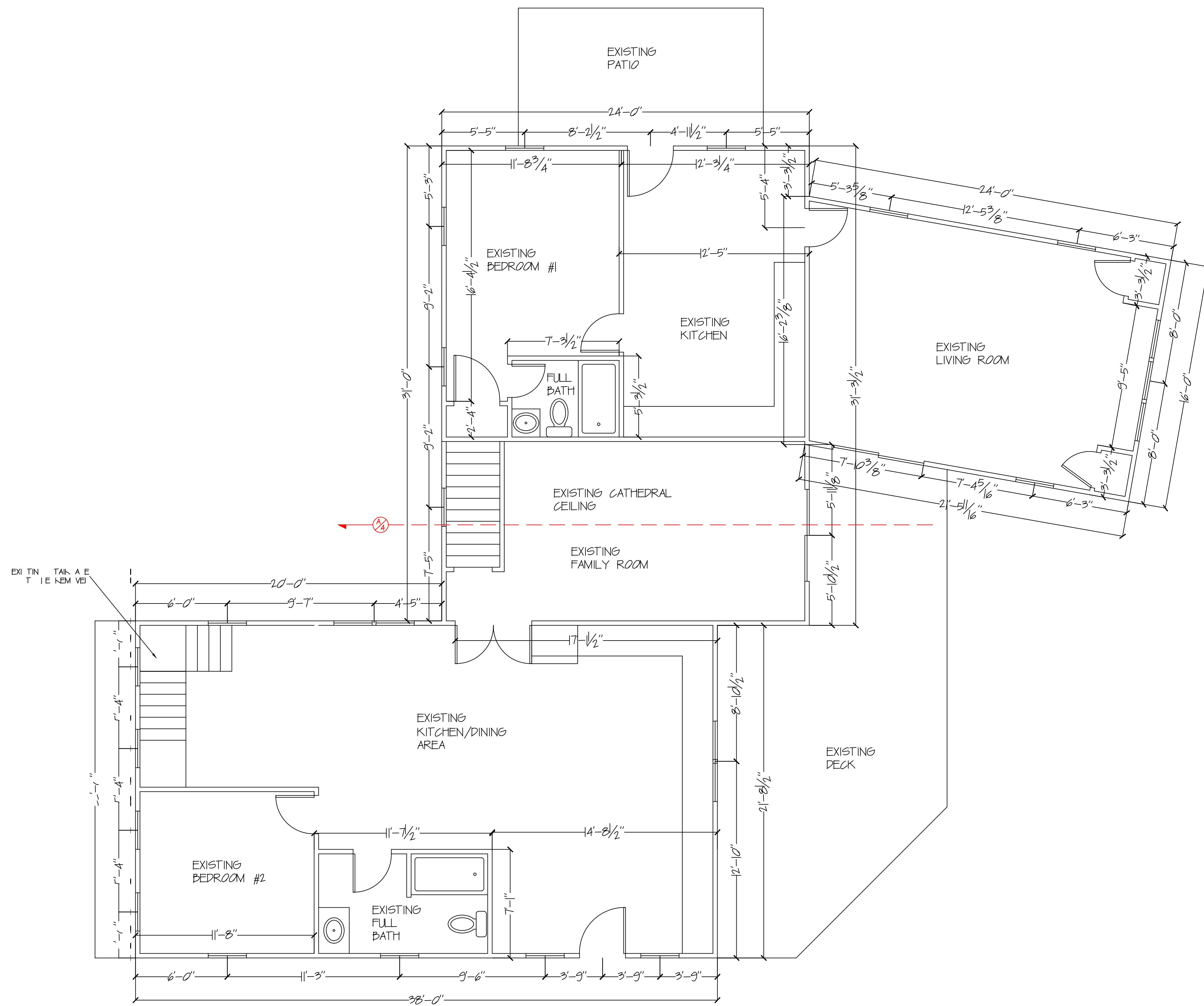
**Rowlover Nom. Trust**  
David Crosbie, Trustee, 481 DEPOT STREET, HARWICH, MA

