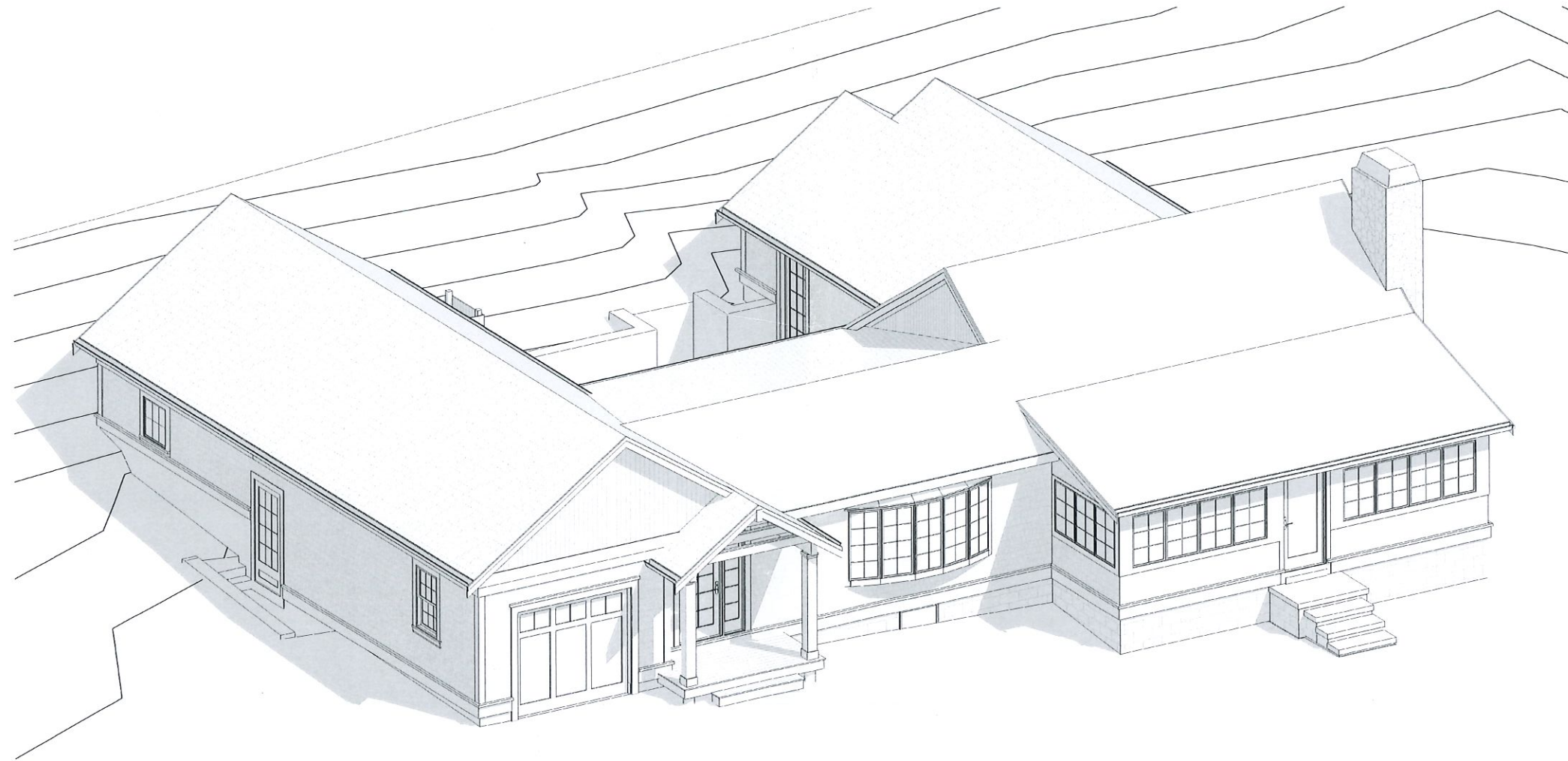


Drawing List	
Sheet Number	Sheet Name
X1.0	Existing Basement Plan
X1.1	Existing First Floor Plan
X1.2	Existing Roof Plan
X2.1	Existing Elevations
X2.2	Existing Elevations
A1.0	Proposed Basement Plan
A1.1	Proposed First Floor Plan
A1.2	Proposed Roof Plan
A2.1	Proposed Elevations
A2.2	Proposed Elevations
A3.1	Building Sections
A3.2	Building Sections
D1.0	Demolition Plans
S1.0	Foundation Plan
S1.1	First Floor Framing Plan
S1.2	Roof Framing Plan