**PROPOSED SITE PLAN**  
481 DEPOT STREET, HARWICH, MA

**J.M. O'REILLY & ASSOCIATES, INC.**  
Professional Engineering & Land Surveying Services

1573 Main Street - Route 6A  
P.O. Box 1773  
(606)898-6601 Office Brewer, MA 02631 (606)898-6802 Fax

DATE: 10-3-2023 SCALE: As Noted BY: jmo CHECK: JMO JOB NUMBER: JMO-8601



EXISTING FIRST FLOOR PLAN

General Notes

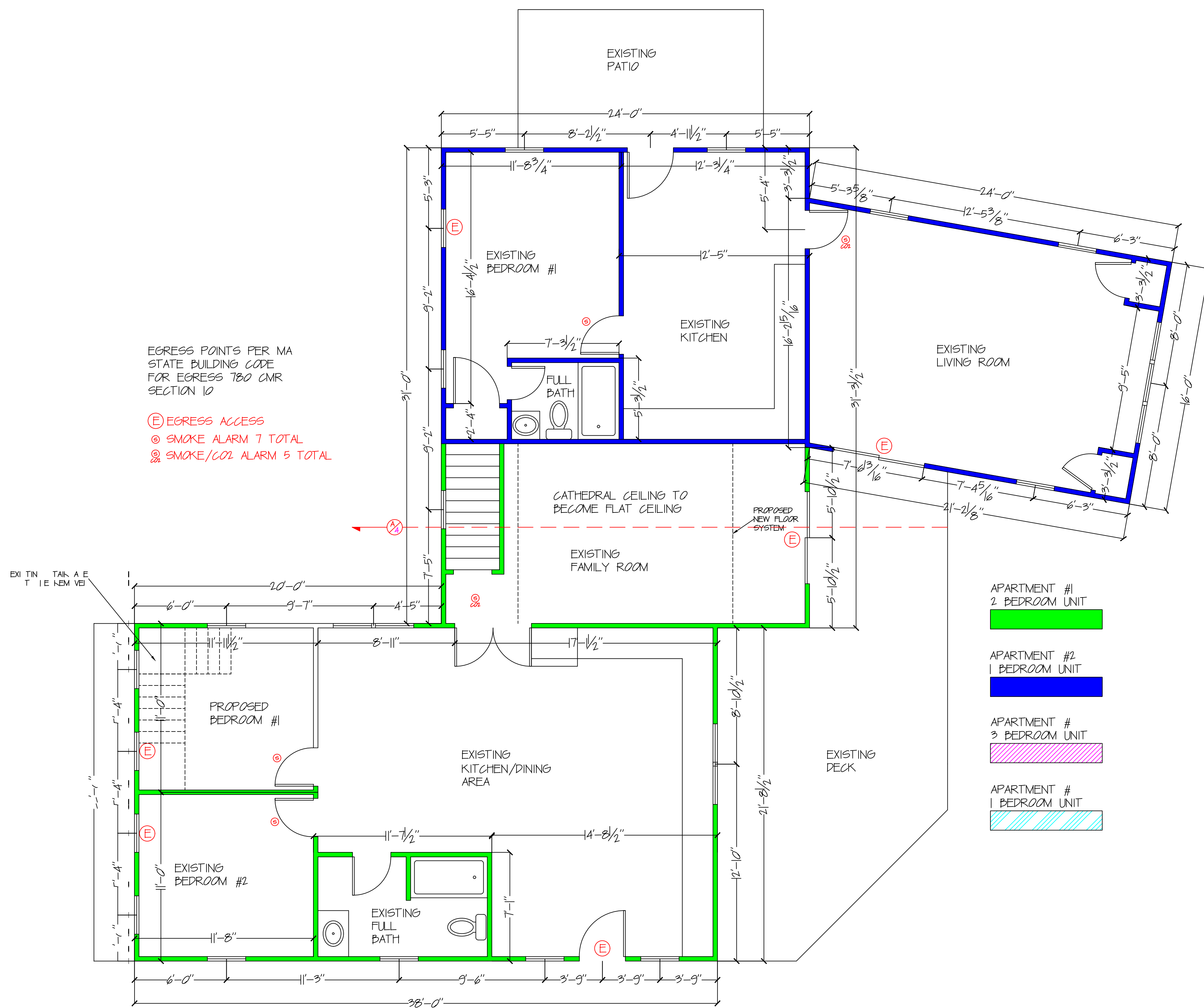
No.	Revision/Issue	Date

Firm Name and Address  
 GIOVANI HOME DESIGN  
 26 COLLINS LANE  
 MASHPEE, MA 02649

Project Name and Address  
 CROSBIE RESIDENCE  
 481 DEPOT ST.  
 HARWICH, MA

Project	1A0	Sheet	A-1
Date	09/06/2023		
Scale	1/4" = 1'		





EGRESS POINTS PER MA STATE BUILDING CODE FOR EGRESS 780 CMR SECTION 10  
 (E) EGRESS ACCESS  
 (S) SMOKE ALARM 7 TOTAL  
 (S) SMOKE/CO2 ALARM 5 TOTAL

- APARTMENT #1  
2 BEDROOM UNIT
- APARTMENT #2  
1 BEDROOM UNIT
- APARTMENT #3  
3 BEDROOM UNIT
- APARTMENT #1  
1 BEDROOM UNIT

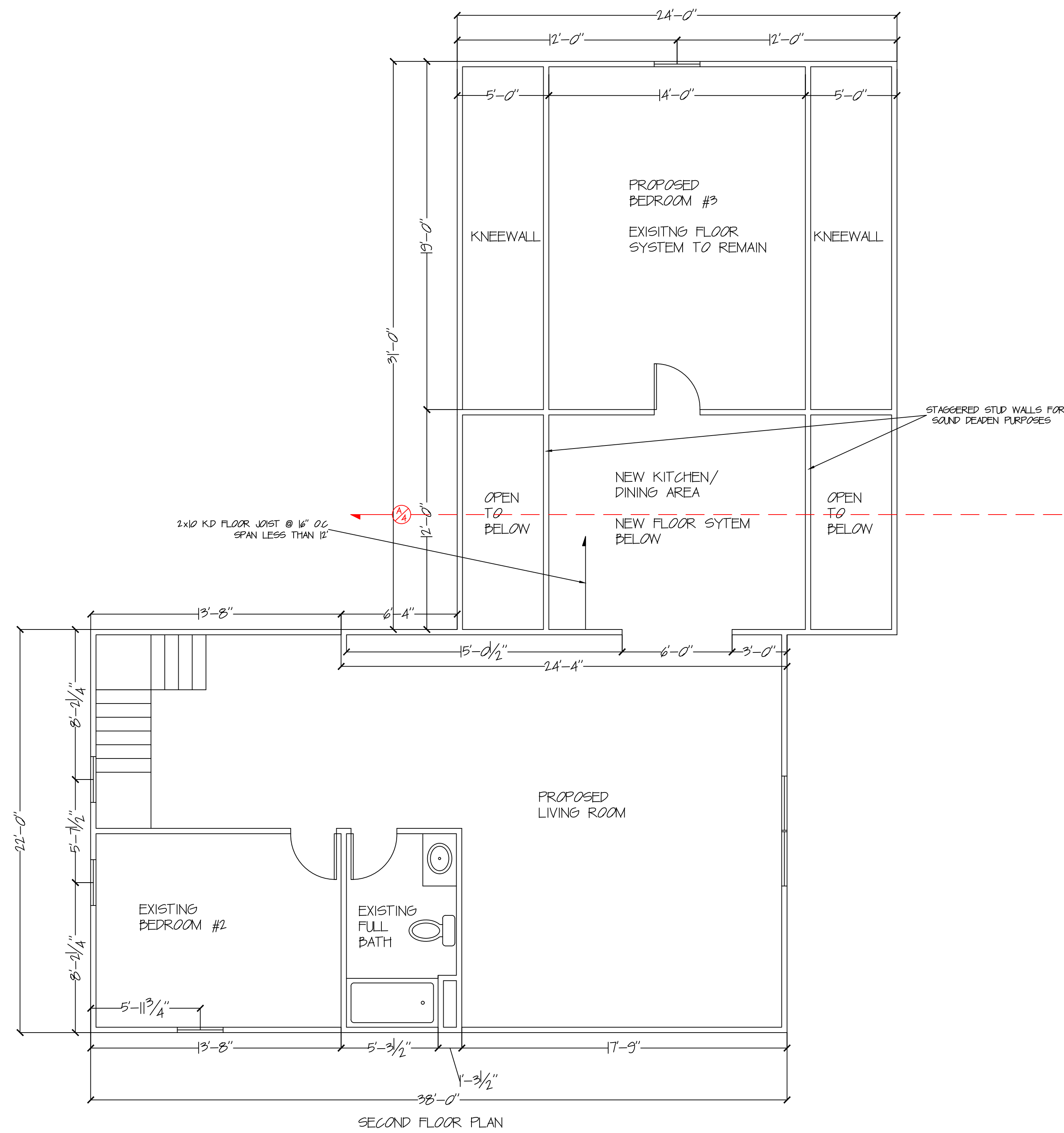
PROPOSED FIRST FLOOR PLAN  
 APARTMENT #1  
 APARTMENT #2

No.	Revision/Issue	Date

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 GOVONI HOME DESIGN  
 26 COLLINS LANE  
 MASHPEE, MA 02649

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 CROSBIE RESIDENCE  
 481 DEPOT ST.  
 HARWICH, MA

Project	1A0	Sheet	A-2
Date	09/06/2023		
Scale	1/4" = 1'		



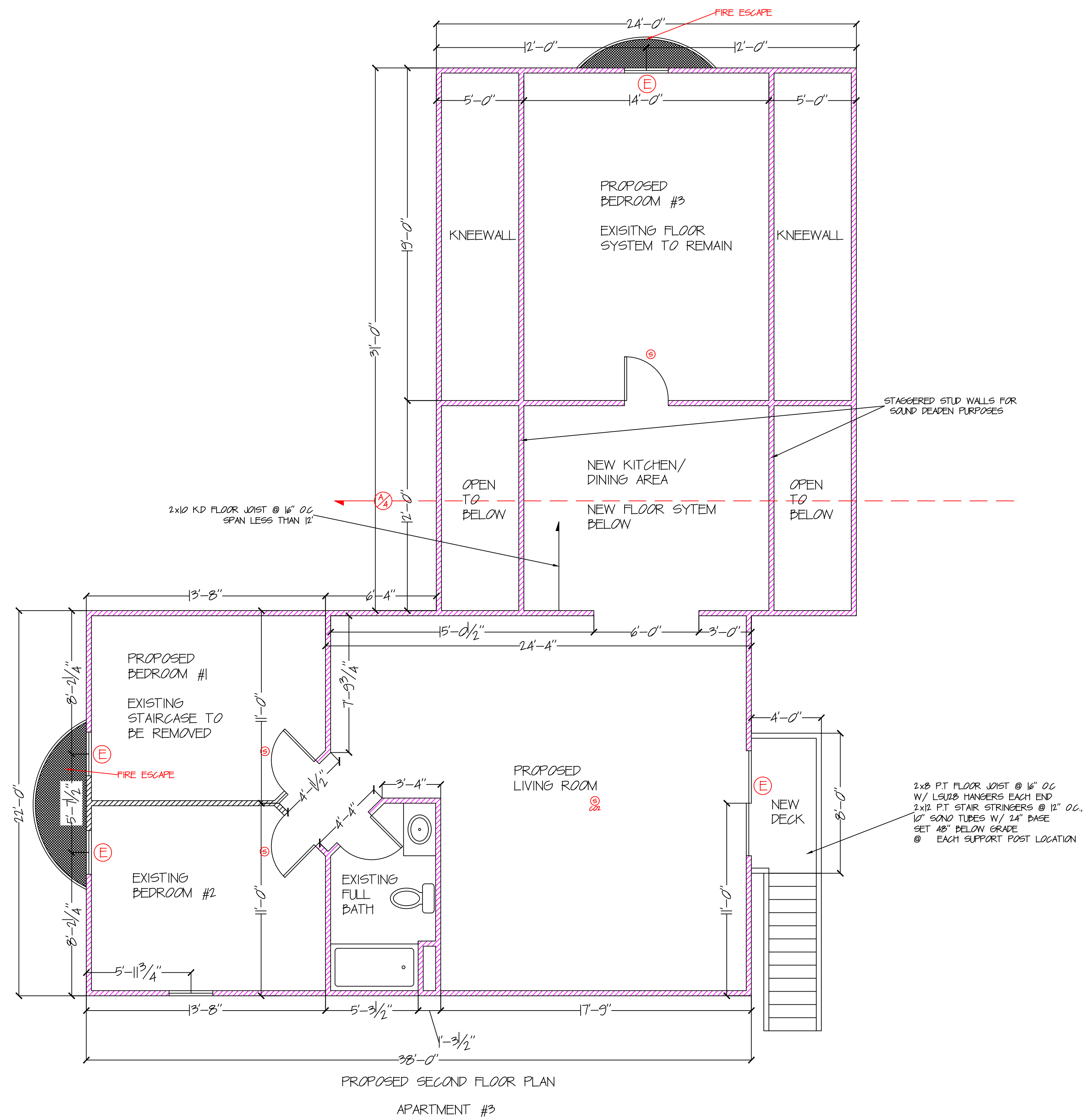
General Notes

No.	Revision/Issue	Date

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 GOVONI HOME DESIGN  
 26 COLLINS LANE  
 MASHPEE, MA 02649

Project Name and Address  
 CROSBIE RESIDENCE  
 481 DEPOT ST.  
 HARWICH, MA

Project	140	Sheet	A-3
Date	09/06/2023		
Scale	1/4" = 1'		



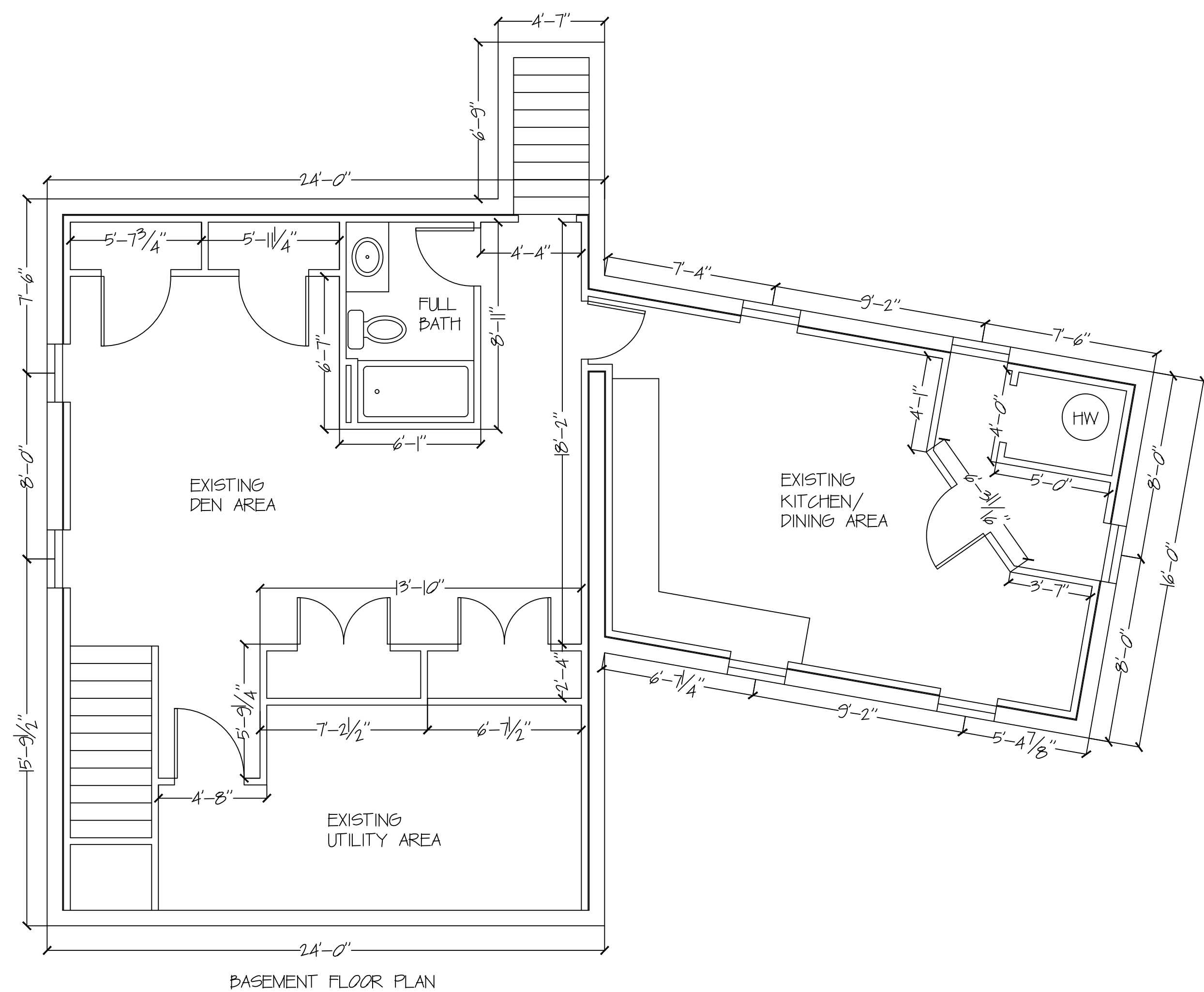
General Notes

No.	Revision/Issue	Date

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 CROSBIE RESIDENCE  
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 HARWICH, MA