Revisions		
#	Date	Description

Prelim. Pricing Set
September 16, 2022

Sequattom Residence
41 Sequattom Rd, Harwich, MA

Scale:	Project #: 1082022
Drawn By: IMM	Checked By: PM

Cover Sheet

Sequattom Residence

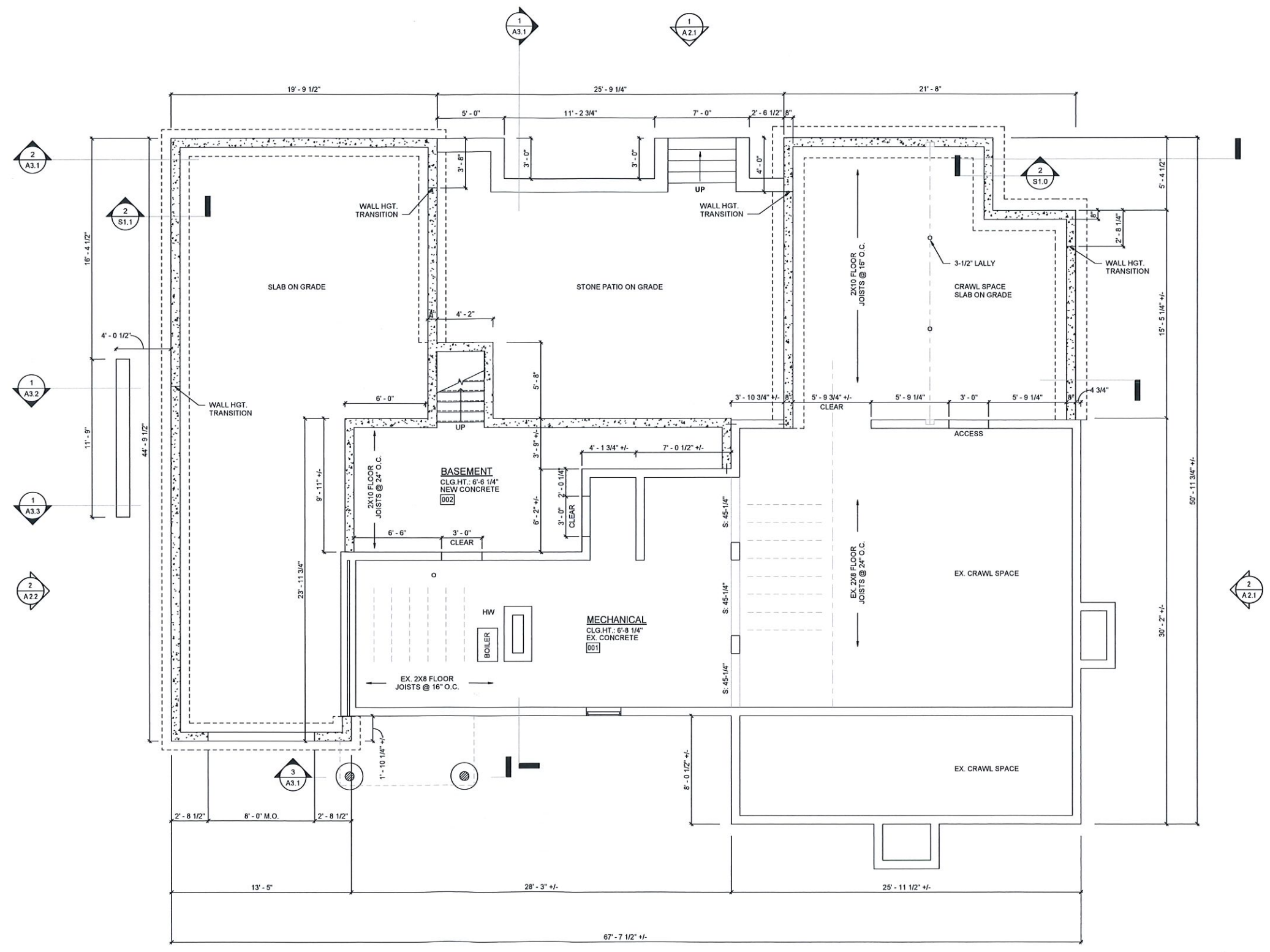
Project Status: Prelim. Pricing Set (Not for Construction)
09/16/2022

41 Sequattom Rd, Harwich, MA

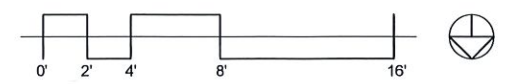
A0.0

GENERAL NOTES

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4. SPECIAL CARE IS TO BE TAKEN IN PRESERVING EXISTING FEATURES TO REMAIN INTACT.
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9. ANY REMOVED ITEMS SUITABLE FOR SALVAGE SHALL BE NEATLY STORED ON SITE FOR RESTORE PICK UP. COORDINATE WITH OWNER.
10. TYP. DIMENSIONS TO FACE OF FINISH OR SHEATHING O.U.N.