Project	1A0	Sheet	A-4
Date	09/06/2023		
Scale	1/4" = 1'		



BASEMENT FLOOR PLAN

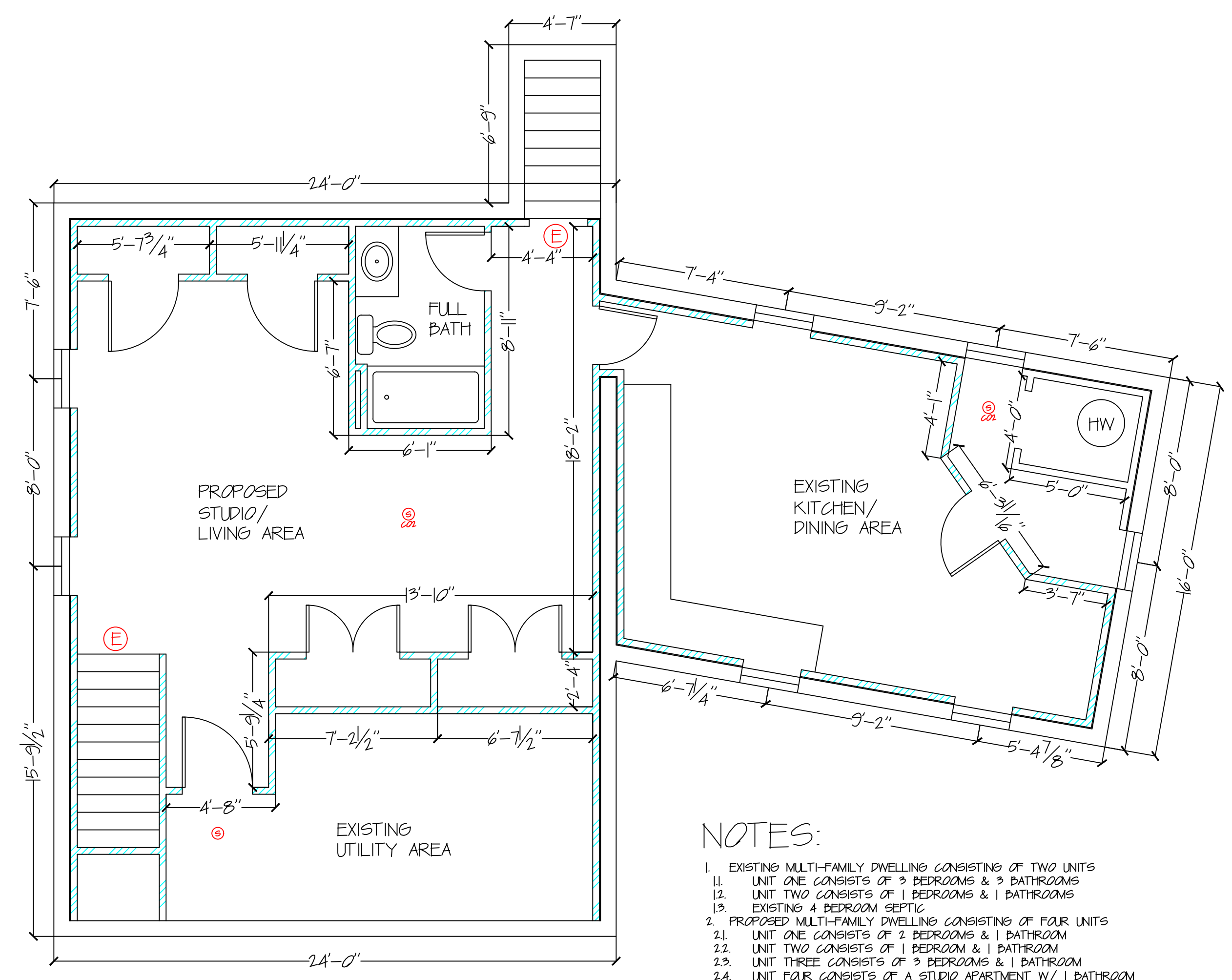
General Notes

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 CROSBIE RESIDENCE  
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 HARWICH, MA

Project	140	Sheet	A-5
Date	09/06/2023		
Scale	1/4" = 1'		



PROPOSED BASEMENT FLOOR PLAN  
APARTMENT #4

NOTES:

1. EXISTING MULTI-FAMILY DWELLING CONSISTING OF TWO UNITS
11. UNIT ONE CONSISTS OF 3 BEDROOMS & 3 BATHROOMS
12. UNIT TWO CONSISTS OF 1 BEDROOMS & 1 BATHROOMS
13. EXISTING 4 BEDROOM SEPTIC
2. PROPOSED MULTI-FAMILY DWELLING CONSISTING OF FOUR UNITS
21. UNIT ONE CONSISTS OF 2 BEDROOMS & 1 BATHROOM
22. UNIT TWO CONSISTS OF 1 BEDROOM & 1 BATHROOM
23. UNIT THREE CONSISTS OF 3 BEDROOMS & 1 BATHROOM
24. UNIT FOUR CONSISTS OF A STUDIO APARTMENT W/ 1 BATHROOM
25. PROPOSED 7 BEDROOM SEPTIC
3. EXISTING CONDITIONS TO REMAIN UNCHANGED
4. FIRE DETECTION & SUPPRESSION SYSTEMS TO BE ADDED
5. ALL CONSTRUCTION TO CONFORM TO CMR MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION AMENDMENT & IRC05.
6. CONTRACTOR TO VERIFY ALL DIMENSION IN THE FIELD.
7. CONTRACTOR TO VERIFY ALL INTERIOR & EXTERIOR MATERIALS, DETAILS, & FINISHES WITH OWNERS
8. ROUGH OPENING HEAD HEIGHT OF DOORS AND WINDOWS TO BE 6'-10" FROM THE SUB-FLOOR.
9. FOLLOW ALL REQUIREMENTS OF THE IECC02018 RESIDENTIAL ENERGY EFFICIENCY REQUIREMENTS & VERIFY ALL DETAILS WITH THE INSULATION INSTALLER/CONTRACTOR.
10. VERIFY ALL PLUMBING, HVAC AND ELECTRICAL DETAILS W/ OWNERS ON THE SITE DURING FRAMING CONSTRUCTION.
11. ALL WINDOWS & DOORS TO HAVE SILL PANS & ICE/WATER SHIELD FLASHING AROUND WINDOW PERIMETER.
12. FOLLOW ALL MANUFACTURERS SPECIFICATIONS FOR INSTALLATION OF ALL WINDOWS AND DOORS.
13. ALL PLYWOOD WALL SHEATHING TO BE INSTALLED VERTICAL OR HORIZONTAL W/ BLOCKING AT ALL EDGES, EDGES TO BE NAILED 3" & 12" IN THE FIELD.
14. THIS STRUCTURE IS DESIGNED TO THE A/F&P WOOD FRAME CONSTRUCTION MANUAL FOR 110 MPH EXPOSURE "B" LOCATION PER SECTION R302111.
15. TIMBER FRAMING TO BE SPRUCE/PINE/FIR NO. 2 GRADE, 200PSI MIN.
16. INSTALL ALL ROOF TO WALL, CHIMNEY, & OTHER FLASHING PER MANUFACTURER'S SPECIFICATIONS.

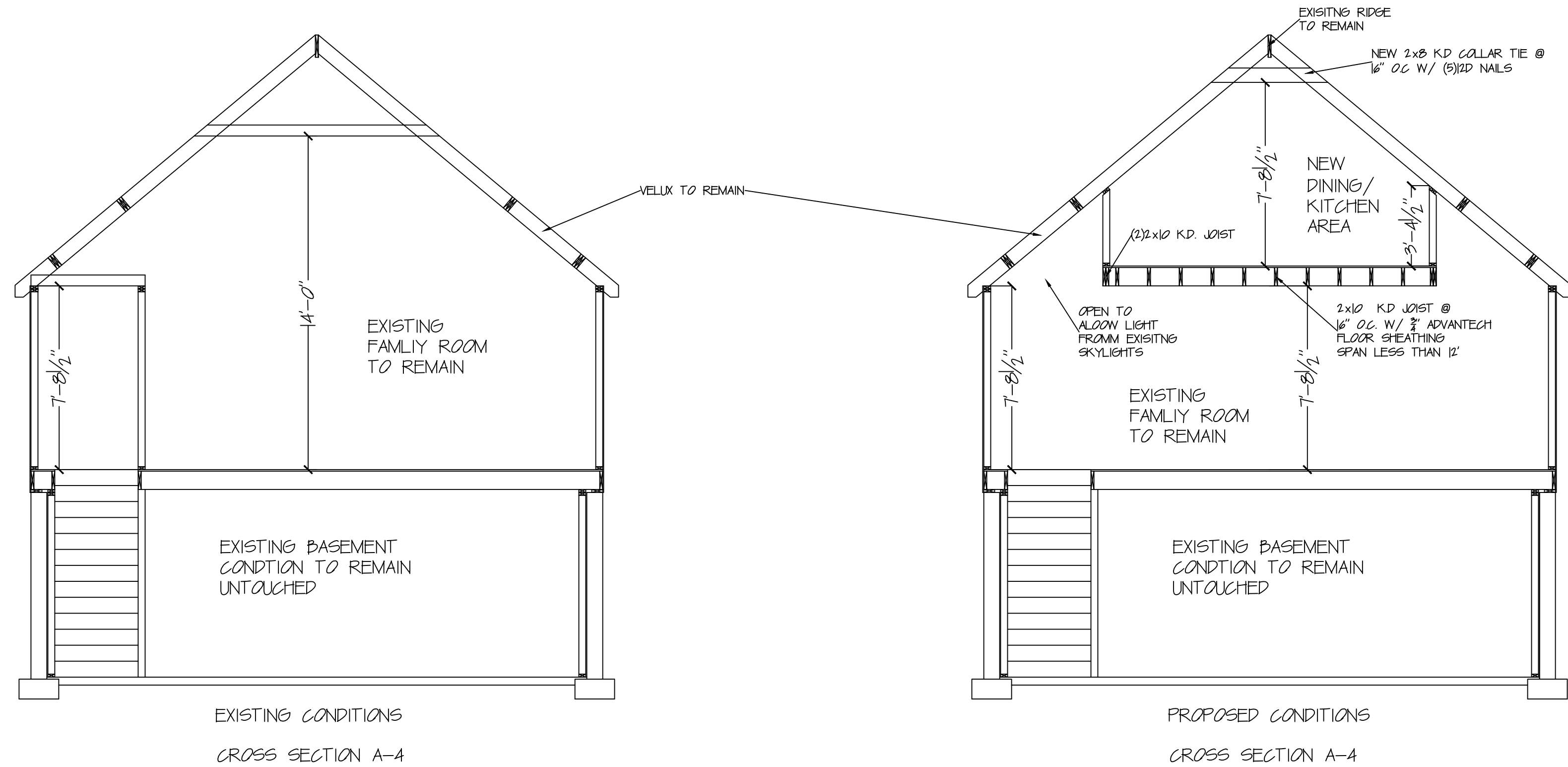
General Notes

No.	Revision/Issue	Date

Firm Name and Address  
 GIOVANI HOME DESIGN  
 26 COLLINS LANE  
 MASHPEE, MA 02649

Project Name and Address  
 CROSBIE RESIDENCE  
 481 DEPOT ST.  
 HARWICH, MA

Project	140	Sheet	A-6
Date	09/06/2023		
Scale	1/4" = 1'		



EXISTING CONDITIONS  
CROSS SECTION A-4

PROPOSED CONDITIONS  
CROSS SECTION A-4

General Notes

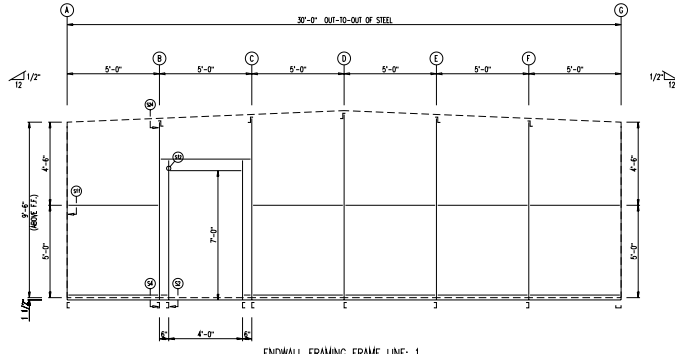
No.	Revision/Issue	Date

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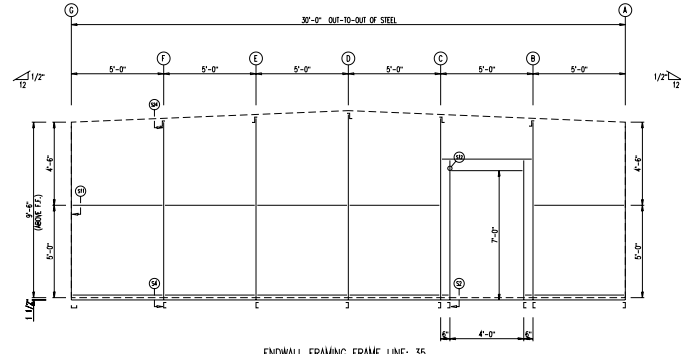
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 CROSBIE RESIDENCE  
 481 DEPOT ST.  
 HARWICH, MA