1 Proposed Basement Plan
1/4" = 1'-0"



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#	Date	Description

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September 16, 2022

Sequatton Residence
41 Sequatton Rd, Harwich, MA

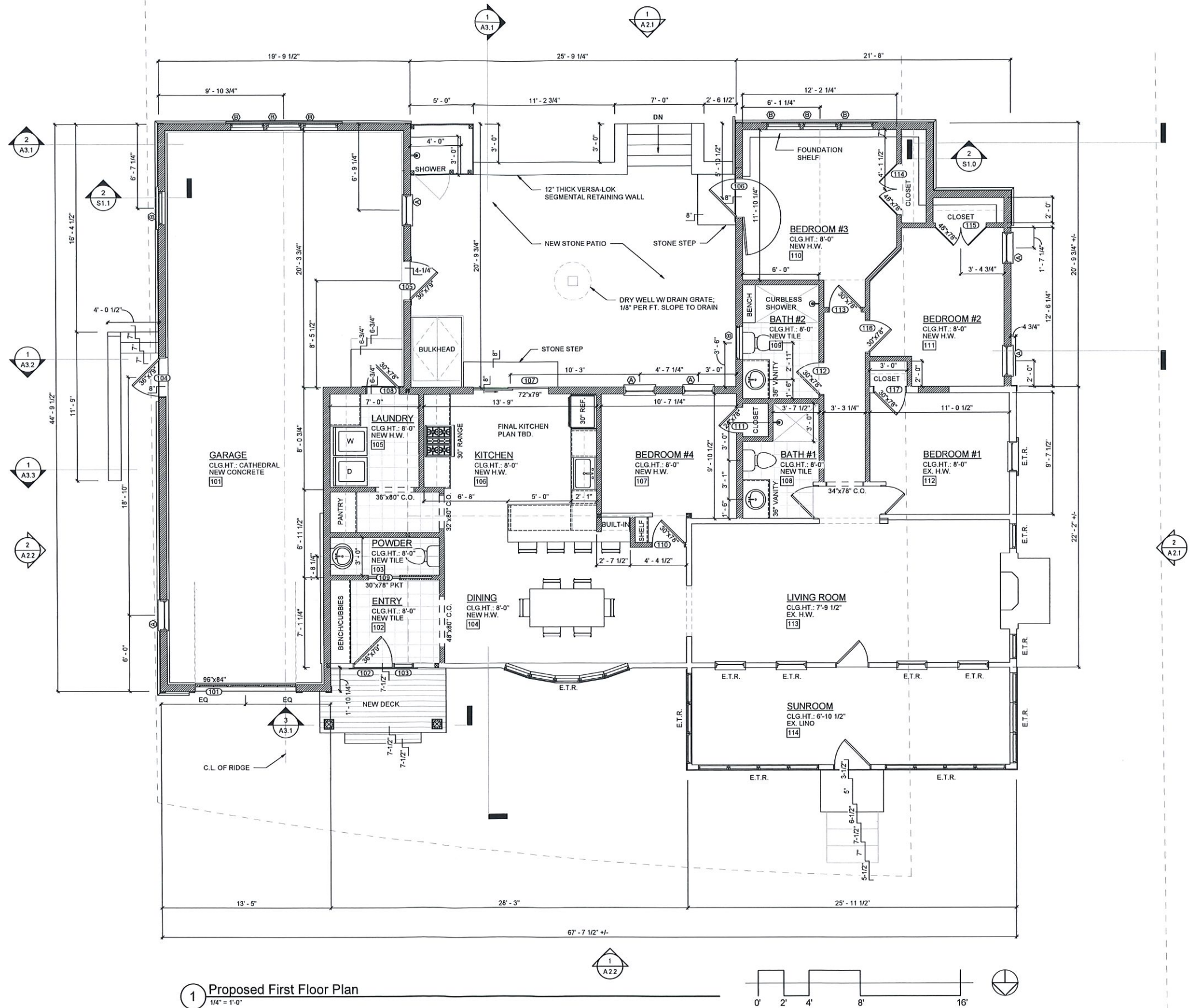
Proposed Basement Plan

Scale: 1/4" = 1'-0"	Project #: 1082022
Drawn By: MM	Checked By: PM

A1.0

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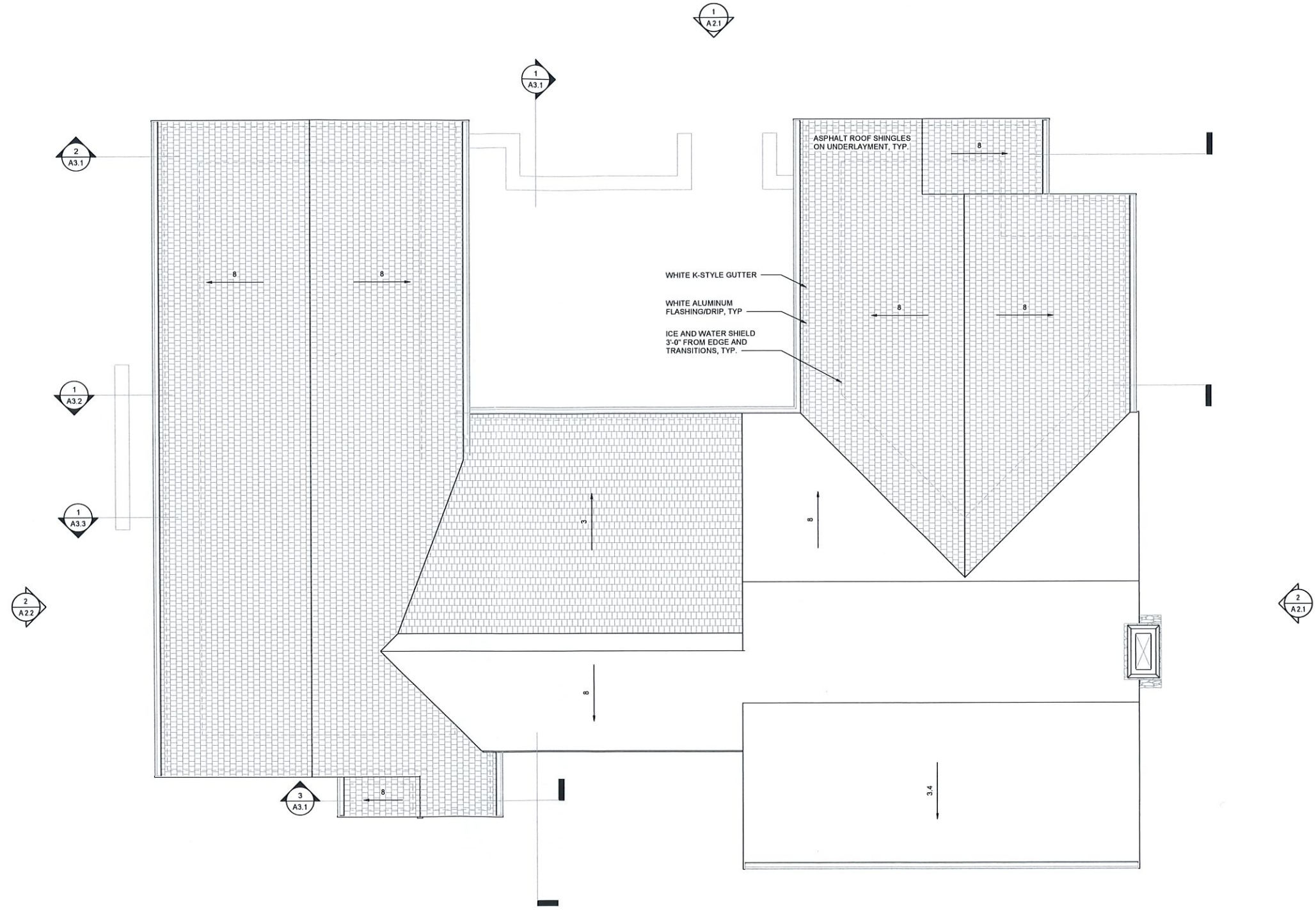
Prelim. Pricing Set
September 16, 2022

Sequatton Residence
41 Sequatton Rd, Harwich, MA

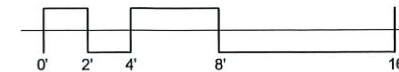
Proposed First Floor Plan

GENERAL NOTES

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1 Proposed Roof Plan
1/4" = 1'-0"