Project	140	Sheet	A-7
Date	09/06/2023		
Scale	1/4" = 1'		

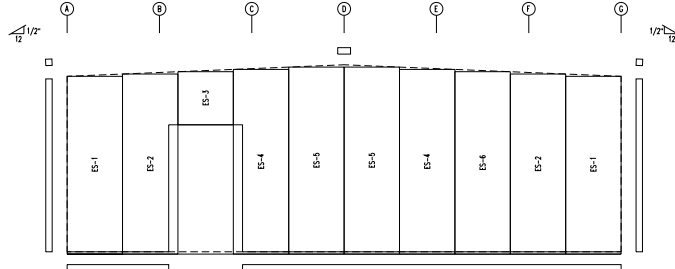




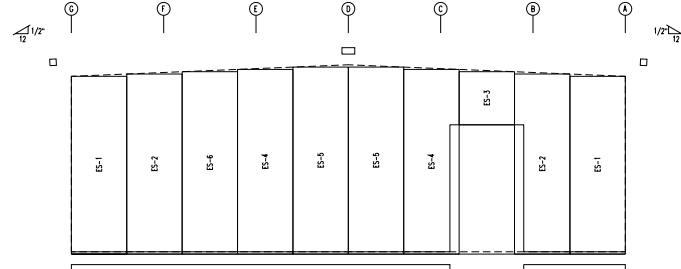
ENDWALL FRAMING FRAME LINE: 1



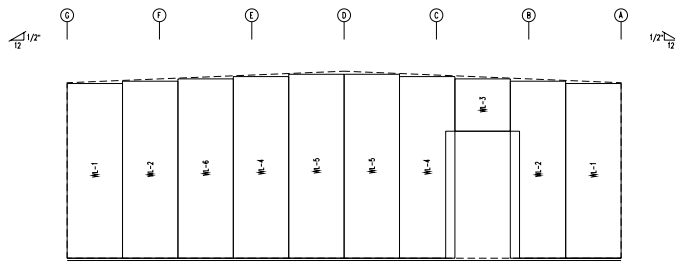
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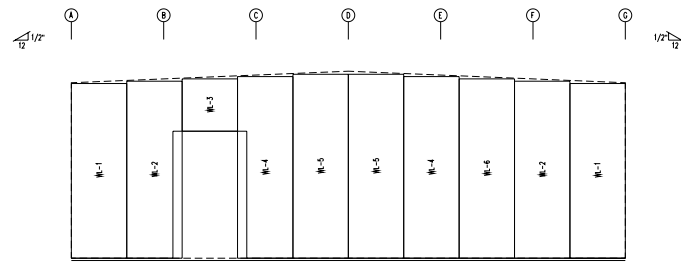
ENDWALL SHEETING & TRIM FRAME LINE: 1  
PANELS: 26 Ga. R. - NEED COLOR



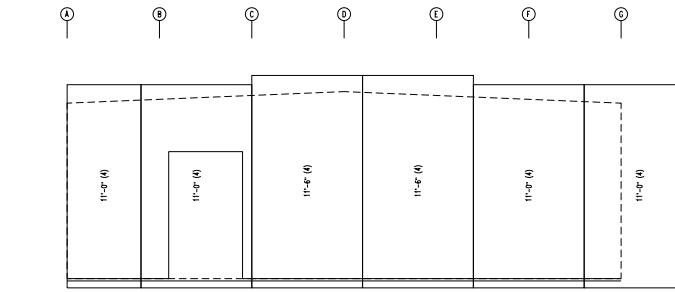
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PANELS: 26 Ga. R. - NEED COLOR



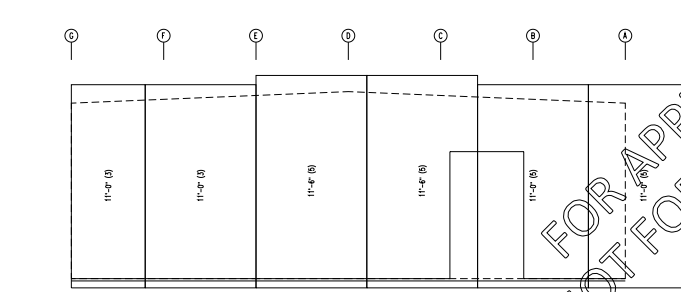
ENDWALL LINER & TRIM FRAME LINE: 1  
PANELS: 29 Ga. PP - Galvalume Plus



ENDWALL LINER & TRIM FRAME LINE: 35  
PANELS: 29 Ga. PP - Galvalume Plus



ENDWALL INSULATION FRAME LINE: 1



ENDWALL INSULATION FRAME LINE: 35

ROLL	MARK	WEIGHT	LENGTH
1	1	4'-2"	100'-0"
2	2	4'-2"	100'-0"
3	3	4'-2"	100'-0"
4	4	4'-2"	100'-0"

APPROVAL	BY	DATE
		1/9/24

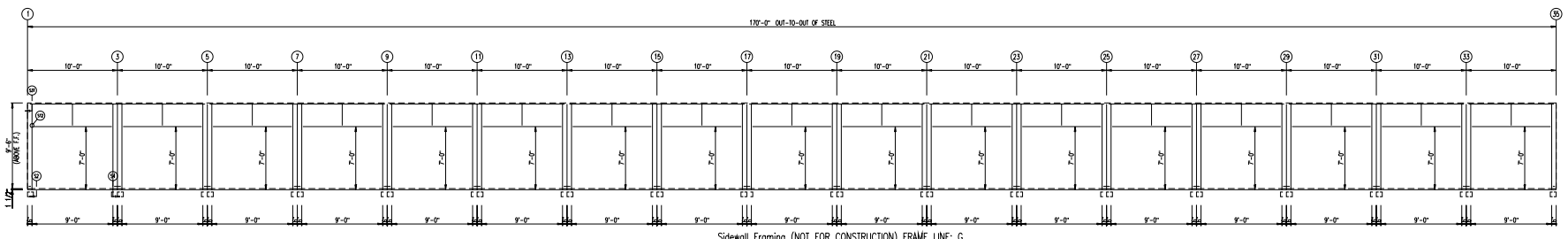
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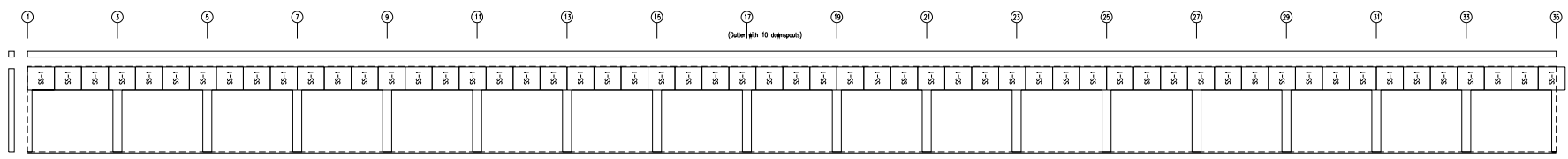
**REGENCY**  
 Storage Systems  
 7881 Boulder Parkway - Suite 0  
 Littleton, CO 80127  
 Phone: 1-800-488-8416  
 www.ministoragebuilders.com

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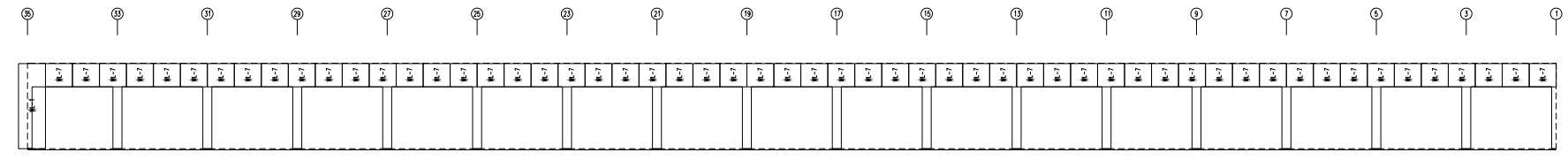




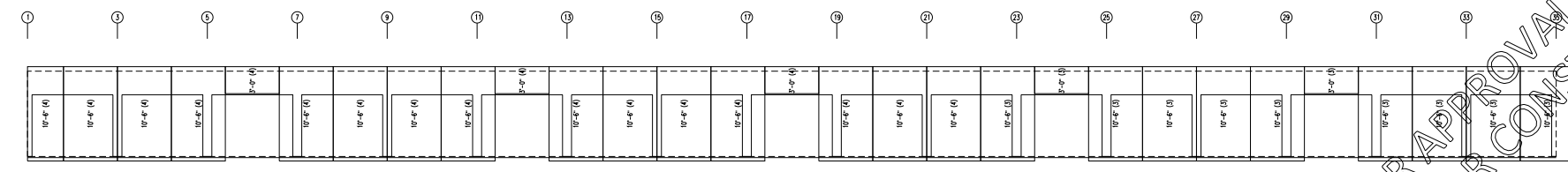
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Sidewall Sheeting (NOT FOR CONSTRUCTION) & TRIM FRAME LINE: G  
PANELS: 26 Co. R - NEED COLOR



SIDEWALL LINER & TRIM FRAME LINE: G  
PANELS: 29 Co. PP - Calulume Plus



SIDEWALL INSULATION FRAME LINE: G

ROLL	MARK	THICK	LENGTH
1	W-1	6'-0"	100'-0"
4	W-4	4'-0"	107'-0"

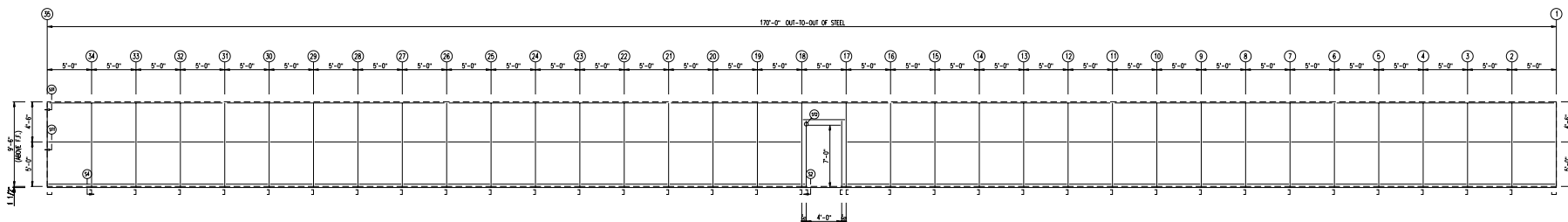
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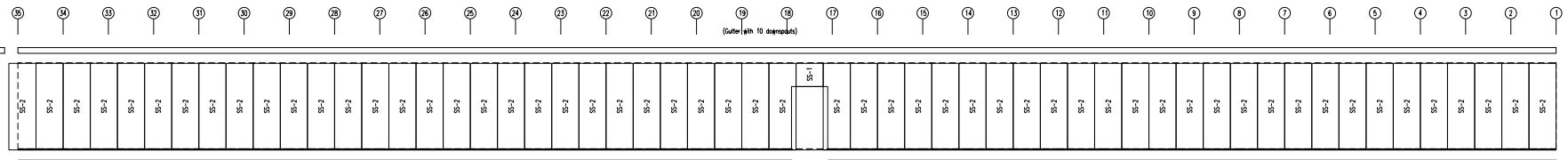
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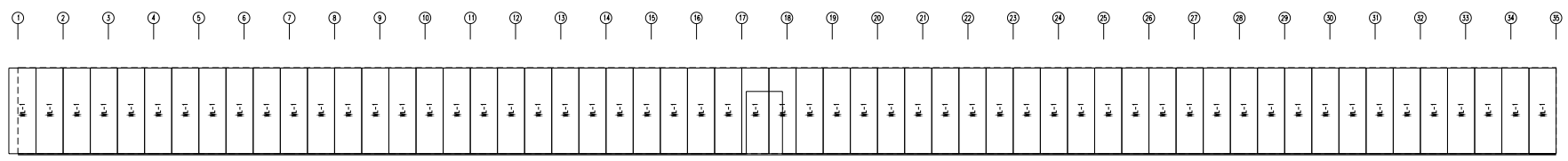
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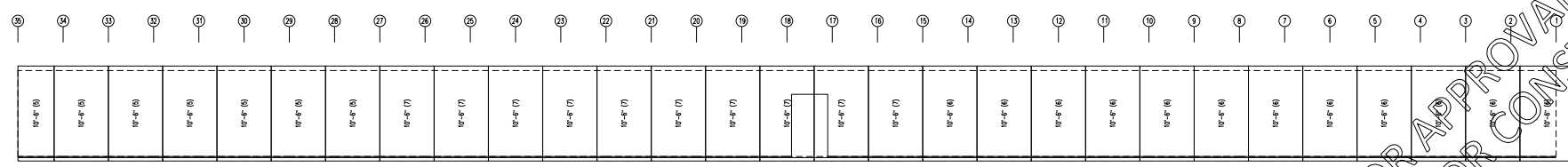
Sidewall Framing (NOT FOR CONSTRUCTION) FRAME LINE: A



Sidewall Sheeting (NOT FOR CONSTRUCTION) & TRIM FRAME LINE: A  
PANELS 26 Co. RL - NEED COLOR