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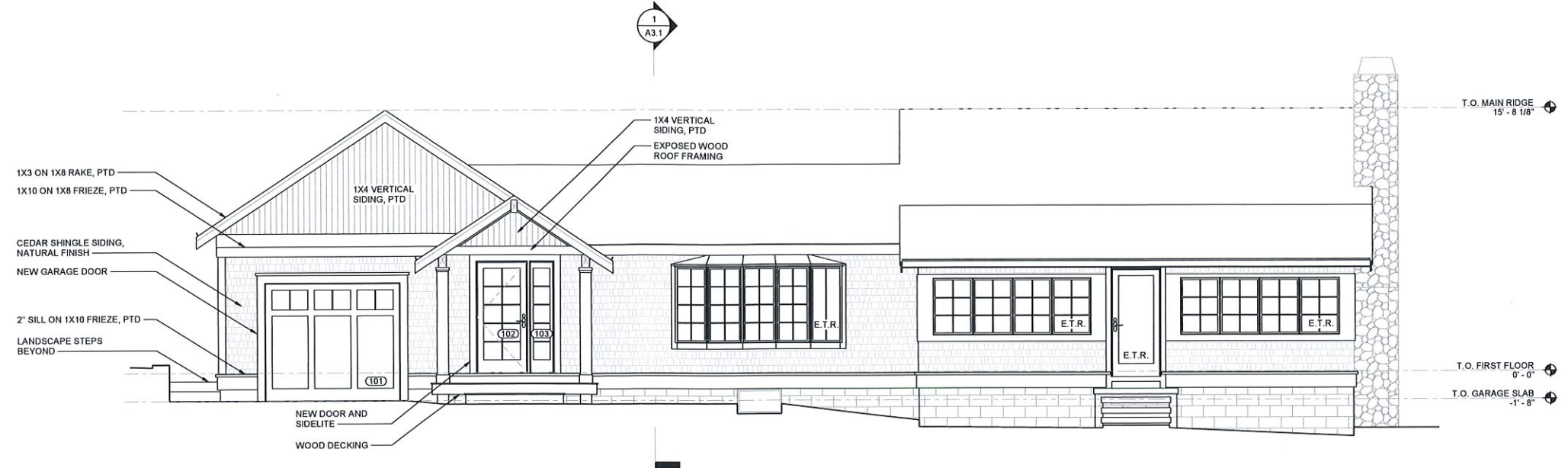
Prelim. Pricing Set
September 16, 2022

Sequatton Residence
41 Sequatton Rd, Harwich, MA

Proposed Roof Plan

Scale: 1/4" = 1'-0"	Project #: 1082022
Drawn By: MM	Checked By: PM

A1.2



1 Proposed North Elevation
1/4" = 1'-0"

WINDOW AND DOOR NOTES

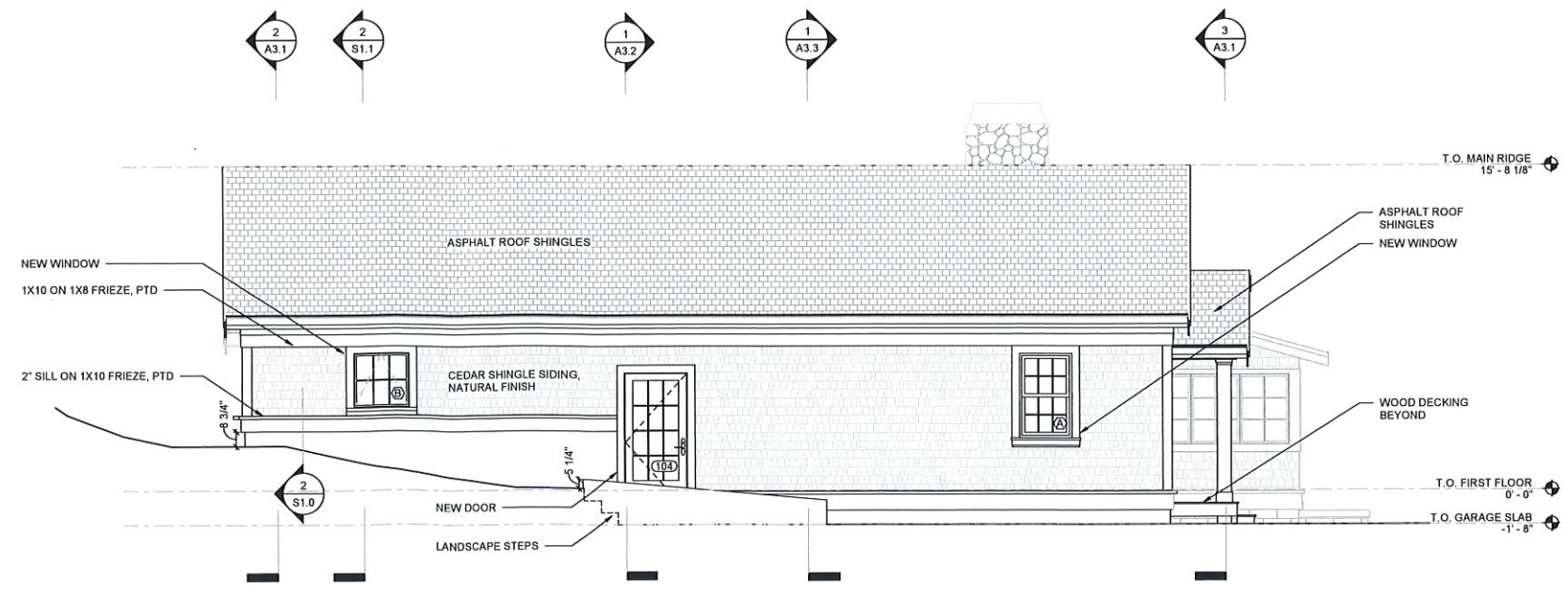
- GLAZING TO BE LOW E4, ARGON FILLED (TYP.) TO MEET ENERGY CODE
- INTERIOR/EXTERIOR HARDWARE, O.R.B.
- PROVIDE OPERABLE SCREENS, O.R.B.
- REFER TO ELEVATIONS FOR MUNTIN PATTERNS
- GENERAL CONTRACTOR/MANUFACTURER TO SUBMIT DRAWINGS FOR ALL WINDOWS AND DOORS TO ARCHITECT FOR DESIGN INTENT APPROVAL PRIOR TO FABRICATING
- CONTRACTOR TO VERIFY DIMENSIONS OF ALL PROPOSED WINDOWS AND DOORS WITH EXISTING CONDITIONS
- WINDOWS AND DOORS MARKED E.T.R. ARE EXISTING TO REMAIN
- PROVIDE TEMPERED WINDOWS AND DOORS WHERE REQUIRED BY CODE

Window Schedule						
TYPE	MANUFACTURER	FUNCTION	MODEL	WIDTH	HEIGHT	COMMENTS
A	Andersen 400 Series	Double Hung	TW24310	29 5/8"	48 7/8"	
B	Andersen 400 Series	Awning	AX251	31 1/2"	31 1/2"	

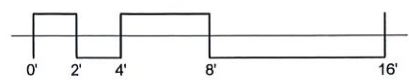
Door Schedule						
TYPE	MANUFACTURER	MODEL	WIDTH	HEIGHT	ROOM	COMMENTS

Exterior						
101	Custom	Custom	96"	84"	Garage	Custom Composite Overhead Garage Door
102	Simpson (or sim.)	TBD	36 1/8"	79 1/2"	Entry	Sidelite
103	Simpson (or sim.)	TBD	16 13/16"	79 1/2"	Entry	Sidelite
104	Simpson (or sim.)	TBD	36 1/8"	79 1/2"	Garage	
105	Simpson (or sim.)	TBD	36 1/8"	79 1/2"	Garage	
106	Andersen 400 Series	FWH3168S	36 1/8"	79 1/2"	Bedroom #3	Frenchwood Hinged Patio Door w/ Screen Door (Inswing)
107	Andersen 400 Series	FWG6068	71 1/4"	79 1/2"	Kitchen	Frenchwood Gliding Patio Door

Interior						
108	Match Existing	Match Existing	30"	78"	Garage	Privacy - Fire Protected Garage Interior Door
109	Match Existing	Match Existing	30"	78"	Powder	Privacy - Pocket - to have an extended pocket stile
110	Match Existing	Match Existing	30"	78"	Bedroom #4	
111	Match Existing	Match Existing	24"	78"	Bedroom #4	
112	Match Existing	Match Existing	30"	78"	Bath #2	
113	Match Existing	Match Existing	30"	78"	Bedroom #3	
114	Match Existing	Match Existing	48"	78"	Bedroom #3	Double Flush Interior Door
115	Match Existing	Match Existing	48"	78"	Bedroom #2	Double Flush Interior Door
116	Match Existing	Match Existing	30"	78"	Bedroom #2	
117	Match Existing	Match Existing	30"	78"	Bedroom #1	