SIDEWALL LINER & TRIM FRAME LINE: A  
PANELS 29 Co. PP - Calulume Plus



SIDEWALL INSULATION FRAME LINE: A

WALL INSULATION TABLE			
NO.	MARK	NOCH	LENGTH
1	10'-6"	4'-2"	107'-0"
2	10'-6"	4'-2"	84'-0"
3	10'-6"	4'-2"	84'-0"

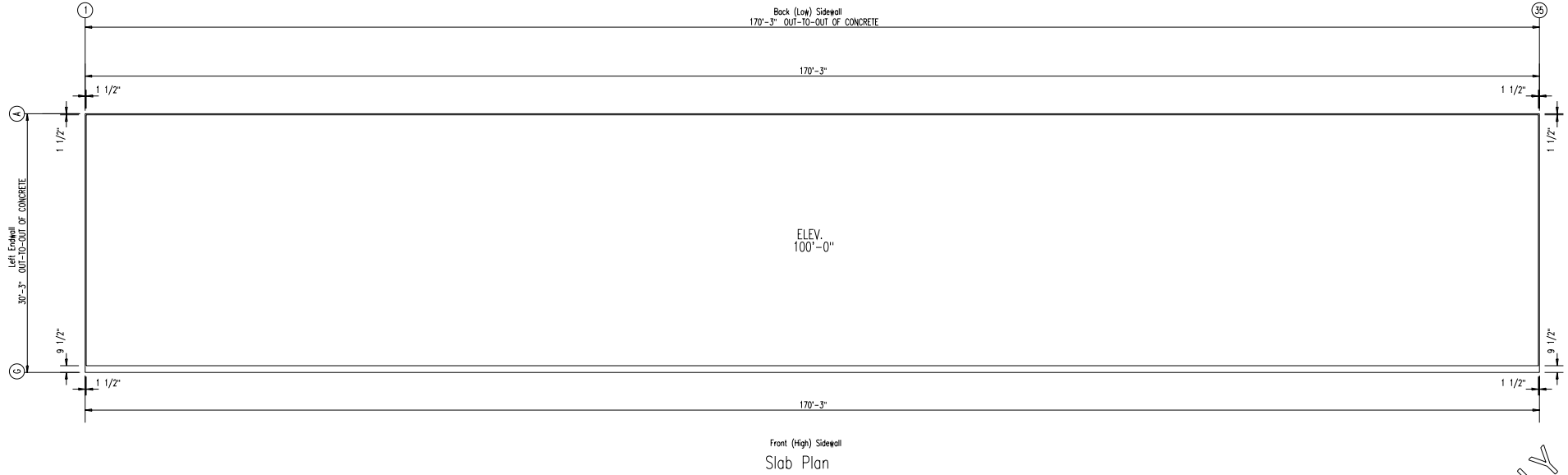
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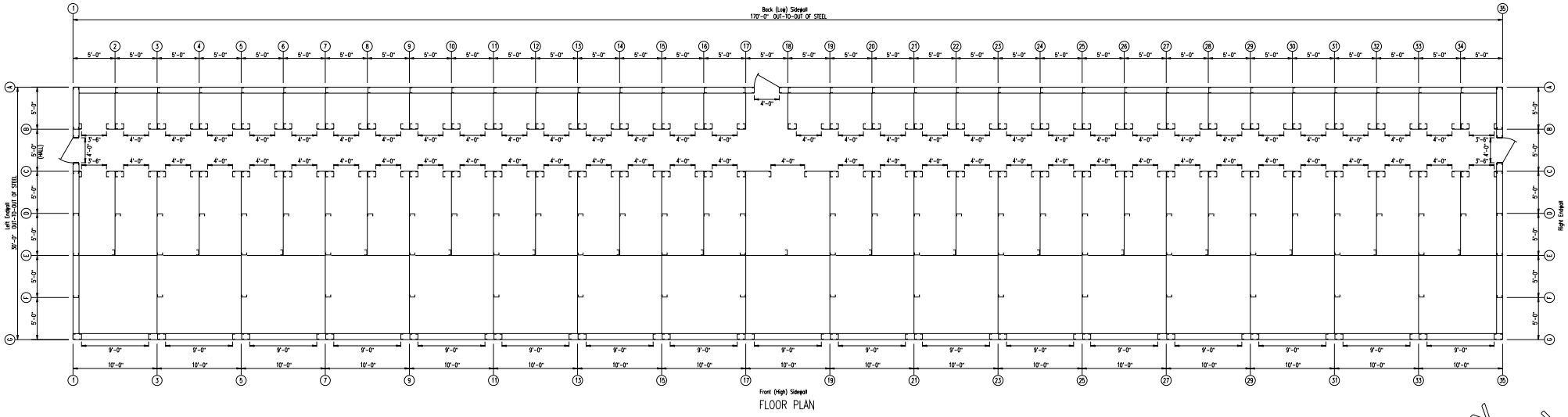
**REGENCY**  
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and More LLC  
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APPROVAL	1/9/24	DATE
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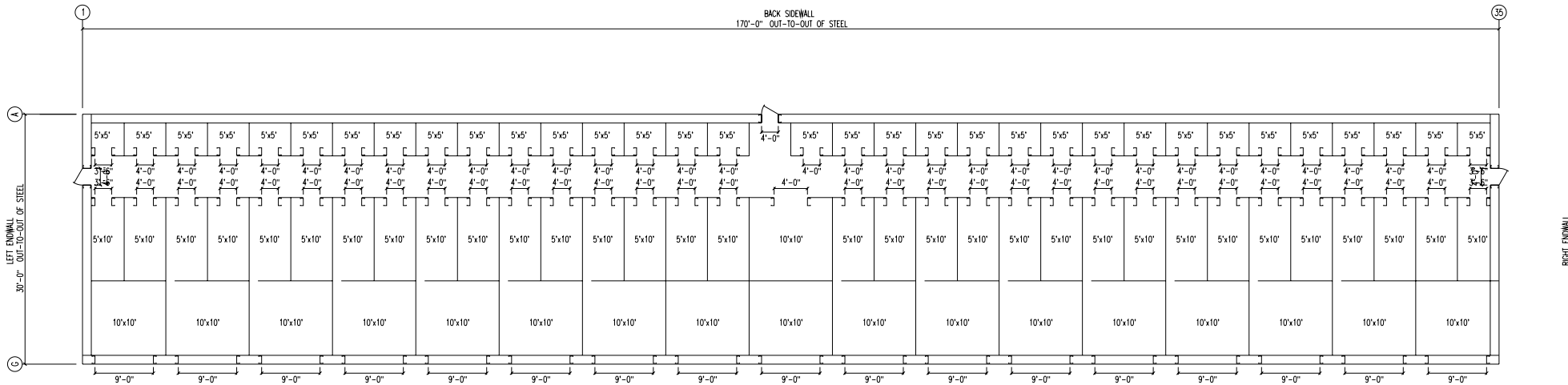
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FRONT SIDEWALL  
FLOOR PLAN

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