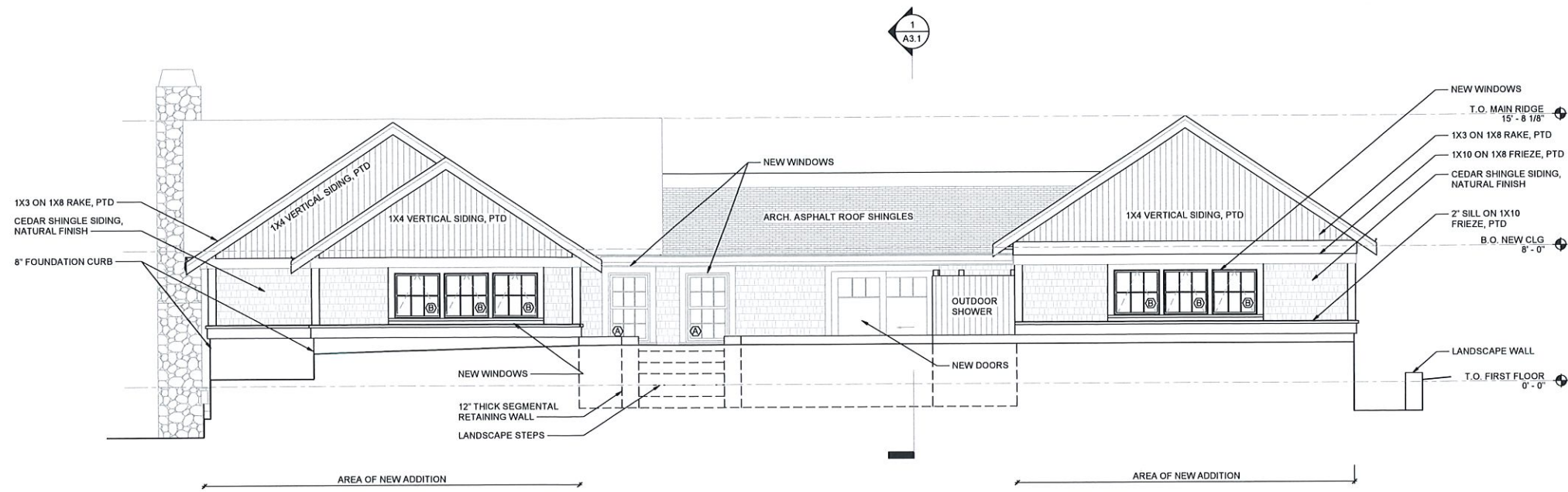


2 Proposed East Elevation
1/4" = 1'-0"

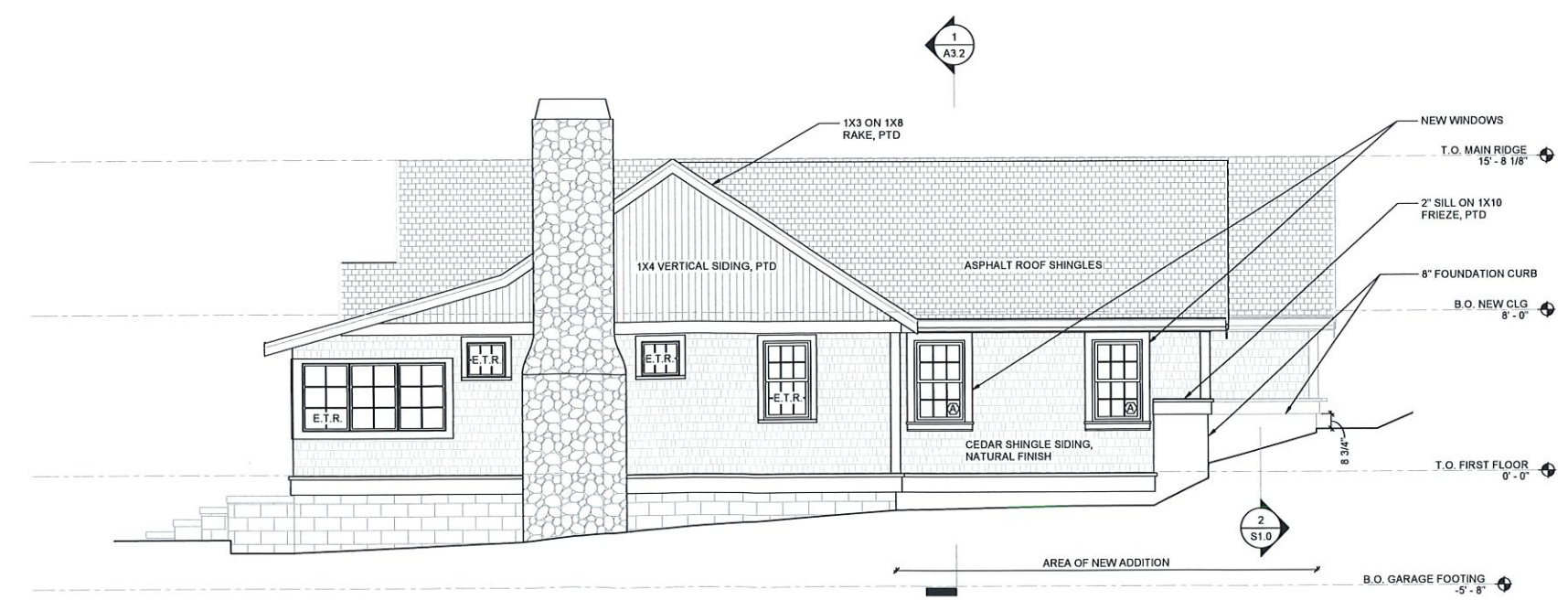


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#	Date: Description

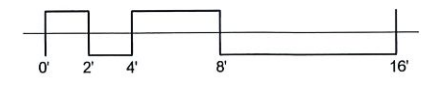
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September 16, 2022



1 Proposed South Elevation
1/4" = 1'-0"



2 Proposed West Elevation
1/4" = 1'-0"



Sequatton Residence
41 Sequatton Rd, Harwich, MA

Proposed Elevations

Project #: 1082022	Checked By: PM
Scale: 1/4" = 1'-0"	Drawn By: MM

Revisions

Date: Description

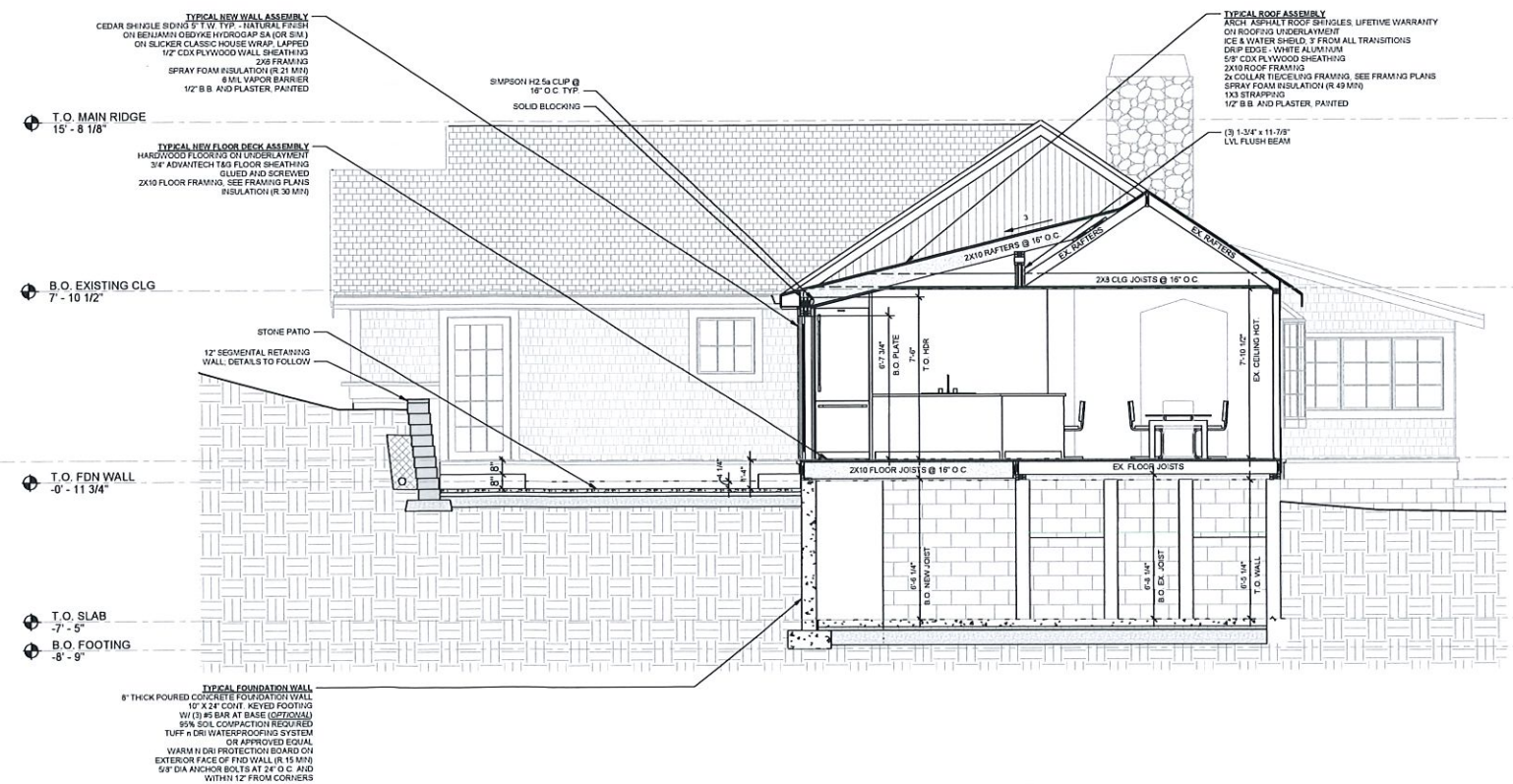
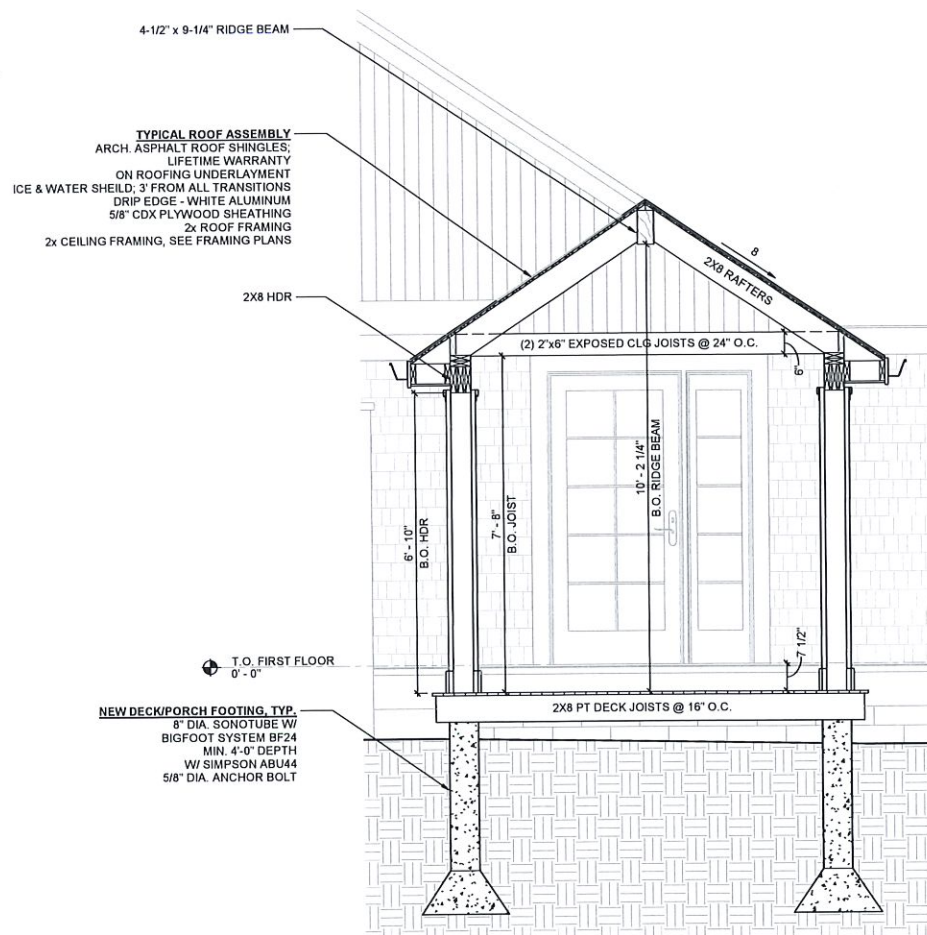
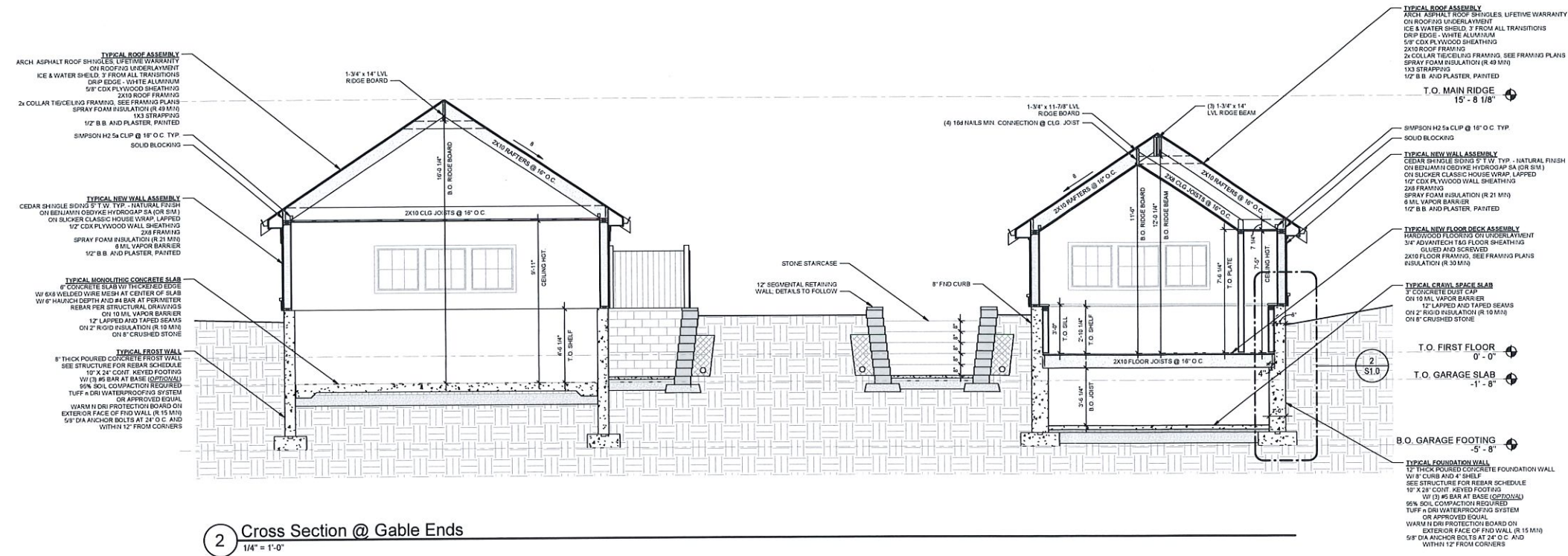
#	Date	Description

Prelim. Pricing Set
September 16, 2022

Sequatton Residence
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Building Sections

Scale: As indicated
Project #: 1082022
Checked By: MM
Drawn By: MM



GENERAL NOTES

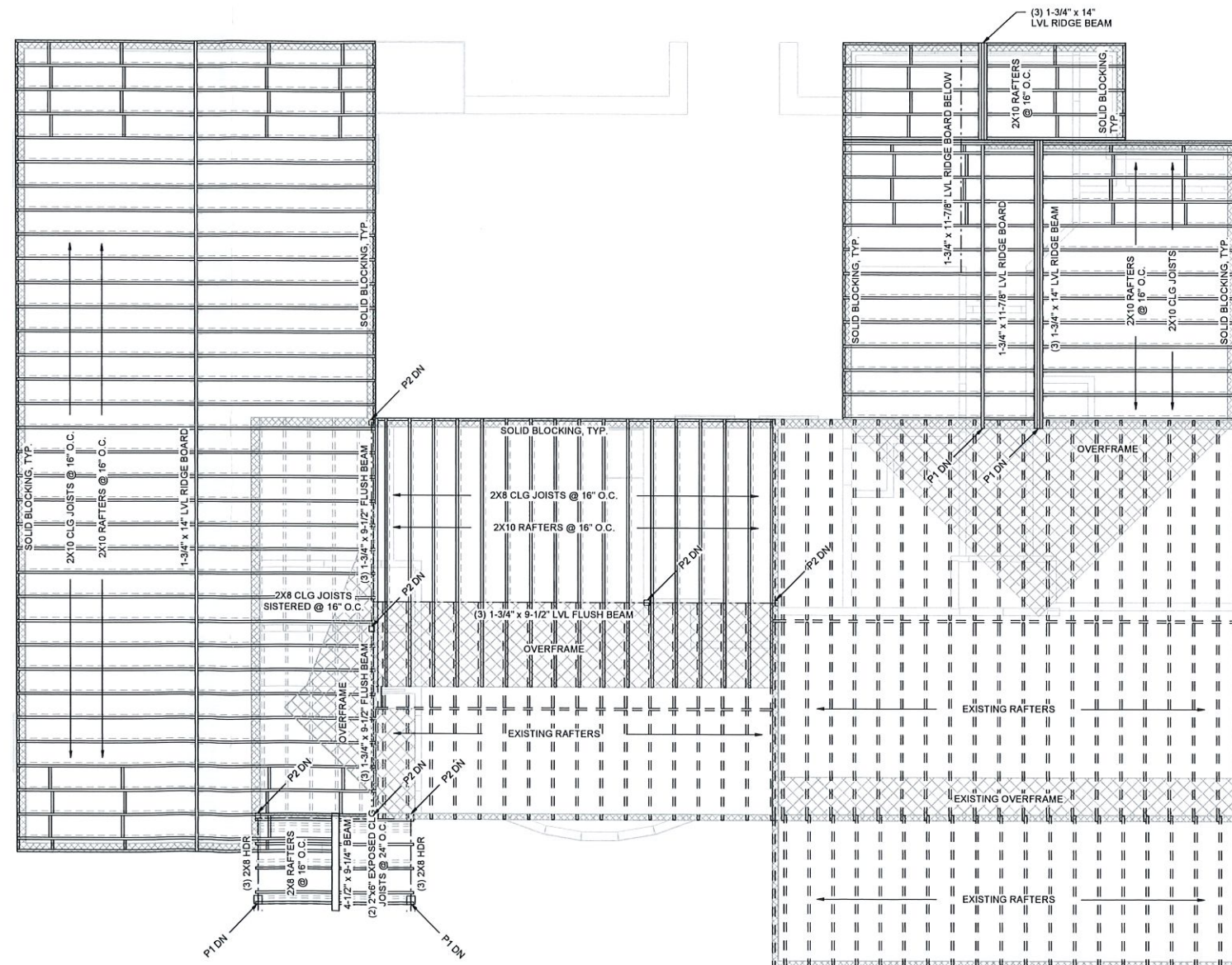
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POST LEGEND

- ☒ P1 : 5-1/2" x 5-1/2" PSL
- ☒ P2 : 3-1/2" x 3-1/2" PSL
- ☒ P3 : 3-1/2" x 5-1/2" PSL
- ☒ P4 : PT 6X6 POST
- P6 : (3) 2x6 STUDS
- P8 : (3) 2x4 STUDS
- P9 : (2) 2x4 STUDS
- P11 : 3 1/2" FILLED LALLY
- ☒ P15 : 5x5x1/2" STEEL HSS

DEMOLITION / CONSTRUCTION LEGEND

- EXISTING PARTITIONS TO REMAIN
- EXISTING PARTITIONS TO BE REMOVED
- NEW WALL CONSTRUCTION
- E.T.R. EXISTING TO REMAIN



1 Roof Framing Plan
1/4" = 1'-0"



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Roof Framing Plan

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Checked By:	PM

S1.2